

**SUPERIOR CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
3040 N. PROSPECT RD., YPSILANTI, MI 48198**

**WEDNESDAY
JANUARY 12, 2022
7:00 P.M.
AGENDA**

1. CALL TO ORDER
2. ROLL CALL
3. ADOPTION OF AGENDA
4. APPROVAL OF MINUTES
 - A. Approval of the November 10, 2021 minutes
5. CITIZEN PARTICIPATION
6. COMMUNICATIONS
7. PUBLIC HEARINGS AND CONSIDERATION OF APPEALS
 - A. **ZBA #21-05 5766 Geddes Road - Schuster**
Request for seven separate Zoning Ordinance interpretations and an appeal of the decision of the Township Zoning Administrator.
 - B. **ZBA #21-06 5728 Geddes Road - Mouliere**
Variance from Section 3.101 (Dimensional Standards) for setbacks from the private road right-of-way.
8. OLD BUSINESS
9. OTHER BUSINESS AS NECESSARY
 - A. Election of Officers for 2022.
10. ADJOURNMENT

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1. CALL TO ORDER

The meeting of the Superior Charter Township Zoning Board of Appeals was called to order by Vice-Chairman Dail at 7:00 p.m.

2. ROLL CALL

The Zoning Board of Appeals members present were Brennan, Craigmile, Dail, Parm. Deeds and Heningburg were absent. Rick Mayernik, Building and Zoning Official, was also in attendance. A quorum was present.

3. ADOPTION OF AGENDA

A motion was made by Member Parm and supported by Member Brennan to adopt the agenda as presented. The motion carried.

4. APPROVAL OF MINUTES

A motion was made by Member Parm and supported by Member Brennan to approve the minutes of September 29, 2021. The motion carried.

5. CITIZEN PARTICIPATION

None.

6. COMMUNICATIONS

None.

7. PUBLIC HEARINGS AND CONSIDERATION OF APPEALS

A. ZBA #21-04 – 10463 Cherry Hill Road

Variance from Section 3.101 (Dimensional Standards) for an addition and alterations of existing single-family dwelling in the front yard setback.

Motion by Member Brennan and supported by Member Parm to open the public hearing. The motion carried.

The applicant, Micheal Ripple, explained that he wants to add a second story to the existing house. The house is currently in the setback, but the applicant is moving the footprint back ten feet from the road by altering the front porch. The house would then be 64 feet from the edge of Cherry Hill Road.

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It was noted that the homeowner would be doing the construction himself, as he is a builder by trade.

Rick Mayernik stated that he wrote a memo giving the history of the property from the Assessing records and the property file. The house was built in 1950 and the first Zoning Ordinance was adopted in 1948. At that time the property was zoned AG-1 and the front yard setback was 50 feet. Over time the front yard setback changed. In 1978 the ordinance changed the front yard setback to 60 feet, and the setback requirement is now 75 feet. Mr. Mayernik included a printout of the County GIS showing that the approximate measure, and the front of the existing house is about 36 feet from the existing right-of-way. He noted that the front is being pushed back ten feet, to 46 feet from the right-of-way. The second story addition will be 56 feet from the right-of-way, which adds to the nonconformity.

The applicant noted that the home is currently 1,300 square feet and will be approximately 2,200 square feet once complete.

Motion by Member Parm and supported by Member Brennan to close the public hearing. The motion carried.

Member Dail reviewed the Standards for Review set forth in section 13.08B of the Zoning Ordinance.

1. Special conditions and circumstances exist that are unique to the land, structures, or buildings involved, and are not applicable to other lands, structures, or buildings in the same district, subject to the following:
 - a. The existence of nonconforming dwellings, lots of record, structures, uses, or sites on neighboring lands in the same zoning district or other zoning districts shall not be considered grounds for a variance.
 - b. The special conditions and circumstances on which the variance request is based do not result from the actions of the applicant.
2. Literal interpretation of this Ordinance would deprive the applicant of rights commonly enjoyed by other property owners in the same district under the terms of this Ordinance.

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3. Granting the variance requested would not confer upon the applicant any special privilege that is denied by the Ordinance to other lands, structures, or buildings in the same district.
4. A variance granted shall be the minimum that will make possible a reasonable use of the land, building, or structure. The Board of Appeals may consider lesser variances than that requested by an applicant.
5. The variance granted shall be in harmony with the intent of this Ordinance and will not be injurious to the environment, neighborhood, or otherwise detrimental to the public interest.

Roll Call:

Yes: Brennan, Craigmile, Dail, Parm.
No: None.
Abstain: None.
Absent: Deeds, Heningburg.

The motion carried.

8. OLD BUSINESS

None.

9. OTHER BUSINESS AS NECESSARY

None.

10. ADJOURNMENT

A motion was made by Member Brennan and supported by Member Craigmile to adjourn the meeting at 7:50 p.m.

Respectfully submitted,

Doug Dail, Chairman Zoning Board of Appeals

Laura Bennett, Recording Secretary
Superior Charter Township
3040 N. Prospect, Ypsilanti, MI 48198

**ZONING BOARD OF APPEALS
SUPERIOR CHARTER TOWNSHIP
SUPERIOR TOWNSHIP HALL
3040 N. PROSPECT, YPSILANTI, MI 48198
WEDNESDAY, JANUARY 12, 2022
7:00 p.m.**

ZBA #21-05

The Superior Township Zoning Board of Appeals will hold a public hearing on **Wednesday, January 12, 2022 at 7:00 p.m.** at the Superior Township Hall, 3040 N. Prospect, on a request for seven separate Zoning Ordinance interpretations and an appeal of the decision of the Township Zoning Administrator.

The property is located at 5766 Geddes Road and is zoned R-1 (Single-Family Residential).

A complete copy of the petition is available for inspection or copying at the Township Hall 9:00 a.m. – 4:00 p.m. weekdays. Persons wishing to express their views may do so in person at the public hearing, or in writing addressed to the Zoning Board of Appeals at the above address. Superior Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities upon four (4) business days notice to the Township. Individuals requiring auxiliary aids or services should contact Superior Charter Township by writing the Township Clerk.

Laura Bennett, Planning/Zoning
3040 N. Prospect
Ypsilanti, MI 48198
734-482-6099

ZONING BOARD OF APPEALS APPLICATION

(This application must be typewritten or printed. All questions must be answered.)

Request is hereby made for one of the following:

Request for Interpretations

Variance from the requirements of the following Zoning Ordinance
Section(s): _____

Appeal of the decision of the Township Zoning Official



APPLICANT INFORMATION

Name Matthew Schuster

Address 5766 Geddes Rd

Phone Number 248 790-5650 Email mattaschuster@yahoo.com

Is the property owned by the applicant? YES NO

If "NO", what is the applicant's interest in the property? neighbor

Name, address and telephone number of owner(s): 5728 Geddes Rd, Superior township,
MI, 48105. phone number unknown to applicant

DESCRIPTION OF THE PROPERTY

Address N/A and 5728 Geddes Rd

Parcel ID# J-10-30-400-061 Parcel size 4.6 ac

Size of the proposed building or addition, if any unknown

Use of existing building (if any) and property vacant

Zoning classification of property R-1

If a new building is proposed, has the Building Inspection department examined the plans for the proposed building? YES NO

Has the department refused a permit? YES NO

Has there been any previous land use application involving this property? YES NO
If "YES", state the date of filing, the character of appeal and the disposition.

DESCRIBE THE REASONS FOR YOUR APPEAL

Note: The Zoning Board of Appeals is required to use the standards listed in Section 13.08(B) of the Zoning Ordinance when considering an appeal. It is recommended that applicants review these standards and consider them in preparing a description of why the variance is needed. A copy of the standards is attached to the application.

I am applying to the ZBA for interpretations of the ordinance. There are terms used

in the Zoning Ordinance that are either not defined or provided context for evaluation.

* This is updated from original 12/21 application to include an appeal of decision *

Please See Attached for more detail

YOU MAY WISH TO ASK YOUR NEIGHBORS TO SIGN THE FOLLOWING SECTION IF THEY HAVE NO OBJECTION TO THE APPEAL YOU ARE MAKING.

We the undersigned, as owners of property any part of which is located within 300 feet of any part of the property involved in this appeal, have no objections to the granting of the request made in this appeal:

NAME (PLEASE PRINT)

SIGNATURE

STREET ADDRESS

INFORMATION REQUIRED TO BE SUBMITTED WITH APPEAL

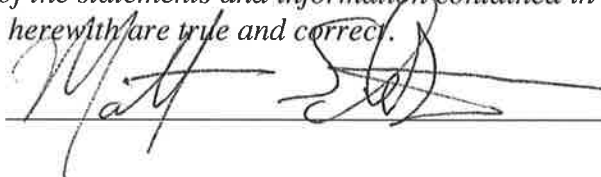
The following must attached and submitted with the application:

- Ten (10) sets of drawings, all on sheets 8 ½ inches by 11 inches or 8 ½ inches by 14 inches, drawn to scale and showing all measurements, features and structures, including the general location of all natural features on the property, measurements to show distances between structures, measurements between structures and property lines, measurements for lot width and lot area, and height of structures. Rights-of-way and easements must also be shown.
- A letter of authority, or power of attorney, in the event the appeal is being made by a person other than the actual owner of the property.
- A complete legal description of the premises (as stated on the property deed or property tax bill.)

APPLICANT'S DEPOSITION – Must be completed by applicant.

I hereby state that all of the statements and information contained in this application and the supporting documents herewith are true and correct.

Signature of applicant

 Date 11/29/21

NOTARY PUBLIC – Applicant's signature must be notarized.

CODI KING
Notary Public - State of Michigan
County of MONROE
My Commission Expires 1/24/2027

Sworn to before me this 29 day of November 2021

My commission expires

01/24/2027
(Notary Public, ~~Washtenaw~~ Monroe County, Michigan)

To be filled in by Township Clerk (or designated Township Officer/Personnel)

I hereby state that this petition was properly received and filed on 11/30/21 (date)

Signature of Clerk (or designee)



Fee paid \$ 500

Notice to Applicants for the Zoning Board of Appeals

Filing Applications

You must call and schedule an appointment with the Township Zoning Official Richard Mayernik to file an application. He may be reached at the Township Office at (734) 482-6099.

Meeting Schedule

The Zoning Board of Appeals does not have a regular meeting schedule. Meetings are called whenever there is an application for a variance. Because variance requests require a public hearing, it generally takes four (4) weeks from the date an application is received until a meeting of Zoning Board of Appeals can be held. This time is needed to schedule the meeting date and to mail out notices of the public hearing.

Reasons for the Appeal

The Zoning Board of Appeals is required to use the standards listed in Section 13.08 of the Zoning Ordinance when considering the appeals. It is recommended that applicants review these standards and consider them in preparing a description of why the variance is needed.

Site Visits

Filing an application gives the implied consent for Township officials and/or consultants to visit the subject site.

Application Fees

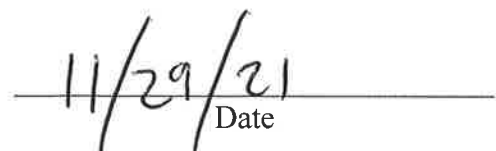
An application fee must be paid when you file your application. The fees are as follows:

1. Appeals brought by the owner of a single-family dwelling for a variance from density and height regulations of the Zoning Ordinance = **\$175.00**
2. Any other appeal = **\$500.00**

Applicant's Acknowledgement

I hereby acknowledge that I have read and agree to the above and that I have been given a copy of this notice.


Signature


Date

This appeal to the ZBA is in request for interpretations of the Zoning Ordinance text.

The ZBA is an independent body from the Building and Zoning Department and is charged under the Michigan Zoning and Enabling Act as well as the Zoning Ordinance of Superior Township (#174) with interpreting the zoning ordinance.

Section 13.04 Powers and Duties.

The Board of Appeals shall hear and decide and rule on the following as provided herein:

1. The Board of Appeals shall hear and decide questions that arise in the administration of the zoning ordinance, including the interpretation of the text and the Official Zoning Map.

The applicant believes it is important that all pending and future ordinance reviews and plan approvals to operate from consistent interpretations to avoid unsafe situations or cases which impair the development goals specified in the township master plan. We believe that all residents should be equally protected by consistent application of standards under the Michigan Zoning Enabling Act. We believe that every word in the ordinance has a purpose and must be reviewed thusly. Accordingly, we ask the ZBA to perform its independent duties in relation to interpreting the following portions of the zoning ordinance to facilitate that end.

Several, but not all, of these zoning ordinance text interpretations were referenced in a prior ZBA appeal (September included here by reference on the assumption its materials will append this record) but were barred from consideration on grounds that the appeal pertained to permit issuance. Those materials are hereby incorporated by reference. We can provide a copy of those materials separately if the township would like them resubmitted.

Request for zoning ordinance interpretation #1

Guard Rails, Guards, Railings (indications in article 6.01B5 and 6.01B6, etc)

Requested interpretation that fences, guards, guard rails, or other named protective structures required under the state building code or BOCA around construction sites, atop grade differentials, or retaining walls must comply with the Superior Township Zoning Ordinance including provisions governing structures and certificates of zoning compliance

Request for interpretation #2

Retaining wall definition (article 17, article 3, article 6, etc)

Retaining wall is not defined in the ordinance

Request that the ZBA interpret a retaining wall as a wall and structure under the zoning ordinance (subject to ordinance restrictions such as article 3 and certificates of zoning compliance) consistent with the Superior Township engineering standards and/or 2015 State of MI Building Code:

Any wall separating a differential grade of more than 12" shall be considered a retaining wall and a structure.

Request for interpretation #3

Retaining wall height (article 17, article 3, article 6)

Retaining wall height calculation is not directly specified in the ordinance, although it is found in the State Building Code and Superior Township Engineering Standards Manual

Given request #2 above, we recommend that retaining wall height be interpreted consistent with any wall height under the ordinance, from the bottom of the wall to the top of the wall. In no event should the height of the retaining wall be measured as less than the differential between the lower and upper grade, nor the differential between the upper grade of any retaining wall within 2 feet of another retaining wall and the lower walls lowest grade, which should be correctly measured as a single unit if engineered together due to grade differential.

-Note - there are conditional provisions for fence height determinations of retaining walls in the zoning ordinance article 6 which may result in determining the most restrictive height calculation (consistent with ordinance 1.04.1), not a replacement calculation of lesser value, which should be specified by the ZBA.

Request for interpretation #4

Approved Road (article 3)

The 2008 zoning ordinance in section 3.207 states:

Section 3.207 Access to Streets.

No dwelling shall be built on any lot that does not abut and have direct frontage on an APPROVED ROAD. Access to streets shall be subject to the following....

No definition of "approved road" is given.

We request that the ordinance provision be interpreted as a road having record of approval in Superior Township for its width, grade, construction, and maintenance details.

Request for interpretation #5

Accessory Structure (Article 17)

The definition of accessory structure raises questions about interpretations of structures that span 2 lots of record. It is conceivable that structures crossing lot lines may benefit only one impacted lot.

We request that accessory structure definition be interpreted to preclude structures placed on a lot other than the lot of its builder, sponsor, or dependent related primary use. We request that the exclusive use provision be determined for any structure meant to span a lot line be interpreted as unrelated to any lot that does not participate in its construction or require its presence for that lots primary use.

Request for interpretation #6

Site Plan Exemption Criteria (10.02.A.3.a)

The ordinance specifies exemption for certain projects from site plan review:

3. All RESIDENTIAL USES, as specified in Article 4.0 (Land Use Table), for which site plan approval is required per Article 5.0 (Use Standards). The following RESIDENTIAL USES shall be exempt from site plan approval:

a. One (1) single-family detached dwelling and customary accessory structures on an existing residential lot of record.

We request that 10.02.A.3.a be interpreted to require that exclusion only applies to a residential development if it involves structures and uses exclusively contained on a single lot of record, not related uses or structures spanning multiple lots of record or present across or upon lots under disparate ownership.

Request for interpretation #7

Definition of Mass Grading (Article 17) within construction definition 42

The definition of mass grading is not given in the ordinance

42. Construction. The mass grading and similar site work conducted upon land in preparation for a new use, establishment of necessary site improvements for a new use, and development of a new structure, relocation of a structure, or addition to an existing structure on land in the Township.

we request that mass grading be interpreted to be grade elevation changes of more than 30” or represented by earth removal or fill of more than 50 cubic yards.

Request for zoning ordinance interpretation #1

Guard Rails, Guards, Railings (indications in article 6.01B5 and 6.01B6, etc)

Requested interpretation that fences, guards, guard rails, or other named protective structures required under the state building code or BOCA around construction sites, atop grade differentials, or retaining walls must comply with the Superior Township Zoning Ordinance including provisions governing structures and certificates of zoning compliance.

6.01B5Fences shall be required on top of retaining walls when required by the State Construction Code.

State building code or BOCA references alternative names from fences, and this ambiguity should be resolved. Given that regulations are listed within the ordinance for fences AND that these installations meet the definition of a fence in the ordinance:

Fence. Linear structures or partitions of definite height and location erected upon or near the dividing line between adjoining owners intended to serve as: a physical barrier to ingress or egress; a screen from objectionable vista or noise; a marker; an enclosure in carrying out the requirements of this Ordinance; or for decorative use.

We request an interpretation that guards, guardrails, railings, or similar protective items required under state building code, BOCA, or other state requirements be found generally to be fences and structures under the Zoning Ordinance and governed by all fence requirements, including article 6m article 3, and certificates of zoning compliance.

Request for interpretation #2

Retaining wall definition (article 17, article 3, article 6, etc)

Retaining wall is not defined within the ordinance

Request that the ZBA interpret a retaining wall as both a wall and structure under the Zoning Ordinance (subject to ordinance restrictions such as article 3 and requiring certificates of zoning compliance) consistent with the Superior Township engineering standards and/or 2015 State of MI Building Code:

Retaining walls have been in discussion at the township recently and are not clearly defined within the ordinance. It is well understood that retaining walls present notable safety risk of both fall injuries and wall collapse, which is why regulations under the Michigan State Building Code, BOCA, and other regulatory agencies specify construction standards and protective measures. We believe all residents must be equally protected by definitions and standards under Michigan Law, and seek to harmonize the interpretation to ensure those mandated protections. It is important to note that some residents are already benefitted from the definition of retaining wall found in the engineering standards.

A conditional description of a retaining wall being classified as a fence is found in the fence section ONLY pertaining to retaining walls extending at least 30" above the upper grade. This does not apply to most retaining walls and should be limited to consideration as defined in the fence section to those elevated structures.

6.01B6 (Fence Standards by Use) Retaining walls. Retaining walls shall be considered fences subject to the provisions of this Section **IF** the wall extends more than 30 inches above the adjacent ground level. Fences shall be required on top of retaining walls when required by the State Construction Code.

This is not a definition, as it is circular and fails on multiple levels without further examination as it presumes knowledge of the term not defined and precludes most applications of the wall.

Merriam Webster Defines a retaining wall (as is commonly understood) as:
"a wall that is built to keep the land behind it from sliding"

First and foremost in addition to being named a wall, it fits the Zoning Ordinance definition of a wall and structure in general under the ordinance:

226. Wall. A screening structure of definite height and location constructed of a masonry, concrete, rock or similar material.

also

since a retaining wall is a technical term regulated under state law by the Building Code and the township in the engineering standards and the ordinance specifies in 17.02.1:

"technical words and phrases which have acquired a particular and appropriate meaning in the law or within this Ordinance shall be construed and understood according to such particular and appropriate meaning."

under the state building code 2015

[RB] Wall, Retaining. A wall not laterally supported at the top, that resists lateral soil load and other imposed loads

Or

on the technical basis it is most relevant to adopt township language from the Superior Township Engineering Standards Manual. Since this manual is itself referenced and therefore included within the Zoning Ordinance, we request this interpretation be adopted

VIII (Grading).A.7

Any wall separating a differential grade of more than 12" shall be considered a retaining wall.

Request that the ZBA interpret and define a retaining wall as a wall and structure under the zoning ordinance (subject to ordinance restrictions such as article 3 and certificates of zoning compliance) consistent with the Superior Township engineering standards and/or 2015 State of MI Building Code:

Any wall separating a differential grade of more than 12" shall be considered a retaining wall.

Request for interpretation #3

Retaining wall height (article 17, article 3, article 6)

Retaining wall height calculation is not directly specified in the Zoning Ordinance, although it is found in the State Building Code and Superior Township Engineering Standards Manual

Retaining walls have been in discussion at the township recently and are not clearly defined within the ordinance (see #2) for application of zoning conformance and public safety. It is well understood that retaining walls present notable safety risk of both fall injuries and wall failure, which is why regulations under the Michigan State Building Code, BOCA, and other regulatory agencies specify construction standards and protective measures. We believe all residents must be equally protected by definitions and standards under Michigan law, and seek to harmonize the interpretation to ensure those mandated protections. Measurement for their dimensions is critical for proper engineering and zoning compliance efforts for health, safety, and welfare.

A conditional description of retaining wall height is found in the fence section ONLY pertaining to retaining walls extending at least 30" above the upper grade. This does not apply to most retaining walls and should be limited to consideration as defined in the fence section to those elevated structures.

6.01B6 (Fence Standards by Use) Retaining walls. Retaining walls shall be considered fences subject to the provisions of this Section **IF** the wall extends more than 30 inches above the adjacent ground level. Fences shall be required on top of retaining walls when required by the State Construction Code.

Further, on the matter of **WALL** height (since a retaining wall is always a wall regardless of whether also a fence) the Zoning Ordinance defines height:

Height. The vertical distance measured from the grade of the building to the top of the highest roof beams of a flat roof, to the deck line for mansard roofs and to the mean height level (between eaves and ridges) for gable, hip and gambrel roofs. Where a building is located upon a terrace, the height may be measured from the average grade of the terrace at the building wall. When a building faces on more than one road, the height shall be measured from the average of the grades at the center of each road front (see "Building Height" illustration).

This could be interpreted as meaning a wall is measured from the lowest grade (bottom) to the upper point of the structure (which is consistent with State Building Code methodology)

As noted, the Zoning Ordinance recognizes the possibility of overlapping requirements and specifies that the result is determined as the most restrictive measure

1.04.1 Minimum requirements. The provisions of this Ordinance shall be held to be the minimum required for promoting and protecting the public health, safety, and general welfare, and shall be uniform for each class of land, buildings, structures, or uses throughout each zoning district. Wherever the requirements of this Ordinance are at variance with the requirements of any other adopted rules, regulations, or ordinances, the most restrictive or those imposing the higher standards shall govern.

Definitions for retaining wall height are common due to its deep connection of safety concerns since a retaining wall is a technical term regulated under state law by the Building Code and the ordinance specifies in 17.02.1:

“technical words and phrases which have acquired a particular and appropriate meaning in the law or within this Ordinance shall be construed and understood according to such particular and appropriate meaning.”

we could also adopt the retaining wall height as provided by the state building code being “from the bottom of the footing to the top of the wall” (R105.2a(iii)). Although there are additional requirements for stacking of retaining walls and sloped grades at the top and bottom of the retaining wall.

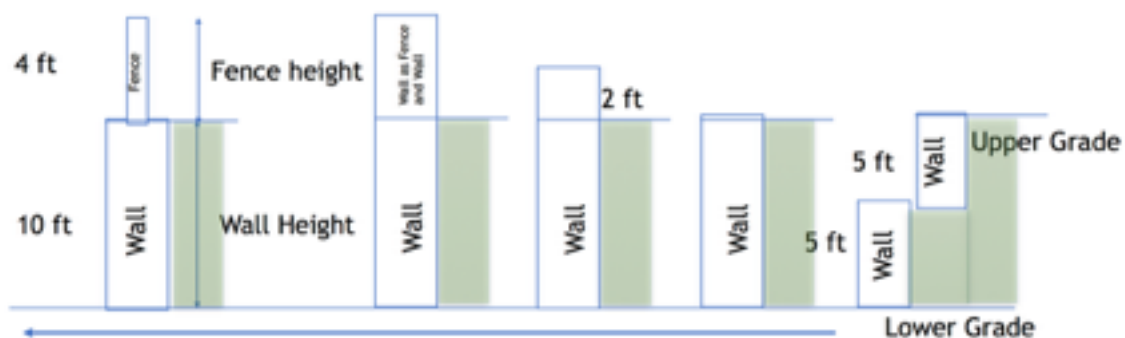
or more relevantly we could adopt the definition adopted by the Superior Township Engineering Manual (VIII A Grading) which itself is included in the Zoning Ordinance by reference and already used to protect some township residents:

- 8. Where retaining walls with differences in grade on either side of the wall in excess of 4 feet are located

Therefore retaining wall height could also be defined by the grade differences on either side of the wall to protect the safety of the public. Per 1.04.1, the most restrictive measurement should govern to protect the public, and not just residents of subdivisions already governed by the Engineering Standards.

We request that retaining wall height be interpreted consistent with any wall height under the ordinance, from the bottom of the wall to the top of the wall. In no event should the height of the retaining wall be measured as less than the differential between the lower and upper grade, nor the differential between the upper grade of any retaining wall within 2 feet of another retaining wall and the lower walls lowest grade, which should be correctly measured as a single unit if engineered together due to grade differential.

Attached is a graphic for discussion and consideration of implications as well as our requested interpreted wall heights.



| | A | B | C | D | E |
|-------|-------|------|-----------|-------|------|
| Fence | 4ft | 4 ft | NA (<30") | | |
| Wall | 10 ft | 14ft | 12 ft | 10 ft | 10ft |

Request for interpretation #4

Approved Road

The 2008 Zoning Ordinance in section 3.207 states:

Section 3.207 Access to Streets.

No dwelling shall be built on any lot that does not abut and have direct frontage on an APPROVED ROAD. Access to streets shall be subject to the following....

No definition of approved road is given. Further, the text does not substitute right of way, easement, or access for 'road' and does not specify 'allowed' or some other grandfathered provision as enabling new construction.

The definition of road is provided:

185.Road. A public or private thoroughfare or way, other than public alley, which affords principal means of access to adjacent land.

And is distinct (for example) from a right of way (also given)

184 Right-Of-Way. A strip of land acquired by reservation, dedication, forced dedication, prescription or condemnation and intended to be occupied, or occupied by, a road, utility, and other similar uses.

Since section 3.207 is clearly referencing new dwelling construction (not any particular grandfathered activity) and continues on to specify demands for emergency services and safety, we request that the ZBA interpret the ordinance for the sake of public safety as requiring that any lot to be built upon for a dwelling must have a record of a Superior Township approval for the frontage road as well as approval by the fire marshal.

Absent these indications, presumed roads could be unsafe for new dwelling construction in keeping with current ordinance standards and would not possess an approval meeting the ordinance requirement.

We request that the ordinance provision 3.207 'Approved Road' be interpreted as requiring a road having record of an approval in Superior Township.

**Request for interpretation #5
Accessory Structure (Article 17)**

The ordinance defines accessory structure as:

4. Accessory Use, Building, or Structure. A use, building, or structure which is clearly incidental to, customarily found in connection with, subordinate to, and is located on the same zoning lot as the principal use to which it is exclusively related. An accessory structure shall not include dwellings, or be used for residential or lodging purposes or sleeping quarters for human beings.

The definition of accessory structure raises questions about interpretations of structures that span 2 lots of record. It is conceivable that structures crossing lot lines may benefit only one of the impacted lots. In designing structures which have safety concerns or could impact environmental issues such as stormwater management the design, construction and maintenance of shared structures would be important to consider in order to protect residents and meet the purpose of the Zoning Ordinance. The presence of setback requirements, ownership rights, and esthetic concerns of multi-lot structure construction is an issue that could be critical to long term protection of the natural resources in the township.

The common language in the definition above indicates an intent to limit accessory structure definitions to a single principal use exclusively. In the event that multi-lot structures are contemplated, a finding of exclusive use, not benefiting a use on another lot, is indicated as required.

We request that accessory structure definition be interpreted to preclude structures placed on a lot other than the lot of its builder, sponsor, or dependent related primary use. We request that the exclusive use provision be determined for any structure meant to span a lot line be interpreted as unrelated to any lot that does not participate in its construction or require its presence for that lots primary use.

Request for interpretation #6
Site Plan Exemption Criteria (10.02.A.3.a)

The ordinance specifies exemption for certain projects from site plan review:

3. All RESIDENTIAL USES, as specified in Article 4.0 (Land Use Table), for which site plan approval is required per Article 5.0 (Use Standards). The following RESIDENTIAL USES shall be exempt from site plan approval:
 - a. One (1) single-family detached dwelling and customary accessory structures on an existing residential lot of record.

As evaluated in request for interpretation #5 above, situations may arise in the township where a development or structure construction (primary or accessory) could be proposed spanning multiple lots. In the event that multiple lots are involved, the language in the ordinance is plain in excluding plurality in lot of record and specifying “an”. It is not constructed to exempt from site plan review a dwelling or its planned and related accessory structures if there is a condition impacting multiple lots or a structure continues across lot lines. These circumstances would present complications requiring more thorough analysis to protect the purpose of the ordinance and review under site plan including setbacks.

We request that 10.02.A.3.a be interpreted to require that site plan exemption only applies to a residential development if it involves structures and uses exclusively contained on a single lot of record, not uses or structures spanning multiple lots of record or uses reliant on structures present and across or upon lots under disparate ownership.

Request for interpretation #7

Definition of Mass Grading (Article 17) within construction definition

42. Construction. The mass grading and similar site work conducted upon land in preparation for a new use, establishment of necessary site improvements for a new use, and development of a new structure, relocation of a structure, or addition to an existing structure on land in the Township.

Mass grading is not defined within the ordinance. Construction is an activity that is limited in scope within the township under article 3 without a permit. Given the limits on site modifications in article 3, a common interpretation for mass grading would be useful for future development in the township. Another limit present in the township and state Building Code is 4 ft for the construction of retaining walls (Michigan Building Code) without a permit. Grade changes beyond 30" for a driveway or walkway are also not allowed without a permit.

Similarly, excavation is defined under erection in article 17 and limited by article 3 without a permit.

68. Excavation. Any act by which an amount in excess of fifty (50) cubic yards of any soil or rock which is cut into, dug, quarried, uncovered, removed, displaced, or relocated in any calendar year is excavated or removed except excavation in connection with the construction of a building or within public highway rights-of-way.

In order to harmonize interpreted limitations of site modifications without a permit and contrast it from standard landscaping tasks without permit requirements,

we request that MASS GRADING be interpreted to be grade elevation changes of more than 30 inches or represented by earth removal or fill of more than 50 cubic yards.

This appeal to the ZBA is an appeal of the decision by Building Official / Zoning Administrator to issue building permit PB21-0218

This application seeks the ZBA to overturn the issuance of a building permit for a dangerous driveway without plan approval or issuance of a certificate of zoning compliance in violation of the superior township zoning ordinance.

On 11/4/21, Mr. Mayernik issued building permit PB21-0218 for "Driveway Construction. The scope of of this permit is limited to portions of the driveway which will exceed 30" above grade. Once constructed, temporary guards are required until such time as permits for the construction of the home are issued and work has commenced."

I have conducted multiple FOIA upon the township to remain informed about construction at the site of 5728 Geddes Rd. As recently as 11/10/21, there has been no approved and active Certificate of Zoning Compliance for the site at 5728 Geddes Rd in pursuit of construction of a residence.

Superior Township Zoning Ordinance 1.07G2 states "Any Certificate issued shall become invalid if the authorized work is suspended or abandoned for a period of 180 calendar days after time of commencing work". This indicates that no prior certificates (relating to land division or combination) are in force.

The Superior Township Ordinance states

1.06E.1.a Zoning Inspector Duties and Responsibilities

1. The Zoning Inspector shall administer and enforce this Ordinance precisely as written, and shall not modify, vary or ignore the terms of this Ordinance nor grant exceptions to the actual meaning of any clause, order or regulation.

a. It shall be unlawful for the Zoning Inspector to approve any plans or issue any permits, certificates of zoning compliance or other approvals under this Ordinance unless such plans have been determined to conform to all applicable provisions of this Ordinance.

1.07 Certificates of Zoning Compliance

B. Where Building Permit is Required.

All plans to be submitted to the Building Inspector for a building permit under the State Construction Code shall first be submitted for review and approval by the Zoning Inspector with respect to the requirements of this Ordinance. **No building permit shall be issued** unless a Certificate of Zoning Compliance has been issued by the Zoning Inspector for the same development and is in effect.

In short, given the uncertain nature of the proposed development at 5728 Geddes Rd, there is no authority granted to the building official or zoning administrator under the Zoning Ordinance for allowing a building permit for the site prior to issuance of a certificate of zoning compliance. The ordinance is not ambiguous. No building permit shall be issued.

We request that the driveway building permit be revoked, any and all violations of state building code (and/or township zoning ordinance) be noted and cited including findings of nuisances-per-say, and appropriate remedial action be ordered to return site conditions to their pre-construction conditions unless and until verification of zoning compliance can be ascertained. The con-

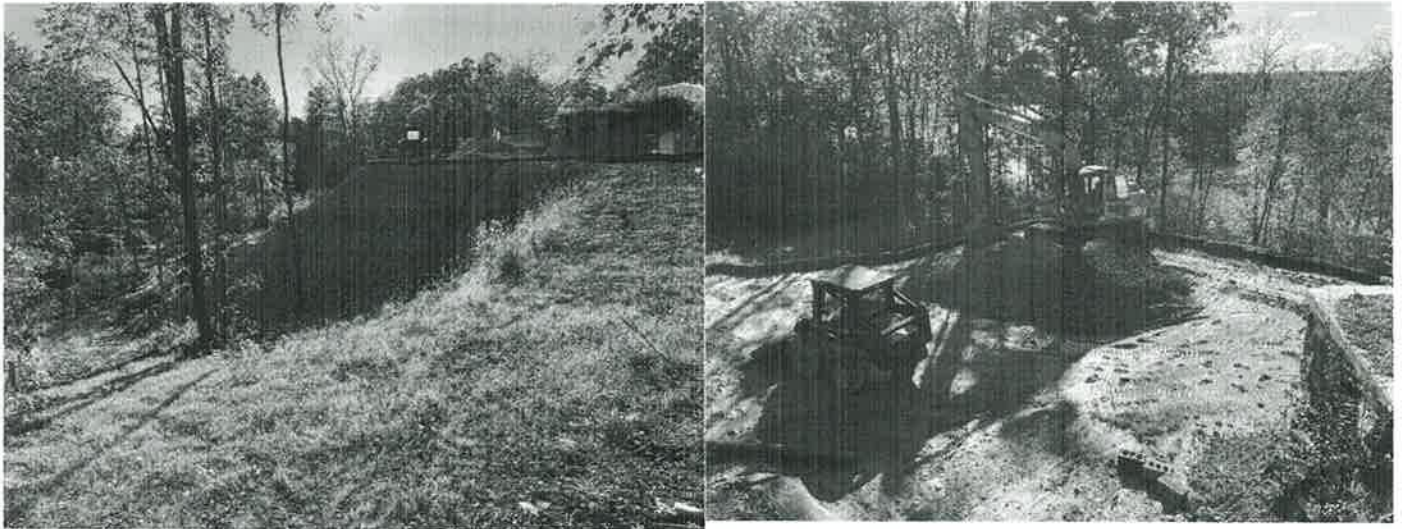
ditions onsite are not safe for humans nor the environment. It appears under the ordinance to be a nuisance per se. Unsupported walls have been noted onsite since at least June, 2021. Any further delays jeopardizes the public welfare and places undue risk upon township residents.

For history,

On or about 10/14/21, the zoning administrator was made aware of construction at 5728 Geddes Road that had been conducted without a building permit in violation of Michigan Building Code R105.2 - construction of a driveway in excess of 30" above adjacent grade

On 10/28/21, Mr. Mayernik acknowledged the presence of driveway construction at the site in excess of 30" above adjacent grade without a building permit requiring mitigation, stating "it would appear the height of the driveway surface exceeds 30" above grade at 36" horizontally." *see attached*

Mr Mayernik also possessed evidence that significant weight surcharge was frequently being placed upon this constructed elevated driveway without proven capacity and plan approval - demonstrated by photographs such as below showing massive construction equipment placed on unsupported/unretained elevated surfaces without guards. The exposed corner shown is perched above regulated wetlands. This surcharge presents a danger and a nuisance on the unpermitted construction.



On 11/2/21, Mr. Mayernik received a building permit application stating the scope of work as only "driveway" from an agent for 5728 Geddes Rd.

On 11/2/21, Mr. Mayernik also received a report from the Superior Township Planner at Carlisle Wortman (attached) stating that the site demonstrated that "complete failure of the upper retaining wall area seems appears possible" [sic] and continuing that "Lacking any engineering plans,

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we agree that concerns about the environmental impact of construction on this site are warranted”.

Despite the fact of completed construction prior to 11/2/21, the lack of an approved plan or zoning compliance for residence construction, and the presence of safety and environmental hazards at 5728 Geddes Rd, a building permit was issued without authority under the Superior Township Zoning Ordinance



BUILDING PERMIT APPLICATION (revised 3-3-14)

Charter Township of Superior
3040 N. Prospect, Ypsilanti, MI 48198
(734) 482-6099

Applicant to Complete All Items in Sections I, II, III, IV and V
NOTE: Separate Applications Must Be Completed for Plumbing, Mechanical, & Electrical

| I. JOB LOCATION | |
|---|---|
| Street Address of Job <i>5728 Geddes Rd Ann Arbor MI 48105</i> | Project Name/Subdivision <i>Mouliere</i> |

| II. IDENTIFICATION | | | |
|------------------------------------|--------------------|---------------------------------|------------------------------|
| A. OWNER OR LESSEE | | | |
| Name <i>Jean Marie Mouliere</i> | | Address <i>2107 Will St.</i> | |
| City <i>Ann Arbor</i> | State <i>MI</i> | Zip Code <i>48104</i> | Phone <i>734 545-4810</i> |

| B. APPLICANT INFORMATION | | | |
|---|--|--|---------------------------------|
| <input type="checkbox"/> HOMEOWNER | <input checked="" type="checkbox"/> CONTRACTOR | <input type="checkbox"/> ARCHITECT/ENGINEER | <input type="checkbox"/> AGENT |
| Name/ Company Name <i>Snyder Contracting LLC</i> | | License Number <i>2102206239</i> | Expiration Date <i>05/22</i> |
| Address <i>8650 Haven River Dr</i> | | City <i>Dexter</i> | State <i>MI</i> |
| Zip Code <i>48130</i> | | Telephone Number (Include Area Code) <i>(734) 545-4840</i> | |
| Federal Employer ID Number (or reason for exemption) <i>40-0915638</i> | | Worker's Compensation Insurance Carrier (or reason for exemption) <i>Accident Fund Insurance Company of America</i> | |
| MESC Employer Number (or reason for exemption) <i>No Employees</i> | | | |


| III. TYPE OF IMPROVEMENT AND PLAN REVIEW | | |
|---|--|--------------------------------------|
| A. PROPOSED USE OF BUILDING AND TYPE OF IMPROVEMENT | | |
| <input checked="" type="checkbox"/> RESIDENTIAL | <input type="checkbox"/> NON-RESIDENTIAL | |
| <input type="checkbox"/> New Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Mobile Home |
| <input type="checkbox"/> Alteration | <input type="checkbox"/> Repair | <input type="checkbox"/> Demolition |

| |
|--|
| <p>IF RESIDENTIAL-describe in detail scope of work; IF NONRESIDENTIAL-describe proposed use of building, e.g. food processing plant, machine shop, laundry building at hospital, elementary school, college parking garage, rental office building. If use of existing building is being changed, enter proposed use.</p> <p style="font-size: 2em; margin-top: 20px;"><i>Driveway</i></p> |
| |
| |
| |
| |
| |

APPLICATION FOR BUILDING PERMIT AND PLAN EXAMINATION - PAGE TWO

| IV. CHARACTERISTICS OF BUILDING | | | |
|---|---------------------------------------|---------------------------------------|--|
| A. TYPE OF WATER SUPPLY AND SEWAGE DISPOSAL | | | |
| <input type="checkbox"/> Public Water | <input type="checkbox"/> Public Sewer | <input type="checkbox"/> Private Well | <input type="checkbox"/> Septic System |
| B. DIMENSION/DATA | | | |
| <u>Floor Area</u> | <u>Alteration</u> | <u>New</u> | Construction Cost (or submit copy of contract) _____ |
| Basement | _____ | _____ | |
| 1st & 2nd Floor | _____ | _____ | |

| V. SIGNATURE |
|---|
| I HEREBY CERTIFY THAT THE PROPOSED WORK IS AUTHORIZED BY THE OWNER OF RECORD AND THAT I HAVE BEEN AUTHORIZED BY THE OWNER TO MAKE THIS APPLICATION AS HIS/HER AUTHORIZED AGENT, AND WE AGREE TO CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF MICHIGAN. ALL INFORMATION SUBMITTED ON OR WITH THIS APPLICATION IS ACCURATE TO THE BEST OF MY KNOWLEDGE. |
| Section 23a of the state construction code act of 1972, 1972 PA 230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Violator's of section 23a are subject to civil fines. |

| | |
|---|-----------------------------|
| APPLICANT SIGNATURE:  | DATE: <u>11/2/21</u> |
| PRINT NAME: <u>John Smith Daniel Snyder</u> | |

| BUILDING DEPARTMENT USE ONLY | | | |
|------------------------------|--|--------------------------|-----------------|
| | REQUIRED? | RECEIVED | NOTES |
| A. Zoning Review | <input type="checkbox"/> YES <input type="checkbox"/> NO | <input type="checkbox"/> | |
| B. Well/Septic Permit | <input type="checkbox"/> YES <input type="checkbox"/> NO | <input type="checkbox"/> | |
| C. Driveway Permit | <input type="checkbox"/> YES <input type="checkbox"/> NO | <input type="checkbox"/> | |
| D. Soil Erosion | <input type="checkbox"/> YES <input type="checkbox"/> NO | <input type="checkbox"/> | |
| E. Utility Charges | <input type="checkbox"/> YES <input type="checkbox"/> NO | <input type="checkbox"/> | |
| F. Wetlands | <input type="checkbox"/> YES <input type="checkbox"/> NO | <input type="checkbox"/> | |
| Data _____ | | | |
| | | | |
| | | | |
| | | | |
| Construction Type | Use Group | Square Footage | Occupant Load |
| Parcel Number | | Valuation | Zoning District |
| Approval Signature | | Date | Permit Fee |

SUPERIOR CHARTER TOWNSHIP**Building Permit No: PB21-0218**

Building and Zoning Department

3040 North Prospect

Ypsilanti, Michigan 48198

Phone: (734) 482-6099

Fax: (734) 482-3842

Hours: Monday-Friday 8:30 am - 4:30 pm

5728 GEDDES RD

Location

J-10-30-400-061

MOULIERE JEAN-MARIE L & INGRID D

Owner

2107 HILL ST

ANN ARBOR

MI

48104

Issued: 11/04/21**PLEASE CALL (734) 482-6099 FOR AN INSPECTION 24 HOURS IN ADVANCE.**

Snyder Contracting LLC

Contractor

8650 Huron River Dr

Dexter

MI

48130

Work Description: Driveway construction. The scope of this permit is limited to portions of the driveway which will exceed 30" above grade. Once constructed, temporary guards are required until such time as permits for the construction of the home are issued and work has commenced.

Permit Item

Work Type

No. of Items

Item Total

Minimum Permit Fee

Permit Fee

1.00

\$100.00

Richard Mayernik - Building Official**Fee Total: \$100.00**

I agree this permit is only for the work described, and does not grant permission for additional or related work which requires separate permits. I understand that this permit will expire, and become null and void if work is not started within 180 days, or if work is suspended or abandoned for a period of 180 days at any time after work has commenced; and, that I am responsible for assuring all required inspections are requested in conformance with the applicable code. I hereby certify that the proposed work is authorized by the owner, and that I am authorized by the owner to make this application as his authorized agent. I agree to conform to all applicable laws of the State of Michigan and the local jurisdiction. All information on the permit application is accurate to the best of my knowledge.

Payment of permit fee constitutes acceptance of the above terms.

RE: Report a Violation of State Building Code / Nuisance

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exhibit

From: Rick Mayernik (rmayernik@superior-twp.org)

To: mattaschuster@yahoo.com

Date: Thursday, October 28, 2021, 1:15 PM EDT

Mr. Schuster,

The 2015 Michigan Residential Code Section R105.2(a)(v) exempts sidewalks and driveways from permit requirements where they are less than 30" above the adjacent grade. This 30" provision of the Code relates to other portions of the Code which require guards where open floor areas exceed 30" above adjacent floor levels or grade. While a measurement method is not addressed in R105.2(a)(v), the adjacent grade for guards is established as 36" horizontally from the walking surface. While I did not make any site measurements, it would appear the height of the driveway surface exceeds 30" above grade at 36" horizontally. The obvious intent of the State's revision of the ICC language (ICC exempts all sidewalks and drives without exception) is to address guards for safety. Other than the permit requirement, the Michigan Residential Code is silent on any materials and methods of driveway construction.

As you well know, this driveway construction is a portion of a larger project in which the current drop off will be mitigated. While a building permit application for the home at 5728 Geddes has been received, it's issuance is not assured. As such and prior to the issuance of a full permit, I will require a building permit application be submitted for portions of the driveway where the adjacent grade drop off at 36" horizontally exceeds 30".

Richard Mayernik

From: Matt Schuster <mattaschuster@yahoo.com>
Sent: Wednesday, October 27, 2021 6:24 PM
To: Rick Mayernik <rmayernik@superior-twp.org>
Subject: Re: Report a Violation of State Building Code / Nuisance

Mr. Mayernik,

I wanted to follow up on my email to you dated 11/14, to which I have not yet received a response as requested.

At the time, I was reporting construction in violation of the state building code which has continued to this day. As I indicated, the state building code prohibits construction of a driveway more than 30" above adjacent grade without a permit.

Beyond the previous activities I cited, the neighboring parcel has continued to park on the surface (see attached photo).

They have also submitted to you an incomplete set of drawings/permit application (not approved) clearly indicating the area under construction is indeed a driveway as well as showing the grade differential exceeding state building code limits without a permit.

Today, again without permit, they have spread the gravel stored on the driveway to completely cover the driveway area shown within the plans.

At this point, construction is functionally complete for a gravel driveway that clearly violates building code. It appears to be intentional that they are acting without either a certificate of zoning compliance or building permit. This appears to be a violation of township ordinance 1.07.

This surface is both a safety risk and a nuisance that should be abated. Please advise me of your findings, I am concerned someone will be injured on the non-compliant conditions and I fear further delays will increase personal risk with freezing temperatures and frost already present locally.

Matt Schuster

248 790-5650

On Thursday, October 14, 2021, 1:04:09 PM EDT, Matt Schuster <mattaschuster@yahoo.com> wrote:

Mr. Mayernik,

I know that you have not been receiving regular plans to review for the activities at 5728 Geddes Rd, but I wanted to provide you notice of a concern about the site as the Superior Township Building Official. To the best of my knowledge, the builder/owners have not applied for building permits. I received the attached Soil and Erosion Control Plans that were submitted to Washtenaw County in July 2021, and I am unsure if you previously received a copy.

Upon review of it and recent work completed onsite, I felt the need to report a building code violation to you. I am not an expert on state building code, and there are likely other

relevant sections impacted by their efforts.

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As you are likely aware, driveway and walkway construction is generally an exempt activity under the MI state building code and township zoning ordinance. There is an important exception in the state building code: R105.2 limits the exemption from requiring a building permit to "A sidewalk or driveway that is not more than 30 inches (762 mm) above adjacent grade...". This driveway elevation limit is also recognized at the township on the document titled "Permits Not Required for the Following Work Relating to One and Two Family Dwellings" where #5 mentions the limit of less than 30 inches above adjacent grade (attached). The state building code infraction about adjacent grade is not dependent on a retaining wall, which is a separate/distinct structure limited exclusion also mentioned under R105.2.

I marked a red X on the soil and erosion plan showing where the property at 5728 has initiated construction of a driveway or walkway well beyond 30" above adjacent grade. On the site plan, this section is labelled 'future permanent driveway' and has been shown in several preliminary plans I am aware of as requiring retaining walls materially beyond 4' in height. It is clearly their demonstrated intent that this is a driveway, and I believe they have purposely attempted to circumvent the state building code by misrepresenting (as recently as July) its construction status. Work has clearly been conducted. The only remaining incomplete portion of the driveway construction appears to be final surfacing. I have numerous photographs and evidence of the efforts creating the driveway, as well as surveyed elevations.

I included lateral photographs and overhead photos showing that they have begun depositing gravel in this area and parking equipment on the constructed driveway, which is well in excess of 30" above adjacent grade. At various points in the past two months they have parked passenger vehicles, a skid loader, a bulldozer, a dump truck, and/or trailers on this location for multiple day periods. It is in active use as a driveway.

These un-stabilized sheer surfaces present a danger of collapse. Already, deep erosion can be seen in their surfaces. This area is readily accessible to township residents and the unmarked drop-off represents a significant safety hazard and a nuisance, particularly as we head into winter. These surfaces are in close proximity to the state and township regulated wetlands, and any degradation onsite will impact these wetlands and therefore the Huron river. It is important to note that erosion control components reflected in the plan (strawbale retaining walls, erosion control blanketing, and grass plantings) were never undertaken in favor or continued work on these elevated surfaces - increasing the erosion concerns.

I believe the lack of approved plans and permitting for the construction efforts onsite is in clear violation of the state building code, which is intended to protect the public. I believe these activities are a Nuisance per Se and should be cited as a violation for abatement to protect the public. I ask for your review of this matter as the Superior Township Building Official, and would appreciate an update of your findings.



Carlisle | Wortman

ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

To: Rick Mayernik, Superior Township Building and Zoning Official
From: Chris Nordstrom, Township Wetland Consultant
Ben Carlisle, Township Planner
Date: November 2, 2021
RE: Construction Impact Inspection for 5728 Geddes Road

As requested by the Township, Chris Nordstrom of CWA completed a site inspection on Tuesday, October 26, 2021, to evaluate the environmental impact of construction on wetlands on the site and on the Huron River. Chris was accompanied by Mr. Mayernik.

The contractors have properly installed silt erosion fencing throughout the site to help mitigate the erosion, both at the point of the construction and near the wetland edge at the bottom of the slope. Delays in completing the construction, combined with heavy rains throughout the summer, have led to significant erosion. In some spots, the silt fencing is in danger of complete failure, with silt runoff at or near the top of the fence. Erosion is evident throughout the site and unless remediation measures are implemented quickly, complete failure of the upper retaining wall area seems appears possible.

The site is challenging, with slopes of around 37% at the steepest points. It may be possible to construct a retaining wall system that would both hold the existing soil in place and control stormwater runoff. To the best of our knowledge, the Township has not received any engineering drawings showing the configuration of the proposed retaining wall and stormwater control system. Lacking any engineering plans, we agree that concerns about the environmental impact of construction on this site are warranted.

Please let me know if you have any questions.

CARLISLE/WORTMAN ASSOC., INC.
Chris Nordstrom, PLA, ASLA
Landscape Architect



Photo 1: Silt fence failure at bottom of slope



Photo 2: Erosion along slope (typical)



Photo 3: Erosion along slope



Photo 4: Runoff undercutting silt fencing

MEMO

DATE: December 21, 2021

TO: Charter Township of Superior Zoning Board of Appeals

FROM: Richard Mayernik, Building/Zoning Official



RE: Matthew Schuster ZBA Interpretation Request

The applicant (Mr. Schuster) has requested the Zoning Board of Appeal to provide interpretations of the Zoning Ordinance for seven (7) questions. The following pages include my comments related to each question.

Request for zoning ordinance interpretation #1 Guard Rails, Guards, Railings (indications in article 6.01B5 and 6.01B6, etc)

Requested interpretation that fences, guards, guard rails, or other named protective structures required under the state building code or BOCA around construction sites, atop grade differentials, or retaining walls must comply with the Superior Township Zoning Ordinance including provisions governing structures and certificates of zoning compliance

Response:

On the attached pages, is the definition of a “guard” from page 18 of the 2015 Michigan Residential Code (MRC) and the definition of “fence” found on page 17-22 of the Zoning Ordinance. The term “guard” is not defined within the Zoning Ordinance and likewise, the term “fence” is not defined within the MRC.

The differences between the definitions is clear; guards are for safety and to “minimize the possibility of a fall” whereas fences serve as a physical barrier to ingress/egress or as a screen or enclosure.

Unlike guards, fences are not mandatory at certain locations (see page 70 MRC) and fences do not have specific structural loading as do guards (see page 53 MRC). For the Zoning Ordinance to prohibit or otherwise regulate guards required by the MRC is contrary to the intent of the Zoning Ordinance and violates the Stille-Derossett-Hale Single State Construction Code Act 230 of 1972.

For the above listed reasons, I ask that the ZBA find that guards required by the MRC are not fences and are not regulated by the Zoning Ordinance.

DEFINITIONS

FURNACE. A vented heating *appliance* designed or arranged to discharge heated air into a *conditioned space* or through a duct or ducts.

[RB] GLAZING AREA. The interior surface area of all glazed fenestration, including the area of sash, curbing or other framing elements, that enclose *conditioned space*. Includes the area of glazed fenestration assemblies in walls bounding conditioned *basements*.

[RB] GRADE. The finished ground level adjoining the building at all *exterior walls*.

[RB] GRADE FLOOR OPENING. A window or other opening located such that the sill height of the opening is not more than 44 inches (1118 mm) above or below the finished ground level adjacent to the opening.

GRADE, PIPING. See "Slope."

[RB] GRADE PLANE. A reference plane representing the average of the finished ground level adjoining the building at all *exterior walls*. Where the finished ground level slopes away from the *exterior walls*, the reference plane shall be established by the lowest points within the area between the building and the *lot line* or, where the *lot line* is more than 6 feet (1829 mm) from the building between the structure and a point 6 feet (1829 mm) from the building.

GRAY WATER. Waste discharged from lavatories, bathtubs, showers, clothes washers and laundry trays.

GRIDDED WATER DISTRIBUTION SYSTEM. A water distribution system where every water distribution pipe is interconnected so as to provide two or more paths to each fixture supply pipe.

[RB] GROSS AREA OF EXTERIOR WALLS. The normal projection of all *exterior walls*, including the area of all windows and doors installed therein.

GROUND-SOURCE HEAT PUMP LOOP SYSTEM. Piping buried in horizontal or vertical excavations or placed in a body of water for the purpose of transporting heat transfer liquid to and from a heat pump. Included in this definition are closed loop systems in which the liquid is recirculated and open loop systems in which the liquid is drawn from a well or other source.

[RB] GUARD. A building component or a system of building components located near the open sides of elevated walking surfaces that minimizes the possibility of a fall from the walking surface to the lower level.

[RB] GUESTROOM. Any room or rooms used or intended to be used by one or more guests for living or sleeping purposes.

[RB] GYPSUM BOARD. The generic name for a family of sheet products consisting of a noncombustible core primarily of gypsum with paper surfacing. Gypsum wallboard, gypsum sheathing, gypsum base for gypsum *vener* plaster, exterior gypsum soffit board, predecorated gypsum board and water-resistant gypsum backing board complying with the standards listed in Section R702.3 and Part IX of this code are types of gypsum board.

[RB] GYPSUM PANEL PRODUCT. The general name for a family of sheet products consisting essentially of gypsum.

[RB] HABITABLE SPACE. A space in a building for living, sleeping, eating or cooking. Bathrooms, toilet rooms, closets, halls, storage or utility spaces and similar areas are not considered *habitable spaces*.

[RB] HANDRAIL. A horizontal or sloping rail intended for grasping by the hand for guidance or support.

HANGERS. See "Supports."

HAZARDOUS LOCATION. Any location considered to be a fire hazard for flammable vapors, dust, combustible fibers or other highly combustible substances.

HEAT PUMP. An *appliance* having heating or heating and cooling capability and that uses refrigerants to extract heat from air, liquid or other sources.

[RE] HEATING DEGREE DAYS (HDD). The sum, on an annual basis, of the difference between 65°F (18°C) and the mean temperature for each day as determined from "NOAA Annual Degree Days to Selected Bases Derived from the 1960-1990 Normals" or other weather data sources acceptable to the code official.

[RB] HEIGHT, BUILDING. The vertical distance from *grade plane* to the average height of the highest roof surface.

[RB] HEIGHT, STORY. The vertical distance from top to top of two successive tiers of beams or finished floor surfaces; and, for the topmost *story*, from the top of the floor finish to the top of the ceiling joists or, where there is not a ceiling, to the top of the roof rafters.

[RE] HIGH-EFFICACY LAMPS. See Section N1101.6 for definition applicable in Chapter 11.

HIGH-TEMPERATURE (H.T.) CHIMNEY. A high temperature chimney complying with the requirements of UL 103. A Type H.T. chimney is identifiable by the markings "Type H.T." on each chimney pipe section.

[RB] HILL. With respect to topographic wind effects, a land surface characterized by strong relief in any horizontal direction.

[RB] HISTORIC BUILDING. Buildings that are listed in or eligible for listing in the National Register of Historic Places, or designated as historic under an appropriate state or local law.

HORIZONTAL BRANCH, DRAINAGE. A drain pipe extending laterally from a soil or waste stack or *building drain*, that receives the discharge from one or more *fixture drains*.

HORIZONTAL PIPE. Any pipe or fitting that makes an angle of less than 45 degrees (0.79 rad) with the horizontal.

HOT WATER. Water at a temperature greater than or equal to 110°F (43°C).

[RB] HURRICANE-PRONE REGIONS. Areas vulnerable to hurricanes, defined as the U.S. Atlantic Ocean and Gulf of Mexico coasts where the ultimate design wind speed, V_{ult} , is greater than 115 miles per hour (51 m/s), and Hawaii, Puerto Rico, Guam, Virgin Islands and America Samoa.

HYDROGEN-GENERATING APPLIANCE. A self-contained package or factory-matched packages of integrated

including barns, silo, granary, milkhouse, and similar structures, but not including any building used as a dwelling.

- c. **Farm Labor Housing.** Temporary facilities provided for the housing of workers who are employed in the seasonal planting, harvesting, or processing of crops. This term is synonymous with "migratory labor camp."
 - d. **Feed Lot.** Includes any of the following facilities:
 - (1) any tract of land or structure wherein any type of fowl or the by-products thereof are raised for sale at wholesale or retail; and
 - (2) any structure, pen, or corral wherein cattle, horses, sheep, goats, or swine are maintained in close quarters for the purpose of fattening such livestock for final shipment to market.
 - e. **Livestock or Farm Animals.** Animals used for human food and fiber or animals used for service to humans, including cattle, swine, sheep, llamas, goats, bison, equine, poultry, and rabbits. Farm animals do not include companion animals, such as dogs and cats, which are capable of being trained and adapting to living in a human environment.
78. **Fence.** Linear structures or partitions of definite height and location erected upon or near the dividing line between adjoining owners intended to serve as: a physical barrier to ingress or egress; a screen from objectionable vista or noise; a marker; an enclosure in carrying out the requirements of this Ordinance; or for decorative use.
- a. **Chain-link fence.** A fence constructed of galvanized steel or similar materials as approved by the Building Inspector for the purpose of enclosing or securing an area.
 - b. **Ornamental fence.** A fence consisting of wrought iron, galvanized steel, aluminum, vinyl, wood or similar materials fabricated into a design with specific pattern elements or ornamentation, and which does not block vision to an extent greater than fifty percent (50%). Ornamental fences shall not include chain-link or wire fences or fences of similar construction.
 - c. **Privacy fence.** A fence constructed of wood, vinyl or similar materials that blocks vision to an extent greater than fifty percent (50%) for the purpose of obscuring or screening an area from public view.
 - d. **Rail fence.** A fence constructed of wood, vinyl or similar materials and consisting of one (1) to four (4) horizontal rails connecting to vertical posts spaced a minimum of six (6) feet apart, and which does not block vision to an extent greater than fifty percent (50%).
 - e. **Temporary fence.** A fence constructed of canvas, plastic, chain-link, wood or similar material for the purpose of enclosing or securing an area for a limited period of time; for securing a construction site against unauthorized access; or for public safety at a special event [amended 4/1/2011, Ord. 174-05].

R311.7.12 Ships ladders. Ships ladders shall not be used as an element of a means of egress. Ships ladders shall be permitted provided that a required means of egress stairway or ramp serves the same space at each adjoining level or where a means of egress is not required. The clear width at and below the handrails shall be not less than 20 inches.

R311.7.12.1 Treads of ships ladders. Treads shall have a depth of not less than 5 inches (127 mm). The tread shall be projected such that the total of the tread depth plus the nosing projection is not less than 8½ inches (216 mm). The riser height shall be not more than 9½ inches (241 mm).

R311.7.12.2 Handrails of ships ladders. Handrails shall be provided on both sides of ships ladders and shall comply with Sections R311.7.8.2 to R311.7.8.4. Handrail height shall be uniform, not less than 30 inches (762 mm) and not more than 34 inches (864 mm).

R311.8 Ramps.

R311.8.1 Maximum slope. Ramps serving the egress door required by Section R311.2 shall have a slope of not more than 1 unit vertical in 12 units horizontal (8.3-percent slope). All other ramps shall have a maximum slope of 1 unit vertical in 8 units horizontal (12.5 percent).

Exception: Where it is technically infeasible to comply because of site constraints, ramps shall have a slope of not more than 1 unit vertical in 8 units horizontal (12.5 percent).

R311.8.2 Landings required. There shall be a floor or landing at the top and bottom of each ramp, where doors open onto ramps, and where ramps change directions. The width of the landing perpendicular to the ramp slope shall be not less than 36 inches (914 mm).

R311.8.3 Handrails required. Handrails shall be provided on not less than one side of ramps exceeding a slope of one unit vertical in 12 units horizontal (8.33-percent slope).

R311.8.3.1 Height. Handrail height, measured above the finished surface of the ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

R311.8.3.2 Grip size. Handrails on ramps shall comply with Section R311.7.8.3.

R311.8.3.3 Continuity. Handrails where required on ramps shall be continuous for the full length of the ramp. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1½ inches (38 mm) between the wall and the handrails.

SECTION R312 GUARDS AND WINDOW FALL PROTECTION

R312.1 Guards. *Guards* shall be provided in accordance with Sections R312.1.1 through R312.1.4.

R312.1.1 Where required. *Guards* shall be located along open-sided walking surfaces, including stairs, ramps and

landings, that are located more than 30 inches (762 mm) measured vertically to the floor or *grade* below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a *guard*.

R312.1.2 Height. Required *guards* at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) in height as measured vertically above the adjacent walking surface or the line connecting the leading edges of the treads.

Exceptions:

1. *Guards* on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.
2. Where the top of the *guard* serves as a handrail on the open sides of stairs, the top of the *guard* shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm) as measured vertically from a line connecting the leading edges of the treads.

R312.1.3 Opening limitations. Required *guards* shall not have openings from the walking surface to the required *guard* height that allow passage of a sphere 4 inches (102 mm) in diameter.

Exceptions:

1. The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a *guard*, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
2. *Guards* on the open side of stairs shall not have openings that allow passage of a sphere 4¾ inches (111 mm) in diameter.

R312.1.4 Exterior plastic composite guards. Plastic composite exterior *guards* shall comply with the requirements of Section R317.4.

R312.2 Window fall protection. Window fall protection shall be provided in accordance with Sections R312.2.1 and R312.2.2.

R312.2.1 Window sills. In dwelling units, where the top of the sill of an operable window opening is located less than 24 inches (610 mm) above the finished floor and greater than 72 inches (1829 mm) above the finished *grade* or other surface below on the exterior of the building, the operable window shall comply with one of the following:

1. Operable windows with openings that will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening where the opening is in its largest opened position.
2. Operable windows that are provided with window fall prevention devices that comply with ASTM F2090.
3. Operable windows that are provided with window opening control devices that comply with Section R312.2.2.

R312.2.2 Window opening control devices. Window opening control devices shall comply with ASTM F2090.

dance with Section R322. Buildings and structures that are located in more than one flood hazard area shall comply with the provisions associated with the most restrictive flood hazard area. Buildings and structures located in whole or in part in identified floodways shall be designed and constructed in accordance with ASCE 24.

R301.2.4.1 Alternative provisions. As an alternative to the requirements in Section R322, ASCE 24 is permitted subject to the limitations of this code and the limitations therein.

R301.3 Story height. The wind and seismic provisions of this code shall apply to buildings with *story heights* not exceeding the following:

1. For wood wall framing, the *story height* shall not exceed 11 feet 7 inches (3531 mm) and the laterally unsupported bearing wall stud height permitted by Table R602.3(5).
2. For cold-formed steel wall framing, the *story height* shall be not more than 11 feet 7 inches (3531 mm) and the unsupported bearing wall stud height shall be not more than 10 feet (3048 mm).
3. For masonry walls, the *story height* shall be not more than 13 feet 7 inches (4140 mm) and the bearing wall clear height shall be not greater than 12 feet (3658 mm).

Exception: An additional 8 feet (2438 mm) of bearing wall clear height is permitted for gable end walls.
4. For insulating concrete form walls, the maximum *story height* shall not exceed 11 feet 7 inches (3531 mm) and the maximum unsupported wall height per *story* as permitted by Section R608 tables shall not exceed 10 feet (3048 mm).
5. For structural insulated panel (SIP) walls, the *story height* shall be not greater than 11 feet 7 inches (3531 mm) and the bearing wall height per *story* as permitted by Section R610 tables shall not exceed 10 feet (3048 mm).

Individual walls or wall studs shall be permitted to exceed these limits as permitted by Chapter 6 provisions, provided that *story heights* are not exceeded. An engineered design shall be provided for the wall or wall framing members where the limits of Chapter 6 are exceeded. Where the *story height* limits of this section are exceeded, the design of the building, or the noncompliant portions thereof, to resist wind and seismic loads shall be in accordance with the *International Building Code*.

R301.4 Dead load. The actual weights of materials and construction shall be used for determining dead load with consideration for the dead load of fixed service *equipment*.

R301.5 Live load. The minimum uniformly distributed live load shall be as provided in Table R301.5.

TABLE R301.5
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
(in pounds per square foot)

| USE | LIVE LOAD |
|---|------------------|
| Uninhabitable attics without storage ^b | 10 |
| Uninhabitable attics with limited storage ^{b, e} | 20 |
| Habitable attics and attics served with fixed stairs | 30 |
| Balconies (exterior) and decks ^e | 40 |
| Fire escapes | 40 |
| Guards and handrails ^d | 200 ^h |
| Guard in-fill components ^f | 50 ^h |
| Passenger vehicle garages ^a | 50 ^a |
| Rooms other than sleeping rooms | 40 |
| Sleeping rooms | 30 |
| Stairs | 40 ^c |

For SI: 1 pound per square foot = 0.0479 kPa, 1 square inch = 645 mm²,
1 pound = 4.45 N.

- a. Elevated garage floors shall be capable of supporting a 2,000-pound load applied over a 20-square-inch area.
- b. Uninhabitable *attics* without storage are those where the clear height between joists and rafters is not more than 42 inches, or where there are not two or more adjacent trusses with web configurations capable of accommodating an assumed rectangle 42 inches in height by 24 inches in width, or greater, within the plane of the trusses. This live load need not be assumed to act concurrently with any other live load requirements.
- c. Individual stair treads shall be designed for the uniformly distributed live load or a 300-pound concentrated load acting over an area of 4 square inches, whichever produces the greater stresses.
- d. A single concentrated load applied in any direction at any point along the top.
- e. See Section R507.1 for decks attached to *exterior walls*.
- f. *Guard* in-fill components (all those except the handrail), balusters and panel fillers shall be designed to withstand a horizontally applied normal load of 50 pounds on an area equal to 1 square foot. This load need not be assumed to act concurrently with any other live load requirement.
- g. Uninhabitable *attics* with limited storage are those where the clear height between joists and rafters is not greater than 42 inches, or where there are two or more adjacent trusses with web configurations capable of accommodating an assumed rectangle 42 inches in height by 24 inches in width, or greater, within the plane of the trusses.

The live load need only be applied to those portions of the joists or truss bottom chords where all of the following conditions are met:

 1. The *attic* area is accessible from an opening not less than 20 inches in width by 30 inches in length that is located where the clear height in the *attic* is not less than 30 inches.
 2. The slopes of the joists or truss bottom chords are not greater than 2 inches vertical to 12 units horizontal.
 3. Required insulation depth is less than the joist or truss bottom chord member depth.

The remaining portions of the joists or truss bottom chords shall be designed for a uniformly distributed concurrent live load of not less than 10 pounds per square foot.
- h. Glazing used in handrail assemblies and *guards* shall be designed with a safety factor of 4. The safety factor shall be applied to each of the concentrated loads applied to the top of the rail, and to the load on the in-fill components. These loads shall be determined independent of one another, and loads are assumed not to occur with any other live load.

Request for interpretation #2 Retaining wall definition (article 17, article 3, article 6, etc).
Retaining wall is not defined in the ordinance

Request that the ZBA interpret a retaining wall as a wall and structure under the zoning ordinance (subject to ordinance restrictions such as article 3 and certificates of zoning compliance) consistent with the Superior Township engineering standards and/or 2015 State of MI Building Code:

Any wall separating a differential grade of more than 12" shall be considered a retaining wall and a structure.

Response:

Section 17.02.226 defines a wall as “screening structure of definite height and location constructed of a masonry, concrete, rock or similar material”. Section 17.02.207 defines a structure as “anything constructed or erected, the use of which requires location on the ground or attachment to something having location on the ground, including, but not limited to, buildings, mobile homes, aboveground swimming pools, radio towers, sheds, signs and storage bins, but excluding sidewalks and paving on roads, driveways, parking areas and patios”.

The applicant is correct that “retaining wall” is not a defined term within the Zoning Ordinance. While I agree that a retaining wall meets the definition of a “wall” and is a constructed on the ground, a retaining wall is more akin to a paving on a road in that both serve a similar purpose and therefore should be excluded from the definition of a structure. To interpret retaining walls as requested by the applicant would severely limit their locations. I contend that this is not the intent of the Zoning Ordinance.

The ZBA should adopt MRC definition of “wall, retaining” to mean to walls separating differential grades. I further ask that the ZBA interpret that retaining walls are “Permitted Yard Encroachments” per Section 3.203(G)(1) unless such retaining walls exceed 4 feet in height measured from the ground level at the higher side of the wall and that retaining walls located within the right-of-way easement for public or private roads that are necessary for the construction of such roads, be exempt from setback requirements.

Finally, since the definition of “Accessory Use, Building or Structure” limits a structure to be located “on the same zoning lot as the principal use”, if the ZBA adopts my recommendation that a retaining wall not be treated as a “structure” this restriction would not be applicable. If a retaining wall is located within right-of-way easements and is necessary for the construction of the road/drive it should not be treated as a structure and therefore be exempt from being located entirely on the same zoning lot as the principal use.

225. **Viewshed.** The total physiographic area, composed of land, water, biotic, and other environmental and cultural elements, visible from one (1) or more fixed vantage points (such as a series of views along a roadway, or the view from the perspective of one riverfront dwelling).
- 225a. **Volatile Farm-Based Biofuel Production Facility.** An accessory use, clearly incidental and subordinate to an active farm operation lawfully operating on the same zoning lot, in which biofuel (as defined in this Section) is derived from recently living organisms or their metabolic by-products. This term shall include all equipment, storage tanks, and other improvements needed to produce, store, and transport the biofuel in a manner that meets all federal, state, and Township standards and limitations [amended 12/16/2013, Ord. 174-14].
226. **Wall.** A screening structure of definite height and location constructed of a masonry, concrete, rock or similar material.
227. **Warehouse.** A building used for short- and/or long-term storage in connection with production and marketing or in connection with manufacturing, freight handling, wholesaling, and retailing. See also "**Distribution Center**" and "**Truck Terminal.**"
228. **Watercourse.** Any waterway including a river, stream, lake, pond or any body of surface water having definite banks, a bed and visible evidence of a continued flow or continued occurrence of water.
229. **Water Supply System.** Facilities for collection, transportation, processing, or distribution of sanitary drinking water serving or intended to serve more than one principal dwelling unit, principal use, or principal building; including all potable water sources, treatment and purification facilities, pumps, lines, and appurtenances.
- a. **Publicly-Owned and Operated Water System.** A water supply system owned and operated by one or more governmental entities.
- b. **Community Well.** A water supply system serving more than one (1) dwelling that is owned by a non-governmental entity.
230. **Wetland.** Lands transitional between terrestrial and aquatic systems where the water table is usually at or near the land surface or the land is saturated with or covered by water. Some wetland areas are more commonly referred to as bogs, swamps or marshlands. Wetlands shall also have one (1) or more of the following attributes:
- a. At least periodically, the land supports predominantly hydrophytes.
- b. The substrate is predominantly un-drained hydric soil.
- c. The substrate is saturated with water or covered by shallow water at some time during the growing season of each year.
231. **Wetland Ordinance.** Ordinance No. 135, duly adopted by the Superior Charter Township Board, entitled "Wetland and Watercourse Protection and Restoration."
232. **Wetland, Regulated.** Certain wetlands as regulated by the Michigan Department of Environmental Quality (MDEQ) or the Township's Wetland Ordinance.

of Michigan under the Adult Foster Care Facility Licensing Act (P.A. 218 of 1979, as amended) or Child Care Organizations Act (P.A. 116 of 1973, as amended).

203. **Steep Slopes.** A rise of 25 feet or more over a distance of 100 feet, or any existing slope of twenty five percent (25%) or greater.
204. **Story.** That part of a building, except a basement or mezzanine as defined herein, included between the upper surface of any floor and the upper surface of the floor or roof next above it (see "**Basic Structural Terms**" illustration).
- a. A mezzanine shall be deemed a full story when it covers more than one-third (1/3) of the area of the story underneath, or, if the vertical distance from the floor next below the mezzanine to the floor above it is 24 feet or more.
 - b. A basement shall be deemed a full story when the vertical distance from the average grade to the floor below is half than the vertical distance from the average grade to the ceiling.
205. **Story, Half.** An uppermost story lying under a sloping roof having an area of at least 200 square feet in area with a clear ceiling height of seven (7) feet six (6) inches. For the purposes of this ordinance, the usable floor area is only that area having at least five (5) feet clear height between floor and ceiling.
206. **Street.** See "**Road.**"
207. **Structure.** Anything constructed or erected, the use of which requires location on the ground or attachment to something having location on the ground, including, but not limited to, buildings, mobile homes, aboveground swimming pools, radio towers, sheds, signs and storage bins, but excluding sidewalks and paving on roads, driveways, parking areas and patios.
- a. **Temporary Structure.** A structure permitted to exist during periods of construction, special events, and other limited time periods.
208. **Subdivision Plat.** The division of a tract of land into two (2) or more lots, building sites, or other divisions for the purpose of sale or building development, in accordance with the Land Division Act (P.A. 288 of 1967, as amended), and the Superior Charter Township Subdivision Control Ordinance, as amended.
209. **Swimming Pool.** Any structure or container located above or below grade designed to hold water to a depth of greater than two (2) feet and intended for swimming or bathing. A swimming pool is an accessory structure for purposes of this Ordinance.
210. **Tavern.** An establishment licensed by the State of Michigan to sell at retail and serve alcoholic beverages on the premises where less than thirty percent (30%) of the gross floor area is made up of a bar, being a barrier or counter at which any alcoholic beverages are sold or served to and consumed by customers, and also including areas dedicated for the use of stages, dance floors, standing-room areas, pool tables, and other amusement devices.

DEFINITIONS

VACUUM BREAKER. A device that prevents back-siphonage of water by admitting atmospheric pressure through ports to the discharge side of the device.

[RB] VAPOR PERMEABLE. The property of having a moisture vapor permeance rating of 5 perms (2.9×10^{-10} kg/Pa · s · m²) or greater, where tested in accordance with the desiccant method using Procedure A of ASTM E96. A vapor permeable material permits the passage of moisture vapor.

[RB] VAPOR RETARDER CLASS. A measure of the ability of a material or assembly to limit the amount of moisture that passes through that material or assembly. Vapor retarder class shall be defined using the desiccant method with Procedure A of ASTM E96 as follows:

Class I: 0.1 perm or less

Class II: $0.1 < \text{perm} \leq 1.0$ perm

Class III: $1.0 < \text{perm} \leq 10$ perm

VENT. A passageway for conveying flue gases from fuel-fired *appliances*, or their vent connectors, to the outside atmosphere.

VENT COLLAR. See "Flue collar."

VENT CONNECTOR. That portion of a venting system that connects the flue collar or draft hood of an *appliance* to a vent.

VENT DAMPER DEVICE, AUTOMATIC. A device intended for installation in the venting system, in the outlet of an individual, automatically operated fuel burning *appliance* and that is designed to open the venting system automatically where the *appliance* is in operation and to close off the venting system automatically where the *appliance* is in a standby or shutdown condition.

VENT GASES. Products of combustion from fuel-burning *appliances*, plus excess air and dilution air, in the venting system above the draft hood or draft regulator.

VENT STACK. A vertical vent pipe installed to provide circulation of air to and from the drainage system and that extends through one or more stories.

VENT SYSTEM. Piping installed to equalize pneumatic pressure in a drainage system to prevent trap seal loss or blow-back due to siphonage or back pressure.

VENTILATION. The natural or mechanical process of supplying conditioned or unconditioned air to, or removing such air from, any space.

For definition applicable in Chapter 11, see Section N1101.6.

VENTING. Removal of combustion products to the outdoors.

VENTING SYSTEM. A continuous open passageway from the flue collar of an *appliance* to the outside atmosphere for the purpose of removing flue or vent gases. A venting system is usually composed of a vent or a chimney and vent connector, if used, assembled to form the open passageway.

VERTICAL PIPE. Any pipe or fitting that makes an angle of 45 degrees (0.79 rad) or more with the horizontal.

[RB] VINYL SIDING. A shaped material, made principally from rigid polyvinyl chloride (PVC), that is used to cover exterior walls of buildings.

[RB] WALL, RETAINING. A wall not laterally supported at the top, that resists lateral soil load and other imposed loads.

[RB] WALLS. Walls shall be defined as follows:

Load-bearing wall. A wall supporting any vertical load in addition to its own weight.

Nonbearing wall. A wall which does not support vertical loads other than its own weight.

WASTE. Liquid-borne waste that is free of fecal matter.

WASTE PIPE OR STACK. Piping that conveys only liquid sewage not containing fecal material.

WASTE RECEPTOR. A floor sink, standpipe, hub drain or a floor drain that receives the discharge of one or more indirect waste pipes.

WATER DISTRIBUTION SYSTEM. Piping that conveys water from the service to the plumbing fixtures, *appliances*, appurtenances, *equipment*, devices or other systems served, including fittings and control valves.

WATER HEATER. Any heating *appliance* or *equipment* that heats potable water and supplies such water to the potable hot water distribution system.

WATER MAIN. A water supply pipe for public use.

WATER OUTLET. A valved discharge opening, including a hose bibb, through which water is removed from the potable water system supplying water to a plumbing fixture or plumbing *appliance* that requires either an *air gap* or back-flow prevention device for protection of the supply system.

[RB] WATER-RESISTIVE BARRIER. A material behind an *exterior wall* covering that is intended to resist liquid water that has penetrated behind the exterior covering from further intruding into the *exterior wall* assembly.

WATER SERVICE PIPE. The outside pipe from the water main or other source of potable water supply to the water distribution system inside the building, terminating at the service valve.

WATER SUPPLY SYSTEM. The water service pipe, the water-distributing pipes and the necessary connecting pipes, fittings, control valves and appurtenances in or adjacent to the building or premises.

WET VENT. A vent that receives the discharge of wastes from other fixtures.

WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM. An exhaust system, supply system, or combination thereof that is designed to mechanically exchange indoor air for outdoor air where operating continuously or through a programmed intermittent schedule to satisfy the whole-house ventilation rate.

For definition applicable in Chapter 11, see Section N1101.6.

Request for interpretation #3. Retaining wall height (article 17, article 3, article 6)

Retaining wall height calculation is not directly specified in the ordinance, although it is found in the State Building Code and Superior Township Engineering Standards Manual

Given request #2 above, we recommend that retaining wall height be interpreted consistent with any wall height under the ordinance, from the bottom of the wall to the top of the wall. In no event should the height of the retaining wall be measured as less than the differential between the lower and upper grade, nor the differential between the upper grade of any retaining wall within 2 feet of another retaining wall and the lower walls lowest grade, which should be correctly measured as a single unit if engineered together due to grade differential.

-Note - there are conditional provisions for fence height determinations of retaining walls in the zoning ordinance article 6 which may result in determining the most restrictive height calculation (consistent with ordinance 1.04.1), not a replacement calculation of lesser value, which should be specified by the ZBA.

Response:

As noted above, the Zoning Ordinance does not define “retaining walls” and further, only discusses retaining wall height measurements in those situations where retaining walls treated as fences. (Section 6.01(B)(6) and 6.01(C) attached). Without correlating retaining wall heights to fence heights, retaining wall heights above the upper grade elevation would be unlimited. These restrictions make perfect sense viewed in that light.

The Ordinance is intentionally silent on defining or limiting the overall height of retaining walls from the lower to the upper grade. The project engineer will design the wall based on the needs of the development at hand. An example would be the retaining wall constructed at the western side of the Woodlands at Geddes Glen development. That retaining wall height is approximately 15 feet from lower to higher elevations directly adjacent to the U of M Golf Course property. Defining retaining wall height in the manner the applicant proposes would prohibit any retaining walls that exceed 4 foot in height (lower to upper elevation) from being located within any required yard setback. See Section 3.203(G)(1) (copy attached).

I ask that the ZBA affirm that retaining wall heights from lower to higher elevations are unregulated by the Zoning Ordinance and further that retaining wall heights above the higher grade are regulated as fences and are measured exactly as prescribed in Sections 6.01B6 and 6.01C.

following completion of construction activity on the site. The Zoning Inspector may order the removal of temporary construction fences by a date certain where such fences have remained in place for a period exceeding 545 calendar days.

6. **Retaining walls.** Retaining walls shall be considered fences subject to the provisions of this Section if the wall extends more than 30 inches above the adjacent ground level. Fences shall be required on top of retaining walls when required by the State Construction Code.

C. Height Measurements.

The height of a fence shall be measured from the ground level at the lowest grade within four (4) feet of any side of a fence post, except that the height of a retaining wall, or a fence located on top of a retaining wall, shall be measured from the ground level at the higher side of the wall (see illustration).

D. Maintenance.

Fences shall be maintained so as not to endanger life or property. Any fence that endangers life or property through lack of repair, type, or construction, or otherwise is hereby deemed a nuisance. If an unsafe condition exists in regard to a fence, the Zoning Inspector shall serve written notice to the owner, agent, or person in control of the property upon which such fence is located.

1. The notice shall describe the unsafe condition(s), shall specify the repairs or modifications required to make the fence safe, and shall require an unsafe fence or portions thereof to be removed. The notice shall provide a time limit for such repairs, modifications, or removal.
2. Failure to make repairs or modifications or to remove the fence within the time limit specified in the notice shall constitute a violation of this Ordinance and shall be punishable in accordance with the provisions of Section 1.13 (Violations and Penalties).

E. Approval Required.

It shall be unlawful for any person to construct or cause to be constructed a fence in the Township without having first obtained all necessary permits or approvals in accordance with this Section and Ordinance.

Section 6.02 Swimming Pools.

Outdoor swimming pools, spas, and hot tubs erected or maintained in the Township with a diameter exceeding twelve (12) feet, a depth exceeding two (2) feet or an area exceeding 100 square feet permanently or temporarily placed in, on or above the ground shall be permitted as an accessory structure in all zoning districts shall comply with the following requirements:

1. The pool or its fence shall not be located within any required front yard, or within any yard area between a road right-of-way and front building line of a dwelling.

Request for interpretation #4. Approved Road (article 3)

The 2008 zoning ordinance in section 3.207 states:

Section 3.207 Access to Streets.

No dwelling shall be built on any lot that does not abut and have direct frontage on an APPROVED ROAD. Access to streets shall be subject to the following....

No definition of “approved road” is given.

We request that the ordinance provision be interpreted as a road having record of approval in Superior Township for its width, grade, construction, and maintenance details.

Response:

I would ask that the ZBA interpret an “approved road” to mean the following:

- For public and private roads within developments subject to Planning Commission review, “approved roads” shall mean roadways approved through the planning process and further approved by the Township Engineer and Washtenaw County Road Commission or MDOT as applicable.
- For new private roads not subject to Planning Commission review, “approved roads” shall mean roadways which have obtained a Private Road Permit per Ordinance #163 (Private Road Ordinance). Further, that per Ordinance #163, prior to the issuance of any building permit for any dwellings, the approved road must be constructed, and that construction shall be approved by the Building Official and, at the Building Officials discretion, the Township Engineer or Fire Chief.
- For existing lots, rights-of-way, easements and drives created prior to the 2004 enactment of Ordinance #163, “approved road” shall mean an easement, right-of-way or drive created in accordance with the provisions of the Zoning Ordinance in effect at the time of creation or division of property. Examples of the 1997 and the 1978 Zoning Ordinance provisions are attached. Approval would generally be evidenced by the Zoning Officials review and approval of the plot plans showing the lots and easement width. The roadway would not need to have been constructed to be considered “approved”. Prior to the issuance of a Certificate of Occupancy for a home, the roadway shall be constructed, and that construction shall be approved by the Building Official and/or the Fire Chief.

GENERAL PROVISIONS

SECTION 3.03 ACCESS TO STREETS

A. Access to Public or Private Streets

In any district, every lot created and every principal use or structure which is established after the effective date of adoption or amendment of this Ordinance shall be on a lot or parcel which abuts a public or private street by the entire width of the lot. Such street shall have a right-of-way at least sixty-six (66) feet wide unless a lesser width has been established and recorded prior to the effective date of this Ordinance.

B. Access for Emergency Services and Parking and Loading Areas

Every building and structure located or relocated after the effective date of adoption or amendment of this Ordinance shall be so located on lots as to provide safe and convenient access for emergency purposes and fire protection vehicles, and for required off-street parking and loading areas.

C. Access to Uses Not Permitted in Residential Districts

1. No land in a Residential District shall be used for vehicular or pedestrian access to land or structures in other districts used for any purpose not permitted in the Residential District except as provided in Paragraph 2 below or otherwise authorized by this Ordinance.
2. Where provision does not exist for safe access for emergency and public service vehicles and such access is not reasonably feasible except through privately-owned residentially zoned land, access reserved for and limited to such vehicles may be authorized by the Planning Commission, subject to such conditions and safeguards as the Planning Commission deems necessary to protect the tranquility and character of the residential lands so traversed.

SECTION 3.04 COMPLETION OF CONSTRUCTION

A. Where Actual Construction Was Lawfully Begun

Nothing in this Ordinance shall require a change in plans, construction, or designated use of any building on which actual construction was lawfully begun prior to the effective date of adoption or amendment of this Ordinance.

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SECTION 3.12 ACCESS TO STREETS

- A. In any district, every lot created and every principal use or principal structure which is established after the effective date of adoption or amendment of this ordinance shall be on a lot or parcel which abuts a public or private street by the entire width of the lot. Such street shall have a right-of-way at least sixty-six (66) feet wide unless a lesser width has been established and recorded prior to the effective date of this ordinance. Or such lot, use or structure shall abut, by the entire width of the lot a private street with an easement at least sixty-six (66) feet wide and width conforms to the Superior Township Private Street Ordinance. The private street easement shall not be included in the required minimum area of the lot.
- B. Every building and structure constructed or relocated after the effective date of adoption or amendment of this ordinance shall be so located on lots as to provide safe and convenient access for fire protection vehicles and required off-street parking and loading areas.

SECTION 3.13 ZONING BOARD

All powers, duties and responsibilities for a zoning board as provided by Act 184 of the Public Acts of 1943, as amended are hereby transferred to the Township Planner Commission in accordance with Section 11 of Act 168 of the Public Acts of 1959, as amended.

SECTION 3.14 SEWER AND WATER FACILITIES

All dwelling units constructed or put into place on or after the effective date of adoption or amendment of this ordinance in any urban residence district (R-3 through R-8, except R-5, where on-site services are permitted) or business district (C-1 through C-3 and 0) and all buildings in a special district shall be connected to public sanitary sewer and water supply systems. On-site facilities and privately owned and operated community systems are prohibited in such districts for service of dwelling units. Single family detached dwelling units in a PC district that is located in areas designated for rural residential use is adopted general development plan shall be exempt from this section, provided each such dwelling unit is connected to a water well and septic tank/drainfield approved by the Washtenaw County Health Department.

SECTION 3.15 RAISING AND KEEPING OF ANIMALS

The raising and keeping of fowl and similar small animals where permitted as an accessory use, shall be on a lot with a minimum area of one (1) acre. The raising and keeping of horses, cows, and similar domestic animals, where permitted as an accessory use, shall be on a lot with a minimum area of four (4) acres. All animals shall be property housed and fenced so as not to be a public nuisance.

Request for interpretation #5. Accessory Structure (Article 17)

The definition of accessory structure raises questions about interpretations of structures that span 2 lots of record. It is conceivable that structures crossing lot lines may benefit only one impacted lot.

We request that accessory structure definition be interpreted to preclude structures placed on a lot other than the lot of its builder, sponsor, or dependent related primary use. We request that the exclusive use provision be determined for any structure meant to span a lot line be interpreted as unrelated to any lot that does not participate in its construction or require its presence for that lots primary use.

Response:

The Zoning ordinance defines a structure as “anything constructed or erected, the use of which requires location on the ground or attachment to something having location on the ground, including, but not limited to, buildings, mobile homes, aboveground swimming pools, radio towers, sheds, signs and storage bins, but excluding sidewalks and paving on roads, driveways, parking areas and patios.” Section 17.02.207.

While a retaining wall is constructed or erecting on the ground, it is more akin to paving on a road or parking area, which are specifically exempted from this definition and therefore should not be treated in the same manner as a building or shed or the other structures specifically identified in as structures in the definition.

I ask that the ZBA interpret and confirm that accessory structures are to be located on the same zoning lot as the principal use except for retaining walls and other structures necessary for the construction of drives or private roads when such structures are located within the right-of-way or easement.

Request for interpretation #6. Site Plan Exemption Criteria (10.02.A.3.a)

The ordinance specifies exemption for certain projects from site plan review:

3. All RESIDENTIAL USES, as specified in Article 4.0 (Land Use Table), for which site plan approval is required per Article 5.0 (Use Standards). The following RESIDENTIAL USES shall be exempt from site plan approval:

a. One (1) single-family detached dwelling and customary accessory structures on an existing residential lot of record.

We request that 10.02.A.3.a be interpreted to require that exclusion only applies to a residential development if it involves structures and uses exclusively contained on a single lot of record, not related uses or structures spanning multiple lots of record or present across or upon lots under disparate ownership.

Response:

The specifics of this request relate to the private road easement that traverses the applicant's property and terminates at the adjacent property where a single-family dwelling is proposed. Interpreting the Zoning Ordinance section in the manner the applicant suggests would effectively require Planning Commission approval of every residential lot created by metes and bounds divisions where property lines are centered in the road right-of-way. Also, presumably every lot located on a public road where the property lines are centered in the road would also be subject to Planning Commission site plan review.

Consistent with the past practices of the Township, single lots of record accessed by public or private roads, easements or drives should continue to be exempt from Planning Commission review.

Request for interpretation #7. Definition of Mass Grading (Article 17) within construction definition 42

The definition of mass grading is not given in the ordinance:

42. Construction. The mass grading and similar site work conducted upon land in preparation for a new use, establishment of necessary site improvements for a new use, and development of a new structure, relocation of a structure, or addition to an existing structure on land in the Township.

We request that mass grading be interpreted to be grade elevation changes of more than 30” or represented by earth removal or fill of more than 50 cubic yards.

Response:

“Mass grading” is a term generally accepted describe the movement or redistribution of large quantities of earth over large areas. This term is commonly applied to earthwork relating to large residential or commercial developments and would not normally be associated with grading for a single dwelling on one lot.

In February of 1999, the Township adopted Ordinance #147 (Soil Removal and Deposit) which regulated the removal and deposit of soil material by providing for licensing, procedures, fees, inspections, enforcement, etc. In February of 2008, the Board repealed Ordinance #147 by adopting Ordinance #171. Currently, filling, grading and other earthwork is regulated by the Washtenaw County Water Resources Soil Erosion Division.

Since the Township does not to regulate soil deposit and removal, there is no need to define the term “mass grading”.

MEMO

DATE: December 21, 2021

TO: Charter Township of Superior Zoning Board of Appeals

FROM: Richard Mayernik, Building/Zoning Official

RE: Matthew Schuster ZBA Appeal the decision of the Zoning Official

The owners of 5728 Geddes Rd. (Mouliere's) have applied for a building permit for the construction of a new single-family dwelling at the property. On November 23, 2021, I advised the owners agent (Snyder Contracting) that his permit application was denied and noted twelve items that needed to be addressed. One of the items (setback) is the subject of a variance request at tonight's meeting. Snyder Contracting has commenced driveway construction work at the site prior to the issuance of a building permit for the dwelling. Mr. Schuster has appealed the decision that a Private Road Permit is not required for the construction of the drive. The Township Board heard the appeal and has upheld the decision that a Private Road Permit is not required. Mr. Schuster has made previous appeals to the ZBA, Wetlands Board, and County Soil Erosion Division relating to various aspects of the driveway and boardwalk construction.

Reading thru the documents in Mr. Schuster's appeal, ZBA members will find emails from Mr. Schuster to myself dated October 14, 2021, and October 27, 2021, which report violations of the Building Code and reference that driveways which exceed 30 inches above adjacent grade are not exempt from obtaining building permits. On November 4, 2021, building permit PB21-0218 was issued relating to the driveway. Now, in his appeal, Mr. Schuster insists that the same permit he indicated was required, be revoked.

As background information relating to the Building Code, the 2015 Michigan Residential Code is a document based upon the 2015 International Residential Code published by the International Code Council (ICC). Michigan adopts the ICC document and makes deletions, additions and modifications. The ICC document exempts all sidewalks and driveways from permit requirements. Michigan modified the ICC language to indicate that sidewalks and driveways "*...not more than 30 inches above adjacent grade...*" were exempt from obtaining permits. The State added the additional language to the Code based on the requirement that open sided walking surfaces located more than 30 inches above grade require guards.

The driveway, in its current condition, has areas to the south where steep slopes have been created that would exceed the 30-inch dimension. The construction of the home would be adjacent to the drive and mitigate the current steep area however, the permit for the home has not yet been issued. While the current steep slope will not be the permanent condition, I felt it prudent to require the building permit although its issuance was somewhat of a technicality with

the homes permit pending. It should be noted that the scope of the permit is limited only to portions of the drive where the adjacent grade elevation exceeds 30 inches above the driveway.

Mr. Schuster indicates that the building permit was issued without authority under the Zoning Ordinance and therefore should be revoked. It is my opinion that the Zoning Official has the duty to interpret the provisions of the Zoning Ordinance (1.06(E)(2)). I have interpreted that a Certificate of Zoning Compliance is not required for the issuance of all building permits. For example, interior structural and non-structural alterations, basement waterproofing, and other work not related to zoning or structures. The Zoning Ordinance does not prescribe materials and methods required for the construction of drives. Likewise, the Building Code is silent relating to construction methods for driveways. As such, the only provision of the code applicable is related to guards which, in this case, would apply to limited portions of the drive and, will be moot after the home's construction commences. For these reasons, I would ask the ZBA to uphold my decision in this case.



Frederick Lucas
Attorney at Law

7577 US Highway 12, Suite A
Onsted, MI 49265

Main: 517.467.4000
Direct: 517.252.6846
Fax: 517.858.0190

lucas@lucaslawpc.com

January 3, 2022

Zoning Board of Appeals
Charter Township of Superior
3040 North Prospect Road
Ypsilanti, MI 48198

Re: Request for interpretation

This document is subject to the attorney-client privilege, exempt from disclosure pursuant to MCL§15.243(h), and may be considered in closed session under MCL§15.268(h).

Dear Board Member:

At the direction of the Township supervisor, I have reviewed to the request for interpretations submitted by Matthew Schuster to the Township's Zoning Board of Appeals and Richard Mayernik's responses to those requests.

Based on my review of the ordinance and my discussions with Mr. Mayernik, I concur with his responses to Schuster's request and would urge the ZBA to adopt those interpretations on behalf of the Township.

Sincerely,
LUCAS LAW, PC

A handwritten signature in black ink, appearing to read "Frederick Lucas".

Frederick Lucas
Attorney at Law

cc: Richard Mayernik, Kenneth Schwartz

**ZONING BOARD OF APPEALS
SUPERIOR CHARTER TOWNSHIP
SUPERIOR TOWNSHIP HALL
3040 N. PROSPECT, YPSILANTI, MI 48198
WEDNESDAY, JANUARY 12, 2022
7:00 p.m.**

ZBA #21-06

The Superior Township Zoning Board of Appeals will hold a public hearing on **Wednesday, January 12, 2022 at 7:00 p.m.** at the Superior Township Hall, 3040 N. Prospect, on a request for the following variance from the Superior Township Zoning Ordinance:

Variance from Section 3.101 (Dimensional Standards) for setbacks from the private road right-of-way.

The property is located at 5728 Geddes Road and is zoned R-1 (Single-Family Residential).

Parcel ID # J-10-30-400-061

A complete copy of the petition is available for inspection or copying at the Township Hall 9:00 a.m. – 4:00 p.m. weekdays. Persons wishing to express their views may do so in person at the public hearing, or in writing addressed to the Zoning Board of Appeals at the above address. Superior Township will provide necessary reasonable auxiliary aids and services to individuals with disabilities upon four (4) business days notice to the Township. Individuals requiring auxiliary aids or services should contact Superior Charter Township by writing the Township Clerk.

Laura Bennett, Planning/Zoning
3040 N. Prospect
Ypsilanti, MI 48198
734-482-6099

*Revised application/attachment B to application submitted on November 23, 2021.

Superior Township
ZBA Application
Revised 2/17/16
Page 1 of 4

ZONING BOARD OF APPEALS APPLICATION

(This application must be typewritten or printed. All questions must be answered.)

Request is hereby made for one of the following:

- Variance from the requirements of the following Zoning Ordinance
Section(s): **Set-back from private roads rights-of-way for zoning district front yard-set-back.
Request from variance from 60' front yard set-back for R-1 Zoning under 3.101.**
- Appeal of the decision of the Township Zoning Official

APPLICANT INFORMATION

Name Jean-Marie and Ingrid Mouliere (C/O Bodman PLC, Alexandra Dieck, Bodman PLC)

Address: 201 S. Division Street, Suite 400, Ann Arbor, Michigan 48104

Phone Number: 248 342 6930 Email adieck@bodmanlaw.com

Is the property owned by the applicant? YES NO

If "NO", what is the applicant's interest in the property? **Not Applicable**

Name, address and telephone number of owner(s): **Not Applicable**

DESCRIPTION OF THE PROPERTY (See Attachment A attached hereto)

Address: 5728 Geddes, Superior Township, Michigan

Parcel ID# J-10-30-400-061

Parcel size Approximately 4.66 acres

Size of the proposed building or addition, if any 11,712 Square Feet (exclusive of garage, decks, and patios)

Use of existing building (if any) and property: Vacant Residential

Zoning classification of property: R-1, Single Family Residential

If a new building is proposed, has the Building Inspection department examined the plans for the proposed building? YES NO

Has the department refused a permit? YES NO

Has there been any previous land use application involving this property? YES NO

If "YES", state the date of filing, the character of appeal and the disposition.

Not applicable, no previous land use application by Applicant.

DESCRIBE THE REASONS FOR YOU APPEAL

Note: The Zoning Board of Appeals is required to use the standards listed in Section 13.08(B) of the Zoning Ordinance when considering an appeal. It is recommended that applicants review these standards and consider them in preparing a description of why the variance is needed. A copy of the standards is attached to the application.

Please see attached Attachment B.

YOU MAY WISH TO ASK YOUR NEIGHBORS TO SIGN THE FOLLOWING SECTION IF THEY HAVE NO OBJECTION TO THE APPEAL YOU ARE MAKING.

We the undersigned, as owners of property any part of which is located within 300 feet of any part of the property involved in this appeal, have no objections to the granting of the request made in this appeal:

NAME (PLEASE PRINT)

SIGNATURE

STREET ADDRESS

INFORMATION REQUIRED TO BE SUBMITTED WITH APPEAL

The following must attached and submitted with the application:

- Ten (10) sets of drawings, all on sheets 8 ½ inches by 11 inches or 8 ½ inches by 14 inches, drawn to scale and showing all measurements, features and structures, including the general location of all natural features on the property, measurements to show distances between structures, measurements between structures and property lines, measurements for lot width and lot area, and height of structures. Rights-of-way and easements must also be shown.
- A letter of authority, or power of attorney, in the event the appeal is being made by a person other than the actual owner of the property.
- A complete legal description of the premises (as stated on the property deed or property tax bill.)

APPLICANT’S DEPOSITION – Must be completed by applicant.

I hereby state that all of the statements and information contained in this application and the supporting documents herewith are true and correct.

Signature of applicant Ally Davis Date 12/21/21

NOTARY PUBLIC – Applicant’s signature must be notarized.

Sworn to before me this 21 day of December 2021

My commission expires [Signature]
(Notary Public, Washtenaw County, Michigan) Patricia St. Lawrence
Notary Public, Washtenaw County, MI
My Commission Expires July 22, 2023
Acting in Washtenaw County

To be filled in by Township Clerk (or designated Township Officer/Personnel)

I hereby state that this petition was properly received and filed on 12/21/21 (date)

Signature of Clerk (or designee)

Laura Bennett

Fee paid _____

Notice to Applicants for the Zoning Board of Appeals

Filing Applications

You must call and schedule an appointment with the Township Zoning Official Richard Mayernik to file an application. He may be reached at the Township Office at (734) 482-6099.

Meeting Schedule

The Zoning Board of Appeals does not have a regular meeting schedule. Meetings are called whenever there is an application for a variance. Because variance requests require a public hearing, it generally takes four (4) weeks from the date an application is received until a meeting of Zoning Board of Appeals can be held. This time is needed to schedule the meeting date and to mail out notices of the public hearing.

Reasons for the Appeal

The Zoning Board of Appeals is required to use the standards listed in Section 13.08 of the Zoning Ordinance when considering the appeals. It is recommended that applicants review these standards and consider them in preparing a description of why the variance is needed.

Site Visits

Filing an application gives the implied consent for Township officials and/or consultants to visit the subject site.

Application Fees

An application fee must be paid when you file your application. The fees are as follows:

1. Appeals brought by the owner of a single-family dwelling for a variance from density and height regulations of the Zoning Ordinance = **\$175.00**
2. Any other appeal = **\$500.00**

Applicant's Acknowledgement

I hereby acknowledge that I have read and agree to the above and that I have been given a copy of this notice.



Signature



Date

**Attachment B
Reasons for Appeal
Standards: Section 13.08(B)**

Applicant is applying for a variance from the Superior Township Zoning Ordinance, Art. 3, Section 3.101, Table of Dimensional Standards in relation to the minimum front yard set-back. Specifically, set-backs from private road rights-of way were required to be equal to the zoning district front yard set-back described in Section 3.101. The subject parcel is zoned R-1, thus a 60' set-back is required from the private road right-of-way. The attached drawings and plans attached as Exhibit C to this Application show that proposed improvements are located in the right-of-way set-back.

Applicant is proposing to build a residential structure and related improvements as described in the drawings and plans attached as Attachment C to this Application. As shown on Sheet-G-201 of the Plan Drawings attached as Attachment C, Applicant is proposing to construct a driveway, retaining wall, and portions of the residential structure within the required 60-foot minimum front yard set-back required by Township Zoning Ordinance.

Applicant is respectfully requesting a variance to the Township Zoning Code for the following reasons in accordance with Section 13.08(B) of the Township Zoning Ordinance, Standards for Review:

Standard 1:

Special conditions and circumstances exist that are unique to the land, structures, or buildings involved, and are not applicable to other lands, structures, or buildings in the same district, subject to the following:

- a. The existence of nonconforming dwellings, lots of record, structures, uses, or sites on neighboring lands in the same zoning district or other zoning districts shall not be considered grounds for a variance.**
- b. The special conditions and circumstances on which the variance request is based do not result from the actions of the applicant.**

Reason 1:

Special conditions exist which make the request for variance unique to the Property. Such conditions do not exist on other properties located in the same zoning district to the same degree. The Property is located on the Huron River and contains significant natural and protected features. Specifically, the Property contains important ecological value in the form of wetlands and woodlands, some of which are protected and regulated wetlands by the State of Michigan and the Township. Additionally, portions of the Property contain soils not suitable for building and related well and septic service. These features are naturally existing and existed prior to the Applicant owning the Property. Additionally, the Property contains challenging topography with very steep slopes. Unlike other properties in the Township, development of the Property for a residential structure entails maintaining setbacks from certain regulated wetlands and from naturally existing slopes. Applicant desires (and in some cases is required by the Township and State of Michigan) to maintain as much of the existing wetlands, woodlands and slopes intact without building improvements in such areas with high ecological value.

The location of the residence and the related request for variance are the result of Applicant's attempt to mitigate interference and maintain required set-backs from wetlands and slopes on the Property while also constructing on soil

which is suitable. It is also the result of sophisticated planning and design in order to place to residence in a location which makes it safely accessible by local emergency, fire and police services which may need to access the home.

Applicant has expended substantial time and resources in the planning, design and approval of a residence on the Property. The Property technically contains two parcels, on which two residential structures and related accesses could have been constructed. Instead, Applicant is only constructing one residence in order to minimize interference of the natural features on the Property.

Standard 2:

Literal interpretation of this Ordinance would deprive the applicant of rights commonly enjoyed by other property owners in the same district under the terms of this Ordinance.

Reason 2:

Literal interpretation of the Township Zoning Ordinance would deprive the Applicant of rights enjoyed by other property owners. Specifically, a literal reading of this ordinance would require driveway improvements and the residence to be located south of where they are currently located, which is impossible to accommodate for health, safety and regulatory reasons.

First, locating the home to the south would result in more of the driveway being located within an extremely steep slope located on the Property. Given the existing slope, it would be increasing the distance of a driveway and related turn-around and rendering it potentially unsafe for emergency, fire and police vehicles to traverse the area to gain access to the home. Applicant has worked with the Township fire department, an engineer and a contractor to determine the safest and most-feasible location for the driveway given the steep slope. Alternative locations have been considered by a number of professionals, but this location is the best design given the slopes and the parameters of reasonable and safe engineering and construction.

Second, the home is also being located in an area where soils are suitable for such construction and related septic. Given the wetlands, slopes and soils on the Property, other locations on the Property were not found to be suitable.

Third, locating the residence to the south would result in the residential structure being impermissibly located within existing wetland buffers in violation of Township and State regulations.

If this variance is not granted, Applicant's would be deprived of the right to build a residence on their Property. All residences must be constructed in a location which is otherwise permitted by other Township Ordinances, is safely accessible and which accommodates utility service. If this variance is not granted, Applicant could not otherwise (i) build within the wetlands, (ii) locate the driveway and entrance in a location that is safe for use by emergency, fire and police, nor (iii) install the septic and well in a suitable location.

Standard 3:

Granting the variance requested would not confer upon the applicant any special privilege that is denied by the Ordinance to other lands, structures, or buildings in the same district.

Reason 3:

Granting the variance requested would not confer any special privilege to the Applicant that is denied by the Township Zoning Ordinance to other lands. Applicant is requesting to build a residence in a zoning district that is properly zoned for residential use. Any other landowner in the zoning district would be entitled to build a home under the Township

*Mouliere, Jean Marie and Ingrid
5728 Geddes Road, Superior Township
Application for Variance*

Zoning Code on property with the same classification. To the extent that the variance is granted to Applicant, it would be in recognition of the existence of significant wetlands and steep slopes on the Property, as well as existing engineering and construction challenges. The variance would also be consistent with the standards set forth in Section 13.08(B) of the ordinance which all property owners would be permitted to apply for.

Other properties/property owners may not have the same constraints and regulations in relation to their respective properties. Therefore, this variance would be granting a right to build within the front yard set-back (relating to the set-back for private road rights-of-way) in order to accommodate difficult topography and existing natural features and to maintain health and safety standards for the Township and County. This variance is not a special privilege to the Applicant. To the extent that other property owners require a variance in order to maintain setbacks from wetlands and steep slopes, such property owners would be able to request a variance.

Standard 4:

A variance granted shall be the minimum that will make possible a reasonable use of the land, building, or structure. The Board of Appeals may consider lesser variances than that requested by an applicant.

Reason 4:

The variance requested by Applicant is the minimum that will make it possible to reasonably use the Property. As previously noted, the request for variance is being made after substantial time, expense and planning to locate the residence and the related access drive in a location which (i) minimally interferes with existing regulated wetlands and slopes; (ii) is located in an area with suitable soils for construction, and (iii) also meets the requires for safety and access by the Township and County.

Dimensionally, the set-back is very minor and will not have a visual impact from Geddes Road or neighboring property owners that would be different from locating the structure to the south. As shown in the Plan Drawings, locating improvements within the front-yard set-back is the only way to maintain the wetland set-back regulated by the State and the Township.

Standard 5:

The variance granted shall be in harmony with the intent of this Ordinance and will not be injurious to the environment, neighborhood, or otherwise detrimental to the public interest.

Reason 5:

The variance request is in harmony with the intent of the Township Zoning Ordinance and will not be detrimental to the environment, neighborhood or the public interest.

The variance is in harmony with the Township Zoning Ordinance because it protects wetlands and respects wetland buffers consistent with the Township Wetland Ordinance and regulations set forth by the State of Michigan. Further, if granted, the variance would allow for the construction of a single-family residence, which is consistent with the permitted zoning, and constitutes the highest and best use of the Property as determined by the Township Zoning Ordinance.

The variance and the related residential structure will not be injurious to the environment, neighborhood or the public interest because it is being requested consistent with design for construction to preserve woodlands and wetlands. Further, the variance is compatible with the best design, engineering and health and safety standards put forth by the Township and County in relation to construction, well and septic regulations, and access for emergency, fire and police services.

*Mouliere, Jean Marie and Ingrid
5728 Geddes Road, Superior Township
Application for Variance*

CONCLUSION

The variance request meets all of the standards set forth in Section 13.08(B) of the Township Zoning Ordinance. The Applicant respectfully request that a variance be granted from the minimum front-yard set-backs described in Art. 3, section 3.101, Table of Dimensional Standards for the R-1 District as it relates to set-backs from private road-rights-of-way.

ZONING BOARD OF APPEALS APPLICATION

(This application must be typewritten or printed. All questions must be answered.)

Request is hereby made for one of the following:

- Variance from the requirements of the following Zoning Ordinance
Section(s): Art. 3, Section 3.101, Table of Dimensional Standards: minimum rear yard set
back for R-1 District.
- Appeal of the decision of the Township Zoning Official

APPLICANT INFORMATION

Name Jean-Marie and Ingrid Mouliere (C/O Bodman PLC, Alexandra Dieck, Bodman PLC)

Address: 201 S. Division Street, Suite 400, Ann Arbor, Michigan 48104

Phone Number: 248 342 6930 Email adieck@bodmanlaw.com

Is the property owned by the applicant? YES NO

If "NO", what is the applicant's interest in the property? **Not Applicable**

Name, address and telephone number of owner(s): **Not Applicable**

DESCRIPTION OF THE PROPERTY (See Attachment A attached hereto)

Address: 5728 Geddes, Superior Township, Michigan

Parcel ID# J-10-30-400-061 Parcel size Approximately 4.66 acres

Size of the proposed building or addition, if any 11,712 Square Feet (exclusive of garage, decks, and patios)

Use of existing building (if any) and property: Vacant Residential

Zoning classification of property: R-1, Single Family Residential

If a new building is proposed, has the Building Inspection department examined the plans for the proposed building? YES NO

Has the department refused a permit? YES NO

Has there been any previous land use application involving this property? YES NO

If "YES", state the date of filing, the character of appeal and the disposition.

Not applicable, no previous land use application by Applicant.

DESCRIBE THE REASONS FOR YOUR APPEAL

Note: The Zoning Board of Appeals is required to use the standards listed in Section 13.08(B) of the Zoning Ordinance when considering an appeal. It is recommended that applicants review these standards and consider them in preparing a description of why the variance is needed. A copy of the standards is attached to the application.

Please see attached Attachment B.

YOU MAY WISH TO ASK YOUR NEIGHBORS TO SIGN THE FOLLOWING SECTION IF THEY HAVE NO OBJECTION TO THE APPEAL YOU ARE MAKING.

We the undersigned, as owners of property any part of which is located within 300 feet if any part of the property involved in this appeal, have no objections to the granting of the request made in this appeal:

| NAME (PLEASE PRINT) | SIGNATURE | STREET ADDRESS |
|---------------------|-----------|----------------|
| _____ | _____ | _____ |
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INFORMATION REQUIRED TO BE SUBMITTED WITH APPEAL

The following must attached and submitted with the application:

- Ten (10) sets of drawings, all on sheets 8 ½ inches by 11 inches or 8 ½ inches by 14 inches, drawn to scale and showing all measurements, features and structures, including the general location of all natural features on the property, measurements to show distances between structures, measurements between structures and property lines, measurements for lot width and lot area, and height of structures. Rights-of-way and easements must also be shown.
- A letter of authority, or power of attorney, in the event the appeal is being made by a person other than the actual owner of the property.
- A complete legal description of the premises (as stated on the property deed or property tax bill.)

APPLICANT'S DEPOSITION – Must be completed by applicant.

I hereby state that all of the statements and information contained in this application and the supporting documents herewith are true and correct.

Signature of applicant Alexandra Dieck Date 11/23/21

NOTARY PUBLIC – Applicant's signature must be notarized.

ELIZABETH EFFNER
NOTARY PUBLIC, STATE OF MI
COUNTY OF WASHTENAW
MY COMMISSION EXPIRES Mar 21, 2028
ACTING IN COUNTY OF Washtenaw

Sworn to before me this 23 day of November 2021

My commission expires March 21, 2028
(Notary Public, Washtenaw County, Michigan)

To be filled in by Township Clerk (or designated Township Officer/Personnel)

I hereby state that this petition was properly received and filed on 11/23/21 (date)

Signature of Clerk (or designee)
Laura Bennett

Fee paid \$175.00

Notice to Applicants for the Zoning Board of Appeals

Filing Applications

You must call and schedule an appointment with the Township Zoning Official Richard Mayernik to file an application. He may be reached at the Township Office at (734) 482-6099.

Meeting Schedule

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Reasons for the Appeal

The Zoning Board of Appeals is required to use the standards listed in Section 13.08 of the Zoning Ordinance when considering the appeals. It is recommended that applicants review these standards and consider them in preparing a description of why the variance is needed.

Site Visits

Filing an application gives the implied consent for Township officials and/or consultants to visit the subject site.

Application Fees

An application fee must be paid when you file your application. The fees are as follows:

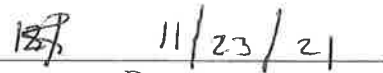
1. Appeals brought by the owner of a single-family dwelling for a variance from density and height regulations of the Zoning Ordinance = **\$175.00**
2. Any other appeal = **\$500.00**

Applicant's Acknowledgement

I hereby acknowledge that I have read and agree to the above and that I have been given a copy of this notice.



Signature



Date

ALEXANDRA E. DIECK
ADIECK@BODMANLAW.COM
734-930-2484

November 21, 2021

VIA EMAIL AND HAND DELIVERY
Superior Township Zoning Board of Appeals
Attn: Rick Mayernik
3040 North Prospect
Superior Township, MI 48198

BODMAN PLC
SUITE 400
201 SOUTH DIVISION STREET
ANN ARBOR, MICHIGAN 48104
734-930-2494 FAX
734-761-3780

Re: Authorization by Jean-Marie and Ingrid Mouliere (together, the "Moulieres"), the owners of the property located at 5728 Geddes Road, Superior Township, MI 48105 (the "Property") for Bodman PLC and Daniel Snyder to submit an application for variance and any and all materials required in relation to such application as well as to represent the Moulieres at all hearings and proceedings related to the application for variance (the "Application for Variance") for the property located at 5728 Geddes Road, Superior Township, Michigan 48105 ("Property").

Dear Members of the Superior Township Zoning Board of Appeals,

Our firm represents the Moulieres. The Moulieres own the Property as evidenced by the warranty deed enclosed with this correspondence.

Owners, by their execution of this letter below expressly authorize and consent to Bodman PLC and Daniel Snyder of Snyder Contracting LLC to representing Owners in relation to the Application for Variance.

Thank you for your attention to these matters. Please call or email should you have any questions or comments.

Sincerely,

Alexandra E. Dieck

Alexandra E. Dieck

OWNERS HEREBY EXPRESSLY AUTHORIZE BODMAN PLC AND DANIEL SNYDER/SNYDER CONTRACTING LLC TO REPRESENT OWNERS IN RELATION TO THE APPLICATION FOR VARIANCE ON THIS 11/22/2021 DAY OF NOVEMBER, 2021. 11/22/2021

DocuSigned by:
Jean Marie Mouliere
5255B2C4FD7844D...
Jean-Marie Mouliere

DocuSigned by:
Ingrid Mouliere
505091FC10143B...
Ingrid Mouliere

L: 5277 P: 944 6444635 D
10/17/2018 03:02 PM Total Pages: 7
Lawrence Kestenbaum, Washtenaw Co



Receipt# 18-24902 6444635
10/17/2018 Washtenaw Co, Michigan
Real Estate Transfer Tax
Tax Stamp # 445078
County Tax: \$1347.50 State Tax: \$9187.50



WARRANTY DEED

File No: 17-MI-01063

The Grantor(s), Raymond R. Reilly and Virginia A. Reilly, as Co-Trustees of The Raymond R. Reilly Trust Agreement Dated April 9, 1992, as amended and restated August 5, 2008, as amended September 5, 2014, and Virginia A. Reilly and Raymond R. Reilly, as Co-Trustees of The Virginia A. Reilly Trust Agreement Dated April 9, 1992, as amended and restated August 5, 2008, as amended September 5, 2014,
whose address is 155 Laurin Court, Ann Arbor, MI 48105,
convey(s) and warrant(s) to Jean-Marie Lucien Mouliere and Ingrid Daniele Mouliere, husband and wife,
whose address is 5123 Buckley Drive, Ypsilanti, MI 48197,
the following described premises:

See attached Exhibit A for legal description,

for the sum of one million two hundred twenty-five thousand and NO/100 Dollars (\$1,225,000.00), subject to easements, reservations and restrictions of record.

The Grantor grants to the Grantee the right to make all divisions under Section 108 of the Land Division Act, 1967 PA 288, MCL 560.108.

This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

Notice and Acknowledgment of Private Road attached.

Dated: October 12, 2018

The Raymond R. Reilly Trust Agreement Dated April 9, 1992, as amended and restated August 5, 2008, as amended September 5, 2014

BY: [Signature]
Raymond R. Reilly, Co-Trustee

The Virginia A. Reilly Trust Agreement Dated April 9, 1992, as amended and restated August 5, 2008, as amended September 5, 2014

BY: [Signature]
Virginia A. Reilly, Co-Trustee

BY: [Signature]
Virginia A. Reilly, Co-Trustee

BY: [Signature]
Raymond R. Reilly, Co-Trustee

14

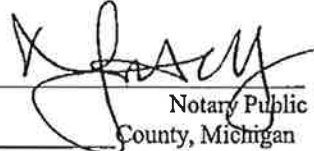


Time Submitted for Recording
Date 10-17-2018 Time 2:21pm
Lawrence Kestenbaum
Washtenaw County Clerk/Register

WASHTENAW COUNTY TREASURER
TAX CERTIFICATE NO. B1332 T32 MC

STATE OF MICHIGAN
COUNTY OF WASHTENAW

The foregoing instrument was acknowledged before me this 12th day of October, 2018, by Raymond R. Reilly and Virginia A. Reilly, as Co-Trustees of The Raymond R. Reilly Trust Agreement Dated April, 9, 1992, as amended and restated August 5, 2008, as amended September 5, 2014, and Virginia A. Reilly and Raymond R. Reilly, as Co-Trustees of The Virginia A. Reilly Trust Agreement Dated April 9, 1992, as amended and restated August 5, 2008, as amended September 5, 2014.


Notary Public
County, Michigan

Acting in the County of Washtenaw

My commission expires: _____

MARGARETA A. LAWSON
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF WASHTENAW
My Commission Expires 04/23/2024
Acting in the County of Washtenaw



County: \$1,347.50 State: \$9,187.50 Tax Parcel Nos: J-10-30-400-053 and J -10-30-400-054, to be assessed as: J - 10-30-400-061

Drafted By: Marjorie M. Dixon, 350 S. Main St., Ste. 400, Ann Arbor, MI 48104

When recorded, return to: Barristers Settlement & Title Agency, 1896 W. Stadium Blvd., Ann Arbor, MI 48103

Exhibit A

Property located in the Township of Superior, County of Washtenaw, State of Michigan, to wit:

PARCEL B: Commencing at the center of Section 30, Town 2 South, Range 7 East, Superior Township, Washtenaw County, State of Michigan; thence South 02 degrees 14 minutes 15 seconds East 977.43 feet along the North and South 1/4 line of said section and centerline of Gale Road as shown on the plat of "Burr Oak" Subdivision, recorded in Liber 23 of Plats, Pages 51-54, Washtenaw County Records; thence North 82 degrees 19 minutes 48 seconds East 810.92 feet along the centerline of Geddes Road (formerly Potawatomie Trail); thence continuing along said centerline North 79 degrees 28 minutes 21 seconds East 94.00 feet; thence South 02 degrees 06 minutes 24 seconds East 265.00 feet; thence South 82 degrees 45 minutes 16 seconds East 210.74 feet for a Place of Beginning; thence North 82 degrees 45 minutes 16 seconds West 210.74 feet; thence South 02 degrees 06 minutes 24 seconds East 585 feet more or less to the water's edge of the Huron River; thence Northeasterly along said water's edge to a point bearing South 02 degrees 08 minutes 35 seconds East from the Point of Beginning; thence North 02 degrees 08 minutes 35 seconds West 470 feet more or less to the place of beginning, being a part of the Southeast 1/4 of said Section 30.

Subject to and including a 66 foot wide private easement for ingress, egress, and public utilities described as follows: Commencing at the center of Section 30, Town 2 South, Range 7 East, Superior Township, Washtenaw County, State of Michigan; thence South 02 degrees 14 minutes 15 seconds East 977.43 feet along the North and South 1/4 line of said section and centerline of Gale Road as shown on the plat of "Burr Oak" Subdivision, recorded in Liber 23 of Plats, Pages 51-54, Washtenaw County Records; thence North 82 degrees 19 minutes 48 seconds East 810.92 feet along the centerline of Geddes Road (formerly Potawatomie Trail); thence continuing along said centerline North 79 degrees 28 minutes 21 seconds East 224.00 feet for a Place of Beginning; thence continuing along said centerline North 79 degrees 28 minutes 21 seconds East 67.78 feet; thence South 02 degrees 38 minutes 18 seconds West 282.09 feet; thence South 53 degrees 53 minutes 29 seconds East 75.78 feet; thence South 87 degrees 23 minutes 32 seconds West 23.91 feet; thence South 02 degrees 08 minutes 35 seconds East 65.00 feet; thence North 53 degrees 53 minutes 29 seconds West 132.85 feet; thence North 02 degrees 38 minutes 18 seconds East 302.14 feet to the Place of Beginning.

Also including right of ingress, egress and public utilities over a 15 foot wide private easement described as follows: Commencing at the center of Section 30, Town 2 South, Range 7 East, Superior Township, Washtenaw County, State of Michigan; thence South 02 degrees 14 minutes 15 seconds East 977.43 feet along the North and South 1/4 line of said section and centerline of Gale Road as shown on the plat of "Burr Oak" Subdivision, recorded in Liber 23 of Plats, Pages 51-54, Washtenaw County Records; thence North 82 degrees 19 minutes 48 seconds East 810.92 feet along the centerline of Geddes Road (formerly Potawatomie Trail); thence continuing along said centerline North 79 degrees 28 minutes 21 seconds East 224.00 feet; thence South 02 degrees 38 minutes 18 seconds West 120.48 feet for a Place of Beginning; thence South 45 degrees 08 minutes 37 seconds West 62.80 feet; thence South 34 degrees 36 minutes 03 seconds West 43.30 feet (also incorrectly recorded as South 34 degrees 38 minutes 03 seconds West 43.30 feet); thence South 01 degree 00 minutes 00 seconds West 93.61 feet; thence South 82 degrees 45 minutes 16 seconds East 15.09 feet; thence North 01 degree 00 minutes 00 seconds East 90.72 feet; thence North 34 degrees 36 minutes 03 seconds East 37.39 feet; thence North 45 degrees 08 minutes 37 seconds East 45.05 feet; thence North 02 degrees 38 minutes 18 seconds East 22.20 feet to the Place of Beginning.

Also subject to and including a private easement for a pathway of up to 8 feet in width to provide pedestrian access to the Huron River over the above-described property, such easement being described as follows:

Property lying 20 feet westerly and 10 feet easterly of the following described line:

Commencing at the center of Section 30, Town 2 South, Range 7 East, Superior Township, Washtenaw County, State of Michigan; thence South 02 degrees 14 minutes 15 seconds East 977.43 feet along the North and South 1/4 line of said Section and centerline of Gale Road as shown on the plat of "Burr Oak" Subdivision, recorded in Liber 23 of Plats, Pages 51-54, Washtenaw County Records; thence North 82 degrees 19 minutes 48 seconds East 810.92 feet along the centerline of Geddes Road (formerly Potawatomie Trail); thence continuing along said centerline North 79 degrees 28 minutes 21 seconds East 94.00 feet; thence South 02 degrees 06 minutes 24 seconds East 265.00 feet; thence South 82 degrees 45 minutes 16 seconds East 210.74 feet for a Place of Beginning; thence South 02 degrees 08 minutes 35 seconds East 470 feet more or less to the water's edge of the Huron River for a Place of Ending.

Continued

Parcel C:

Commencing at the center of Section 30, Town 2 South, Range 7 East, Superior Township, Washtenaw County, State of Michigan; thence South 02 degrees 14 minutes 15 seconds East 977.43 along the North and South 1/4 line of said Section and centerline of Gale Road as shown on the Plat of "Burr Oak" Subdivision, recorded in Liber 23 of Plats, Pages 51-54, Washtenaw County Records; thence North 82 degrees 19 minutes 48 seconds East 810.92 feet along the centerline of Geddes Road (formerly Potawatomie Trail); thence continuing along said centerline 79 degrees 28 minutes 21 seconds East 94.00 feet; thence South 02 degrees 06 minutes 24 seconds East 265.00 feet (also incorrectly recorded as South 02 degrees 06 minutes 24 seconds East 285.00 feet); thence South 82 degrees 45 minutes 16 seconds East 210.74 feet; thence North 87 degrees 23 minutes 32 seconds East 217.01 feet for a Place of Beginning; thence South 87 degrees 23 minutes 32 seconds West 217.01 feet; thence South 02 degrees 08 minutes 35 seconds East 470 feet more or less to the water's edge of the Huron River; thence Northeasterly along said water's edge to a point bearing South 02 degrees 08 minutes 35 seconds East from the Place of Beginning; thence North 02 degrees 08 minutes 35 seconds West 360 feet more or less to the Place of Beginning, being a part of the Southeast 1/4 of said Section 30.

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Parcel Nos.: J -10-30-400-053 and J -10-30-400-054; to become: J - 10-30-400-061

**NOTICE AND ACKNOWLEDGMENT OF PRIVATE ROAD
PURSUANT TO MCL 560.261**

This notice is given pursuant to MCL 560.261 by **Raymond R. Reilly and Virginia A. Reilly, as Co-Trustees of The Raymond R. Reilly Trust Agreement Dated April 9, 1992, as amended and restated August 5, 2008, and amended September 5, 2014, and Virginia A. Reilly and Raymond R. Reilly, as Co-Trustees of The Virginia A. Reilly Trust Agreement Dated April 9, 1992, as amended and restated August 5, 2008, and amended September 5, 2014** (Seller), whose address is 155 Laurin Court, Ann Arbor, MI 48105, to **Jean-Marie Lucien Mouliere and Ingrid Daniele Mouliere, husband and wife** (Buyer), whose address is 5123 Buckley Drive, Ypsilanti, MI 48197, parties to a sales agreement dated June 2, 2018, for the sale of a parcel of land located in Superior Township, Washtenaw County, Michigan, described as:

See attached Exhibit A for legal description
(the Premises).

Seller advises Buyer that the Premises abuts a private road that is not required to be maintained by the Washtenaw County Road Commission.

Dated: October 12, 2018

The Raymond R. Reilly Trust Agreement Dated April 9, 1992, as amended and restated August 5, 2008, and amended September 5, 2014

BY: [Signature]
Raymond R. Reilly, Co-Trustee

[Signature]
Jean-Marie Lucien Mouliere

BY: [Signature]
Virginia A. Reilly, Co-Trustee

[Signature]
Ingrid Daniele Mouliere

The Virginia A. Reilly Trust Agreement Dated April 9, 1992, as amended and restated August 5, 2008, and amended September 5, 2014

BY: [Signature]
Virginia A. Reilly, Co-Trustee

BY: [Signature]
Raymond R. Reilly, Co-Trustee

Exhibit A

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Continued

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Parcel Nos.: J -10-30-400-053 and J -10-30-400-054; to become: J - 10-30-400-061

*Mouliere, Jean Marie and Ingrid
5728 Geddes Road, Superior Township
Application for Variance*

**Attachment A
Legal Description of Property**

Property located in the Township of Superior, County of Washtenaw, State of Michigan, to wit:

PARCEL B:

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*Mouliere, Jean Marie and Ingrid
5728 Geddes Road, Superior Township
Application for Variance*

34 degrees 36 minutes 03 seconds East 37.39 feet; thence North 45 degrees 08 minutes 37 seconds East 45.05 feet; thence North 02 degrees 38 minutes 18 seconds East 22.20 feet to the Place of Beginning.

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Or such other 30-foot wide strip of land from Parcel "A" to the Huron River as the owners of Parcels "B" and "C" may later designate in a recorded modification of the easement, provided that such alternate strip must have soil capable of supporting foot traffic and further provided that the owners of Parcels "B" and "C" shall provide pedestrian access improvements equal to those in place on the above-described easement at the time such alternate strip is designated.

PARCEL C:

Commencing at the center of Section 30, Town 2 South, Range 7 East, Superior Township, Washtenaw County, State of Michigan; thence South 02 degrees 14 minutes 15 seconds East 977.43 along the North and South 1/4 line of said Section and centerline of Gale Road as shown on the Plat of "Burr Oak" Subdivision, recorded in Liber 23 of Plats, Pages 51-54, Washtenaw County Records; thence North 82 degrees 19 minutes 48 seconds East 810.92 feet along the centerline of Geddes Road (formerly Potawatomie Trail); thence continuing along said centerline North 79 degrees 28 minutes 21 seconds East 94.00 feet; thence South 02 degrees 06 minutes 24 seconds East 265.00 feet (also incorrectly recorded as South 02 degrees 06 minutes 24 seconds East 285.00 feet); thence South 82 degrees 45 minutes 16 seconds East 210.74 feet; thence North 87 degrees 23 minutes 32 seconds East 217.01 feet for a Place of Beginning; thence South 87 degrees 23 minutes 32 seconds West 217.01 feet; thence South 02 degrees 08 minutes 35 seconds East 470 feet more or less to the water's edge of the Huron River; thence Northeasterly along said water's edge to a point bearing South 02 degrees 08 minutes 35 seconds East from the Place of Beginning; thence North 02 degrees 08 minutes 35 seconds West 360 feet more or less to the Place of Beginning, being a part of the Southeast 1/4 of said Section 30.

Including a 66 feet wide private easement for ingress, egress, and public utilities described as follows:

Commencing at the center of Section 30, Town 2 South, Range 7 East, Superior Township, Washtenaw County, State of Michigan; thence South 02 degrees 14 minutes 15 seconds East 977.43 feet along the North and South 1/4 line of said Section and centerline of Gale Road as shown on the plat of "Burr Oak" Subdivision, recorded in Liber 23 of Plats, Pages 51-54, Washtenaw County Records; thence North 82 degrees 19 minutes 48 seconds East 810.92 feet along the centerline of Geddes Road (formerly Potawatomie Trail); thence continuing along said centerline North 79 degrees 28 minutes 21 seconds East 224.00 feet for a Place of Beginning; thence continuing along said centerline North 79 degrees 28 minutes

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Application for Variance*

21 seconds East 67.78 feet; thence South 02 degrees 38 minutes 18 seconds West 282.09 feet; thence South 53 degrees 53 minutes 29 seconds East 75.78 feet; thence South 87 degrees 23 minutes 32 seconds West 23.91 feet; thence South 02 degrees 08 minutes 35 seconds East 65.00 feet (also incorrectly recorded as South 02 degrees 08 minutes 35 seconds East 85.00 feet); thence North 53 degrees 53 minutes 28 seconds West 132.85 feet; thence North 02 degrees 38 minutes 18 seconds East 302.14 feet to the Place of Beginning.

Also subject to and including a private easement for a pathway of up to 8 feet in width to provide pedestrian access to the Huron River over the above-described property, such easement being described as follows:

Property lying 20 feet westerly and 10 feet easterly of the following described line:

Commencing at the center of Section 30, Town 2 South, Range 7 East, Superior Township, Washtenaw County, State of Michigan; thence South 02 degrees 14 minutes 15 seconds East 977.43 feet along the North and South 1/4 line of said Section and centerline of Gale Road as shown on the plat of "Burr Oak" Subdivision, recorded in Liber 23 of Plats, Pages 51-54, Washtenaw County Records; thence North 82 degrees 19 minutes 48 seconds East 810.92 feet along the centerline of Geddes Road (formerly Potawatomie Trail); thence continuing along said centerline North 79 degrees 28 minutes 21 seconds East 94.00 feet; thence South 02 degrees 06 minutes 24 seconds East 265.00 feet; thence South 82 degrees 45 minutes 16 seconds East 210.74 feet for a Place of Beginning; thence South 02 degrees 08 minutes 35 seconds East 470 feet more or less to the water's edge of the Huron River for a Place of Ending.

Or such other 30-foot wide strip of land from Parcel "A" to the Huron River as the owners of Parcels "B" and "C" may later designate in a recorded modification of the easement provided that such alternate strip must have soil capable of supporting foot traffic and further provided that the owners of Parcels "B" and "C" shall provide pedestrian access improvements equal to those in place on the above-described easement at the time such alternate strip is designated.

Commonly known as: 5728 Geddes Road, Ann Arbor, Michigan 48105

Tax Parcel ID. No.: J-10-30-400-061

**Attachment B
Reasons for Appeal
Standards: Section 13.08(B)**

Applicant is applying for a variance from the Superior Township Zoning Ordinance, Art. 3, Section 3.101, Table of Dimensional Standards in relation to the minimum rear yard set-back.

Applicant is proposing to build a residential structure and related improvements as described in the drawings and plans attached as Attachment C to this Application. As shown on Sheet-G-201 of the Plan Drawings attached as Attachment C, Applicant is proposing to construct a driveway, retaining wall, and portions of the residential structure within the required 50-foot minimum rear yard set-back required by Township Zoning Ordinance.

Applicant is respectfully requesting a variance to the Township Zoning Code for the following reasons in accordance with Section 13.08(B) of the Township Zoning Ordinance, Standards for Review:

Standard 1:

Special conditions and circumstances exist that are unique to the land, structures, or buildings involved, and are not applicable to other lands, structures, or buildings in the same district, subject to the following:

- a. The existence of nonconforming dwellings, lots of record, structures, uses, or sites on neighboring lands in the same zoning district or other zoning districts shall not be considered grounds for a variance.**
- b. The special conditions and circumstances on which the variance request is based do not result from the actions of the applicant.**

Reason 1:

Special conditions exist which make the request for variance unique to the Property. Such conditions do not exist on other properties located in the same zoning district to the same degree. The Property is located on the Huron River and contains significant natural and protected features. Specifically, the Property contains important ecological value in the form of wetlands and woodlands, some of which are protected and regulated wetlands by the State of Michigan and the Township. Additionally, portions of the Property contain soils not suitable for building and related well and septic service. These features are naturally existing and existed prior to the Applicant owning the Property. Additionally, the Property contains challenging topography with very steep slopes. Unlike other properties in the Township, development of the Property for a residential structure entails maintaining setbacks from certain regulated wetlands and from naturally existing slopes. Applicant desires (and in some cases is required by the Township and State of Michigan) to maintain as much of the existing wetlands, woodlands and slopes intact without building improvements in such areas with high ecological value.

The location of the residence and the related request for variance are the result of Applicant's attempt to mitigate interference and maintain required set-backs from wetlands and slopes on the Property while also constructing on soil which is suitable. It is also the result of sophisticated planning and design in order to place to residence in a location which makes it safely accessible by local emergency, fire and police services which may need to access the home.

Applicant has expended substantial time and resources in the planning, design and approval of a residence on the Property. The Property technically contains two parcels, on which two residential structures and related accesses could

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have been constructed. Instead, Applicant is only constructing one residence in order to minimize interference of the natural features on the Property.

Standard 2:

Literal interpretation of this Ordinance would deprive the applicant of rights commonly enjoyed by other property owners in the same district under the terms of this Ordinance.

Reason 2:

Literal interpretation of the Township Zoning Ordinance would deprive the Applicant of rights enjoyed by other property owners. Specifically, a literal reading of this ordinance would require driveway improvements and the residence to be located south of where they are currently located, which is impossible to accommodate for health, safety and regulatory reasons.

First, locating the home to the south would result in more of the driveway being located within an extremely steep slope located on the Property. Given the existing slope, it would be increasing the distance of a driveway and related turn-around and rendering it potentially unsafe for emergency, fire and police vehicles to traverse the area to gain access to the home. Applicant has worked with the Township fire department, an engineer and a contractor to determine the safest and most-feasible location for the driveway given the steep slope. Alternative locations have been considered by a number of professionals, but this location is the best design given the slopes and the parameters of reasonable and safe engineering and construction.

Second, the home is also being located in an area where soils are suitable for such construction and related septic. Given the wetlands, slopes and soils on the Property, other locations on the Property were not found to be suitable.

Third, locating the residence to the south would result in the residential structure being impermissibly located within existing wetland buffers in violation of Township and State regulations.

If this variance is not granted, Applicant's would be deprived of the right to build a residence on their Property. All residences must be constructed in a location which is otherwise permitted by other Township Ordinances, is safely accessible and which accommodates utility service. If this variance is not granted, Applicant could not otherwise (i) build within the wetlands, (ii) locate the driveway and entrance in a location that is safe for use by emergency, fire and police, nor (iii) install the septic and well in a suitable location.

Standard 3:

Granting the variance requested would not confer upon the applicant any special privilege that is denied by the Ordinance to other lands, structures, or buildings in the same district.

Reason 3:

Granting the variance requested would not confer any special privilege to the Applicant that is denied by the Township Zoning Ordinance to other lands. Applicant is requesting to build a residence in a zoning district that is properly zoned for residential use. Any other landowner in the zoning district would be entitled to build a home under the Township Zoning Code on property with the same classification. To the extent that the variance is granted to Applicant, it would be in recognition of the existence of significant wetlands and steep slopes on the Property, as well as existing engineering and construction challenges. The variance would also be consistent with the standards set forth in Section 13.08(B) of the ordinance which all property owners would be permitted to apply for.

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Other properties/property owners may not have the same constraints and regulations in relation to their respective properties. Therefore, this variance would be granting a right to build within the rear yard set-back in order to accommodate difficult topography and existing natural features and to maintain health and safety standards for the Township and County. This variance is not a special privilege to the Applicant. To the extent that other property owners require a variance in order to maintain setbacks from wetlands and steep slopes, such property owners would be able to request a variance.

Standard 4:

A variance granted shall be the minimum that will make possible a reasonable use of the land, building, or structure. The Board of Appeals may consider lesser variances than that requested by an applicant.

Reason 4:

The variance requested by Applicant is the minimum that will make it possible to reasonably use the Property. As previously noted, the request for variance is being made after substantial time, expense and planning to locate the residence and the related access drive in a location which (i) minimally interferes with existing regulated wetlands and slopes; (ii) is located in an area with suitable soils for construction, and (iii) also meets the requires for safety and access by the Township and County.

Dimensionally, the set-back is very minor and will not have a visual impact from Geddes Road or neighboring property owners that would be different from locating the structure to the south. As shown in the Plan Drawings, locating improvements within the rear-yard set-back is the only way to maintain the wetland set-back regulated by the State and the Township.

Standard 5:

The variance granted shall be in harmony with the intent of this Ordinance and will not be injurious to the environment, neighborhood, or otherwise detrimental to the public interest.

Reason 5:

The variance request is in harmony with the intent of the Township Zoning Ordinance and will not be detrimental to the environment, neighborhood or the public interest.

The variance is in harmony with the Township Zoning Ordinance because it protects wetlands and respects wetland buffers consistent with the Township Wetland Ordinance and regulations set forth by the State of Michigan. Further, if granted, the variance would allow for the construction of a single-family residence, which is consistent with the permitted zoning, and constitutes the highest and best use of the Property as determined by the Township Zoning Ordinance.

The variance and the related residential structure will not be injurious to the environment, neighborhood or the public interest because it is being requested consistent with design for construction to preserve woodlands and wetlands. Further, the variance is compatible with the best design, engineering and health and safety standards put forth by the Township and County in relation to construction, well and septic regulations, and access for emergency, fire and police services.

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CONCLUSION

The variance request meets all of the standards set forth in Section 13.08(B) of the Township Zoning Ordinance. The Applicant respectfully request that a variance be granted from the minimum rear-yard setbacks described in Art. 3, section 3.101, Table of Dimensional Standards for the R-1 District.

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**Attachment C
Plan Drawings
(see attached)**

Mouliere Residence

5728 Geddes Road, Ann Arbor, MI 48105

Released For: Permit

Release Date: 10/15/2021

O|X Project Number: SCN-MRP21

Project Team

Owner: Jean-Marie and Ingrid Mouliere

Architect: O|X Studio, Inc.
Contact: Robb Burroughs
2373 Oak Valley Dr., Suite 180, Ann Arbor, MI 48103
(734) 929-9000
robb@oxstudioinc.com

Structural Engineer: Craft | Engineering Studio
Contact: Nathaniel Stanton
39 West 38th Street, Ste. 6E
New York, NY 10018
(646) 912-9867
nmstanton@craftengin.com

General Contractor: Synder Contracting, LLC
Contact: Dan Snyder
8650 Huron River Dr., Dexter, MI
(734) 545-4840
tdsnydercontracting@gmail.com

Area Tabulation:

Upper Level: Livable Area: 3,874 sf
Deck Area: 528 sf
Garage Area: 1,178 sf

Main Level: Livable Area: 4,260 sf
Deck Area: 751 sf

Lower Level: Livable Area: 3,578 sf
Deck/Patio Area: 742 sf

TOTAL LIVABLE AREA: 11,712 sf
TOTAL BUILDING AREA: 12,890 sf

Minimum Insulation Values (Zone 5A, Single Family Residential)

Values based on 2015 Michigan Energy Code, Climate Zone 5A, Single and Two-Family Residential.

| | | |
|----------------------------|-----------------|-----------|
| Ceilings | R-38 | (U-0.030) |
| Walls, Above-Grade | | |
| Wood Framed | R-20 | (U-0.057) |
| -or- | R-13 + R-5 c.i. | |
| Mass Wall | | |
| Insulation on Interior | R-17 | (U-0.065) |
| Insulation on Exterior | R-13 | (U-0.082) |
| Walls, Basement | | |
| Interior Cavity Insulation | R-13 | (U-0.059) |
| -or- | | |
| Continuous Insulation | R-10 c.i. | (U-0.059) |
| Walls, Crawl Space | | |
| Interior Cavity Insulation | R-19 | (U-0.055) |
| -or- | | |
| Continuous Insulation | R-15 c.i. | (U-0.055) |
| Floors (Exposed Beneath) | R-30.0 | (U-0.033) |
| Slab-On-Grade Floors | | |
| Unheated | R-10 for 24 in. | |
| Heated | R-15 for 24 in. | |
| Fenestration | (U-0.32) | |
| Skylights | (U-0.55) | |

Applicable Codes & Life Safety Summary

Building Code: 2015 Michigan Residential Code
Mechanical Code: 2015 Michigan Mechanical Code
Electrical Code: 2017 National Electrical Code (NEC)
Plumbing Code: 2015 Michigan Plumbing Code
Energy Code: 2015 Michigan Uniform Energy Code

District: R1 - Single Family Residential District
Construction Type: V-B
Height, Building: 35' - 0"

Project Description

A new single-family residence built on an previously undeveloped property off of Geddes Rd. An existing easement provides access to the site from the road. The new residence will be three levels with one level visible from Geddes Rd. The second allowable level will be partially below grade along the north side and the third level will be a basement that is 50% below grade.

The residence will include a 3-car garage, 5 bedrooms, 7 bathrooms (6 full bathrooms and 2 half bathrooms), as well as an indoor pool, wine cellar, and home theater.

Drawing List

| Sheet Number | Sheet Name | Current Revision Description | Current Revision Date |
|----------------------|---|------------------------------|-----------------------|
| General | | | |
| G-100 | Title Sheet | Permit | 10/15/2021 |
| G-101 | General Information & Accessible Clearances | Permit | 10/15/2021 |
| G-102 | Zoning Analysis | Permit | 10/15/2021 |
| Site | | | |
| G-200 | Existing Site Plan (For Reference) | Permit | 10/15/2021 |
| G-201 | Architectural Site Plan | Permit | 10/15/2021 |
| Structural | | | |
| S-001 | Structural Title Sheet | Permit | 10/15/2021 |
| S-002 | Site Key Plan | Permit | 10/15/2021 |
| S-003 | Structural Notes | Permit | 10/15/2021 |
| S-004 | Structural Notes 2 | Permit | 10/15/2021 |
| S-010 | NE Axonometric Views | Permit | 10/15/2021 |
| S-011 | NW Axonometric Views | Permit | 10/15/2021 |
| S-012 | Foundation Sequence Diagrams | Permit | 10/15/2021 |
| S-020 | Typical Concrete Details | Permit | 10/15/2021 |
| S-021 | Typical Steel Details | Permit | 10/15/2021 |
| S-022 | Typical Wood Shear Wall | Permit | 10/15/2021 |
| S-023 | Typical Wood Details | Permit | 10/15/2021 |
| S-024 | Typical Wood Connections | Permit | 10/15/2021 |
| S-025 | Typical Retaining Wall Details | Permit | 10/15/2021 |
| S-100 | Lower Level & Foundation Plan | Permit | 10/15/2021 |
| S-101 | Foundation Plan - Dimensioned | Permit | 10/15/2021 |
| S-110 | Main Level Framing Plan | Permit | 10/15/2021 |
| S-120 | Upper Level Framing Plan | Permit | 10/15/2021 |
| S-130 | Roof Framing Plan | Permit | 10/15/2021 |
| S-300 | East-West Sections | Permit | 10/15/2021 |
| S-301 | North-South Sections | Permit | 10/15/2021 |
| S-302 | North-South Sections 2 | Permit | 10/15/2021 |
| Architectural | | | |
| A-002 | Overall Floor Plans | Permit | 10/15/2021 |
| A-100 | Lower Level Floor Plan | Permit | 10/15/2021 |
| A-101.1 | Main Level Floor Plan - West | Permit | 10/15/2021 |
| A-101.2 | Main Level Floor Plan - East | Permit | 10/15/2021 |
| A-102.1 | Upper Level Floor Plan - West | Permit | 10/15/2021 |
| A-102.2 | Upper Level Floor Plan - East | Permit | 10/15/2021 |
| A-103.1 | Roof Plan - West | Permit | 10/15/2021 |
| A-103.2 | Roof Plan - East | Permit | 10/15/2021 |
| A-301 | Exterior Elevations | Permit | 10/15/2021 |
| A-302 | Exterior Elevations | Permit | 10/15/2021 |
| A-350 | Building Sections | Permit | 10/15/2021 |
| A-351 | Building Sections | Permit | 10/15/2021 |
| A-354 | Building Sections | Permit | 10/15/2021 |
| A-401 | Enlarged Stair and Elevator Plans | Permit | 10/15/2021 |
| A-700 | Door & Frame Legend & Details | Permit | 10/15/2021 |
| A-701 | Window Schedule and Legend | Permit | 10/15/2021 |

Site Map



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Job Title:
Mouliere Residence
5728 Geddes Road, Ann Arbor, MI 48105

Sheet Title:
Title Sheet
Released For: Permit



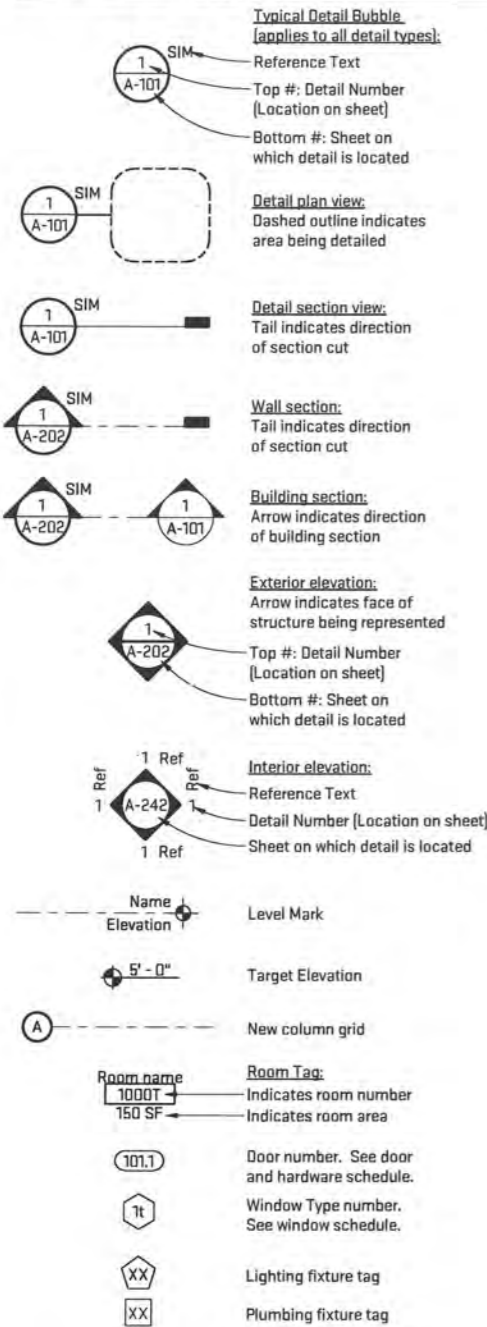
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SCN-MRP21

G-100

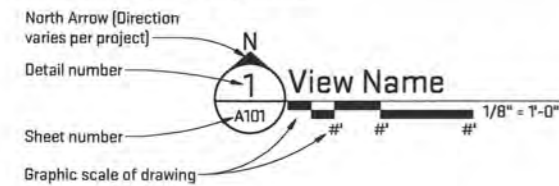
Scales listed are for 22x34 drawing size

General Symbol Legend

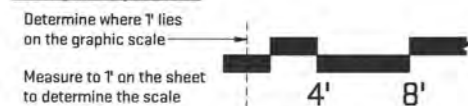


Graphic Scale Legend

View title with Graphic Scale & North Arrow.



Reading the Graphic Scale:



General Project Notes:

- Furnish and install all labor, materials, tools, dumpsters, permits, etc. to provide a complete and finished installation per these contract documents and where something is not specified, per the most stringent industry standards and code requirements.
- All work shall be performed by qualified and skilled workers, in a neat and workmanlike manner, and in accordance with industry standards and practices.
- This project shall comply with all local, state and federal laws, codes and ordinances.
- All parts of the work - including materials, methods, assemblies, etc. must comply with the minimum requirements of the governing regulations of all federal, state, district and local authorities having jurisdiction over the project as well as those greater requirements indicated by the contract documents. No part of the contract documents may be construed to require or permit work contrary to a governing regulation. Where there is a discrepancy between the governing code and the drawings, the most restrictive case shall govern. In such case, confer with Architect prior to proceeding.
- Contractor shall be responsible for all permits and inspections relating to their work, and shall obtain all field approvals on their work from regulating agencies where required.
- Contractor shall obtain all field approvals on work from regulating agencies where required.
- Contractor or Construction Manager shall coordinate between various trades for rough-in requirements.
- Contractor shall provide a schedule to Owner, Architect, Engineer and sub-contractors prior to the start of construction operations.
- Provide shoring, bracing, underpinning and any other means required to protect the safety, integrity and stability of all new and existing construction.
- These drawings are based on design drawings. As such, actual conditions may vary from what is shown. Contractor shall be responsible for verifying all field conditions and coordinating any changes with architect. All changes required to meet the intent of these drawings shall be at the contractor's cost.
- Coordinate all construction operations with occupants of space. Space shall remain occupied during construction and contractor shall ensure that all paths of egress are free of construction materials, debris, tools, etc throughout the duration of the project.
- Verify the sizes, locations, elevations and details of existing conditions that affect the work. Notify the architect of any discrepancies in dimensions, sizes, locations and conditions before proceeding with the work.
- Provide thorough cleanup of entire scope of work and any surrounding areas affected by the construction operations.
- Leave job site broom clean at the end of each working day's operations.
- Provide all temporary protection measures required to ensure control of dust transmission throughout the project.
- As-Built Drawings (Record Drawings): Contractor shall record on as-built drawings any deviations from the design drawings. Drawings shall be submitted to Owner, Architect and Engineer after completion of project.

Electrical General Notes:

- Electrical Systems Modifications:** These drawings are intended for the Electrical Design-Build Contractor. All design, engineering and documentation shall be by the Design-Build Electrical Contractor's Engineer. These drawings are intended to show minimum performance requirements and are to be applied in conjunction with all referenced standards and guidelines listed below. Where there are any conflicts between these drawings and any of the referenced building codes, ordinances, standards or guidelines, the most restrictive condition shall apply.
- Permits Codes, Ordinances and Standards requirements to be included in Contract Documents:** All work and materials shall conform to all local, state and federal authorities having jurisdiction. Electrical contractor shall be responsible for all permits and field inspections relating to their work and shall obtain all field approvals on their work from regulating agencies where required.
- Existing conditions:** The Design-Build Electrical Contractor shall field verify and document all dimensions and conditions in their design documentation.
- Coordination:** The Electrical Design-Build contractor shall be responsible for all work directly impacted by the Electrical scope of work including miscellaneous cutting and patching.
- Guarantee requirements:** The Electrical Contractor shall warrant and guarantee that all work will be free from defects in workmanship and materials. The Electrical Contractor shall Guarantee all labor and materials for [1] one year from date of final completion, unless noted otherwise on contract documents or specifications.
- As-Built Drawings:** Electrical contractor shall record on as-built drawings all sizes, material, elevations, and locations of all the equipment and ductwork.
- Operating and maintenance instructions:** Prior to final acceptance by Owner, provide all personnel, equipment, and labor as necessary to instruct Owner's personnel in proper operation and maintenance of the systems and equipment installed in this project. Provide instructional session during time period agreed to with Owner.

Coordination, Cutting and Patching:

- Existing Conditions:** Drawings showing existing construction and utilities are based on casual field observation and existing record documents only. Verify that construction and utility arrangements are as shown and report discrepancies to OX Studio, Inc. before disturbing existing installation. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition.
- Site Protection:** Protect existing property, site elements, finishes, equipment, remaining surfaces, utilities and services within and adjacent to work from damage due to operations. Shore and brace existing construction during cutting operations as required to prevent cracking, movement, or collapse of existing assemblies, surfaces and materials. Replace or repair any item or element damaged as a result of construction operations or a lack of adequate protection by Contractor.
- Coordination:** Contractor shall be responsible for all coordination work required for a finished and complete installation of all work by all sub-trades included in the Scope of Work including all cutting and patching; the extent of which is generally not specifically shown on the drawings.
- Cutting and Patching:** Cut holes and openings in, or remove portions of, existing construction necessary for connection of new architectural elements, mechanical and electrical utilities and services, equipment and supports. Patch around mechanical and electrical penetrations. Patch floors, walls, and ceilings damaged by demolition operations, including removal of indicated mechanical and electrical items, and indicated wall-, floor-, and ceiling-mounted items. Patch and paint openings in walls, floors and ceilings created by demolition and removal operations. Patch and repair blemishes and holes in existing construction surfaces left in place, and scheduled to be exposed, that have been damaged due to construction operations.
- Materials for Patching:** Unless otherwise indicated, use materials for patching identical to existing materials. If identical materials are not available, or cannot be used, use materials matching existing adjacent surfaces to the fullest extent possible with regard to visual effect. Use materials for patching that result in equal-or-better performance characteristics. All cutting and patching shall be the responsibility of the appropriate Architectural Trade. Final approval of repair or replacement shall be at discretion of Architect.
- Utilities:** Coordinate all shut-downs with Owner. Provide Owner no less than 2-working days notice for all utility shut-downs. If utilities or services are uncovered that are not indicated on drawings, advise Owner and do not work in immediate area until instructed by Owner.

HVAC and Plumbing General Notes:

- HVAC Systems Modifications:** These drawings are intended for the HVAC and Plumbing Design-Build Contractor. All design, engineering and documentation shall be by the Design-Build Contractor's Engineer. These drawings are intended to show minimum performance requirements and are to be applied in conjunction with all referenced standards and guidelines listed below. Where there are any conflicts between these drawings and any of the referenced building codes, ordinances, standards or guidelines, the most restrictive condition shall apply.
- Permits Codes, Ordinances and Standards requirements to be included in Contract Documents:** All work and materials shall conform to all local, state and federal authorities having jurisdiction. Mechanical and Plumbing contractors shall be responsible for all permits and field inspections relating to their work and shall obtain all field approvals on mechanical and plumbing work from regulating agencies where required.
- HVAC Comfort Guidelines:** The HVAC system shall be designed with cooling and heating capacity and air volumes per the most stringent ASHRAE comfort standards/recommendations for the occupancy and building type.
- Existing conditions:** The Design-Build Mechanical and Plumbing Contractors shall field verify all dimensions and conditions and document existing conditions.
- Coordination:** The Mechanical and Plumbing Design-Build Contractors shall be responsible for all work directly impacted by the HVAC and Plumbing scope of work including miscellaneous cutting and patching, electrical for new equipment, etc.
- Guarantee requirements:** The Design-Build Mechanical Contractor shall warrant and guarantee that all work will be free from defects in workmanship and materials and that all apparatus will develop capacities and characteristics required to comply with performance standards. The Mechanical and Plumbing Contractors shall Guarantee all labor and materials for a period of [1] one year from date of final completion, unless noted otherwise on contract documents or specifications.
- As-Built Drawings:** Mechanical and Plumbing Contractors shall record on as-built drawings all sizes, material, elevations, and locations of all the equipment, piping and ductwork.
- Operating and maintenance instructions:** Prior to final acceptance by Owner, provide all personnel, equipment, and labor as necessary to instruct Owner's personnel in proper operation and maintenance of the systems and equipment installed in this project. Provide instructional session during time period agreed to with Owner.

Scales listed are for 22x34 drawing size



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Job Title:
Mouliere Residence
5728 Geddes Road, Ann Arbor, MI 48105

Sheet Title:
General Information & Accessible Clearances
Released For: Permit



10/15/2021

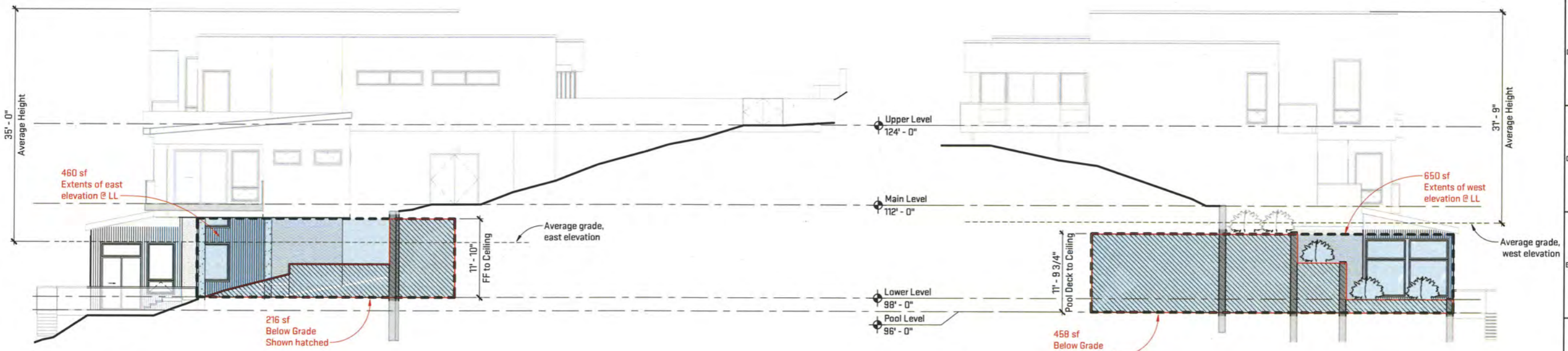
SCN-MRP21

G-101

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3 South Elevation
G-102 1/8" = 1'-0"



2 East Elevation
G-102 1/8" = 1'-0"

1 West Elevation
G-102 1/8" = 1'-0"

General Sheet Notes:

A. None.

| Grading Analysis | |
|------------------|---------------|
| Elevation | % Below Grade |
| North Elevation | 100% |
| East Elevation | 47% |
| South Elevation | 1% |
| West Elevation | 70% |
| Average | 54.5% |

Article 17 - Definitions:
17. Basement. That portion of a building wholly or partly below grade, but so constructed that the vertical distance from the average grade to the basement floor is greater than the vertical distance from the average grade to the basement ceiling.

| Maximum Building Height (R-1) | | |
|-------------------------------|---------|----------|
| Feet | Allowed | Proposed |
| | 35'-0" | 35'-0" |

Article 3 - Dimensional Standards:
Section 3.101 Table of Dimensional Standards by District.

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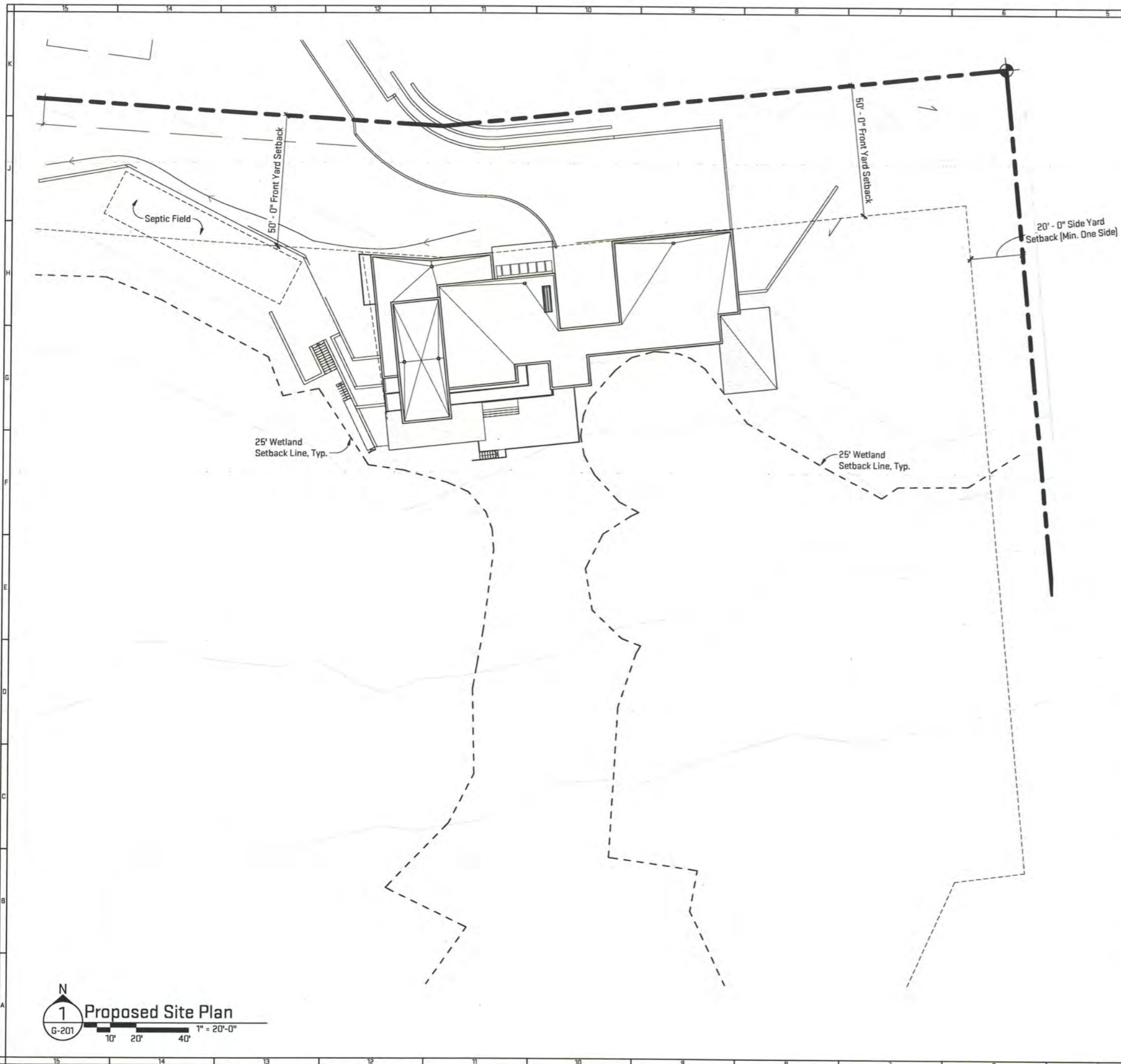
Sheet Title:
Zoning Analysis
Released For: Permit



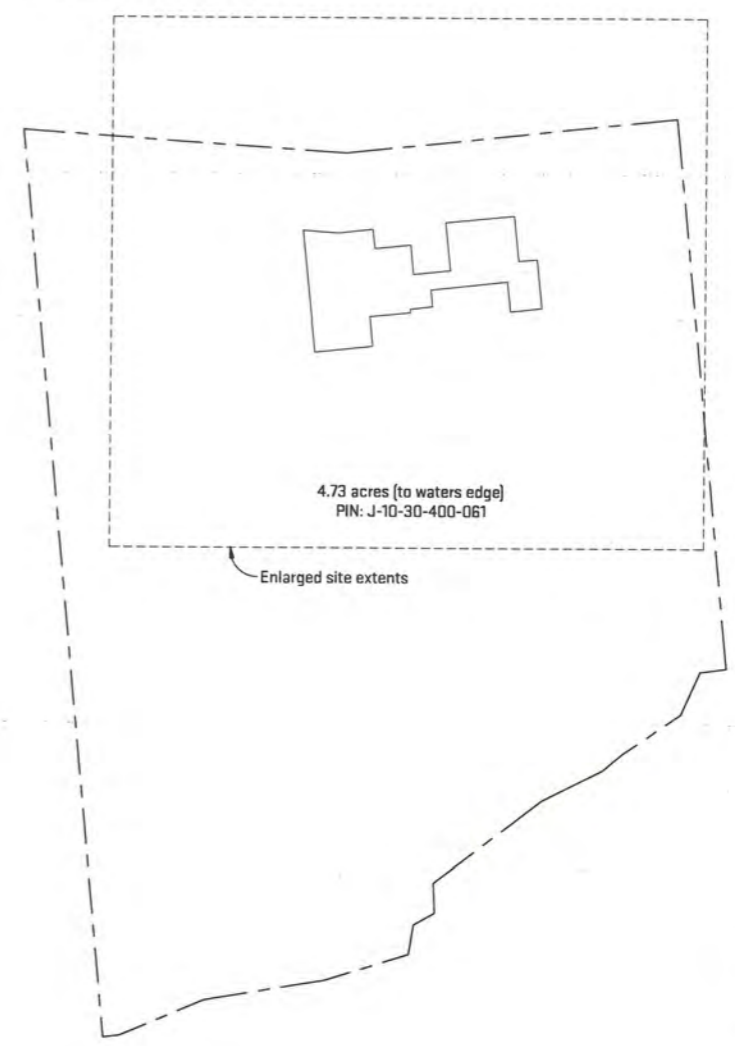
10/15/2021
SCN-MRP21
G-102

Scales listed are for 22x34 drawing size

Plot Date/Time: 10/19/2021 12:14:14 PM File Path: C:\Users\rowse\Documents\MRP21_SarahRowse.rvt



Parcel Sketch



Building Information

| Area and Height Regulations | | |
|---|----------------------|-----------|
| | Existing Required | Proposed |
| Zoning | R-1 | No change |
| Building Sizes | | |
| Proposed Residence Size | | 11,203 sf |
| Proposed Garage - Attached | | 1,166 sf |
| Required Setback Line Minimum and Maximum Dimensions | | |
| Rear Yard Setback | 50' - 0" | 50' - 4" |
| Side (West) Yard Setback | 20' - 0" | No change |
| Side (East) Yard Setback | 20' - 0" | 198' - 4" |
| Riverside Setback | 25' - 0" | 550' - 0" |
| Maximum Height | 35' - 0" / 2 stories | No change |
| Minimum Gross Lot Size | | |
| Minimum Gross Lot Area | 2 acres | No change |
| Minimum Lot Width | 200 feet | No change |



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Sheet Title:
Architectural Site Plan
Released For: Permit

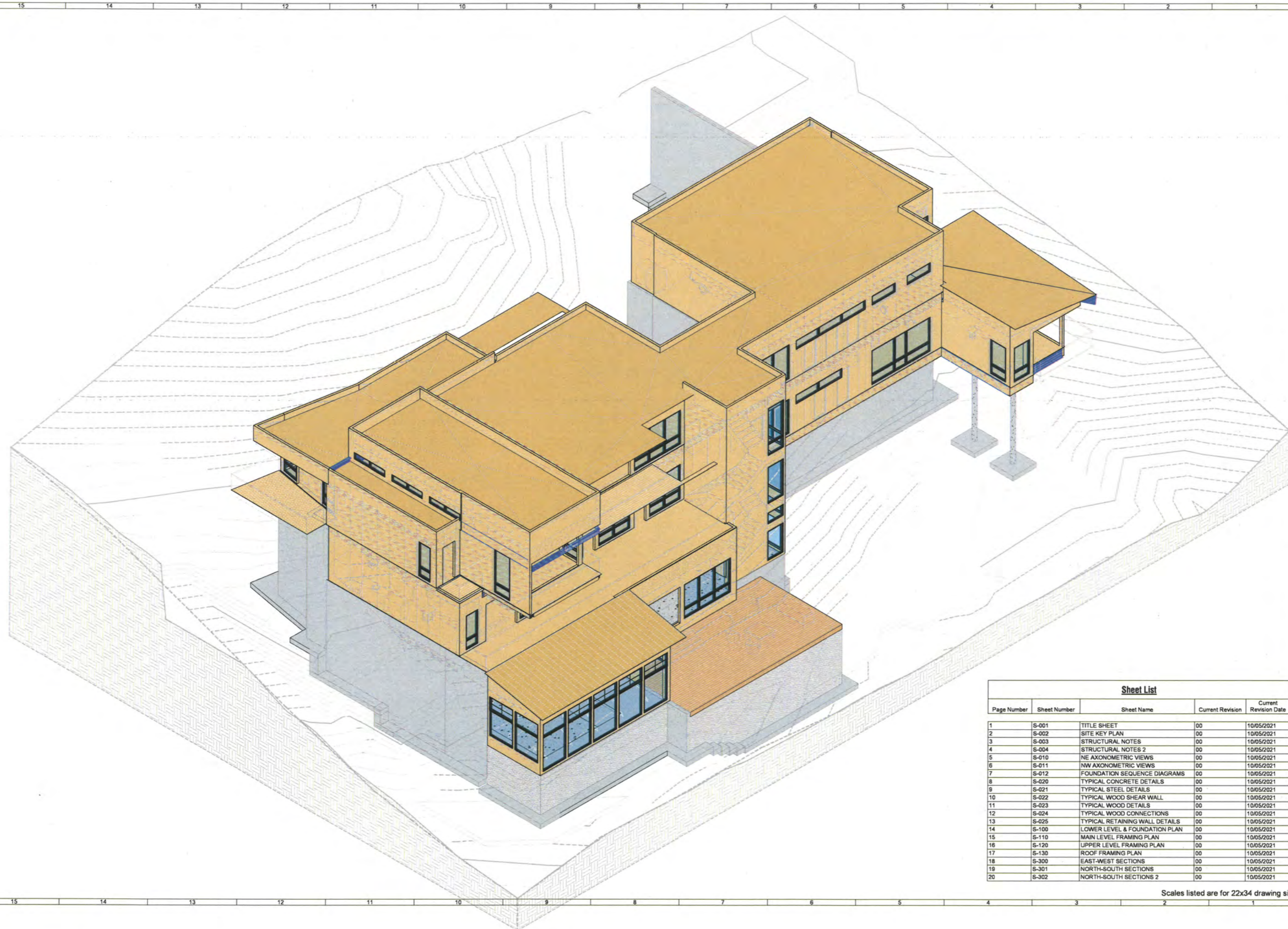


10/15/2021
SCN-MRP21

G-201

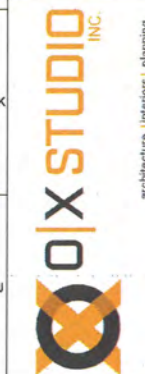
Scales listed are for 22x34 drawing size

Plot Date/Time: 10/18/2021 5:26:28 PM File Path: BIM 360/121059 Moulriere Residence/CR-21059 - Moulriere Residence_recovery2.rvt



| Sheet List | | | | |
|-------------|--------------|--------------------------------|------------------|-----------------------|
| Page Number | Sheet Number | Sheet Name | Current Revision | Current Revision Date |
| 1 | S-001 | TITLE SHEET | 00 | 10/05/2021 |
| 2 | S-002 | SITE KEY PLAN | 00 | 10/05/2021 |
| 3 | S-003 | STRUCTURAL NOTES | 00 | 10/05/2021 |
| 4 | S-004 | STRUCTURAL NOTES 2 | 00 | 10/05/2021 |
| 5 | S-010 | NE AXONOMETRIC VIEWS | 00 | 10/05/2021 |
| 6 | S-011 | NW AXONOMETRIC VIEWS | 00 | 10/05/2021 |
| 7 | S-012 | FOUNDATION SEQUENCE DIAGRAMS | 00 | 10/05/2021 |
| 8 | S-020 | TYPICAL CONCRETE DETAILS | 00 | 10/05/2021 |
| 9 | S-021 | TYPICAL STEEL DETAILS | 00 | 10/05/2021 |
| 10 | S-022 | TYPICAL WOOD SHEAR WALL | 00 | 10/05/2021 |
| 11 | S-023 | TYPICAL WOOD DETAILS | 00 | 10/05/2021 |
| 12 | S-024 | TYPICAL WOOD CONNECTIONS | 00 | 10/05/2021 |
| 13 | S-025 | TYPICAL RETAINING WALL DETAILS | 00 | 10/05/2021 |
| 14 | S-100 | LOWER LEVEL & FOUNDATION PLAN | 00 | 10/05/2021 |
| 15 | S-110 | MAIN LEVEL FRAMING PLAN | 00 | 10/05/2021 |
| 16 | S-120 | UPPER LEVEL FRAMING PLAN | 00 | 10/05/2021 |
| 17 | S-130 | ROOF FRAMING PLAN | 00 | 10/05/2021 |
| 18 | S-300 | EAST-WEST SECTIONS | 00 | 10/05/2021 |
| 19 | S-301 | NORTH-SOUTH SECTIONS | 00 | 10/05/2021 |
| 20 | S-302 | NORTH-SOUTH SECTIONS 2 | 00 | 10/05/2021 |

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Sheet Title:

TITLE SHEET

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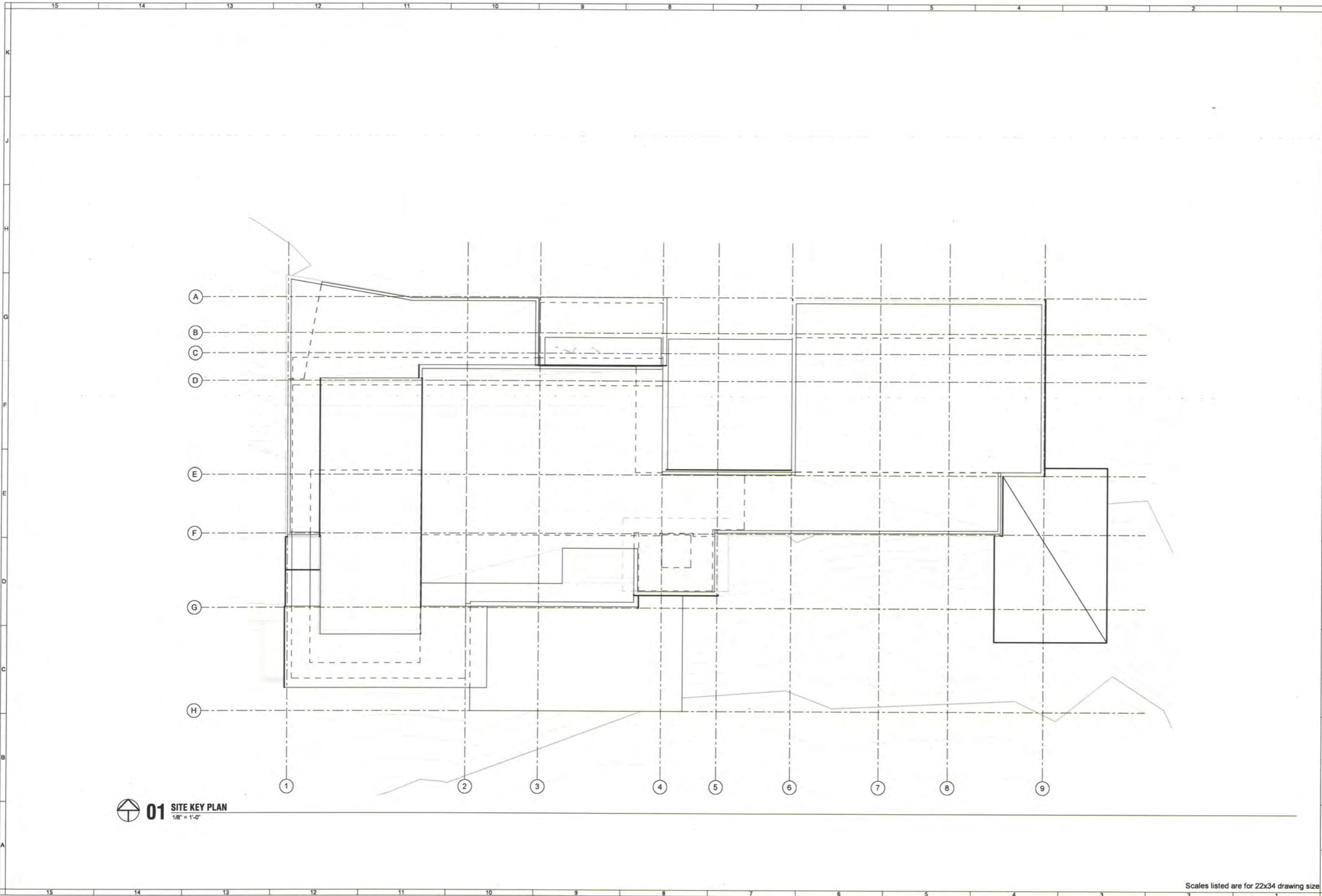
10/05/2021

21059

S-001

Project # / Dwg Date

Plot Date/Time: 10/5/2021 11:39:41 AM File Path: BIM 360://21059 Moulriere Residence/CR-21059 - Moulriere Residence_recovery2.rvt



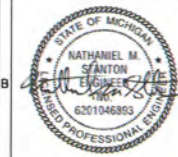
01 SITE KEY PLAN
1/8" = 1'-0"

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Sheet Title:
SITE KEY PLAN
Released For: PERMIT SET



10/05/2021 Date
21059 Project #
S-002 Drawing #

Plot Date/Time: 10/05/2021 11:39:42 AM File Path: BIM 360//21059 - Moulriere Residence - recovery2.rvt

Table with columns 1-15 and rows A-K. Contains specifications for Foundations, Superstructure Concrete, and Structural Steel. Includes sections for General, Design, Performance Criteria, Loads, Foundation Concrete, New Metal Decking, and Field Drilled Adhesive Anchors.



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Drawing #

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| | | | | | | | | | | | | | | | | | | | |
|--|----|----|----|---|----|---|---|--|---|---|---|--|---|---|--|---|--|--|--|
| 15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1 | | | | | |
| Wood Framing | | | | Metal Stairs, Landings and Railings | | | | Abbreviations | | | | Abbreviations | | | | | | | |
| <p>1. All wood framing shall conform to the "Timber Construction Manual" by the American Institute of Timber Construction latest edition and the "National Design Specification for Wood Construction" by the American Forest & Paper Association latest edition.</p> <p>2. Plywood floor deck, roof deck and wall sheathing shall be identified with the appropriate trademark of the American Plywood Association (APA) and shall meet the requirements of the latest edition of "Voluntary Product Standard PS 1 for Construction and Industrial Plywood".</p> <p>3. Panel Performance Category, grade, and Group number or Span Rating shall be at least equal to that shown on the drawings or called for in these notes. Application shall be in accordance with recommendations of APA.</p> <p>4. Glue for wood construction shall comply with specification AFG-01 of the American Plywood Association.</p> <p>5. Provide continuous bridging @ 8'-0" o/c typical for all framing.</p> <p>6. Wood framing shall comply with the following minimum material specifications:</p> <p>A. Dimension Lumber</p> <p>Douglas Fir-Larch (DF) No. 2 or better (WWPANLGA)</p> <p>a. Bending Fb = 900 psi b. Shear Fv = 180 psi c. Mod. Elas. E = 1,600,000 psi</p> <p>Spruce Pine Fir (SPF) No. 2 or better (WWPANLGA)</p> <p>a. Bending Fb = 875 psi b. Shear Fv = 135 psi c. Mod. Elas. E = 1,200,000 psi</p> <p>B. Laminated Veneer Lumber Beams (LVL):</p> <p>a. Bending Fb = 2600 psi b. Shear Fv = 285 psi c. E = 2,000,000 psi</p> <p>C. Parallel Strand Lumber (PSL):</p> <p>a. Bending Fb = 2900 psi b. Shear Fv = 290 psi c. E = 2,000,000 psi</p> <p>D. Laminated Strand Lumber (LSL):</p> <p>a. Bending Fb = 1700 psi b. Shear Fv = 400 psi c. E = 1,300,000 psi</p> <p>E. Wood "I Joists"</p> <p>a. "T.J.I." by Truss Joist MacMillan b. "L.P.I." by Louisiana Pacific c. "G.I.P.I." by Georgia-Pacific</p> <p>F. Timber Open Web Truss Joists</p> <p>a. Design by Truss Manufacturer</p> | | | | <p>1. Metal stairs shall be by Metal Stair manufacturer. Submit Shop Drawings and calculations for metal stairs, landings, and railings for approval prior to fabrication stamped by a P.E. in the jurisdiction defined in design criteria.</p> <p>2. Prefabricated metal stairs, landings, and railings shall conform to all applicable provisions of the International Building Code, latest edition, "Metal Stair Manual" by National Association of Architectural Metal Manufacturers and "Pipe Rail Manual" by N.A.A.M.M. latest editions. Bearing stresses at members which bear into the existing masonry walls shall not exceed 100 psi due to full dead plus live load.</p> <p>Progress Inspection Items</p> <p>1. The following Progress Inspection Items shall be required for construction. A qualified Special Inspection Agency shall be retained by the contractor to perform such inspections.</p> <p>A. Footing and Foundation B. Structural Concrete Reinforcing C. Structural Wood Frame D. Structural Steel Framing and Connections E. Final</p> | | | | <p>Addition Alternate Anchor Bolt Approximate Architectural Assembly Back to Back Base Plate Beam Block Bottom Both Sides Both Ways Building Cantilever Ceiling Center Centerline Center to Center Clear Column Concrete Concrete Masonry Unit Connection Construction Construction Joint Continuous / Continuous Countersunk Cover Dead Load Department Detail Diagonal Diameter Dimensions Dowel Down Drawing Each Each Face Each Way Electrical Elevation Elevator Engineer Engineer of Record Equal Existing Expansion Joint Exterior Fabricate Face to Face Far Side Finish Flange Footing Foundation Gage or Gauge Galvanize General Contractor Grade Gravel Ground Horizontal Inch Information Inside Face Interior Joint Kip Length/Long Lightweight Concrete Live Load Long Leg Horizontal Long Leg Vertical Long Slotted Hole Manufacturer Maximum Mechanical Minimum Miscellaneous Mixture Near Face Near Side Not In Contract Not To Scale Normal Weight Concrete Number On Center Opening Outside Diameter Outside Face Outstanding Leg Overhead Oversized Hole Plate Pounds per square inch Prefabricated Prestressed Pressure Treated Project Radius Reinforce Required Roof Drain Rough Opening Schedule Section Separate Short Leg Horizontal Short Leg Vertical Short Slotted Hole Similar Slope Slotted Specification Square Stainless Steel Standard</p> | | | | <p>ADD ALT AB APPROX ARCH ASSY B TO B BP BM BLK BOT or B BS BW BLDG CANT CLG CTR CL C/C CLR COL CONC CMU CONN CONST CJ CONT CSK CVR DL DEPT DET DIAG DIA or Ø DIM DWL DN DRWG EA EF EW ELEC EL ELEV ENGR EOR EQ EXIST JT FXT FAB F TO F FS FIN FLG FTG FDN GA GALV GC GR GVL GRD HOR IN INFO IF INT JT K LG LWC LL LLH LLV LSH MFR MAX MECH MIN MISC MIX NF NS NIC NTS NWC NO O/C OPNG OD OF OSL OVHD OVS PL PSI PREFAB PST PT PROJ R or RAD REINF REQ'D RD RO SCH SECT SEP SLH SLV SSH SIM SL SLOT SPEC SQ SS STD</p> | | | | <p>Steel Stiffener Structural Structural Engineer of Record Surface Symmetrical System Technical Temperature Tension Thick / Thickness Thread Tongue and Groove Top and Bottom Top of Concrete Top of Masonry Top of Steel Top of Wood Framing Total Typical Unless Otherwise Noted Variable Vertical Weight With Without Working Point Welded Wire Fabric Yard Direction Abbreviation</p> <p>STL STIFF STRUC SER SURF SYM SYS TECH TEMP TENS THK THD T & G T & B TC TM T/S TW TOT TYP U.O.N. VAR VERT WT W/ W/O W/P WWF YD N-E</p> | | | |
| <p>7. Floor Framing Specifications:</p> <p>A. Provide galvanized lightgauge metal connectors such as joist and beam hangers, post bases and caps and tie-downs in accordance with manufacturer's specifications in all locations unless noted otherwise.</p> <p>B. Panel subflooring shall be T&G 3/4 Category APA STRUCTURAL I RATED SHEATHING EXP 1 (or equivalent) installed with the long dimension perpendicular to the direction of supporting framing. Subflooring shall be glued and screwed to framing, typical.</p> <p>C. At exterior bearing wall locations parallel to floor framing, solid block first (3) joist or truss spaces @ 4'-0" o/c, typical.</p> <p>D. Provide solid blocking at locations where bearing walls are offset above and below at 16" o/c, typical. Offset in bearing walls shall be limited to a distance equal to the depth of the floor framing.</p> <p>E. All wood "I Joists" shall be installed according to the manufacturer's requirements, including the use of squash blocks, doublers, stiffeners, bridging, and proper fastenings. Follow manufacturer's hole cutting instructions for locations of holes in webs for plumbing and wiring. Do not cut or notch chords.</p> <p>F. All wood floor trusses shall be shop fabricated to the required dimensions and shall be capable of supporting all superimposed dead loads plus live load as specified in the 2015 Edition of the Michigan Building Code.</p> <p>a. Shop drawings shall be submitted to the Architect for approval and shall bear the seal of a P.E. registered in the State of Michigan.</p> <p>b. The truss manufacturer is to engineer and provide all headers and girder trusses for flush framed truss support conditions.</p> <p>c. All trusses which flush frame into headers or girder trusses shall be connected with metal hangers designed by a Michigan P. E. and supplied by the truss manufacturer. Truss hangers are to include proper nails or bolts as required by their design. Pre-engineered truss hangers by "Simpson" will be acceptable. Size and capacity of truss hangers is to be shown on the shop drawings.</p> | | | | <p>8. Wall Framing Specifications:</p> <p>A. Bearing Walls shall consist of 2x6 studs @ 16" o/c minimum, conforming to the specifications above for SPF #2 or better.</p> <p>B. Splices in Double Top Plates @ Bearing Walls shall be 6'-0" minimum with 16D Common Nails @ 4" o/c.</p> <p>C. Panel wall sheathing shall be minimum 15/32 Category APA STRUCTURAL I RATED SHEATHING EXP 1 (or equivalent). For Shear Wall Specifications, see Typical Shear Wall Elevation Detail.</p> | | | | <p>9. Roof Framing Specifications:</p> <p>A. Panel roof sheathing shall be 5/8 Category APA STRUCTURAL I RATED SHEATHING EXP1 (or equivalent) installed with the long dimension perpendicular to the direction of supporting framing. Sheathing shall be glued and screwed to framing, typical.</p> <p>B. Provide Hurricane Tie Downs (by Simpson or equiv.) at roof framing members per manufacturer's specifications to bearing walls and beams below.</p> <p>C. Provide galvanized lightgauge metal connectors such as joist, rafter and beam hangers, post bases and caps and tie-downs in accordance with manufacturer's specifications in all locations unless noted otherwise.</p> <p>D. All wood roof trusses shall be shop fabricated to the required dimensions and shall be capable of supporting all superimposed dead loads plus snow and/or live load as specified in the 2015 Edition of the Michigan Building Code.</p> <p>a. Shop drawings shall be submitted to the Architect for approval and shall bear the seal of a P.E. registered in the State of Michigan.</p> <p>b. The truss manufacturer is to engineer and provide all headers and girder trusses for flush framed truss support conditions.</p> <p>c. All trusses which flush frame into headers or girder trusses shall be connected with metal hangers designed by a Michigan P. E. and supplied by the truss manufacturer. Truss hangers are to include proper nails or bolts as required by their design. Pre-engineered truss hangers by "Simpson" will be acceptable. Size and capacity of truss hangers is to be shown on the shop drawings.</p> | | | | | | | | | | | |



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Sheet Title:
STRUCTURAL NOTES 2
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





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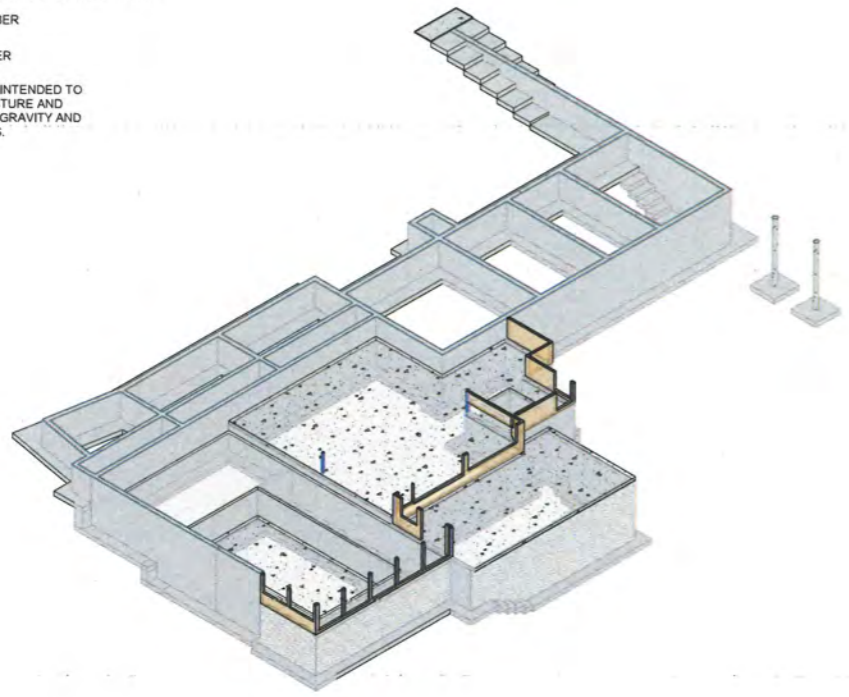
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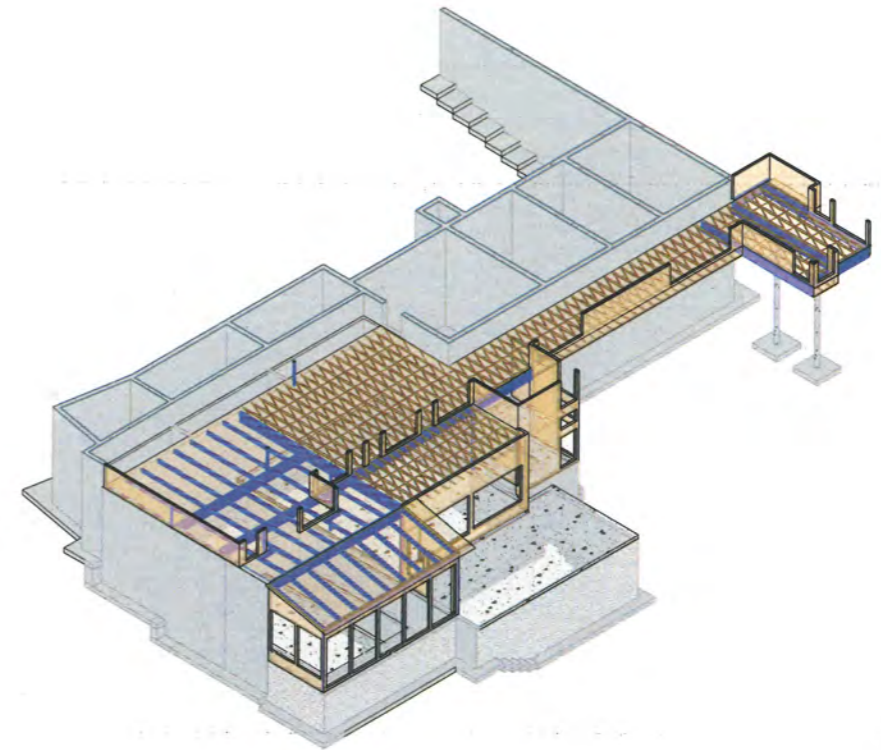
DRAWING LEGEND

-  CONCRETE FOUNDATION WALL & FOOTING
-  CONCRETE SLAB
-  2X BEARING / SHEAR WALL & PLYWOOD SHEATING
-  TIMBER FRAMING MEMBER
-  STEEL FRAMING MEMBER

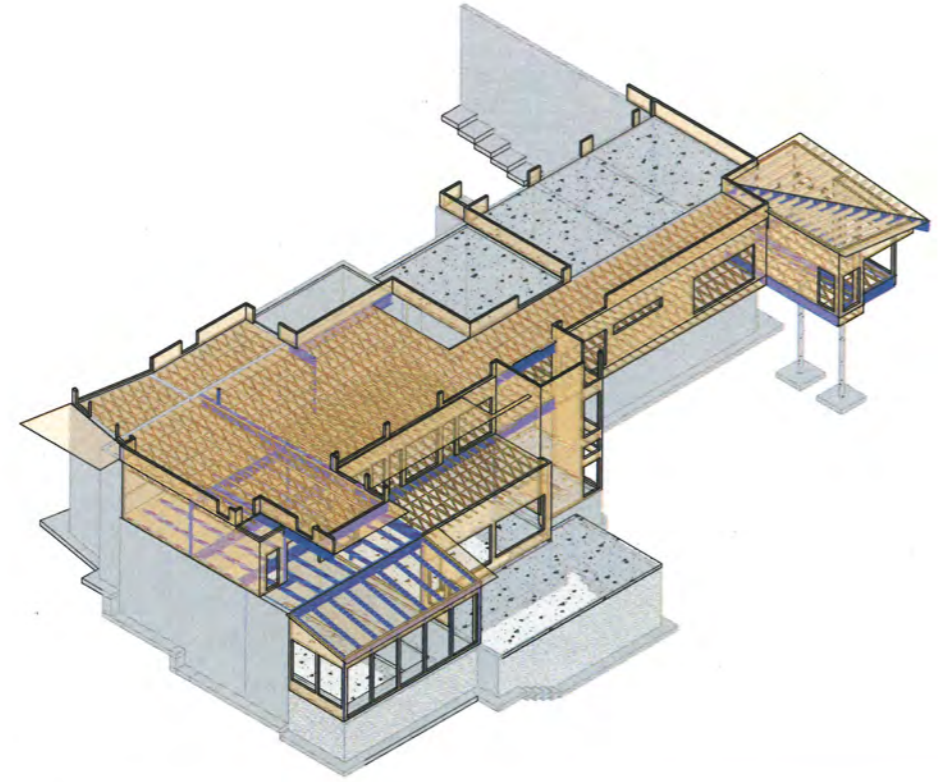
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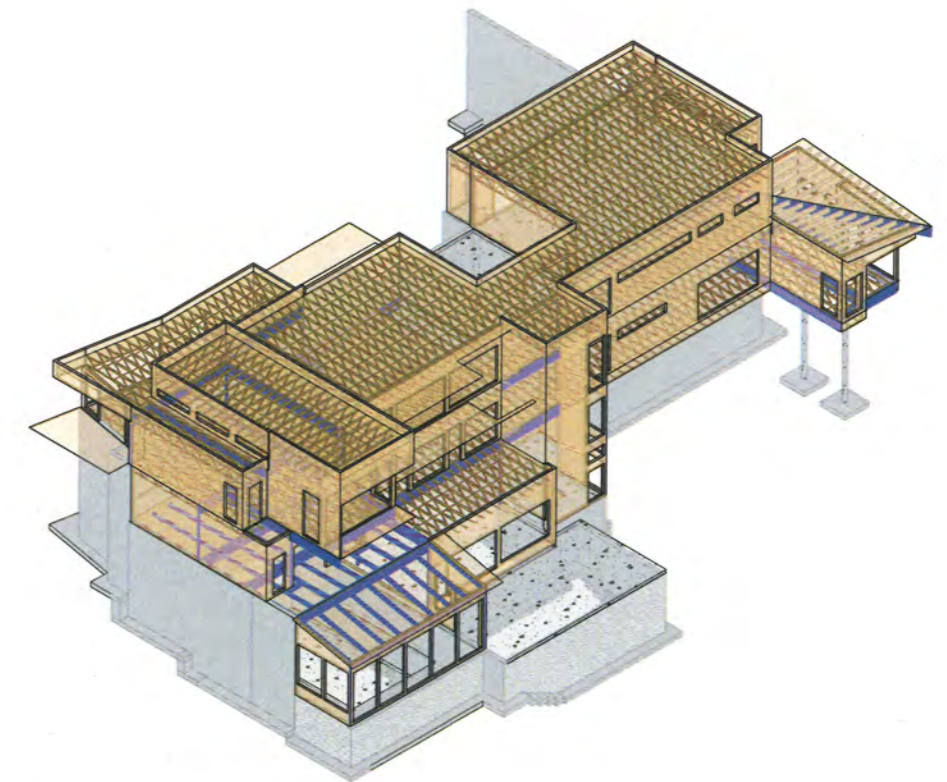
01 LOWER LEVEL & FOUNDATION AXON



02 MAIN LEVEL AXON



03 UPPER LEVEL AXON



04 ROOF AXON

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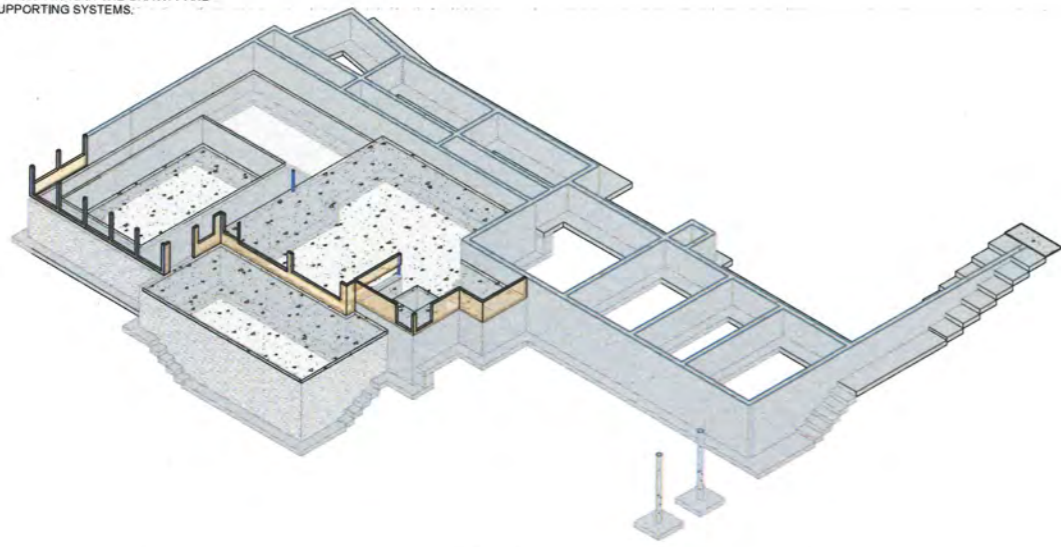
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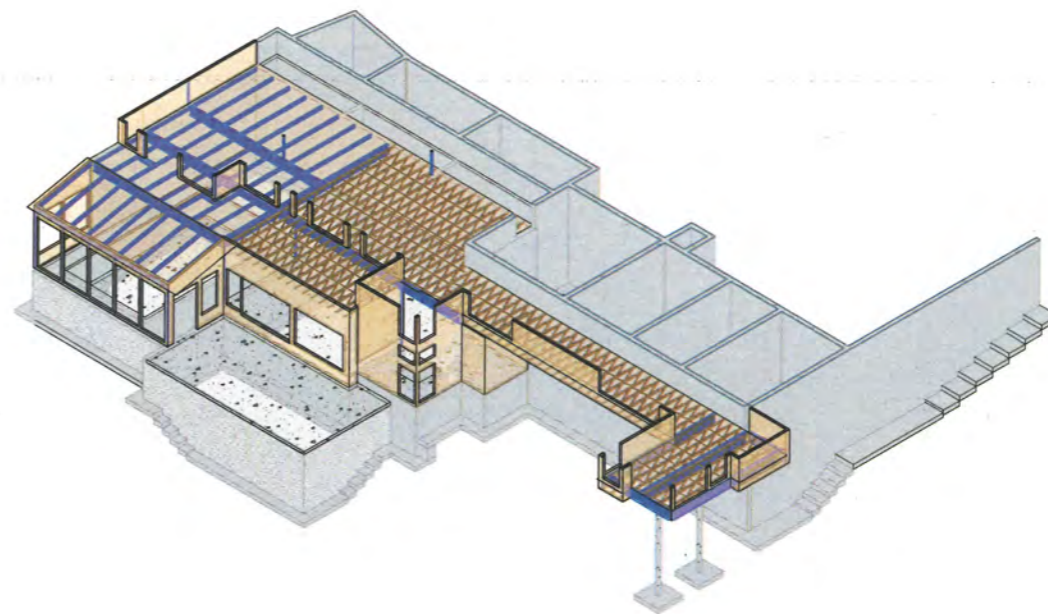
DRAWING LEGEND

-  CONCRETE FOUNDATION WALL & FOOTING
-  CONCRETE SLAB
-  2X BEARING / SHEAR WALL & PLYWOOD SHEATING
-  TIMBER FRAMING MEMBER
-  STEEL FRAMING MEMBER

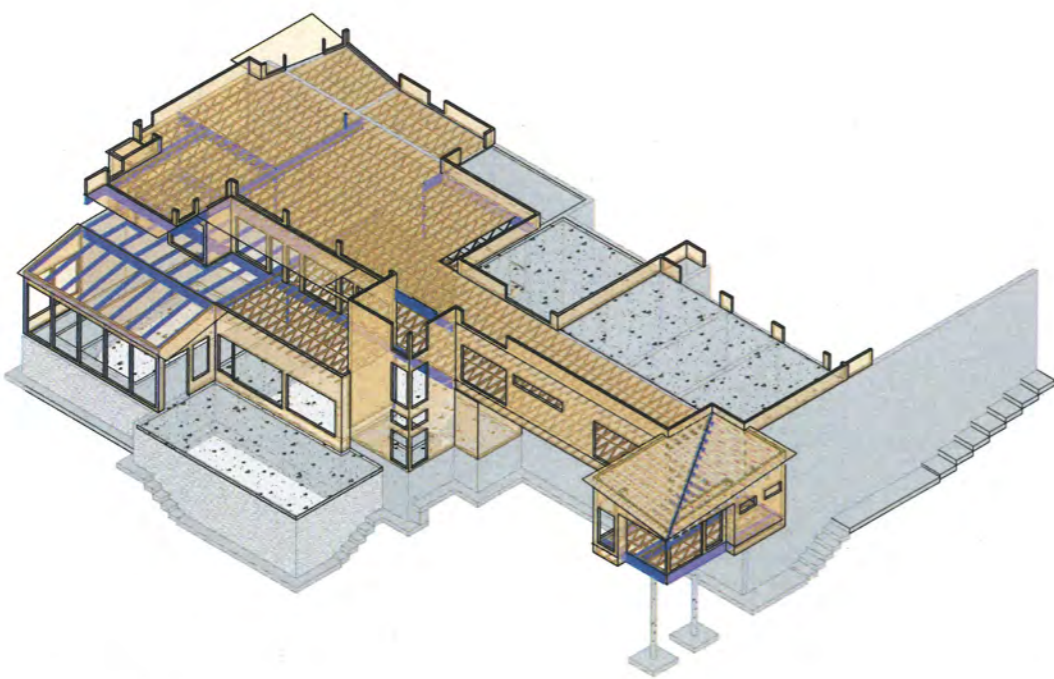
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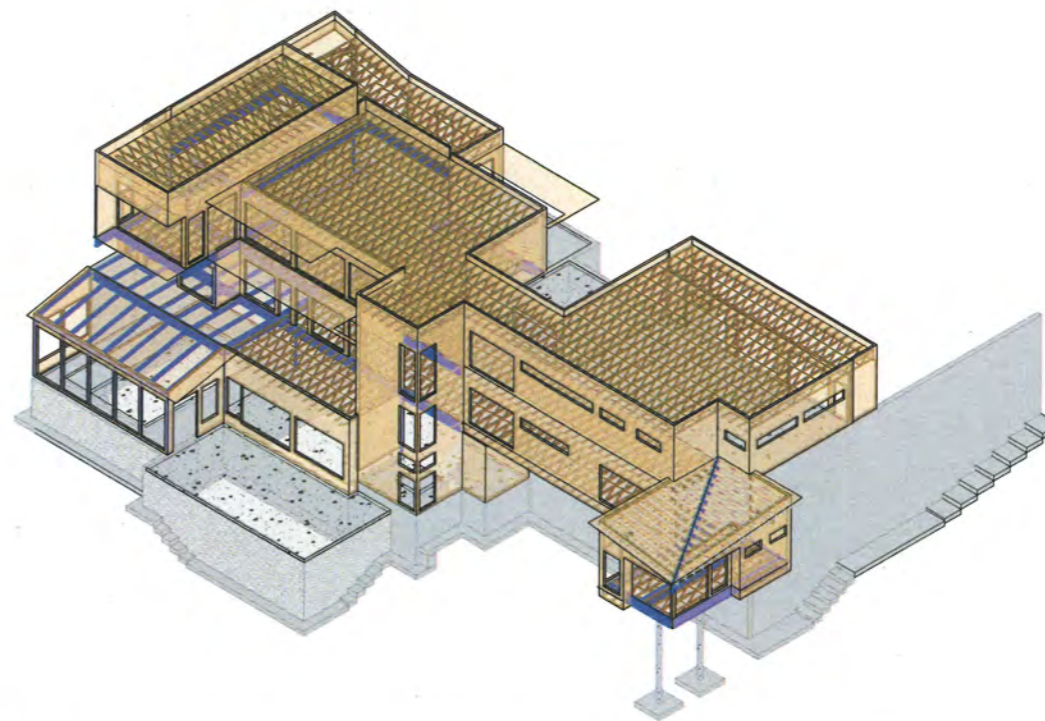
01 LOWER LEVEL & FOUNDATION AXON



02 MAIN LEVEL AXON



03 UPPER LEVEL AXON



04 ROOF AXON

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NW AXONOMETRIC VIEWS

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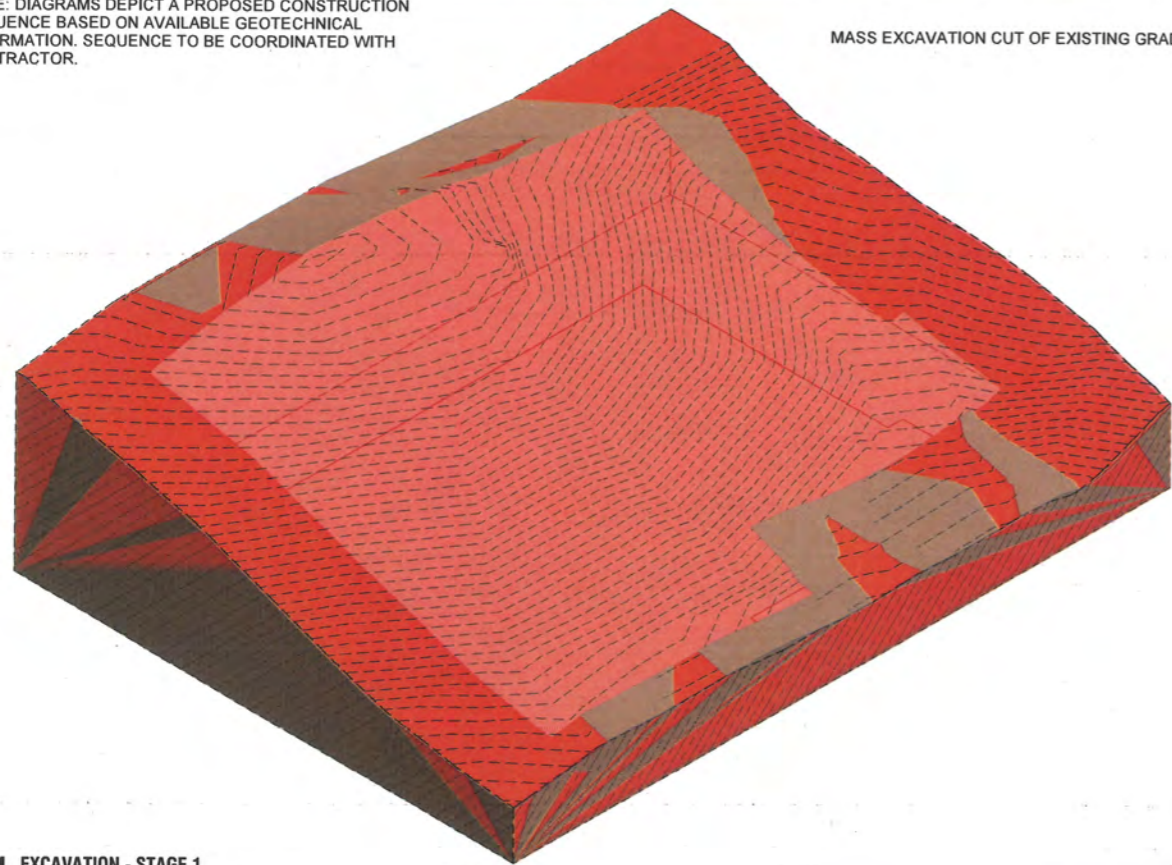
10/05/2021 Dwg Date

21059 Project #

S-011 Drawing #

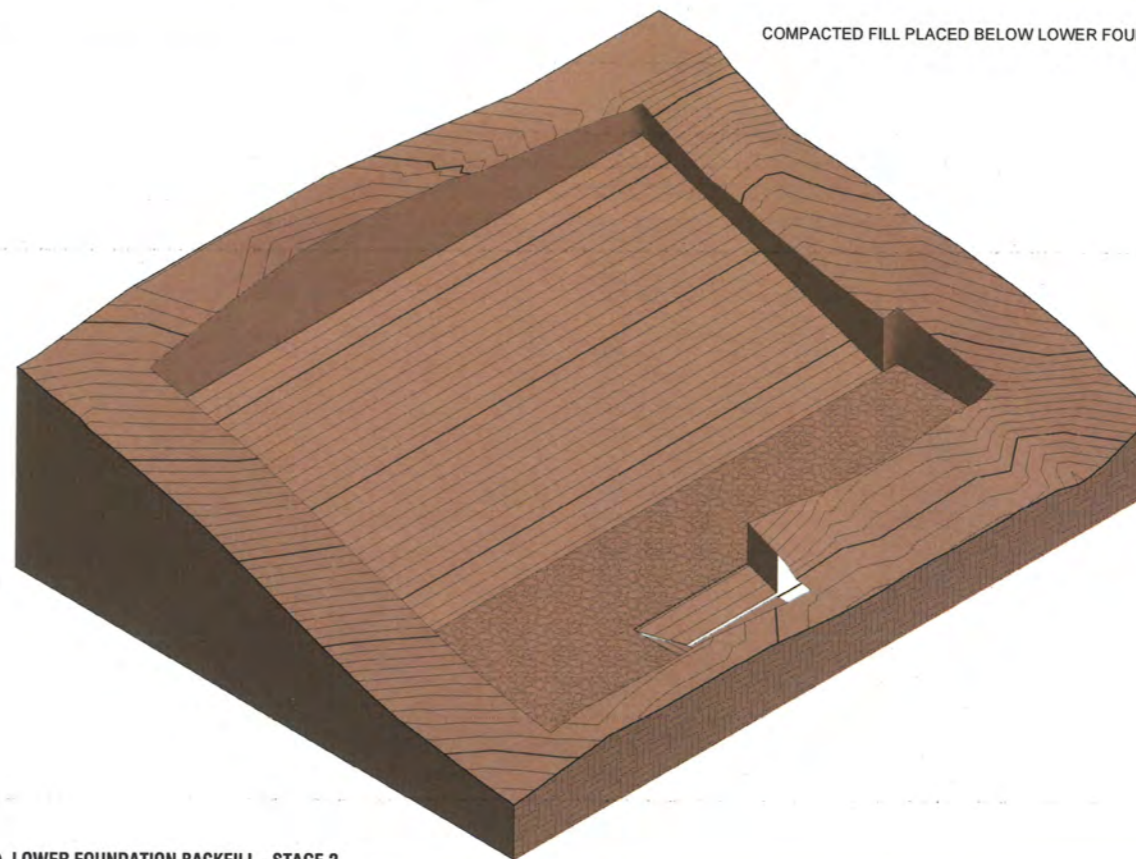
NOTE: DIAGRAMS DEPICT A PROPOSED CONSTRUCTION SEQUENCE BASED ON AVAILABLE GEOTECHNICAL INFORMATION. SEQUENCE TO BE COORDINATED WITH CONTRACTOR.

MASS EXCAVATION CUT OF EXISTING GRADE.



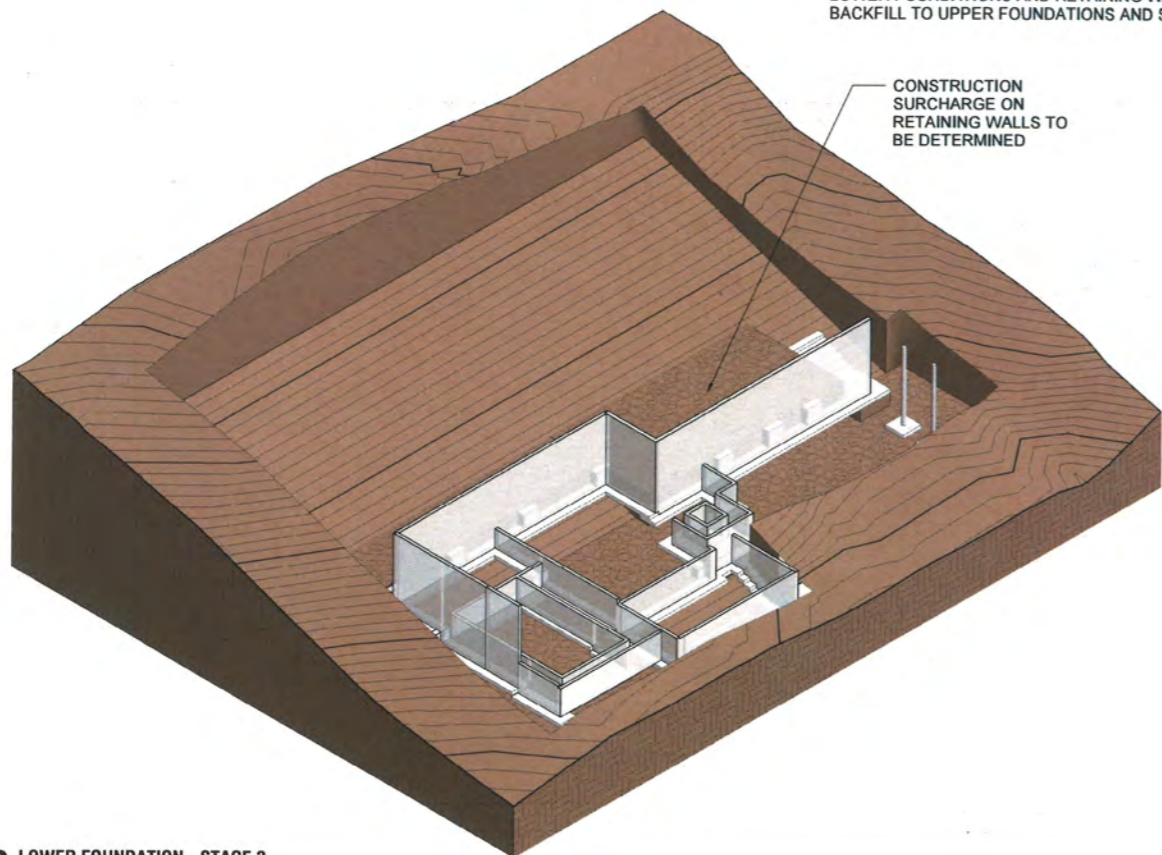
01 EXCAVATION - STAGE 1

COMPACTED FILL PLACED BELOW LOWER FOUNDATIONS.



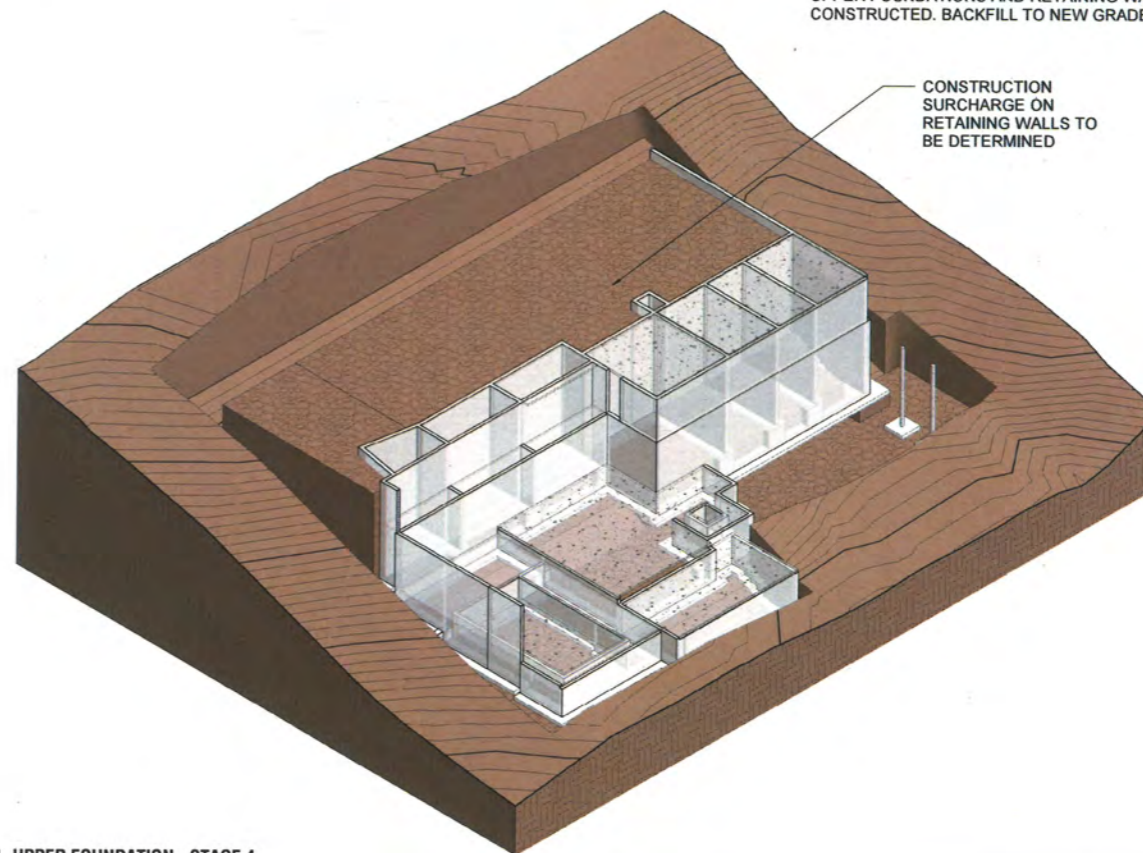
02 LOWER FOUNDATION BACKFILL - STAGE 2

LOWER FOUNDATIONS AND RETAINING WALLS CONSTRUCTED. BACKFILL TO UPPER FOUNDATIONS AND SLABS ON GRADE.



03 LOWER FOUNDATION - STAGE 3

UPPER FOUNDATIONS AND RETAINING WALLS CONSTRUCTED. BACKFILL TO NEW GRADE.



04 UPPER FOUNDATION - STAGE 4

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FOUNDATION
SEQUENCE
DIAGRAMS

Released For: PERMIT SET



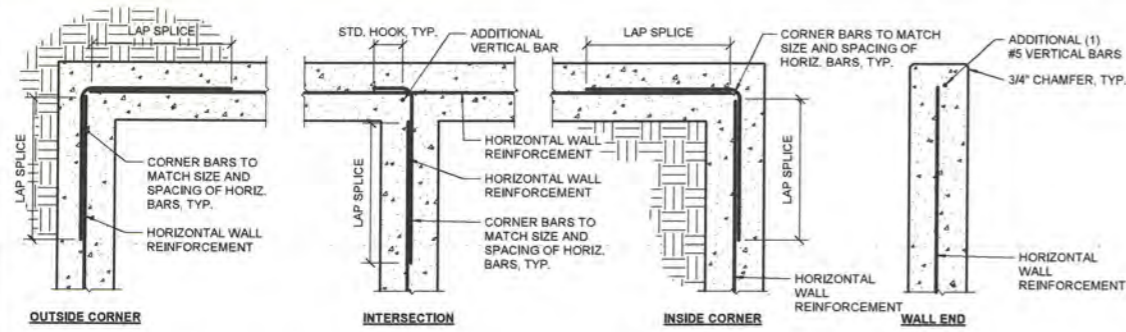
10/05/2021

21059

S-012

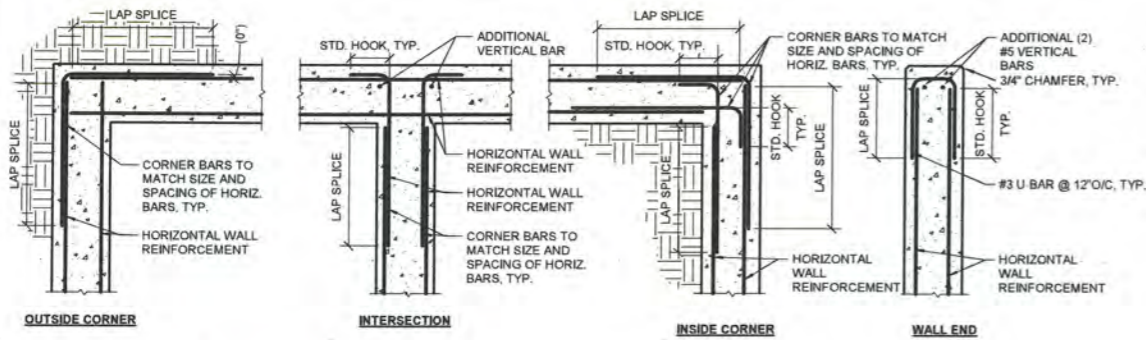
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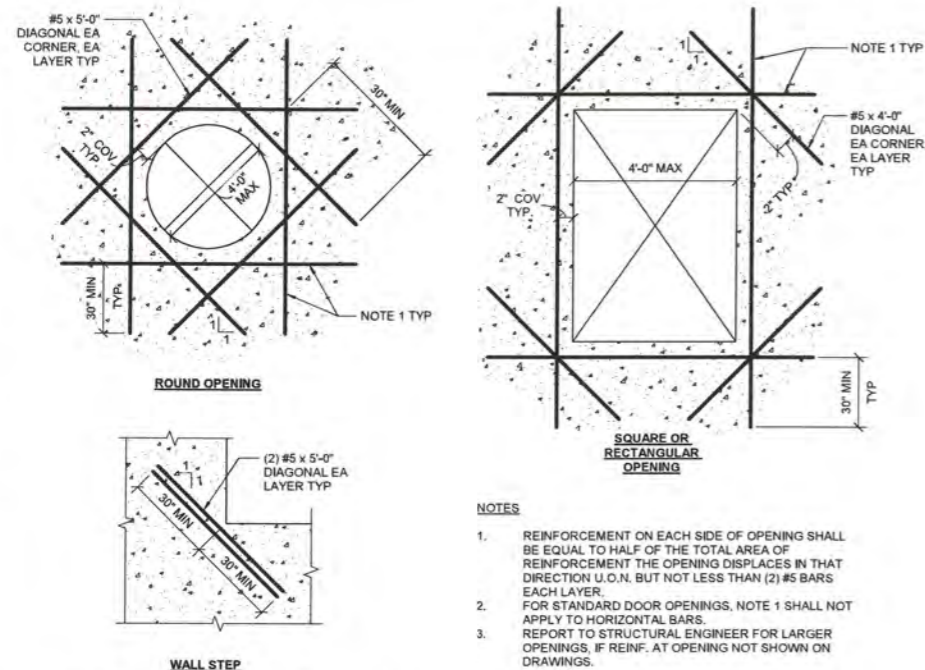
NOTES
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08 TYPICAL PLAN DETAIL @ CONCRETE WALL W/ SINGLE LAYER REINFORCEMENT
 NOT TO SCALE



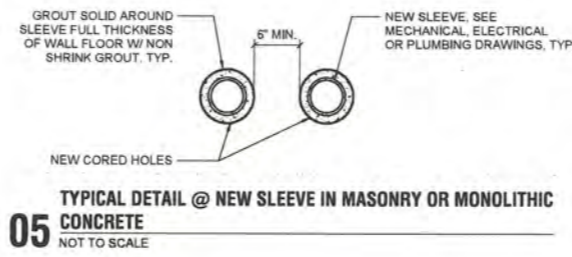
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09 TYPICAL PLAN DETAIL @ CONCRETE WALL W/ DOUBLE LAYER REINFORCEMENT
 NOT TO SCALE

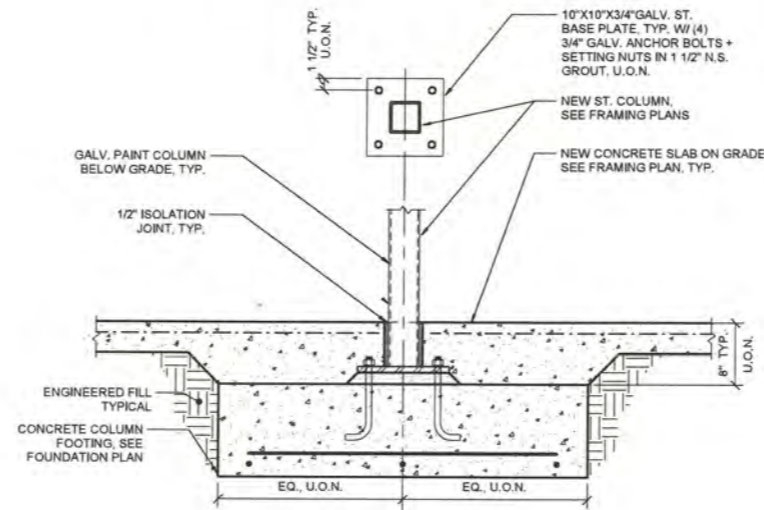


NOTES
 1. REINFORCEMENT ON EACH SIDE OF OPENING SHALL BE EQUAL TO HALF OF THE TOTAL AREA OF REINFORCEMENT THE OPENING DISPLACES IN THAT DIRECTION U.O.N. BUT NOT LESS THAN (2) #5 BARS EACH LAYER.
 2. FOR STANDARD DOOR OPENINGS, NOTE 1 SHALL NOT APPLY TO HORIZONTAL BARS.
 3. REPORT TO STRUCTURAL ENGINEER FOR LARGER OPENINGS, IF REINF. AT OPENING NOT SHOWN ON DRAWINGS.

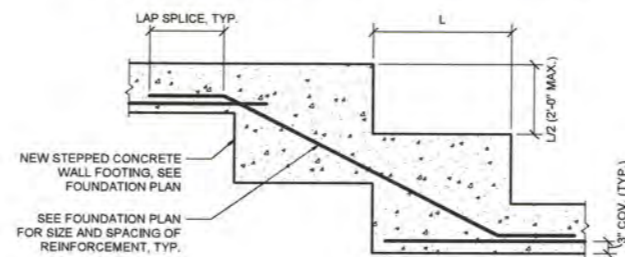
10 TYPICAL ADD. REINFORCEMENT REQUIRED @ OPENINGS & STEPS IN CONCRETE WALLS
 NOT TO SCALE



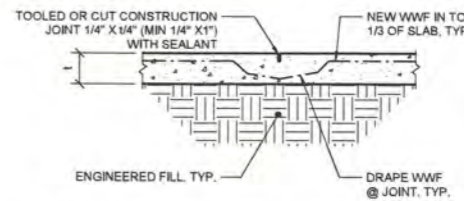
05 TYPICAL DETAIL @ NEW SLEEVE IN MASONRY OR MONOLITHIC CONCRETE
 NOT TO SCALE



06 TYPICAL DETAIL @ NEW INTERIOR COLUMN FOOTING
 NOT TO SCALE



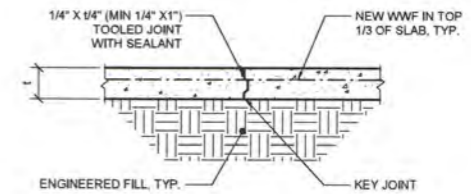
07 TYPICAL DETAIL @ STEPPED WALL FOOTING
 NOT TO SCALE



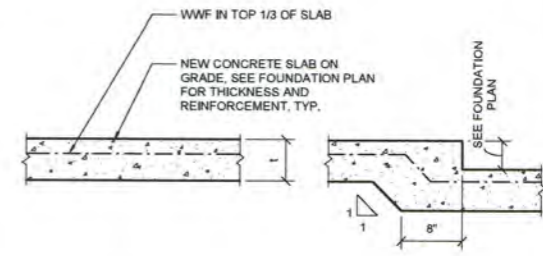
NOTE: SAW CUT JOINT WITHIN 12 HOURS AFTER SLAB PLACEMENT. DELAY FILLING WITH JOINT SEALANT AS LONG AS POSSIBLE.

01 TYPICAL DETAIL @ SLAB ON GRADE CONTRACTION JOINT
 NOT TO SCALE

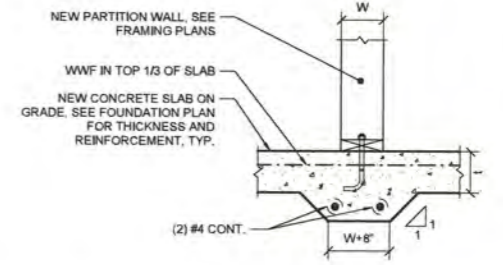
NOTE: THE PURPOSE OF SLAB ON GRADE JOINTING IS TO BREAK THE SLAB INTO SIZES THAT ARE MANAGEABLE FOR FINISHING AND TO LIMIT TOTAL SHRINKAGE. PLACE CONSTRUCTION JOINTS SUCH THAT THE MAXIMUM SLAB POUR SIZE IS LIMITED TO 60'-0" X 80'-0". SLAB POURS SHALL BE SQUARE IF POSSIBLE, BUT IN NO CASE SHALL THEY BE GREATER THAN TWICE AS LONG AS THEY ARE WIDE. REFER ALSO TO NOTE FOR TYPICAL SLAB ON GRADE CONTRACTION JOINT. CONTRACTION JOINTS SHALL SUBDIVIDE A SLAB POUR INTO APPROXIMATELY 15'-0" X 15'-0" OR SMALLER AREAS. JOINTS SHALL BE PLACED WHERE POSSIBLE TO ALIGN WITH MAIN COLUMN LINES AND TO ELIMINATE RE-ENTRANT CORNERS IN THE SLAB. PROVIDE SLAB JOINT PATTERN AS SHOWN ON THE DRAWINGS, OR IF NOT SHOWN, CONTRACTOR SHALL SUPPLY A PROPOSED JOINT LAYOUT PLAN TO THE ARCHITECT FOR APPROVAL.



02 TYPICAL DETAIL @ SLAB ON GRADE CONSTRUCTION JOINT
 NOT TO SCALE



03 TYPICAL DETAIL @ STEP IN SLAB ON GRADE
 NOT TO SCALE



04 TYPICAL DETAIL @ THICKENED SLAB UNDER WOOD PARTITION WALL
 NOT TO SCALE



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 5728 Geddes Road, Ann Arbor MI 48105

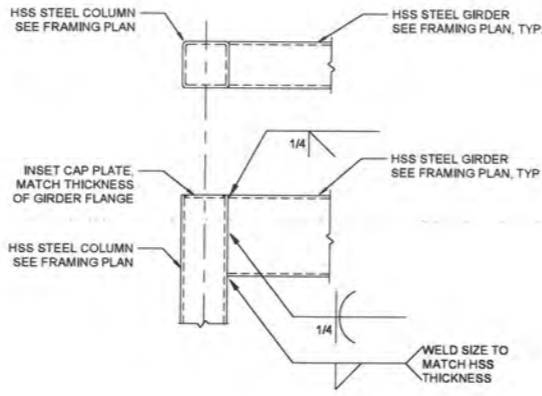
Sheet Title:
TYPICAL CONCRETE DETAILS
 Released For: PERMIT SET



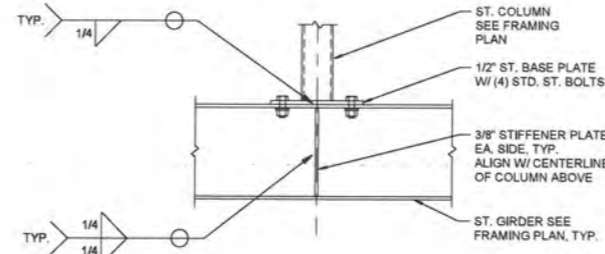
10/05/2021
 21059
S-020

Scales listed are for 22x34 drawing size

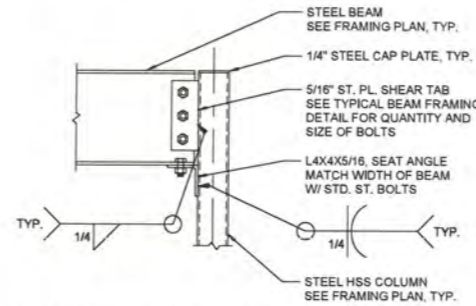
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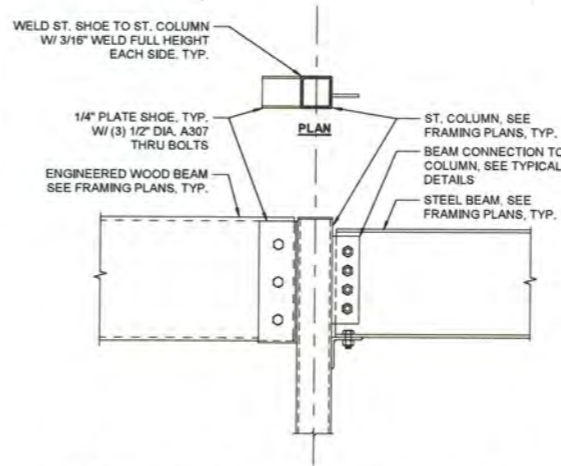
08 TYPICAL DETAIL @ HSS MOMENT CONNECTION
NOT TO SCALE



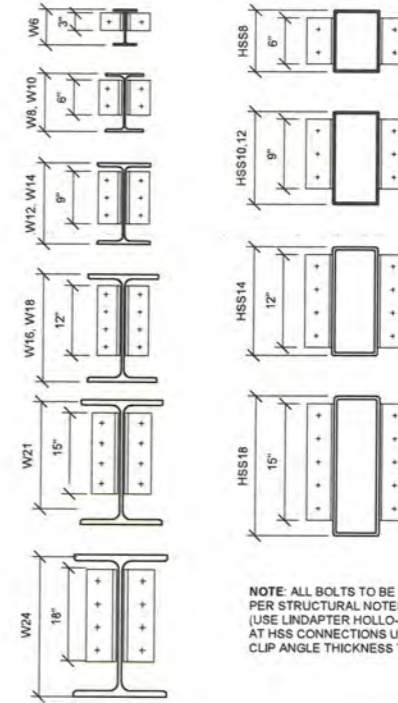
05 TYPICAL DETAIL @ COLUMN BEARING ON STEEL GIRDER BELOW
NOT TO SCALE



06 TYPICAL DETAIL @ BEAM TO HSS COLUMN CONNECTION
NOT TO SCALE

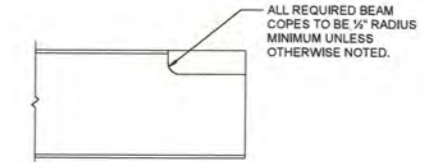


07 TYPICAL DETAIL @ WOOD/ STEEL BEAMS TO COL. CONNECTION
NOT TO SCALE

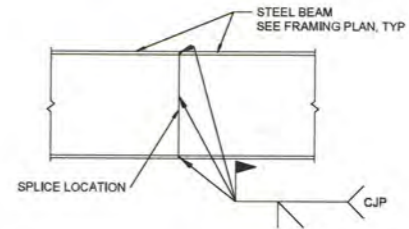


01 TYPICAL DETAIL @ BEAM FRAMING CONNECTIONS
NOT TO SCALE

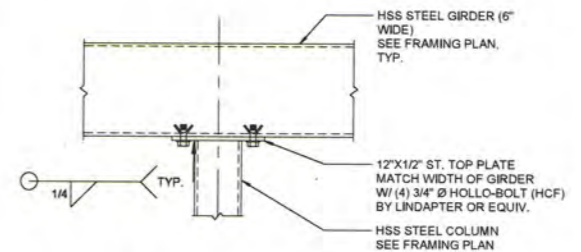
NOTE: ALL BOLTS TO BE STD. ST. THRU BOLTS PER STRUCTURAL NOTES U.O.N. (USE LINDAPTER HOLLO-BOLT HCF, HEX HEAD, AT HSS CONNECTIONS U.O.N. TYPICAL) CLIP ANGLE THICKNESS TO BE $t_w/2$ OR 5/16" MIN.



02 TYPICAL DETAIL @ BEAM COPE
NOT TO SCALE



03 TYPICAL DETAIL @ STEEL BEAM SPLICE
NOT TO SCALE



04 TYPICAL DETAIL @ HSS GIRDER BEARING ON COLUMN
NOT TO SCALE

Scales listed are for 22x34 drawing size



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MOULIERE RESIDENCE
5728 Geddes Road, Ann Arbor MI 48105

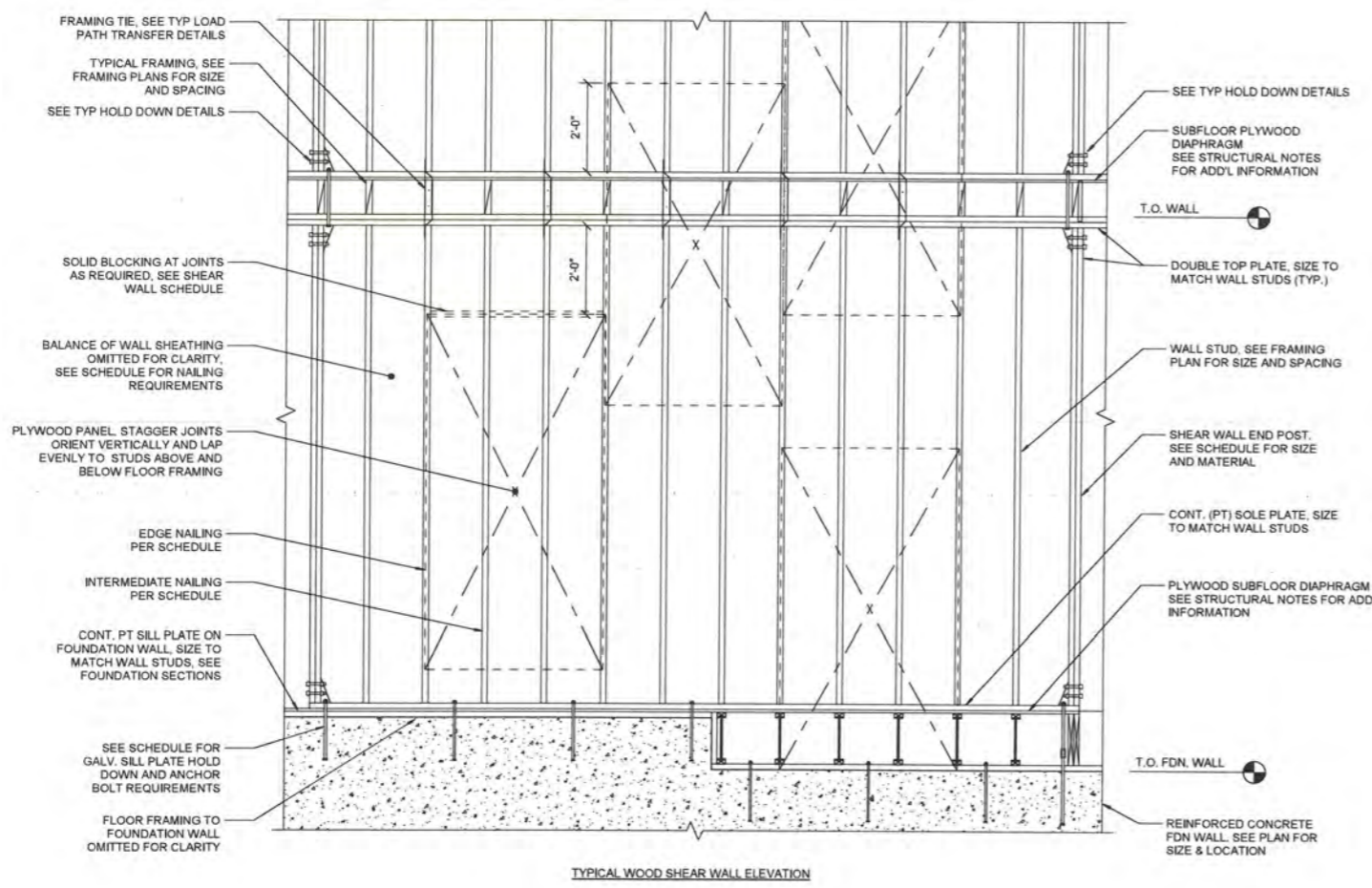
Sheet Title:
TYPICAL STEEL DETAILS
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Drawing #

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TYPICAL WOOD SHEAR WALL ELEVATION

| PLYWOOD SHEAR WALL SCHEDULE | | | | | | | | | | |
|-----------------------------|-----------------|-----------|--|----------------------|--|--------------------------------------|---------------------|--|------------------------------------|------------------------------------|
| "SW-" MARK | SHEATHING (PLY) | BLOCKING | MIN. NOMINAL PANEL THICKNESS (in) [APA STRUCTURAL I RATED] | MIN. STUD WIDTH (in) | MIN. FASTENER PENETRATION IN FRAMING MEMBER OR BLOCKING (in) | PLYWOOD NAILING EDGE / INTERIOR (in) | SHEAR WALL END POST | SIMPSON HOLD DOWNS @ ENDS OF SHEAR WALL (SEE NOTE 5) | 1/2" DIA. GALV ANCHOR BOLT SPACING | ALLOWABLE SHEAR CAPACITY, WIND pif |
| SW-TYP | ONE SIDE | UNBLOCKED | 15/32" | 1 1/2" | 1 3/8" | 8d @ 6/12 | (2) 2X | N/A | 32" o/c | 350 pif |
| SW-KX | ONE SIDE | UNBLOCKED | 15/32" | 1 1/2" | 1 1/2" | 10d @ 5/12 | (2) 2X | N/A | 32" o/c | 400 pif |
| SW-XX | ONE SIDE | BLOCKED | 15/32" | 1 1/2" | 1 1/2" | 10d @ 5/12 | (2) 2X | HDU-4 | 32" o/c | 580 pif |

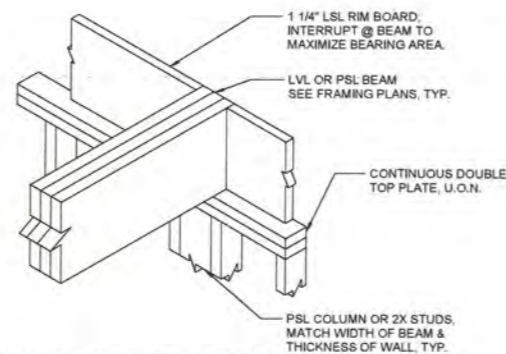
GENERAL NOTES.

- REFER TO STRUCTURAL NOTES
- ALL SHEAR/BEARING WALLS TO BE SW-TYP U.O.N.
- WALLS NOTED AS SHEAR WALLS ON PLAN SHALL NOT BE CUT OR PENETRATED UNLESS APPROVED BY ENGINEER. CONTRACTOR SHALL COORDINATE ALL PLUMBING, MECHANICAL, HVAC, ELECTRICAL, ETC. ACCORDINGLY.
- SEE FOUNDATION AND FRAMING PLANS FOR HOLD-DOWN LOCATIONS
- HOLD DOWNS NOT REQUIRED WHERE STEEL POST IS LOCATED AT END OF SHEAR WALL. REFER TO NAILING SCHEDULE FOR ATTACHMENT OF SHEAR WALL END POST TO COLUMN
- CAPACITY VALUES APPLY TO WIND LOADING ONLY - FOR SEISMIC VALUES CONTACT ENGINEER

01 Typical Wood Shear Wall Elevation and Schedule
 NOT TO SCALE

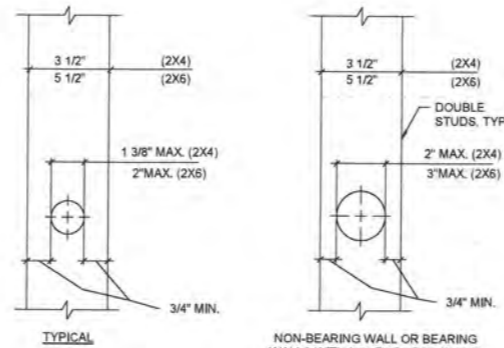
| NAILING SCHEDULE* | | |
|--|---|--|
| * USE STRUCTURAL ADHESIVES PER STRUCTURAL NOTES TYPICALLY AT ALL WOOD CONNECTIONS * TYPICAL NAIL TYPES REFERENCED IN THE SCHEDULE BELOW (10d = BOX, 8d, 12d, 16d = COMMON) | | |
| TYP. FRAMING ASSEMBLY | # AND TYPE | SPACING OF FASTENERS |
| TYP. FLOOR FRAMING BUILT-UP GIRDER AND BEAMS, 2" NOMINAL LUMBER LAYERS | 12-16d | EA. LAYER: 12" O/C, T+B, STAGGERED, (3) NAILS @ ENDS AND @ EA. SPLICE (2) PER SIDE, PER JOIST |
| JOIST TO SILL, TOP PLATE OR GIRDER (TOE NAILED) | (3) 10-12d | EACH END |
| BLOCKING TO JOIST (TOE-NAILED) | (2) 10d | EACH BLOCK |
| BLOCKING TO SILL OR TOP PLATE (TOE NAILED) | (3) 10-12d | @ 16" O/C |
| LEDGER TO RIM JOIST, BEAM OR GIRDER (FACE NAILED) | (3) 16d | (2) PER SIDE, PER JOIST |
| JOIST TO LEDGER BELOW (TOE NAILED) | (3) 10-12d | PER JOIST |
| RIM JOIST TO JOIST (END NAILED) | (3) 16d | @ 16" O/C |
| RIM JOIST TO SILL OR TOP PLATE (TOE NAILED) | 10d | |
| TYP. FLOOR SHEATHING PLYWOOD SUBFLOOR TO JOISTS & FRAMING | 8d | 6" EDGE / 12" FIELD |
| TYP. CEILING FRAMING CEILING JOIST TO TOP PLATE (TOE NAILED) CEILING JOISTS, LAPS OVER BEARING WALL (FACE NAILED) CEILING JOIST TO PARALLEL RAFTER (FACE NAILED) | (3) 10-12d (4) 12-16d (4) 12-16d | (2) PER SIDE, PER JOIST |
| TYP. ROOF FRAMING RAFTER TO TOP PLATE OR GIRDER (TOE NAILED) RAFTERS TO RIDGE, VALLEY OR HP RAFTERS TOE NAIL FACE NAIL BLOCKING TO RAFTER (TOE NAILED) RIM BOARD TO RAFTER (END NAILED) COLLAR TIE TO RAFTER (FACE NAILED) | (3) 10-12d (4) 16d (3) 16d (2) 10d (3) 16d (4) 10d | (2) PER SIDE, PER JOIST EACH END EACH END EACH END |
| TYP. ROOF SHEATHING PLYWOOD SHEATHING TO RAFTER AND TRUSSES @ 16" O/C | 8d | 6" EDGE / 6" FIELD |
| TYP. WALL FRAMING SOLE PLATE TO JOIST OR BLOCKING (FACE NAILED) SOLE PLATE TO JOIST, BLOCKING @ SHEAR WALL (FACE NAILED) SOLE PLATE TO RIM JOIST (FACE NAILED) TOP OR SOLE PLATE TO STUD (END NAILED) DOUBLE STUDS (FACE NAILED) DOUBLE TOP PLATES (FACE NAILED) DOUBLE TOP PLATES, MIN. 24" LAP (FACE NAILED) BUILT UP CORNER STUDS BUILT UP HEADER, (2) PIECES WITH 1/2" SPACER END POST TO COLUMN (USE POWER ACTUATED FASTENERS) | 16d (3) 16d (3) 16d (2) 16d 16d 10d (12) 10d 16d 16d 10d | @ EACH JOIST (16" O/C) @ EACH JOIST (16" O/C) @ 4" O/C @ EACH STUD @ 16" O/C @ 16" O/C @ 16" O/C @ 12" O/C, ALONG EACH EDGE @ 6" O/C |
| TYP. WALL SHEATHING (SEE SHEAR WALL SCHEDULE FOR SHEAR WALLS) PLYWOOD SHEATHING TO PT SILL PLYWOOD SHEATHING TO STUD | 10d 8d | 6" O/C 6" EDGE / 12" FIELD |

Scales listed are for 22x34 drawing size



06 TYPICAL DETAIL @ LVL BEAM BEARING
NOT TO SCALE

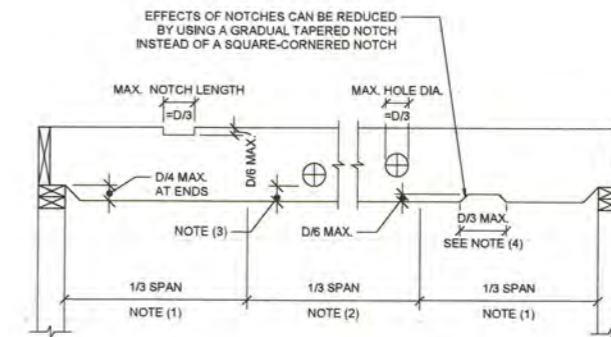
DETAIL NOTE
HOLES PERMITTED TOP AND BOTTOM 1/3 OF VERTICAL SPAN ONLY, U.O.N.



03 TYPICAL DETAIL @ PERMITTED HOLES IN 2X STUDS
NOT TO SCALE

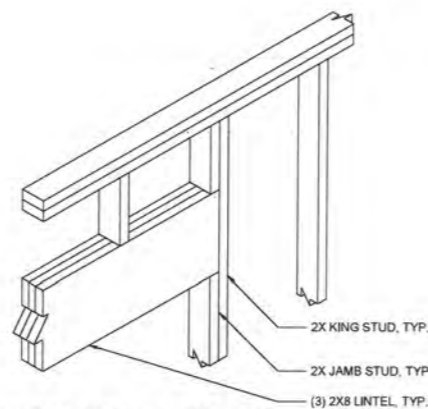
CHART FOR MAXIMUM SIZE FOR HOLES AND NOTCHES IN WOOD JOISTS

| NOMINAL JOIST SIZE | MAX HOLE | MAX INTERIOR NOTCH DEPTH | MAX END NOTCH DEPTH |
|--------------------|----------|--------------------------|---------------------|
| 2.3 X 4 | NONE | NONE | NONE |
| 2.3 X 6 | 1-1/2" | 7/8" | 1-3/8" |
| 2.3 X 8 | 2-3/8" | 1-1/4" | 1-7/8" |
| 2.3 X 10 | 3" | 1-1/2" | 2-3/8" |
| 2.3 X 12 | 3-3/4" | 1-7/8" | 2-7/8" |

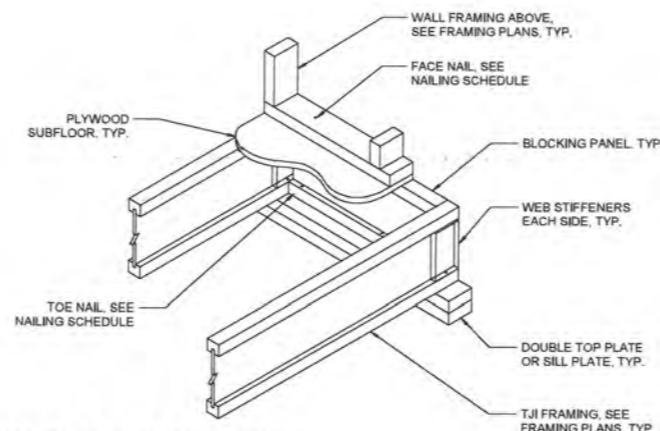


- DETAIL NOTES:**
- HOLES NOT PERMITTED IN OUTER 1/3 OF SPAN UNLESS SPECIFICALLY APPROVED OR DETAILED BY ENGINEER OF RECORD. REFER TO MANUFACTURER'S LITERATURE FOR NOTCHES IN ENGINEERED LUMBER.
 - NOTCHING NOT PERMITTED IN MIDDLE 1/3 OF SPAN.
 - 3" MIN. DIMENSION FROM TOP AND BOTTOM OF JOIST (2.3X10 & 2.3X12) 2" MIN. FOR (2.3X6 & 2.3X8).
 - MAX. LENGTH OF NOTCH = D/3 EXCEPT NO NOTCHES ARE PERMITTED IN THE TENSION FACE OF MEMBERS W/ MULTIPLE PLIES.
 - INTERIOR NOTCH LIMITS AND LOCATIONS ARE FOR SINGLE SPAN MEMBERS ONLY. HOLES AND NOTCHES EXCEEDING THESE DIMENSIONS REQUIRE REINFORCEMENT. CONSULT ENGINEER OF RECORD.

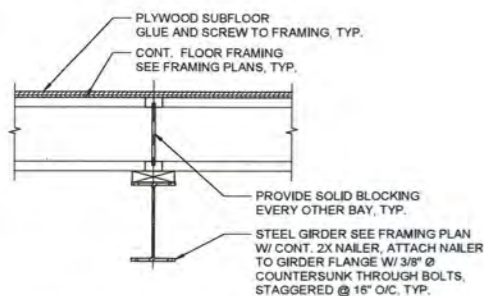
01 TYPICAL DETAIL @ PERMITTED HOLES & NOTCHES IN 2,3X WOOD FRAMING
NOT TO SCALE



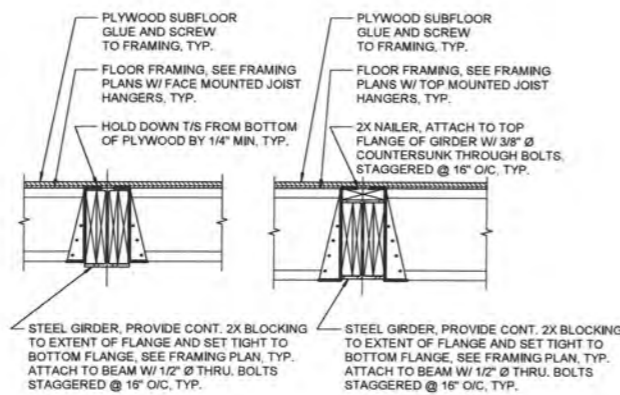
07 TYPICAL DETAIL @ WOOD LINTEL
NOT TO SCALE



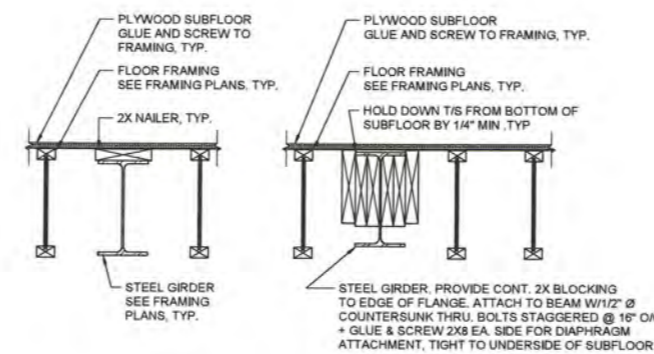
04 TYPICAL TJI JOIST BEARING DETAIL
NOT TO SCALE



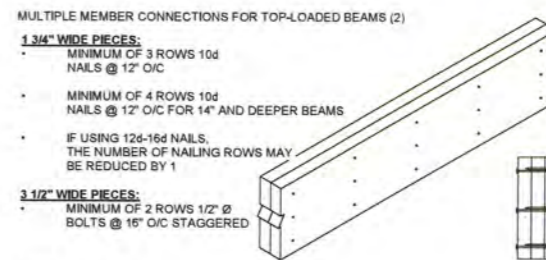
09 TYPICAL DETAIL @ DROPPED STEEL GIRDER AT WOOD FLOOR FRAMING
NOT TO SCALE



08 TYPICAL DETAIL @ STEEL GIRDER PERPENDICULAR TO WOOD FLOOR FRAMING
NOT TO SCALE

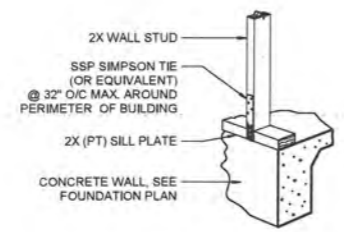


05 TYPICAL DETAIL @ STEEL GIRDER PARALLEL TO WOOD FLOOR FRAMING
NOT TO SCALE

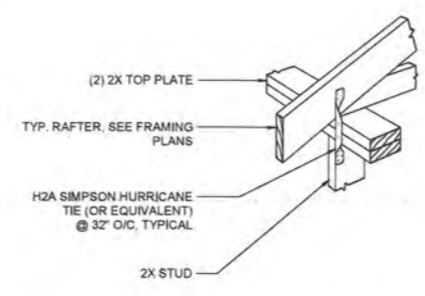


- DETAIL NOTES:**
- LOAD MUST BE APPLIED EVENLY ACROSS ENTIRE BEAM WIDTH. OTHERWISE, USE CONNECTIONS FOR SIDE LOADED BEAMS.
 - ADDITIONAL NAILING OR BOLTING MAY BE REQUIRED WITH SIDE-LOADED MULTIPLE MEMBER BEAMS. REFER TO CURRENT PRODUCT LITERATURE.

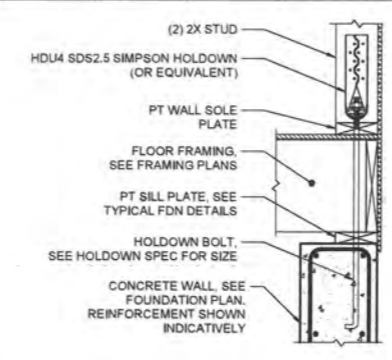
02 TYPICAL DETAIL @ MULTIPLE LVL MEMBER
NOT TO SCALE



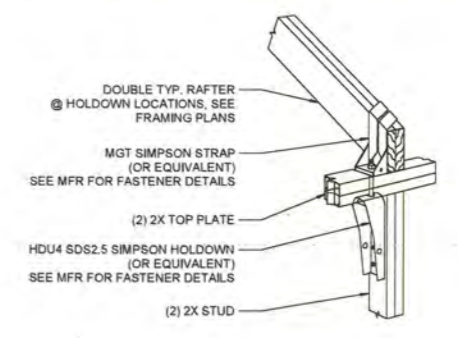
10 TYPICAL LOAD TRANSFER DETAIL @ STUD TO SILL PLATE
NOT TO SCALE



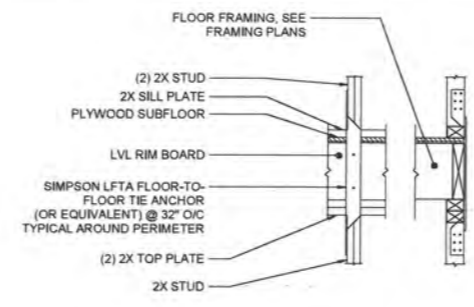
06 TYPICAL TIE DOWN DETAIL FROM STUD TO RAFTER
NOT TO SCALE



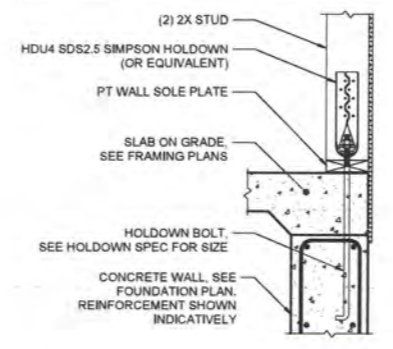
04 TYPICAL HOLDOWN DETAIL @ FOUNDATION WALL
NOT TO SCALE



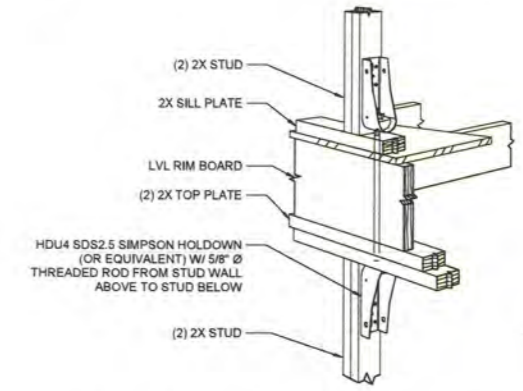
01 TYPICAL HOLDOWN DETAIL @ RAFTER TO STUD
NOT TO SCALE



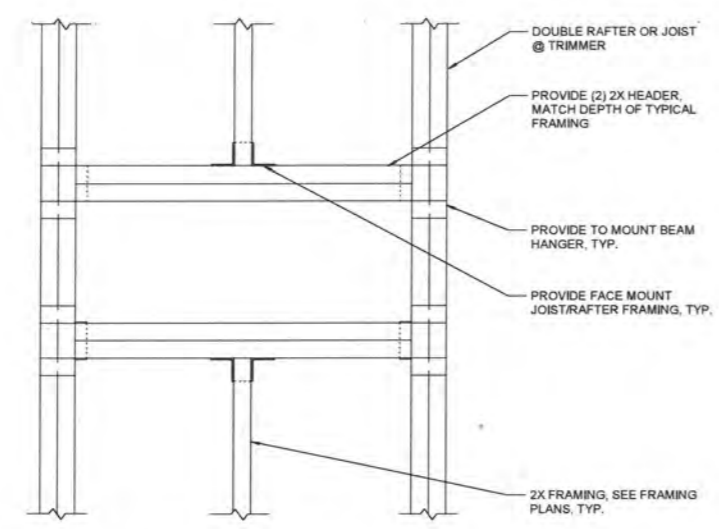
07 TYPICAL TIE DOWN DETAIL FROM STUD TO STUD
NOT TO SCALE



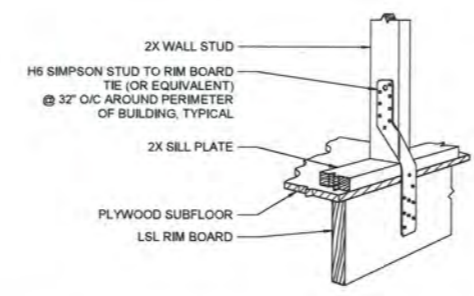
05 TYPICAL HOLDOWN DETAIL @ FOUNDATION WALL
NOT TO SCALE



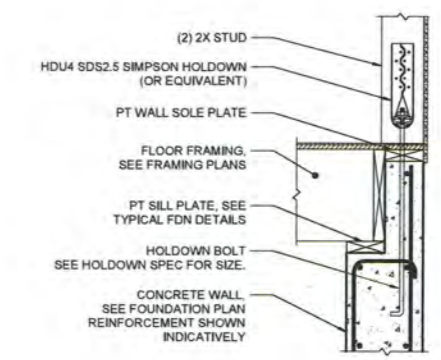
02 TYPICAL HOLDOWN DETAIL THROUGH FLOOR FRAMING
NOT TO SCALE



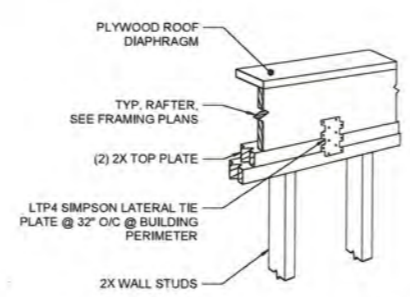
11 TYPICAL DETAIL @ ONE 2X RAFTER/JOIST HEADER
NOT TO SCALE



08 TYPICAL LOAD TRANSFER DETAIL @ STUD TO RIM BOARD
NOT TO SCALE



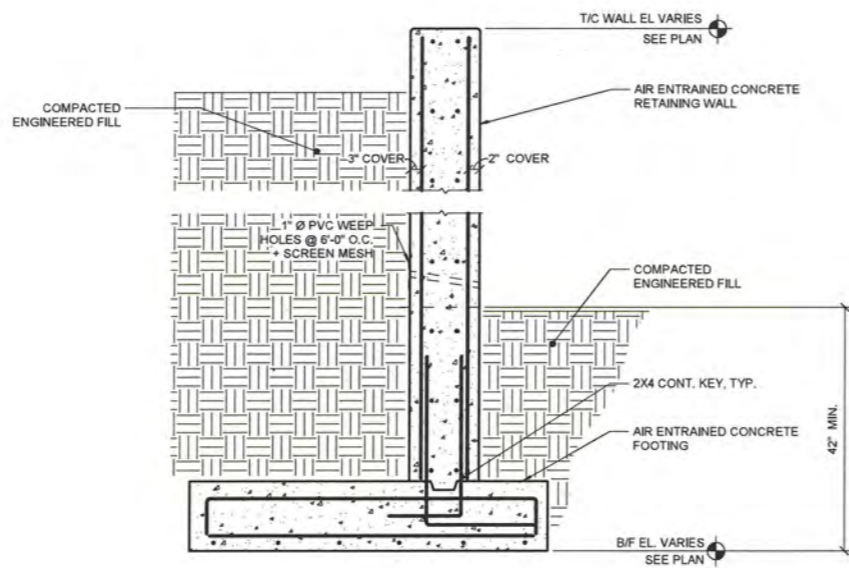
03 TYPICAL HOLDOWN DETAIL @ FOUNDATION WALL W/ INTEGRAL MUDSILL
NOT TO SCALE



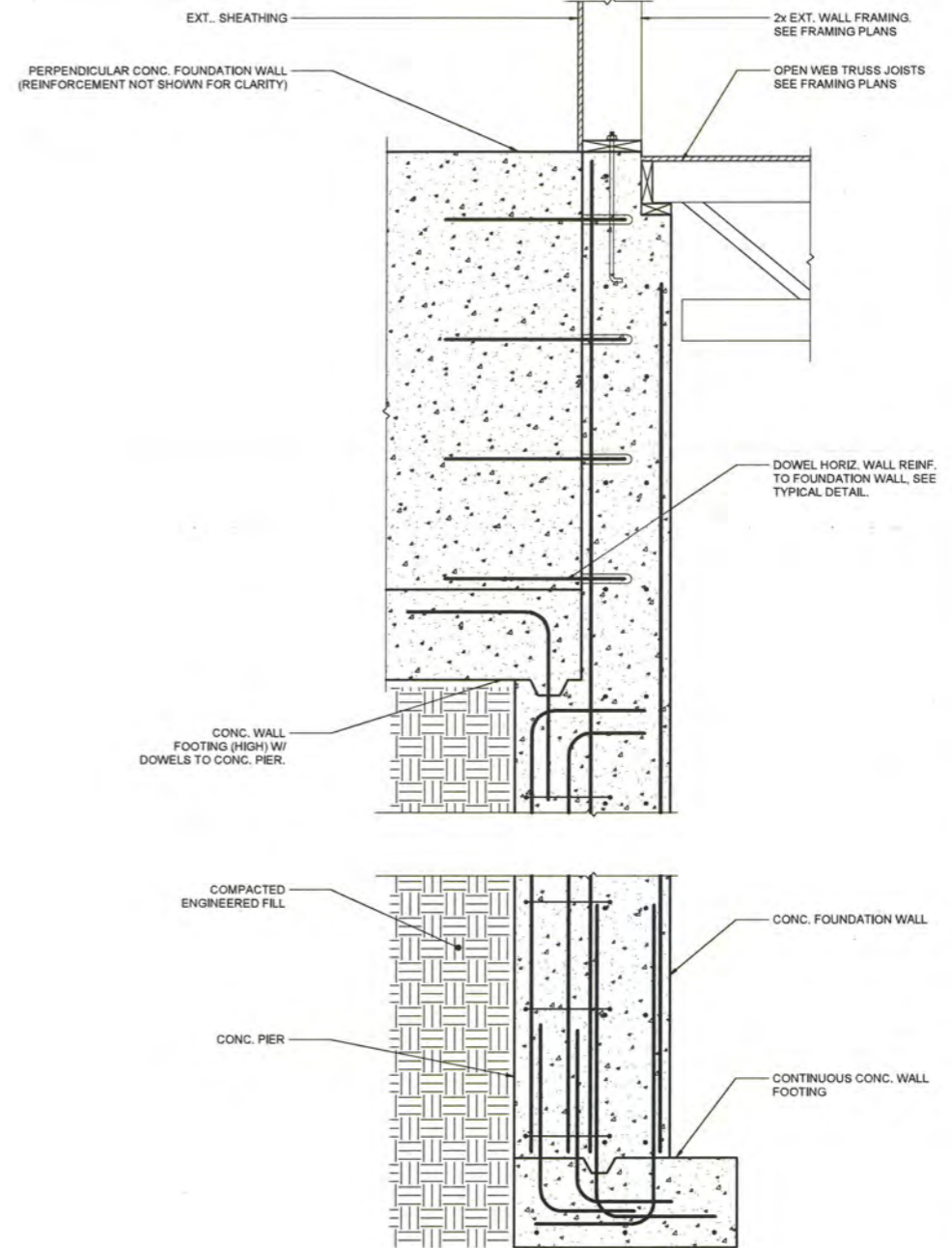
09 TYPICAL TIE DOWN DETAIL FROM TOP PLATE TO PARALLEL RAFTER
NOT TO SCALE

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Plot Date/Time: 10/18/2021 5:35:59 PM File Path: BIM 360/121059 Moulriere Residence/CR-21059 - Moulriere Residence_recovery2.rvt






02 TYPICAL RETAINING WALL
NOT TO SCALE



01 TYPICAL PIER SUPPORT @ DROPPED FOOTING
NOT TO SCALE

Scales listed are for 22x34 drawing size

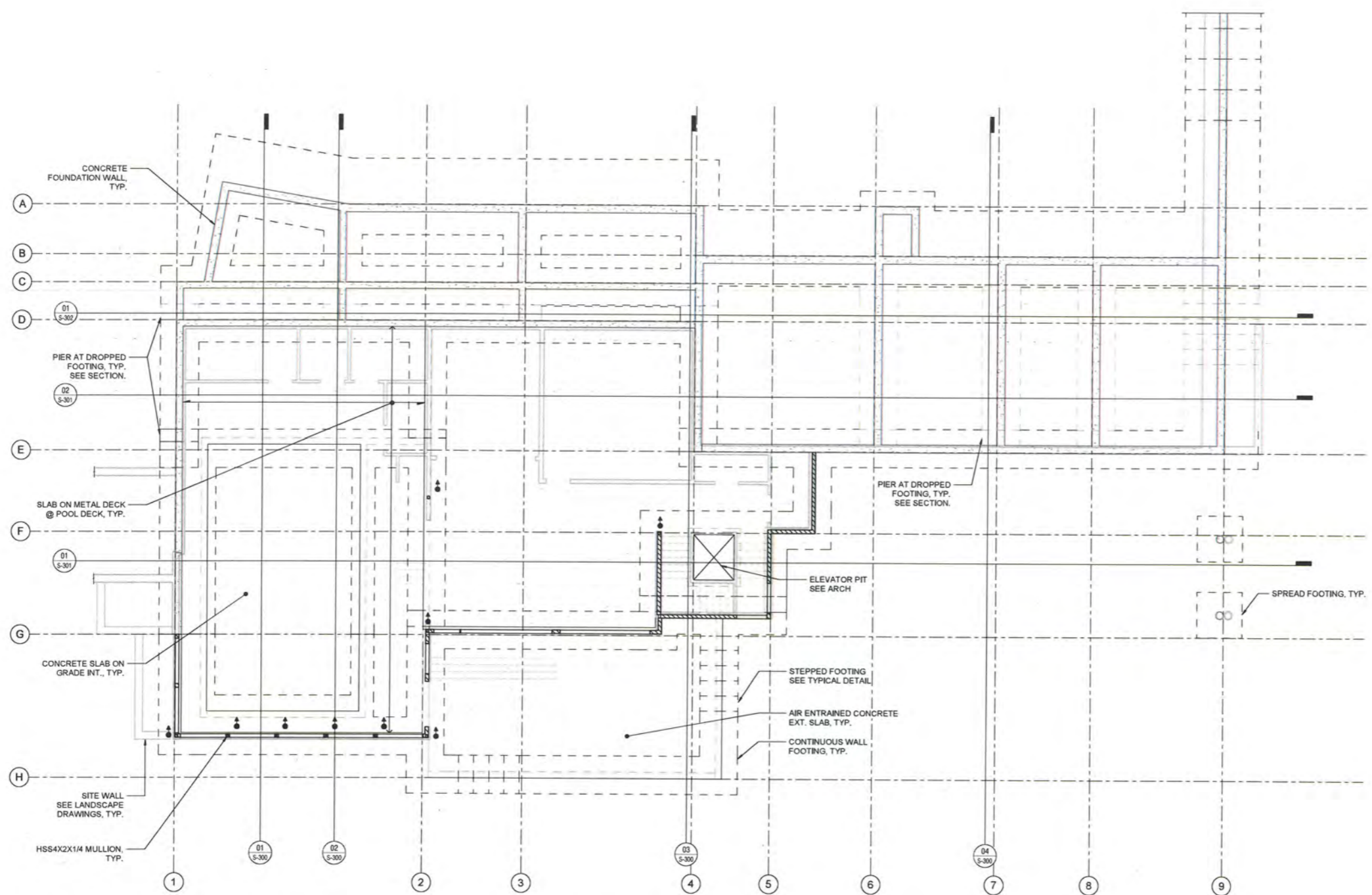
| | |
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|  <small>mmf CMPT Engineering Studio 300 W. Wacker Drive, Suite 6E Chicago, IL 60601 ph. 646.912.8867 info@mmfgroup.com</small> | |
| Job Title: MOULIERE RESIDENCE | 5728 Geddes Road, Ann Arbor MI 48105 |
| Sheet Title: TYPICAL RETAINING WALL DETAILS | |
| Released For: PERMIT SET | |
|  | |
| 10/05/2021 <small>Project / Dwg Date</small> | 21059 <small>Project #</small> |
| S-025 <small>Drawing #</small> | |

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DRAWING LEGEND

| | |
|--|--------------------------------|
| | CONCRETE FOUNDATION WALL |
| | CONCRETE FOOTING |
| | CONCRETE WALL BELOW |
| | CONCRETE SLAB |
| | 2X6 BEARING / SHEAR WALL ABOVE |
| | NEW COLUMN UP |

- DRAWING NOTES**
1. ALL COLUMNS SHALL BE HSS4X4X1/4 U.O.N.
 2. SEE ARCHITECT FOR FIREPROOFING REQUIREMENTS AND CHLORIDE PROTECTION OF STRUCTURAL ITEMS.
 3. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS. REPORT ANY DISCREPANCIES IMMEDIATELY TO ARCHITECT.
 5. SEE SECTIONS FOR CHANGE IN SLAB AND FOOTING ELEVATION.



01 LOWER LEVEL FRAMING & FOUNDATION PLAN
1/8" = 1'-0"



Job Title:
MOULIERE RESIDENCE
5728 Geddes Road, Ann Arbor MI 48105

Sheet Title:
LOWER LEVEL & FOUNDATION PLAN
Released For: PERMIT SET

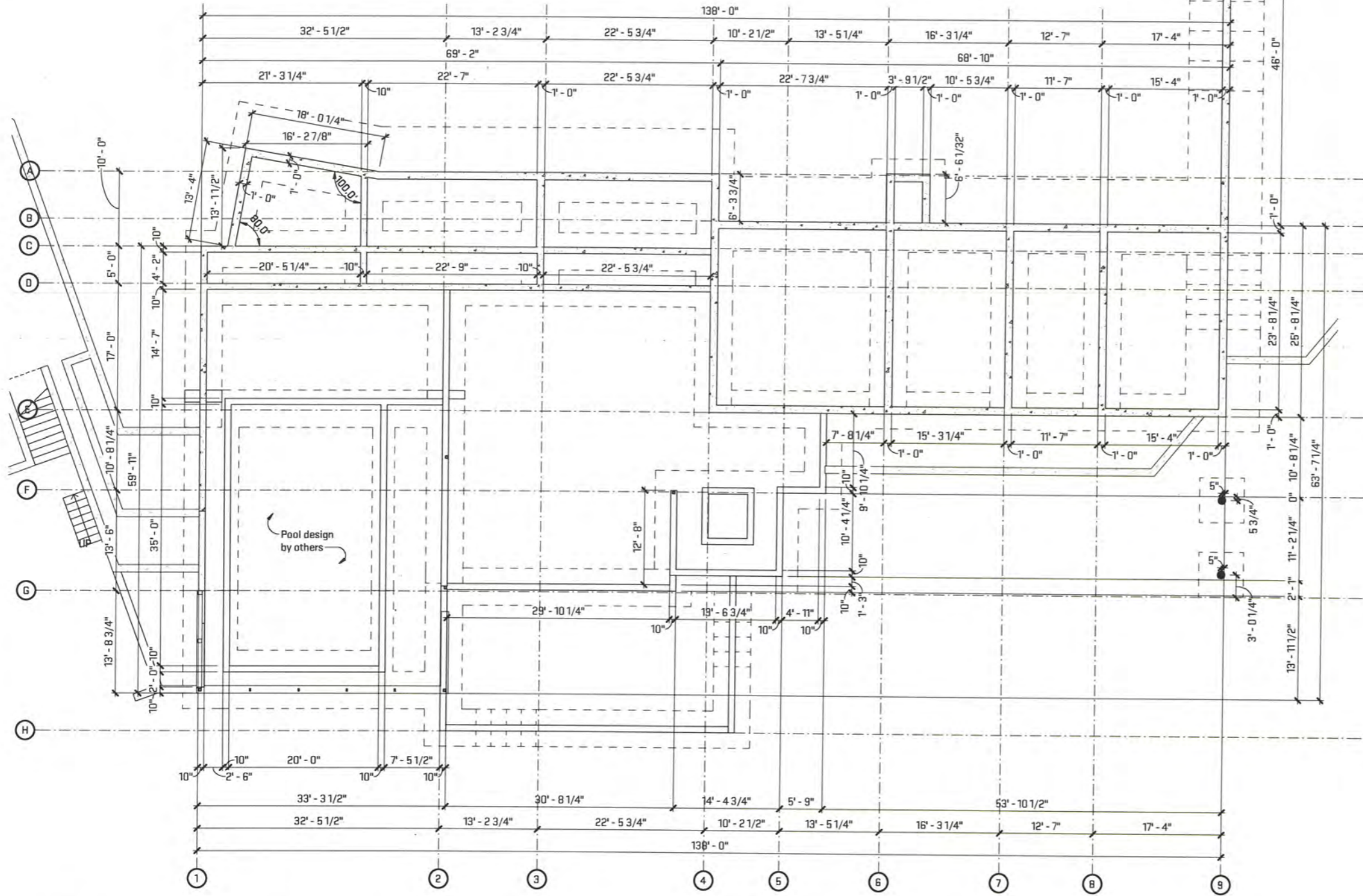


10/05/2021
21059
S-100

Scales listed are for 22x34 drawing size

Plot Date/Time: 10/19/2021 12:14:15 PM File Path: C:\Users\scrowse\Documents\MRP21_SarahRowse.rvt

General Sheet Notes:
A. Refer to structural foundation plan for general notes.



1 Foundation Plan - Dimensioned
S-101 1/8" = 1'-0"



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Job Title:
Mouliere Residence
5728 Geddes Road, Ann Arbor, MI 48105

Sheet Title:
Foundation Plan - Dimensioned
Released For: Permit

10/15/2021
SCN-MRP21

S-101

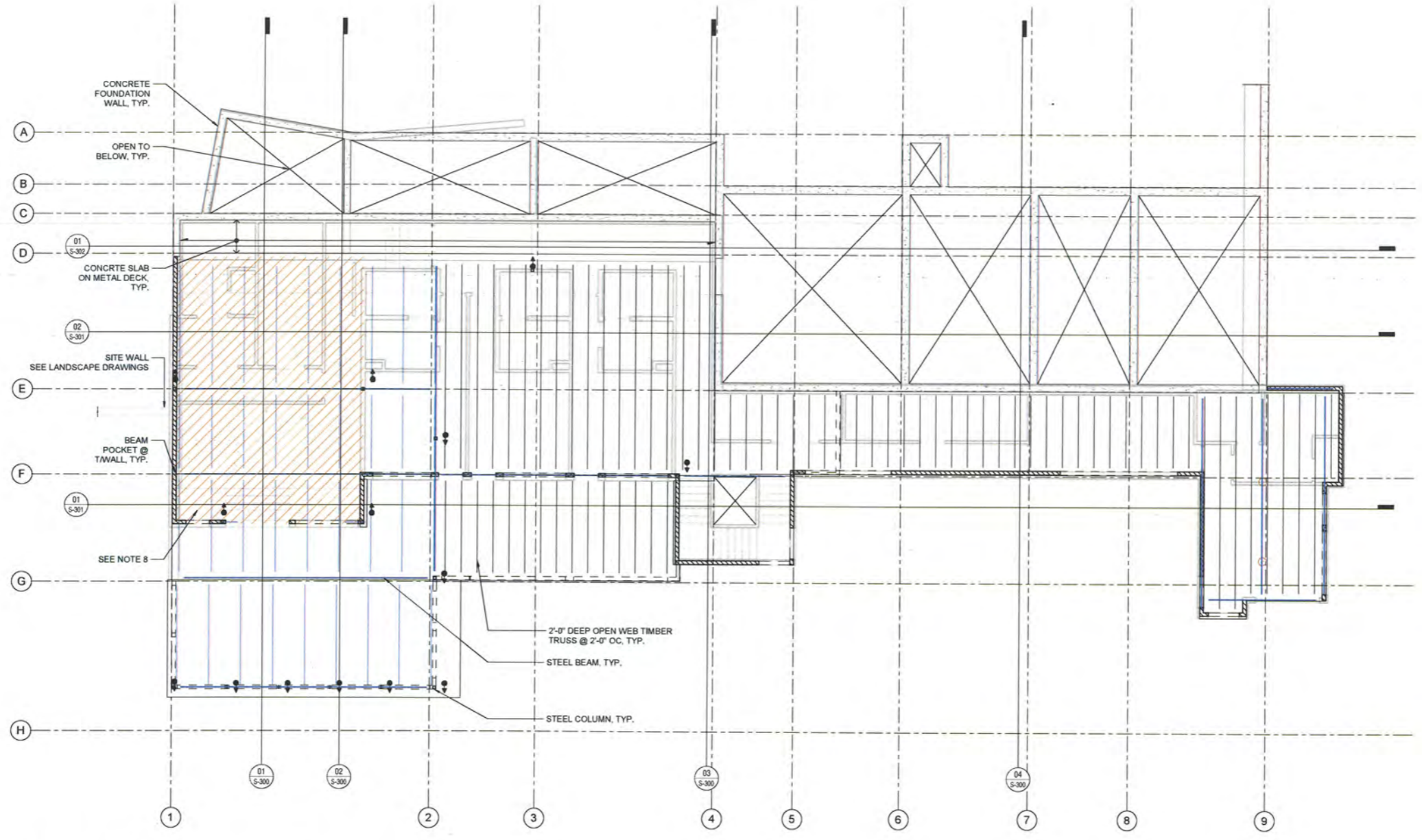
Scales listed are for 22x34 drawing size

Plot Date/Time: 10/5/2021 11:40:19 AM File Path: BIM 360/121059 Moulriere Residence/CR-21059 - Moulriere Residence_recovery2.rvt

DRAWING LEGEND

| | |
|--|-----------------------------------|
| | 2X6 BEARING / SHEAR WALL |
| | 2X PARTITION WALL |
| | 2X6 BEARING / SHEAR WALLS BELOW |
| | CONCRETE FOUNDATION WALL |
| | STEEL BEAM |
| | TIMBER COLUMN UP |
| | TIMBER COLUMN BELOW |
| | MOMENT RESISTING STEEL CONNECTION |
| | STEEL COLUMN UP |
| | STEEL COLUMN DOWN |

- DRAWING NOTES**
- 5/2" TOTAL DEPTH CONCRETE SLAB ON METAL DECK (VULCRAFT 2VLH9 COMPOSITE METAL DECK BY VULCRAFT OR EQUIV. +3/4" NORMAL WEIGHT CONCRETE TOPPING).
 - T/S ELEV. = -0'-1" BELOW FLOOR LEVEL, TYP. U.O.N. +A(X-XX')
 - ALL COLUMNS SHALL BE HSS4X4X1/4 U.O.N.
 - SEE ARCHITECT FOR FIREPROOFING AND CHLORIDE PROTECTION REQUIREMENTS OF STRUCTURAL ITEMS.
 - SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS. REPORT ANY DISCREPANCIES IMMEDIATELY TO ARCHITECT.
 - ALL OPENING SIZES SHOULD BE COORDINATED WITH MECHANICAL AND ARCHITECTURAL PLANS AND DETAILS, TYP.
 - TOP OF FLOOR TO BE RECESSED -2'-0" IN HATCHED REGION. FRAMING TO ACCOMMODATE RECESS TO BE DETERMINED.



01 MAIN LEVEL FRAMING PLAN
1/8" = 1'-0"



Job Title:
MOULIERE RESIDENCE
5728 Geddes Road, Ann Arbor MI 48105

Sheet Title:
MAIN LEVEL FRAMING PLAN
Released For: PERMIT SET

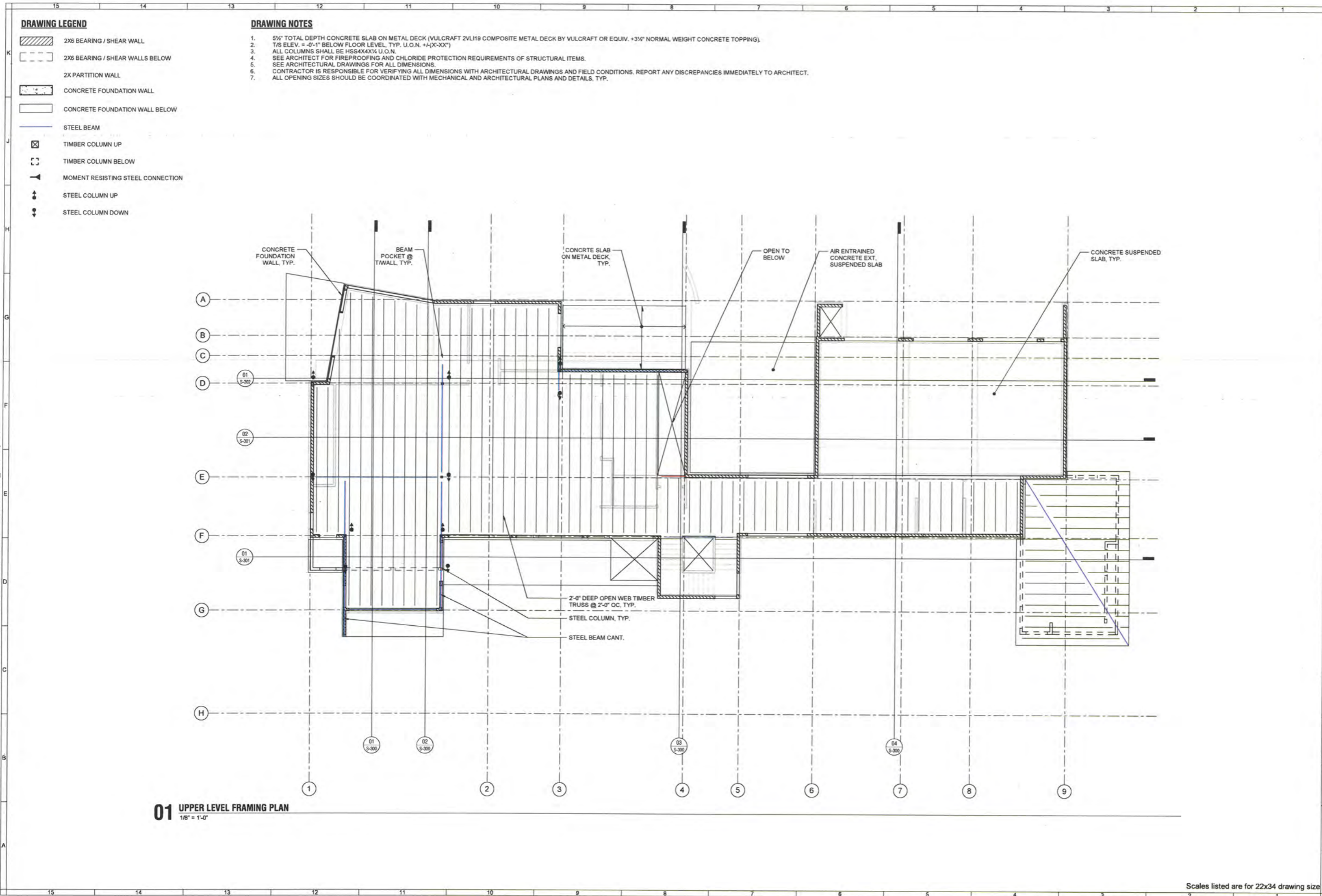


10/05/2021
21059
S-110

Project # | Date
Drawing #

Scales listed are for 22x34 drawing size

Plot Date/Time: 10/5/2021 11:40:20 AM File Path: BIM 360://21059 Moulriere Residence/CR-21059 - Moulriere Residence_recovery2.rvt



01 UPPER LEVEL FRAMING PLAN
1/8" = 1'-0"

- DRAWING LEGEND**
- 2X6 BEARING / SHEAR WALL
 - 2X6 BEARING / SHEAR WALLS BELOW
 - 2X PARTITION WALL
 - CONCRETE FOUNDATION WALL
 - CONCRETE FOUNDATION WALL BELOW
 - STEEL BEAM
 - TIMBER COLUMN UP
 - TIMBER COLUMN BELOW
 - MOMENT RESISTING STEEL CONNECTION
 - STEEL COLUMN UP
 - STEEL COLUMN DOWN

- DRAWING NOTES**
1. 5 1/2" TOTAL DEPTH CONCRETE SLAB ON METAL DECK (VULCRAFT 2VLH9 COMPOSITE METAL DECK BY VULCRAFT OR EQUIV. + 3 1/2" NORMAL WEIGHT CONCRETE TOPPING).
 2. T/S ELEV. = -0'-1" BELOW FLOOR LEVEL, TYP. U.O.N. +1-(X-XX")
 3. ALL COLUMNS SHALL BE HSS4X4X1/4 U.O.N.
 4. SEE ARCHITECT FOR FIREPROOFING AND CHLORIDE PROTECTION REQUIREMENTS OF STRUCTURAL ITEMS.
 5. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 6. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS. REPORT ANY DISCREPANCIES IMMEDIATELY TO ARCHITECT.
 7. ALL OPENING SIZES SHOULD BE COORDINATED WITH MECHANICAL AND ARCHITECTURAL PLANS AND DETAILS, TYP.



Job Title:
MOULIERE RESIDENCE
 5728 Geddes Road, Ann Arbor MI 48105

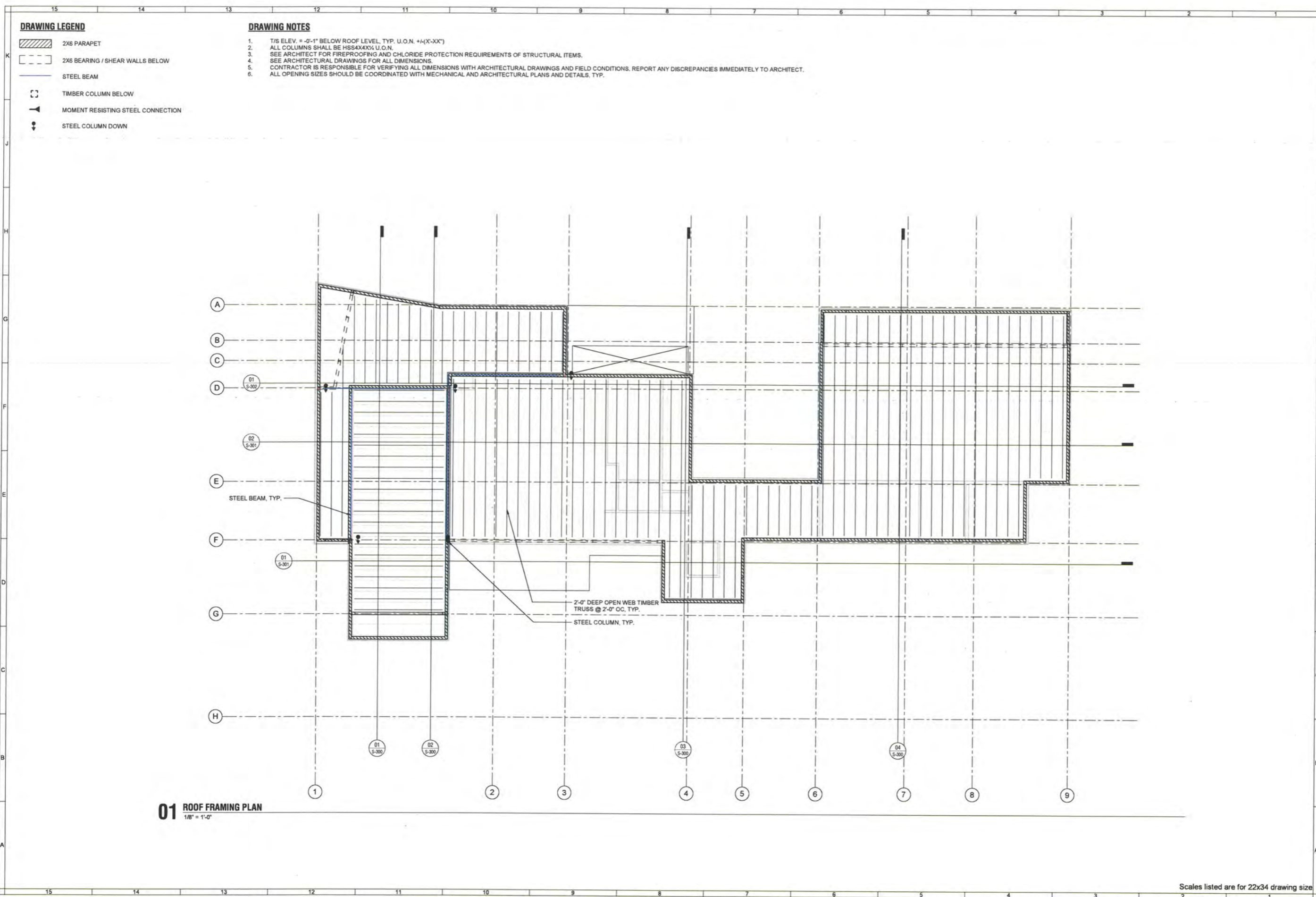
Sheet Title:
UPPER LEVEL FRAMING PLAN
 Released For: PERMIT SET



10/05/2021
 21059
S-120

Scales listed are for 22x34 drawing size

Plot Date/Time: 10/5/2021 11:40:20 AM File Path: BIM 360://21059 Moulriere Residence/CR-21059 - Moulriere Residence_recovery2.rvt



Job Title:
MOULIERE RESIDENCE
5728 Geddes Road, Ann Arbor MI 48105

Sheet Title:
ROOF FRAMING PLAN
Released For: PERMIT SET

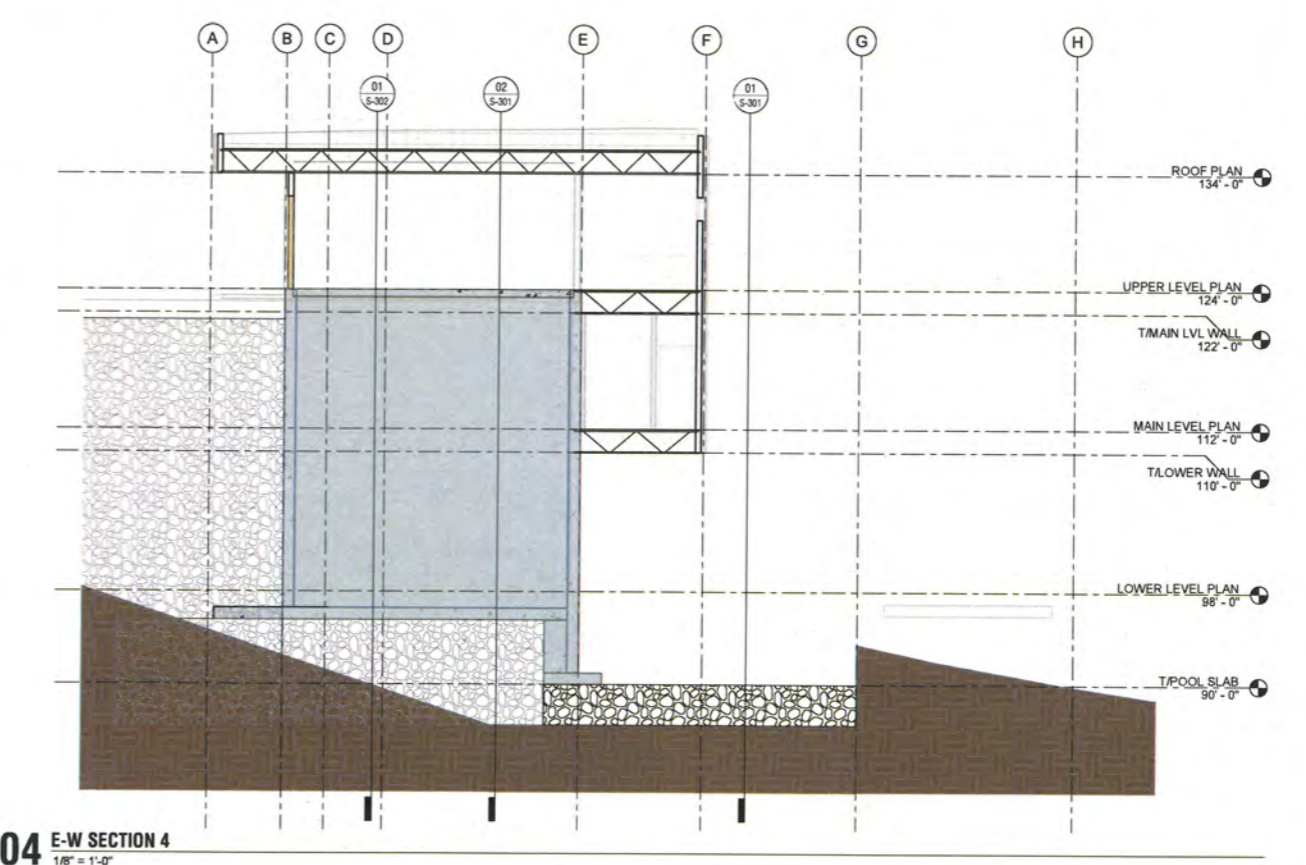
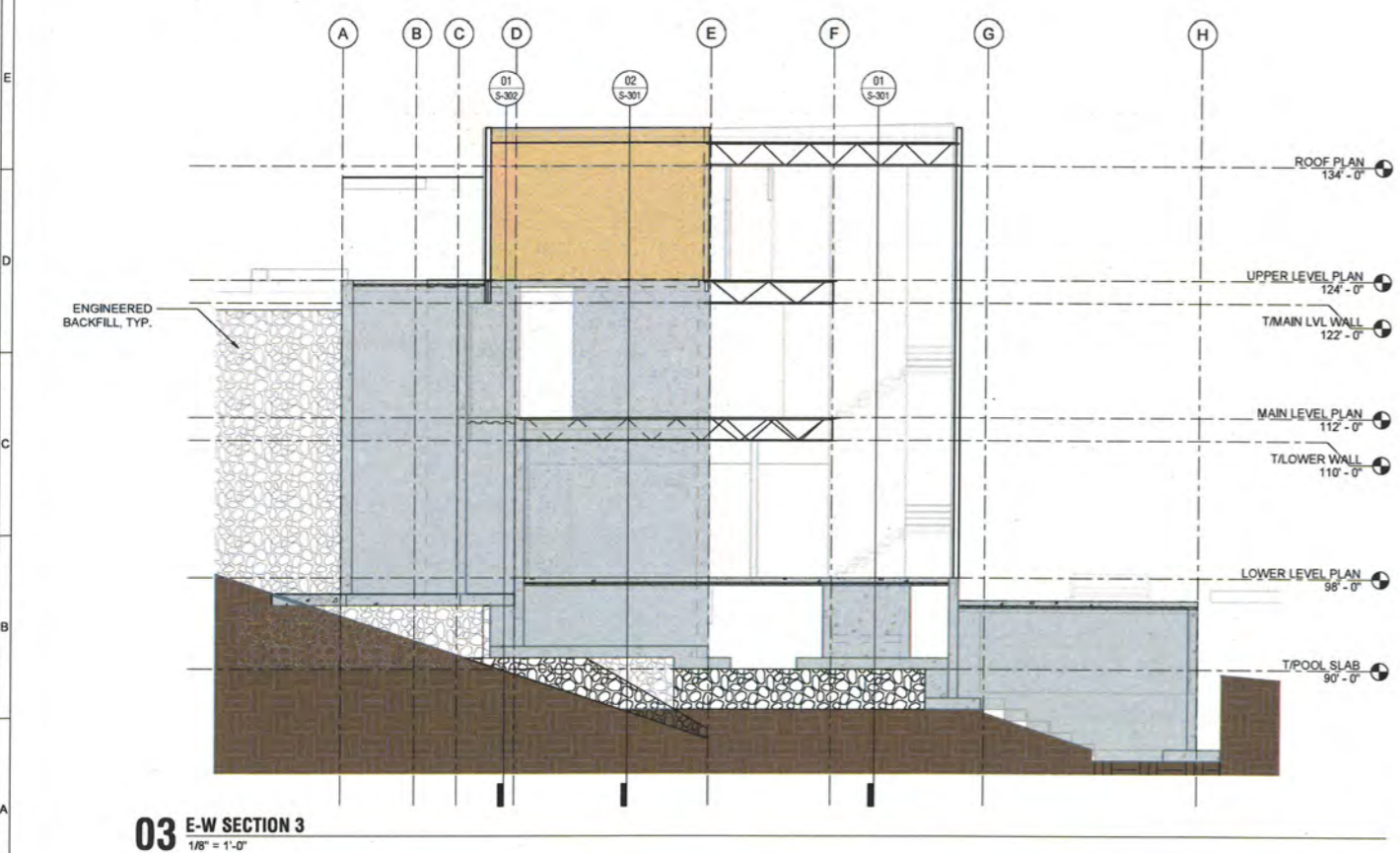
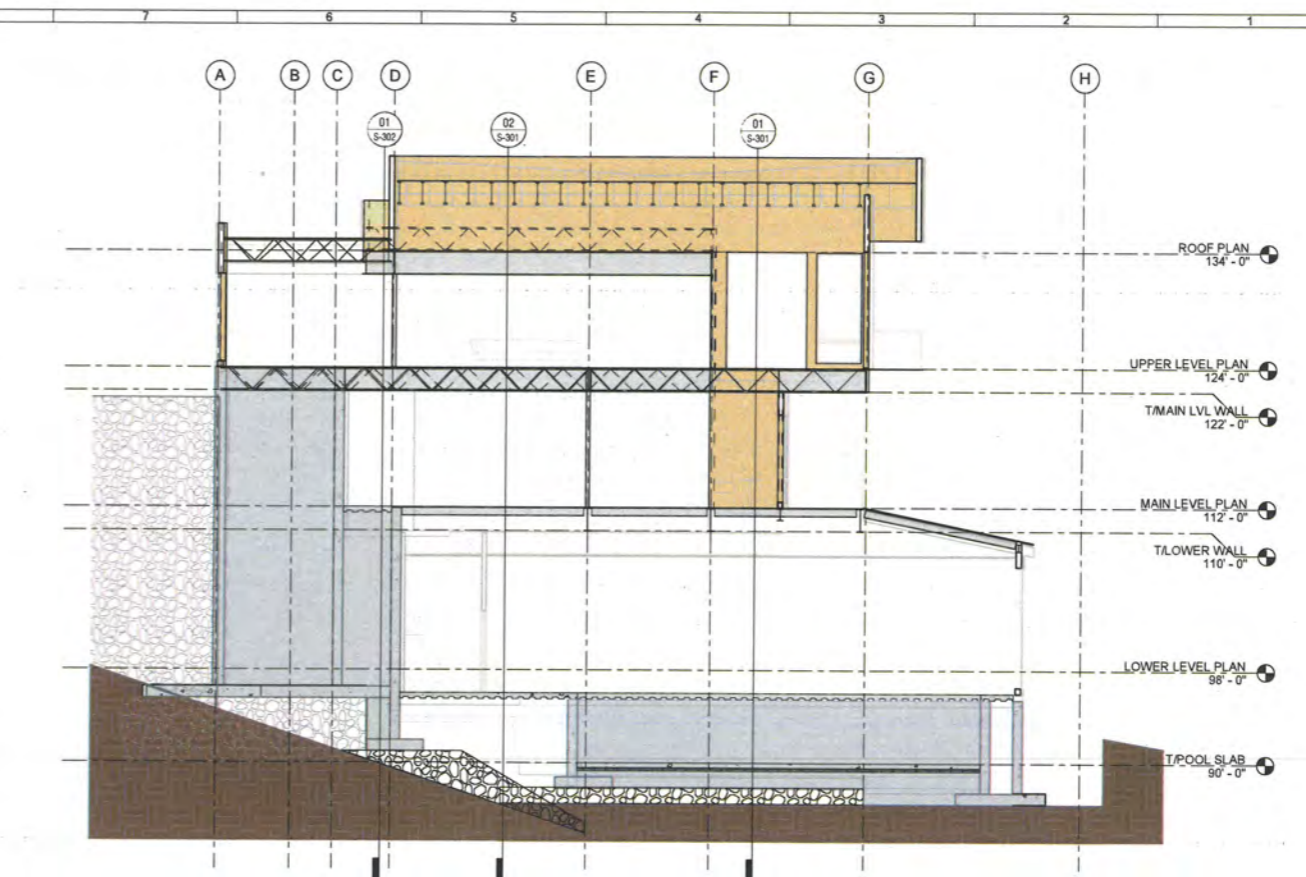
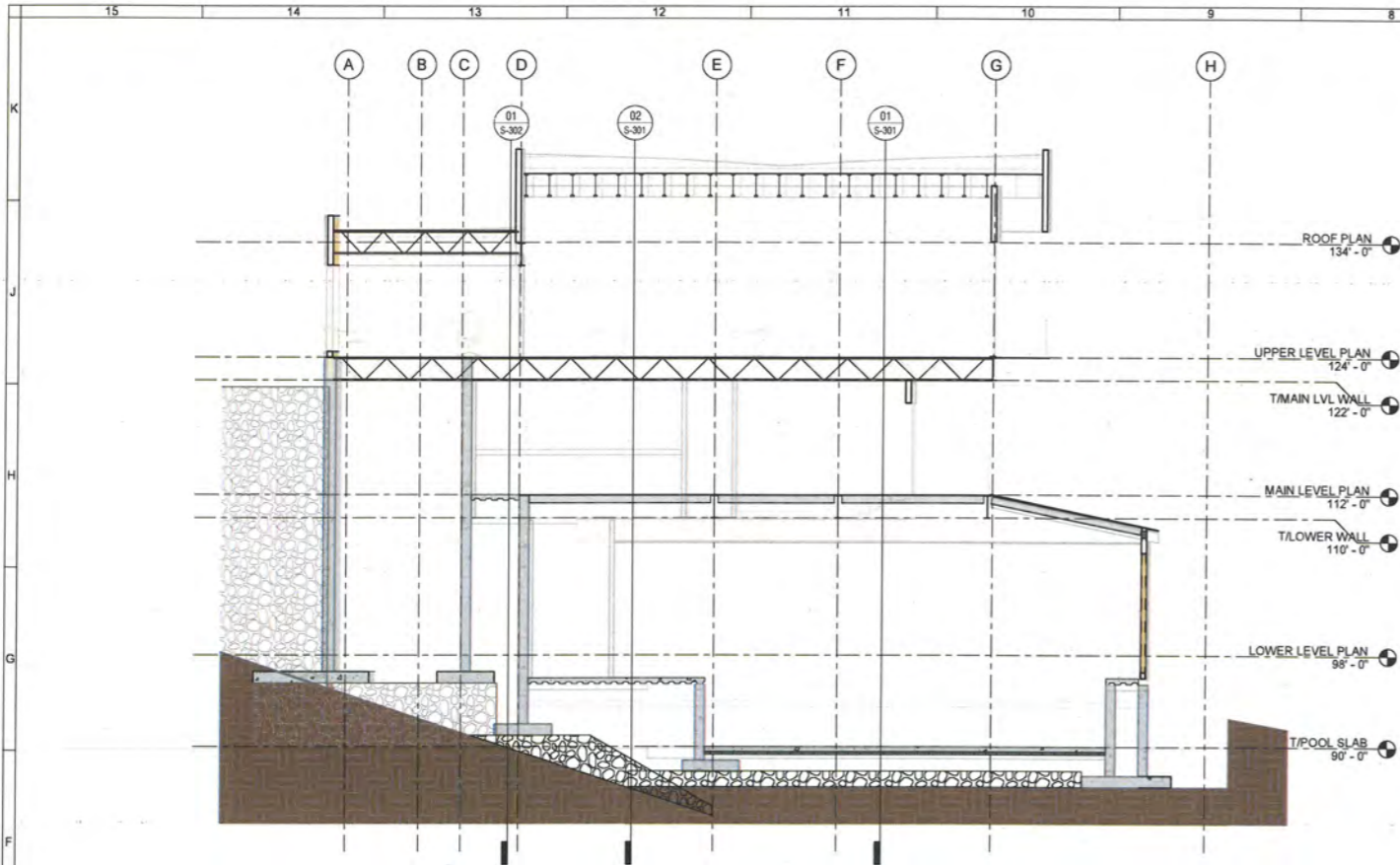


10/05/2021
21059
S-130

Project #
Drawing #

Scales listed are for 22x34 drawing size

Plot Date/Time: 10/5/2021 11:40:20 AM File Path: BIM 360/21059 Moulriere Residence/CR-21059 - Moulriere Residence_recovery2.rvt

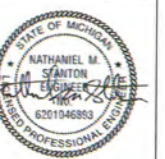


Scales listed are for 22x34 drawing size



Job Title:
MOULIERE RESIDENCE
5728 Geddes Road, Ann Arbor MI 48105

Sheet Title:
EAST-WEST SECTIONS
Released For: PERMIT SET

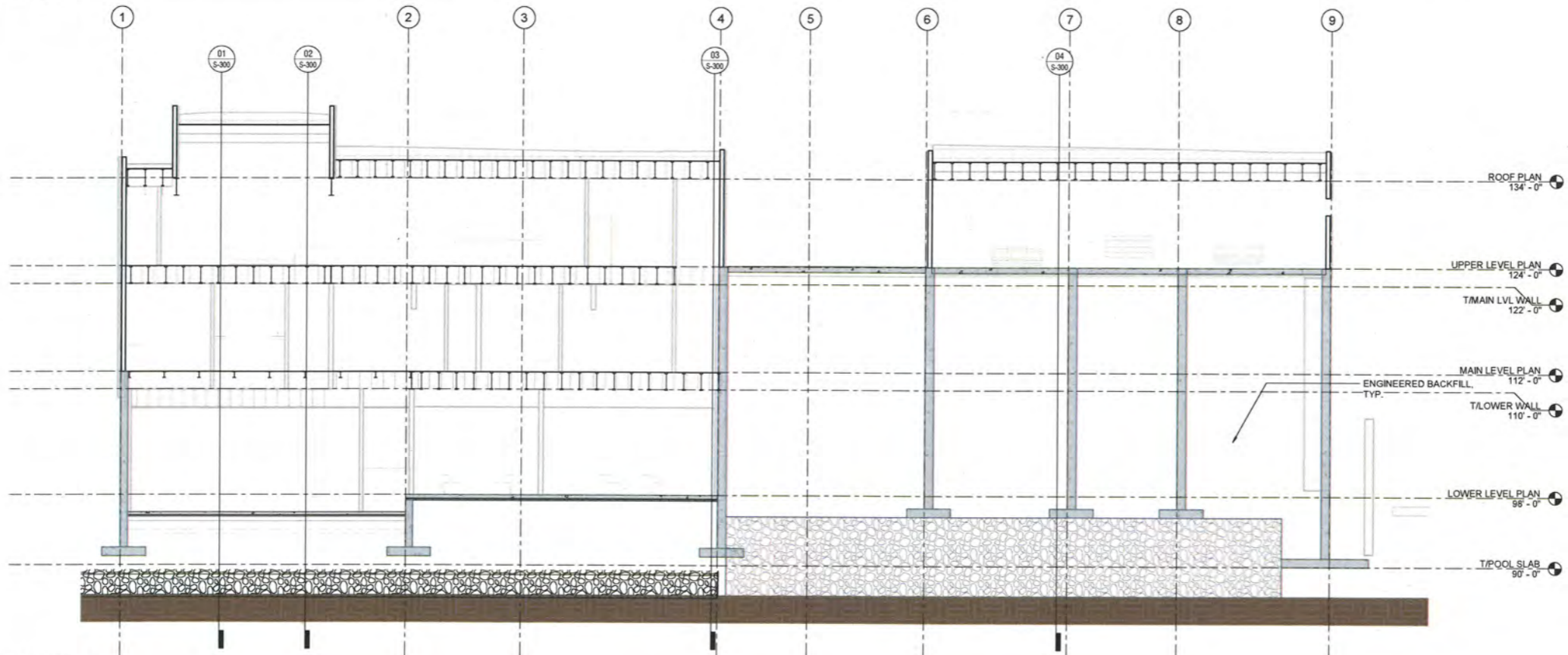


10/05/2021
21059
S-300

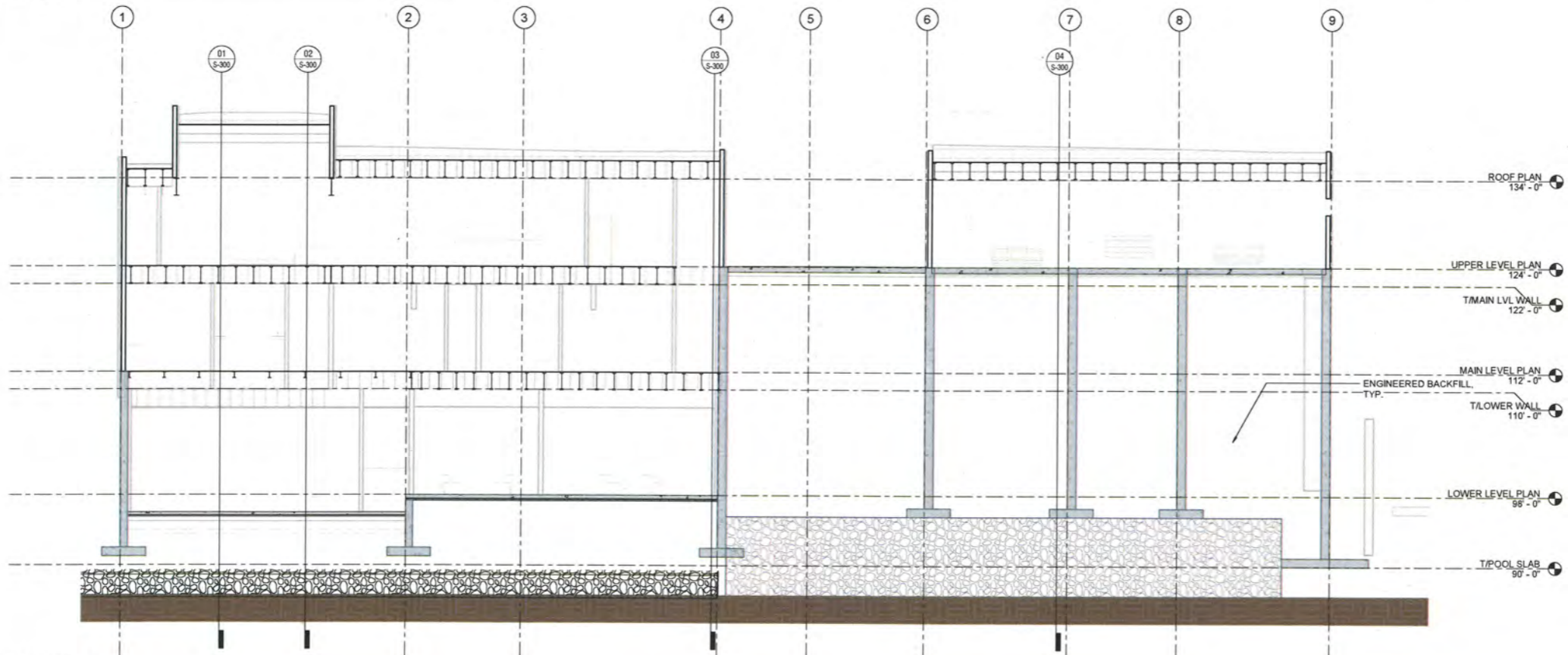
Project # / Draw Date
Drawing #

Plot Date/Time: 10/5/2021 11:40:21 AM File Path: BIM 360/21059 Moulriere Residence/CR-21059 - Moulriere Residence_recovery2.rvt

01 N-S SECTION 1
1/8" = 1'-0"



02 N-S SECTION 2
1/8" = 1'-0"



Scales listed are for 22x34 drawing size



Job Title:
MOULIERE RESIDENCE
5728 Geddes Road, Ann Arbor MI 48105

Sheet Title:
NORTH-SOUTH SECTIONS
Released For: PERMIT SET

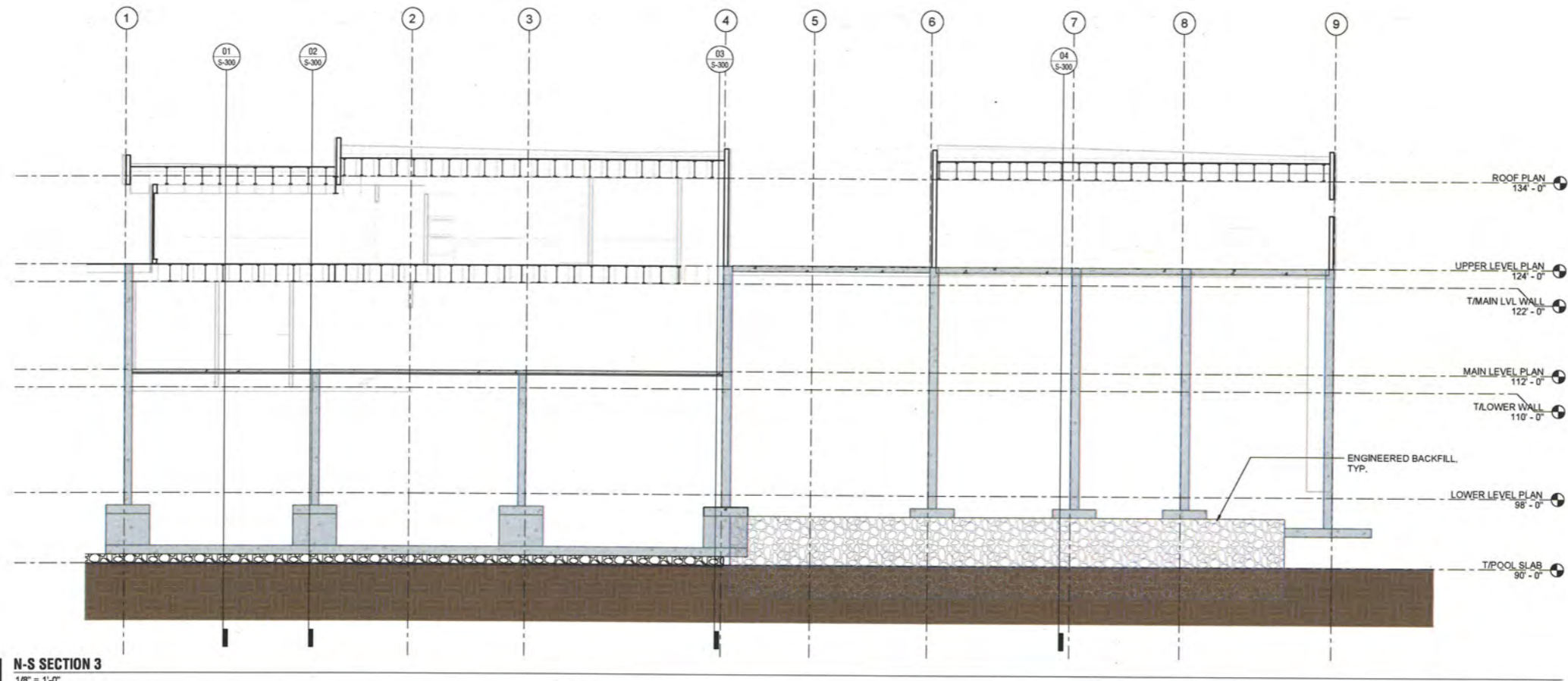


10/05/2021
21059
S-301

Project # / Dwg Date

Plot Date/Time: 10/05/2021 11:40:21 AM File Path: BIM 360://21059 Moulriere Residence/CR-21059 - Moulriere Residence_recovery2.rvt

01 N-S SECTION 3
1/8" = 1'-0"



Scales listed are for 22x34 drawing size



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info@crmtng.com

Job Title:

MOULIERE RESIDENCE

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Sheet Title:

NORTH-SOUTH SECTIONS 2
Released For: PERMIT SET

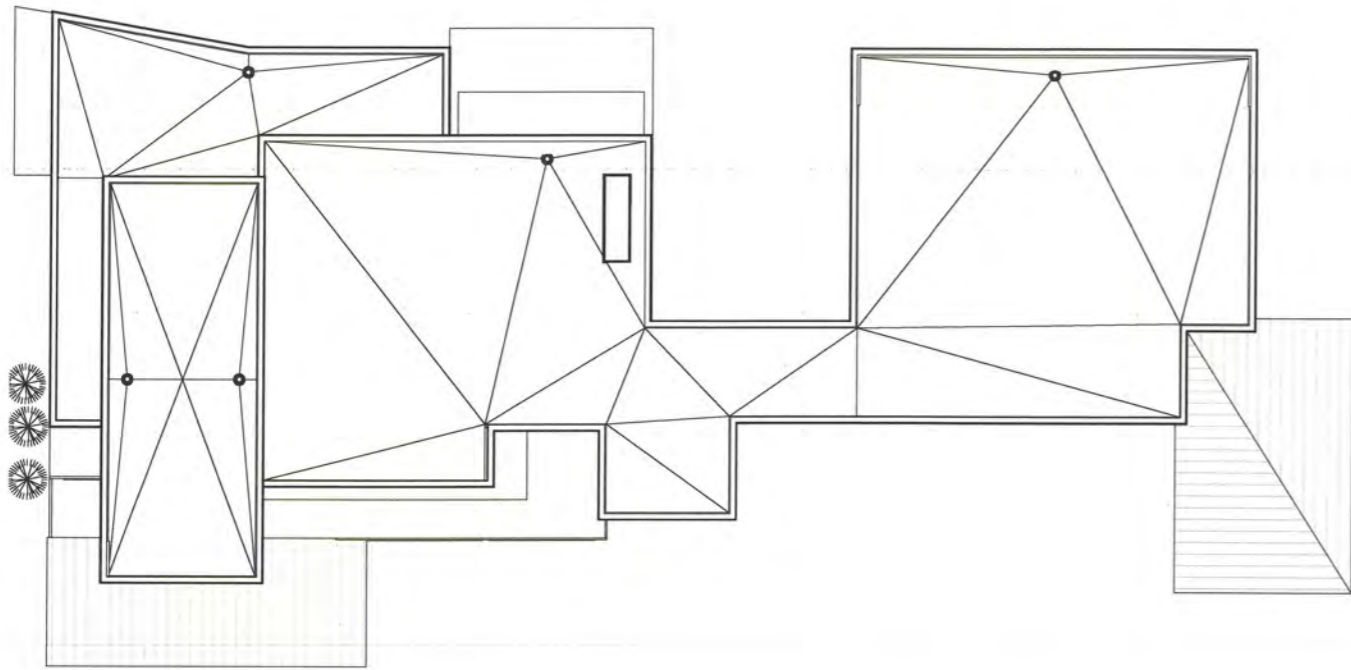


10/05/2021 Project # / Dwg Date

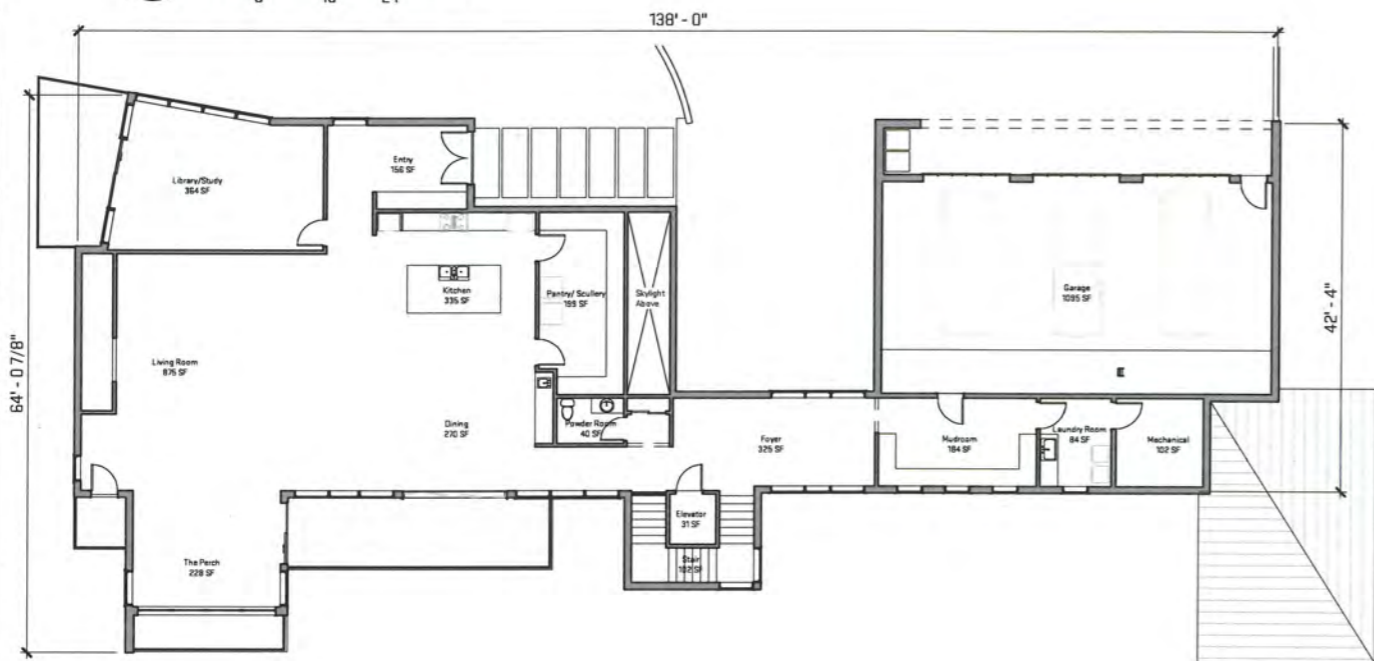
21059

S-302 Drawing #

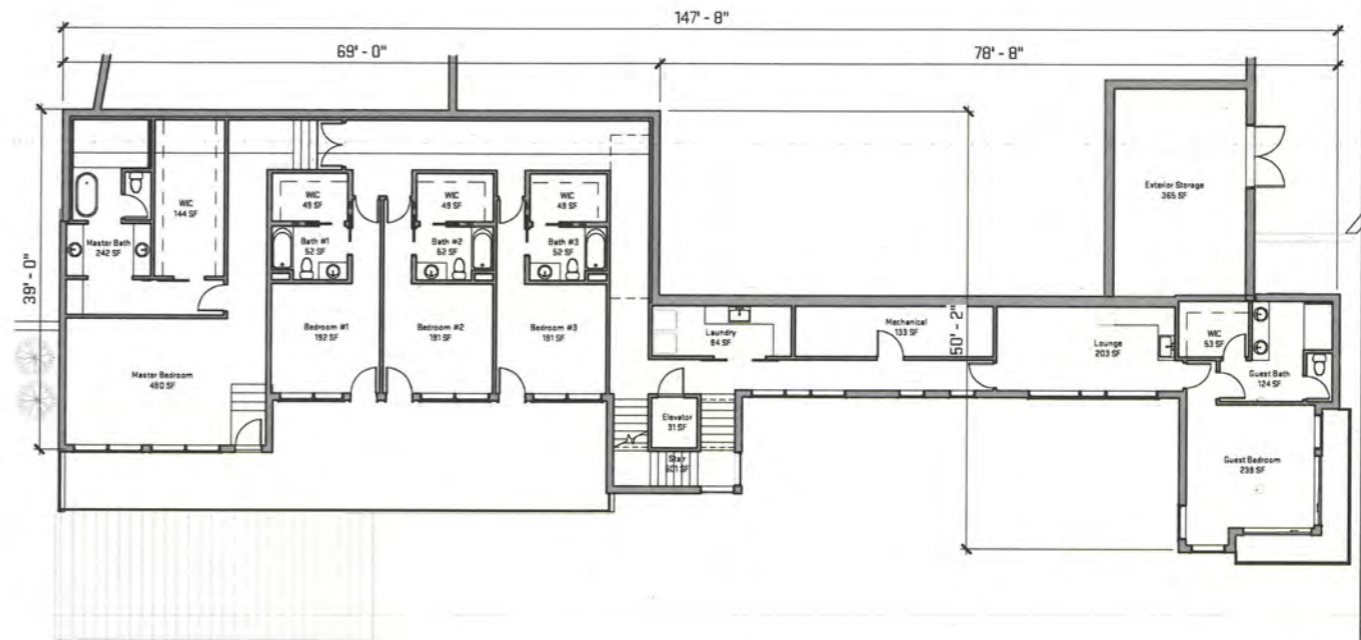
Plot Date/Time: 10/19/2021 12:13:53 PM File Path: C:\Users\rsrowse\Documents\MRP21_SarahRowse.rvt



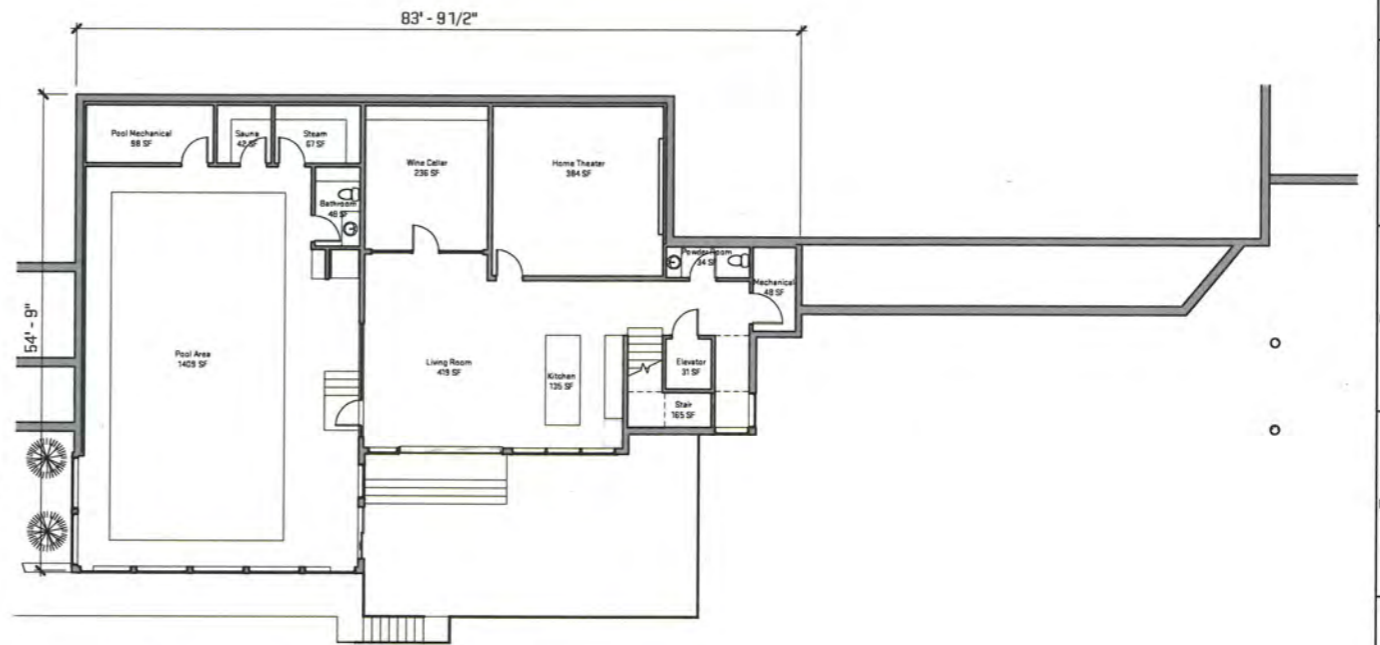
4 Overall Roof Plan
A-002 3/32" = 1'-0"



3 Overall Upper Level Floor Plan
A-002 3/32" = 1'-0"



2 Overall Main Level Floor Plan
A-002 3/32" = 1'-0"



1 Overall Lower Level Floor Plan
A-002 3/32" = 1'-0"

Scales listed are for 22x34 drawing size



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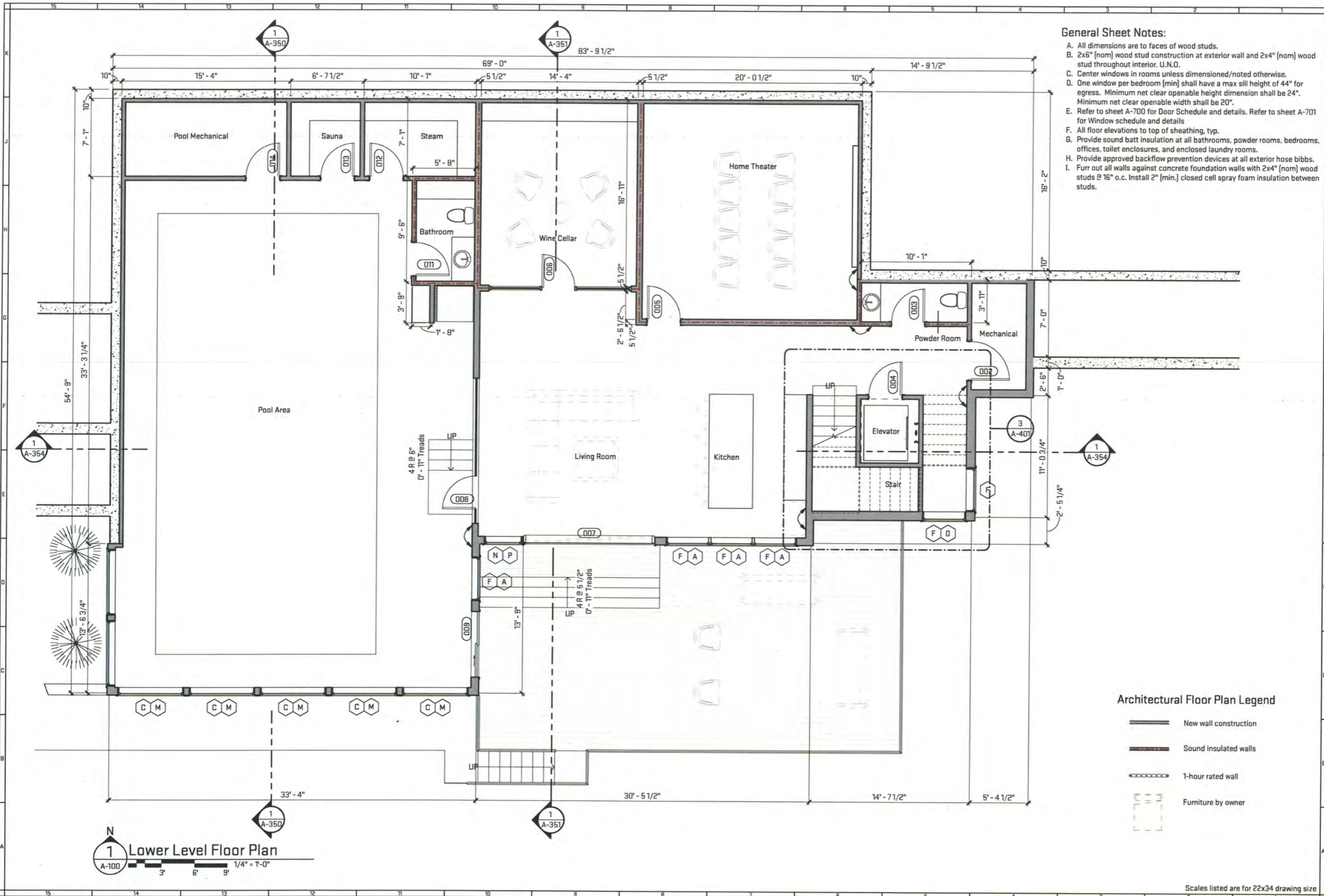
Job Title:
Mouliere Residence
5728 Geddes Road, Ann Arbor, MI 48105

Sheet Title:
Overall Floor Plans
Released For: Permit



10/15/2021
SCN-MRP21
A-002

Plot Date/Time: 10/19/2021 12:13:54 PM File Path: C:\Users\scrowse\Documents\MRP21_SarahRowse.rvt



- General Sheet Notes:**
- All dimensions are to faces of wood studs.
 - 2x6" (nom) wood stud construction at exterior wall and 2x4" (nom) wood stud throughout interior, U.N.O.
 - Center windows in rooms unless dimensioned/noted otherwise.
 - One window per bedroom (min) shall have a max sill height of 44" for egress. Minimum net clear openable height dimension shall be 24". Minimum net clear openable width shall be 20".
 - Refer to sheet A-700 for Door Schedule and details. Refer to sheet A-701 for Window schedule and details
 - All floor elevations to top of sheathing, typ.
 - Provide sound batt insulation at all bathrooms, powder rooms, bedrooms, offices, toilet enclosures, and enclosed laundry rooms.
 - Provide approved backflow prevention devices at all exterior hose bibbs.
 - Furr out all walls against concrete foundation walls with 2x4" (nom) wood studs @ 16" o.c. Install 2" (min.) closed cell spray foam insulation between studs.

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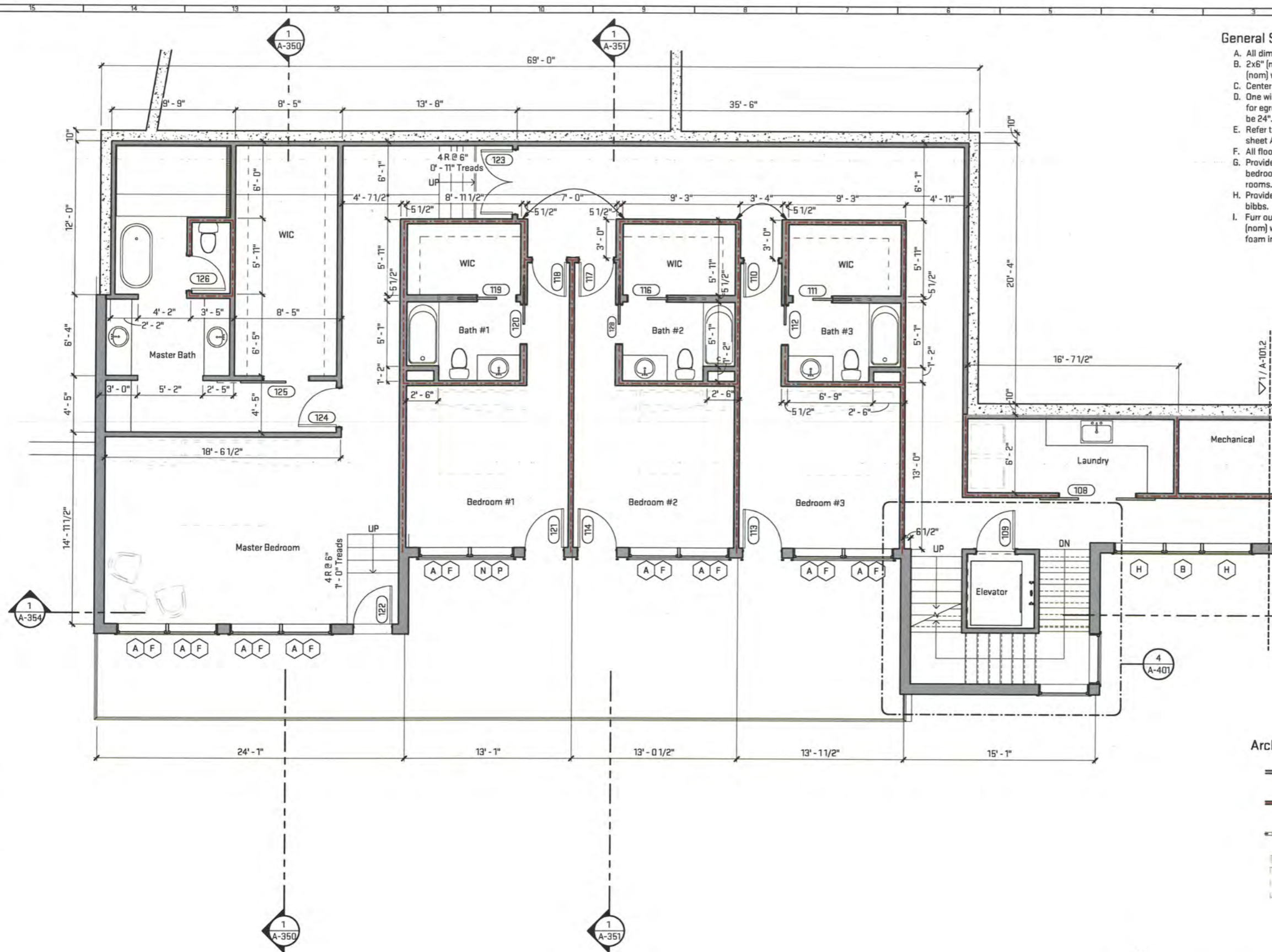
Sheet Title:
Lower Level Floor Plan
 Released For: Permit



10/15/2021
 SCN-MRP21
A-100

Scales listed are for 22x34 drawing size

Plot Date/Time: 10/19/2021 12:13:55 PM File Path: C:\Users\srowse\Documents\MRP21_SarahRowse.rvt



- General Sheet Notes:**
- All dimensions are to faces of wood studs.
 - 2x6" (nom) wood stud construction at exterior wall and 2x4" (nom) wood stud throughout interior, U.N.D.
 - Center windows in rooms unless dimensioned/noted otherwise.
 - One window per bedroom (min) shall have a max sill height of 44" for egress. Minimum net clear openable height dimension shall be 24". Minimum net clear openable width shall be 20".
 - Refer to sheet A-701 for Door Schedule and details. Refer to sheet A-701 for Window schedule and details.
 - All floor elevations to top of sheathing, typ.
 - Provide sound batt insulation at all bathrooms, powder rooms, bedrooms, offices, toilet enclosures, and enclosed laundry rooms.
 - Provide approved backflow prevention devices at all exterior hose bibbs.
 - Furr out all walls against concrete foundation walls with 2x4" (nom) wood studs @ 16" o.c. Install 2" (min.) closed cell spray foam insulation between studs.

- Architectural Floor Plan Legend**
- New wall construction
 - Sound insulated walls
 - 1-hour rated wall
 - Furniture by owner



Job Title:
Mouliere Residence
 5728 Geddes Road, Ann Arbor, MI 48105

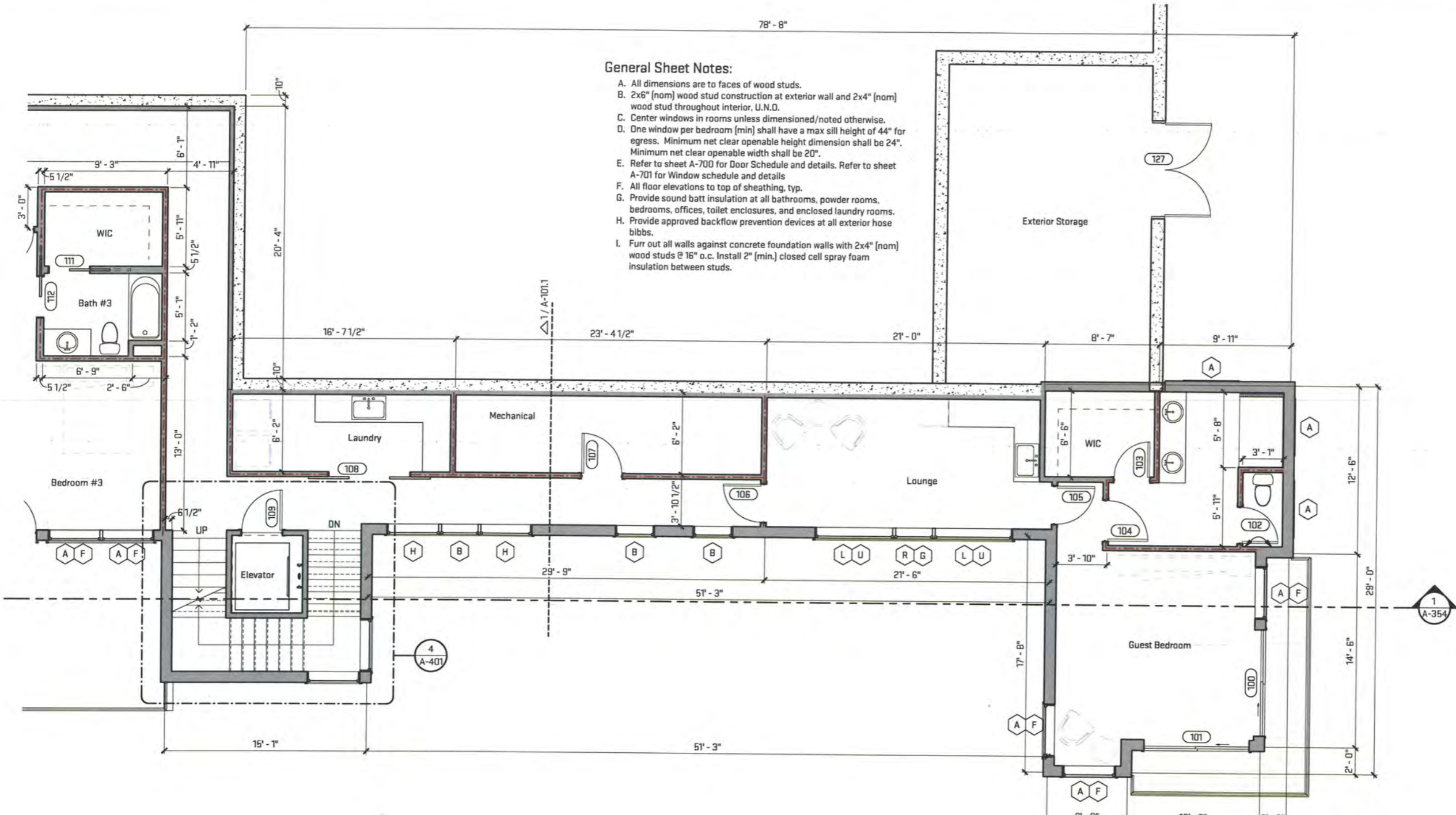
Sheet Title:
Main Level Floor Plan - West
 Released For: Permit



10/15/2021
 SCN-MRP21
A-101.1

Scales listed are for 22x34 drawing size

Plot Date/Time: 10/19/2021 12:13:55 PM File Path: C:\Users\rowise\Documents\MRP21_SarahRowise.rvt



- General Sheet Notes:**
- A. All dimensions are to faces of wood studs.
 - B. 2x6" (nom) wood stud construction at exterior wall and 2x4" (nom) wood stud throughout interior, U.N.D.
 - C. Center windows in rooms unless dimensioned/noted otherwise.
 - D. One window per bedroom (min) shall have a max sill height of 44" for egress. Minimum net clear openable height dimension shall be 24". Minimum net clear openable width shall be 20".
 - E. Refer to sheet A-700 for Door Schedule and details. Refer to sheet A-701 for Window schedule and details.
 - F. All floor elevations to top of sheathing, typ.
 - G. Provide sound batt insulation at all bathrooms, powder rooms, bedrooms, offices, toilet enclosures, and enclosed laundry rooms.
 - H. Provide approved backflow prevention devices at all exterior hose bibbs.
 - I. Furr out all walls against concrete foundation walls with 2x4" (nom) wood studs @ 16" o.c. Install 2" (min.) closed cell spray foam insulation between studs.

1 Main Level Floor Plan - East
 A-101.2
 1/4" = 1'-0"

Architectural Floor Plan Legend

| | |
|--|-----------------------|
| | New wall construction |
| | Sound insulated walls |
| | 1-hour rated wall |
| | Furniture by owner |

Scales listed are for 22x34 drawing size



Job Title:
Mouliere Residence
 5728 Geddes Road, Ann Arbor, MI 48105

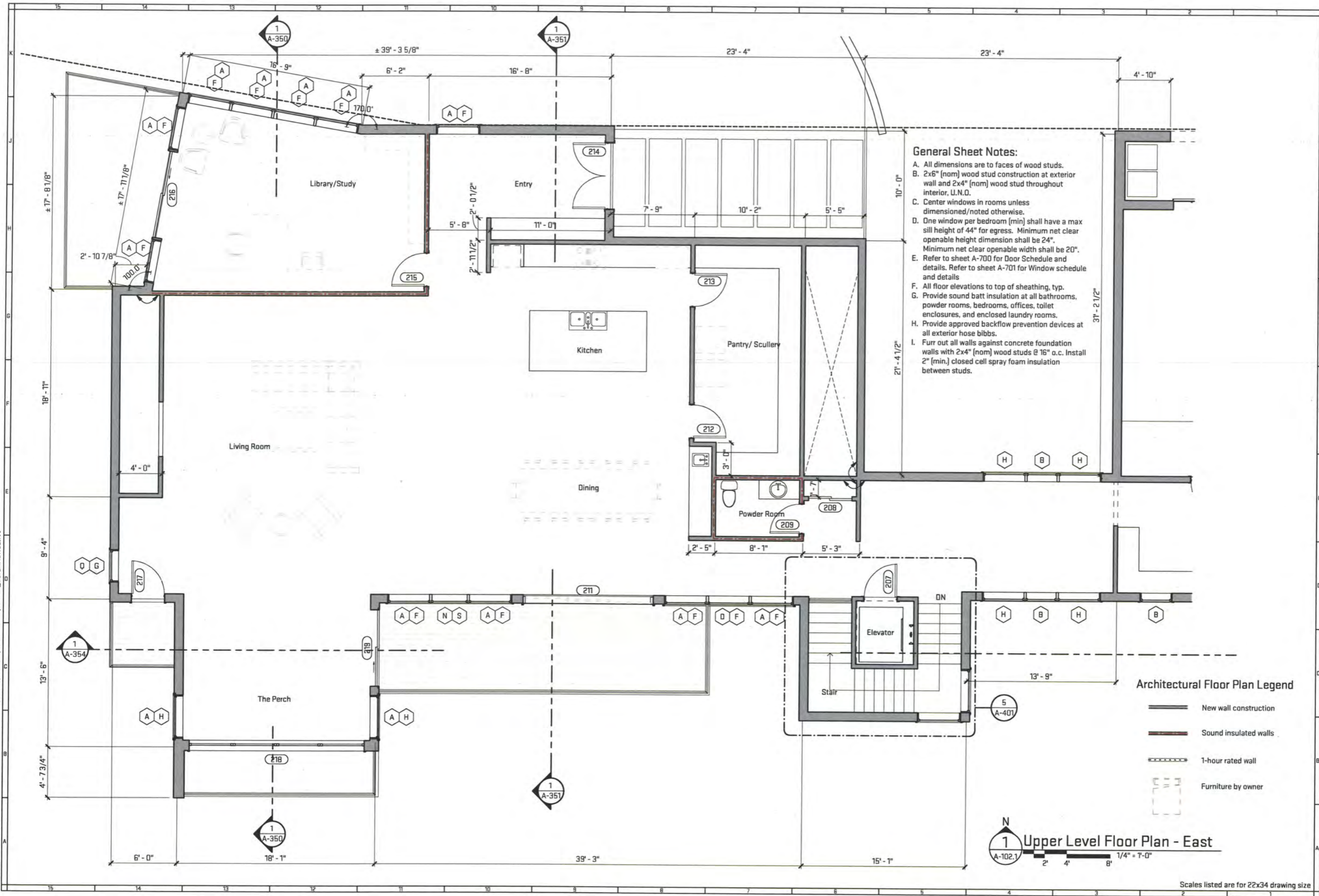
Sheet Title:
Main Level Floor Plan - East
 Released For: Permit



10/15/2021
 SCN-MRP21

A-101.2

Plot Date/Time: 10/19/2021 12:13:57 PM File Path: C:\Users\srowse\Documents\MRP21_SarahRowse.rvt



General Sheet Notes:

- A. All dimensions are to faces of wood studs.
- B. 2x6" (nom) wood stud construction at exterior wall and 2x4" (nom) wood stud throughout interior, U.N.D.
- C. Center windows in rooms unless dimensioned/noted otherwise.
- D. One window per bedroom (min) shall have a max sill height of 44" for egress. Minimum net clear openable height dimension shall be 24". Minimum net clear openable width shall be 20".
- E. Refer to sheet A-700 for Door Schedule and details. Refer to sheet A-701 for Window schedule and details.
- F. All floor elevations to top of sheathing, typ.
- G. Provide sound batt insulation at all bathrooms, powder rooms, bedrooms, offices, toilet enclosures, and enclosed laundry rooms.
- H. Provide approved backflow prevention devices at all exterior hose bibbs.
- I. Furr out all walls against concrete foundation walls with 2x4" (nom) wood studs @ 16" o.c. Install 2" (min.) closed cell spray foam insulation between studs.

Architectural Floor Plan Legend

- New wall construction
- Sound insulated walls
- 1-hour rated wall
- Furniture by owner



Job Title:
Mouliere Residence
 5728 Geddes Road, Ann Arbor, MI 48105

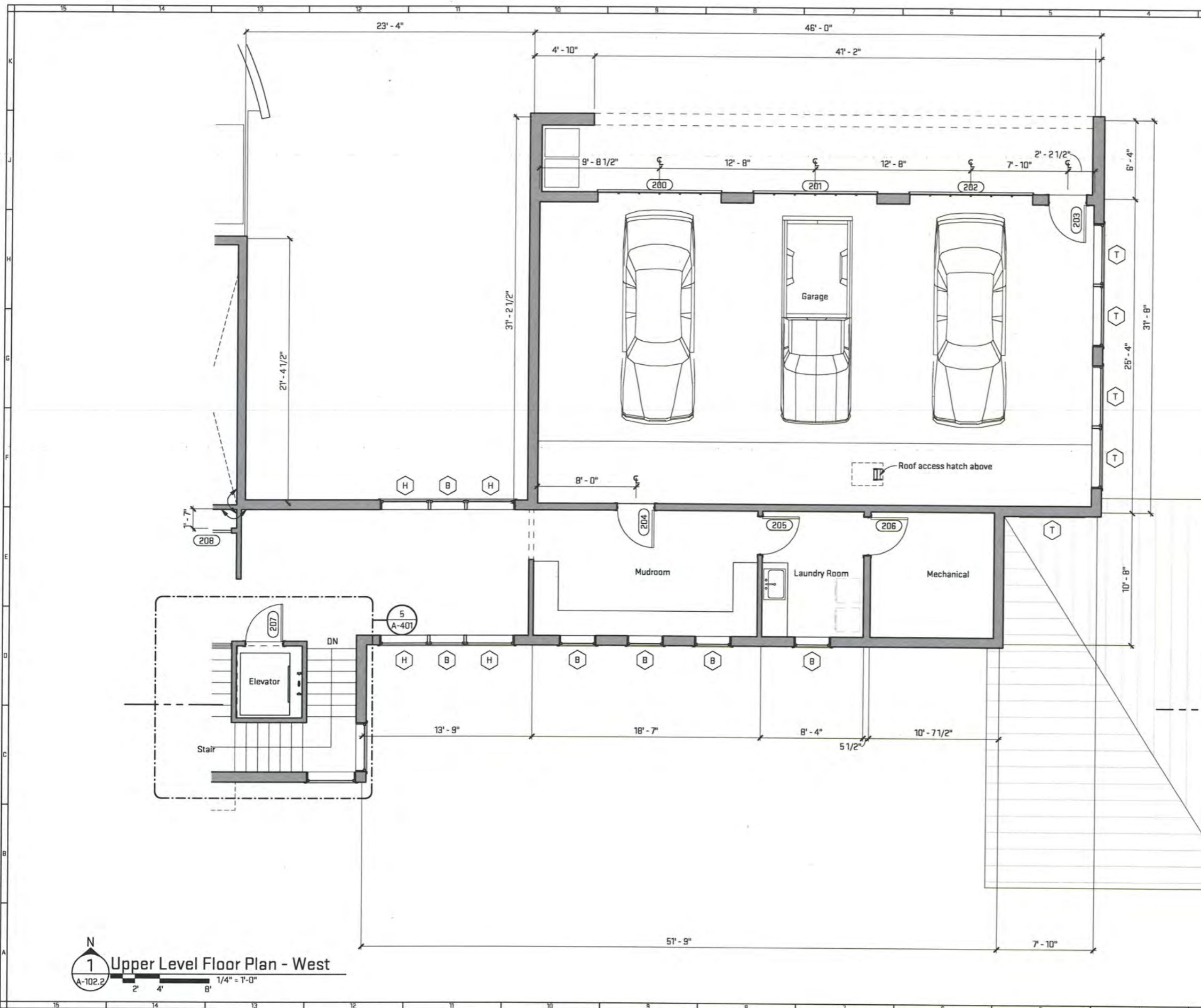
Sheet Title:
Upper Level Floor Plan - West
 Released For: Permit



10/15/2021
 SCN-MRP21
A-102.1

Scales listed are for 22x34 drawing size

Plot Date/Time: 10/19/2021 12:13:56 PM File Path: C:\Users\strowsa\Documents\MRP21_SarahRowse.rvt



- General Sheet Notes:**
- A. All dimensions are to faces of wood studs.
 - B. 2x6" (nom) wood stud construction at exterior wall and 2x4" (nom) wood stud throughout interior, U.N.D.
 - C. Center windows in rooms unless dimensioned/noted otherwise.
 - D. One window per bedroom (min) shall have a max sill height of 44" for egress. Minimum net clear openable height dimension shall be 24". Minimum net clear openable width shall be 20".
 - E. Refer to sheet A-700 for Door Schedule and details. Refer to sheet A-701 for Window schedule and details.
 - F. All floor elevations to top of sheathing, typ.
 - G. Provide sound batt insulation at all bathrooms, powder rooms, bedrooms, offices, toilet enclosures, and enclosed laundry rooms.
 - H. Provide approved backflow prevention devices at all exterior hose bibbs.
 - I. Furr out all walls against concrete foundation walls with 2x4" (nom) wood studs @ 16" o.c. Install 2" (min.) closed cell spray foam insulation between studs.

- Architectural Floor Plan Legend**
- New wall construction
 - Sound insulated walls
 - 1-hour rated wall
 - Furniture by owner

1 Upper Level Floor Plan - West
 A-102.2 1/4" = 1'-0"

Scales listed are for 22x34 drawing size



Job Title:
Mouliere Residence
 5728 Gaddes Road, Ann Arbor, MI 48105

Sheet Title:
Upper Level Floor Plan - East
 Released For: Permit



10/15/2021
 SCN-MRP21
A-102.2

Plot Date/Time: 10/19/2021 12:13:59 PM File Path: C:\Users\srowse\Documents\MRP21_SarahRowse.rvt

General Sheet Notes:

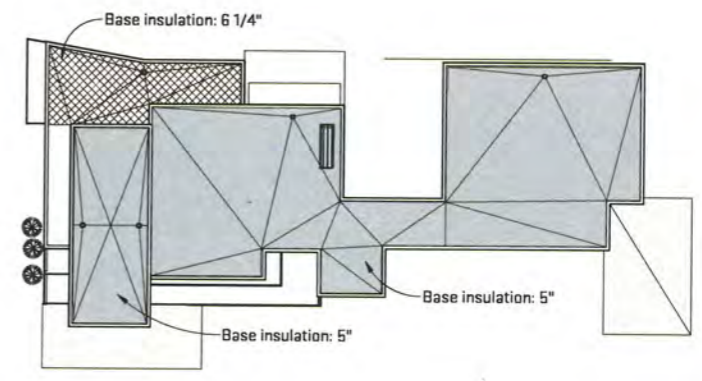
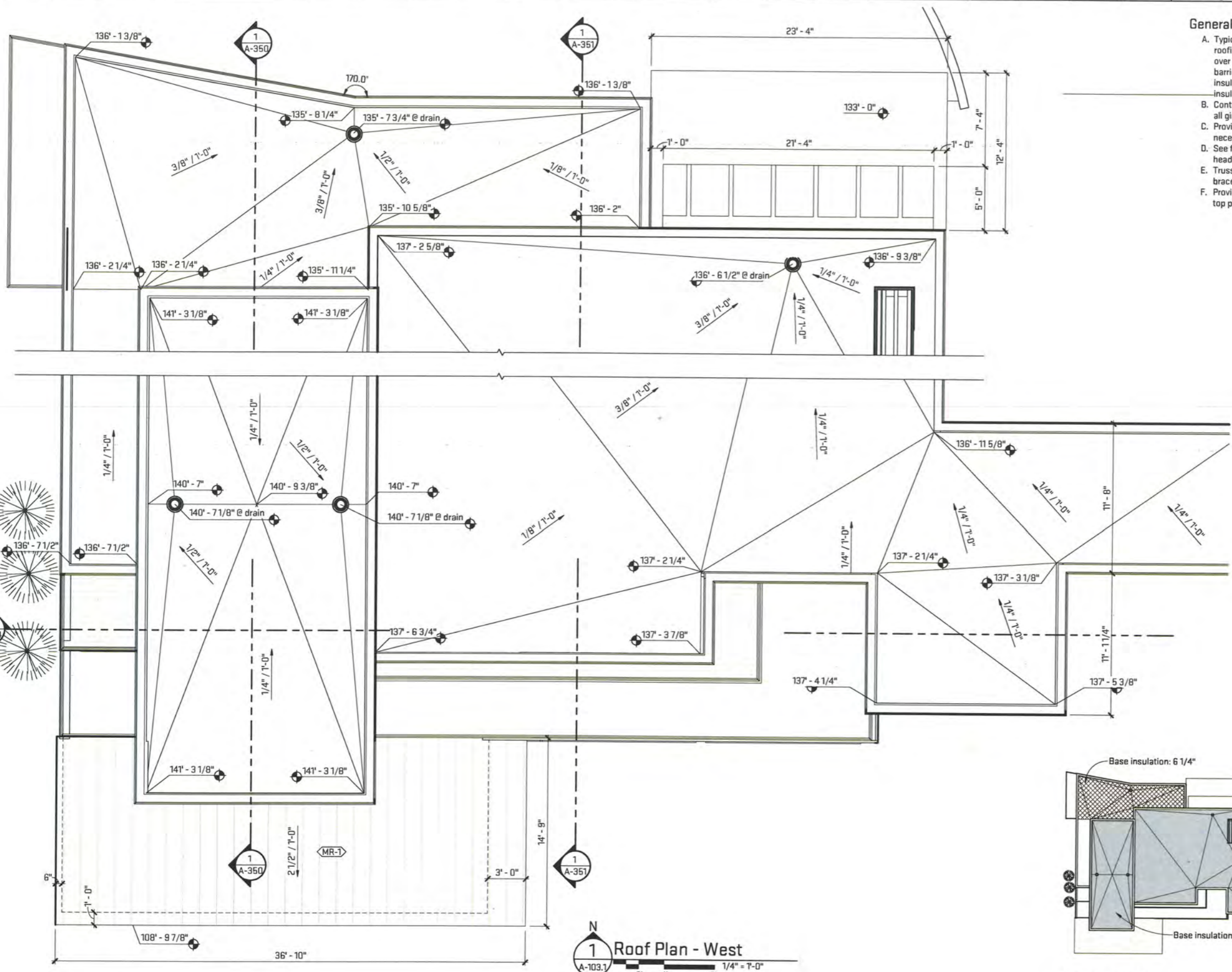
- A. Typical roof system, UNO: Fully-adhered single-ply membrane roofing system over mechanically fastened 1/2" cover board over R-38 min. polyisocyanurate rigid insulation over vapor barrier system over suitable substrate over metal deck. Taper insulation at 1/8" / 12" min. to roof drain. Provide min. base insulation as shown on key plan.
- B. Contractor to review truss calculations and engineer to verify all girder, supporting beam, and other point load locations.
- C. Provide positive drainage with galv. flashing and crickets as necessary at all valley-to-valley and roof-to-wall locations.
- D. See framing plan for exact size and location of beams, headers, and other supporting members.
- E. Trusses may not be drilled or cut and must be installed and braced per engineering design.
- F. Provide Simpson H2.5A hurricane ties at all truss and rafters to top plate connections.

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| | |
|---------------|---------------------------------------|
| Job Title: | Mouliere Residence |
| Address: | 5728 Gaddes Road, Ann Arbor, MI 48105 |
| Sheet Title: | Roof Plan - West |
| Released For: | Permit |



10/15/2021
 SCN-MRP21
 A-103.1



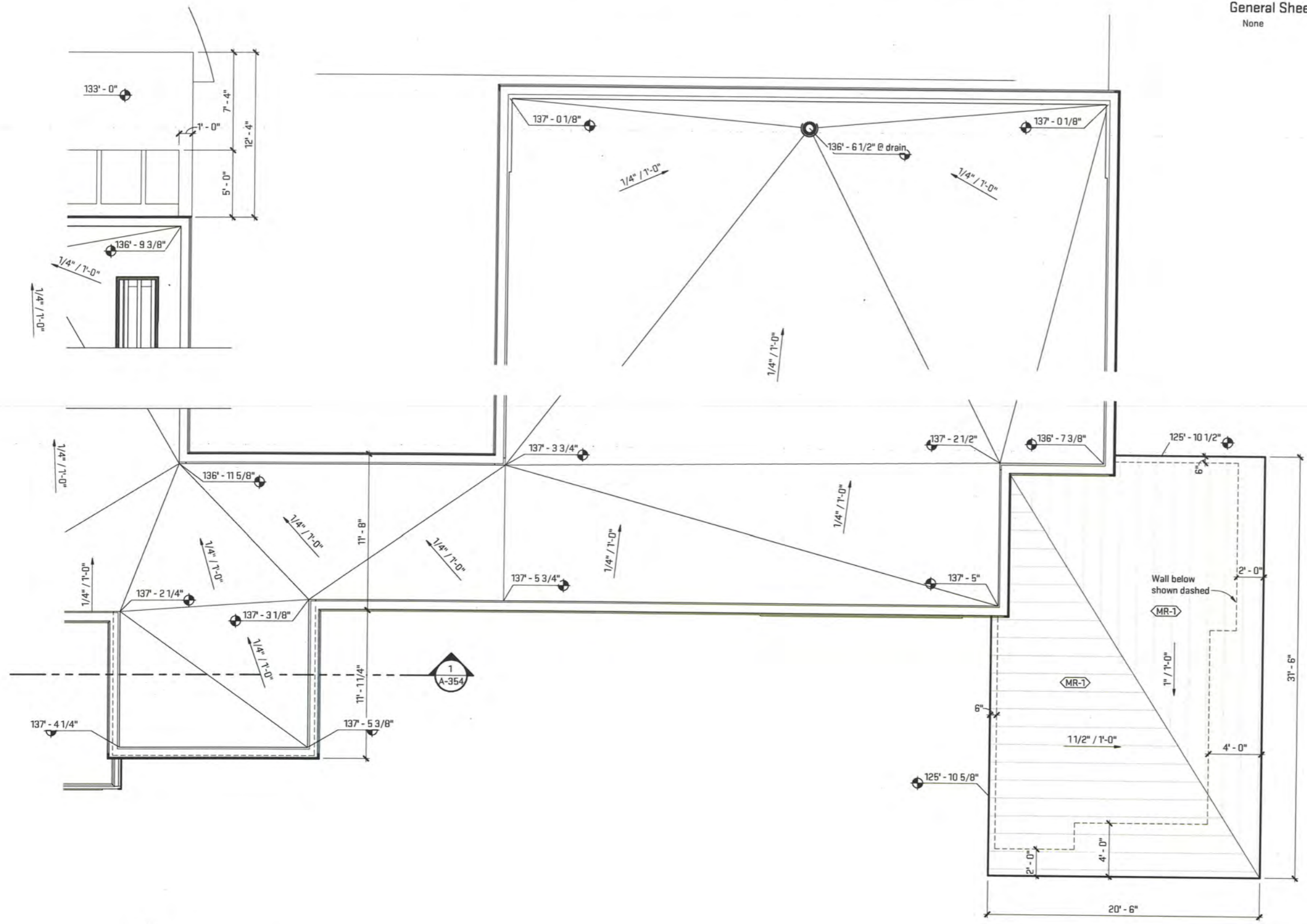
Roof Key Plan

1 Roof Plan - West
 A-103.1
 2' 4' 8' 1/4" = 1'-0"

Scales listed are for 22x34 drawing size

Plot Date/Time: 10/19/2021 12:14:00 PM File Path: C:\Users\erowse\Documents\MRP21_SarahRowse.rvt

General Sheet Notes:
None



1
A-103.2
Roof Plan - East
1/4" = 1'-0"



Job Title:
Mouliere Residence
5728 Geddes Road, Ann Arbor, MI 48105

Sheet Title:
Roof Plan - East
Released For: Permit



10/15/2021
SCN-MRP21

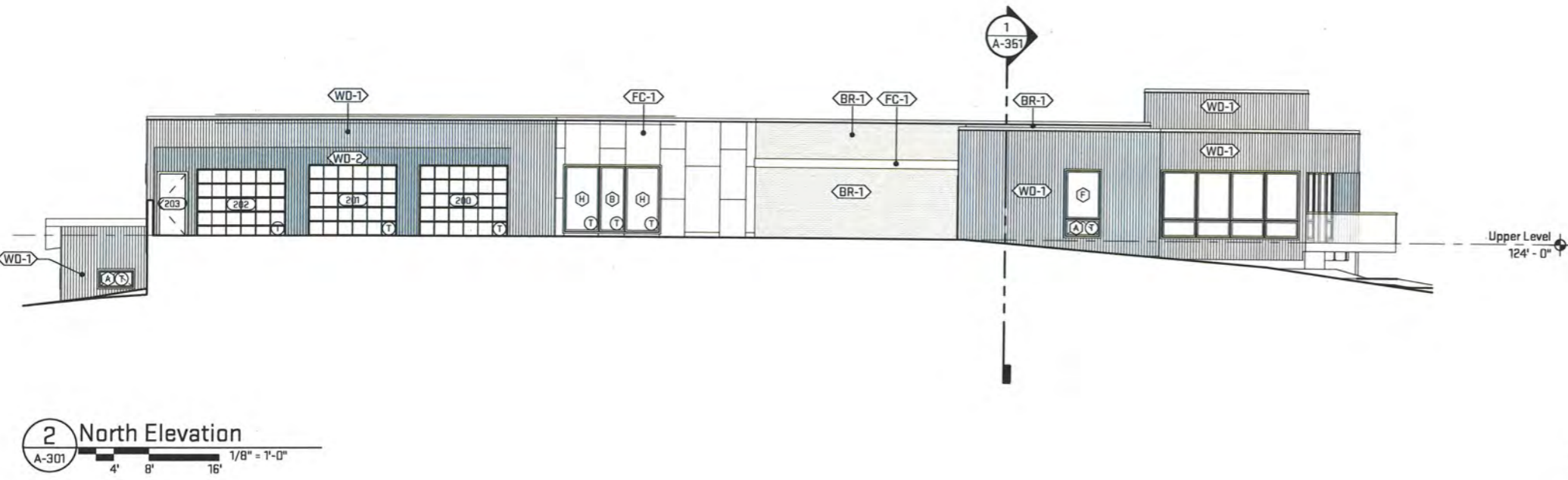
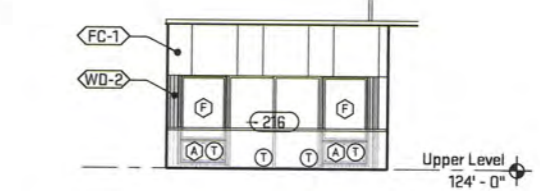
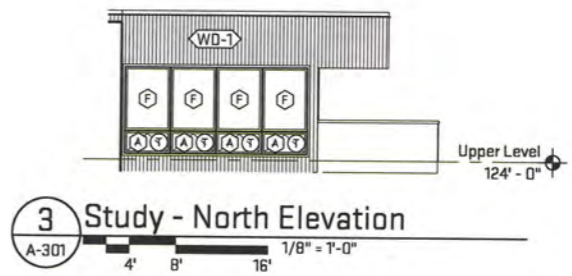
A-103.2

Scales listed are for 22x34 drawing size

Plot Date/Time: 10/19/2021 12:14:03 PM File Path: C:\Users\rowse\Documents\MRP21_SarahRowse.rvt

General Sheet Notes:
 A. All window heads to be 8'-0" AFF, U.N.O.

| Exterior Finish Legend | | | | |
|------------------------|-----------------------------|--------------|-----------------------------------|----------|
| ID | Description | Manufacturer | Model | Comments |
| BR-1 | Face Brick | Belde | Black Diamond, Velour Finish | |
| CONC-1 | Cast-in-place concrete | TBD | TBD | |
| FC-1 | Fiber Cement Panel | Equitone | TBD | |
| MR-1 | Standing Seam Metal Roofing | TBD | TBD | |
| WD-1 | Wood Siding | Arborwood Co | Ash | |
| WD-2 | Wood Siding | Arborwood Co | Burned, Brushed, Black Oil Finish | |



Job Title:
Mouliere Residence
 5728 Geddes Road, Ann Arbor, MI 48105

Sheet Title:
Exterior Elevations
 Released For: Permit

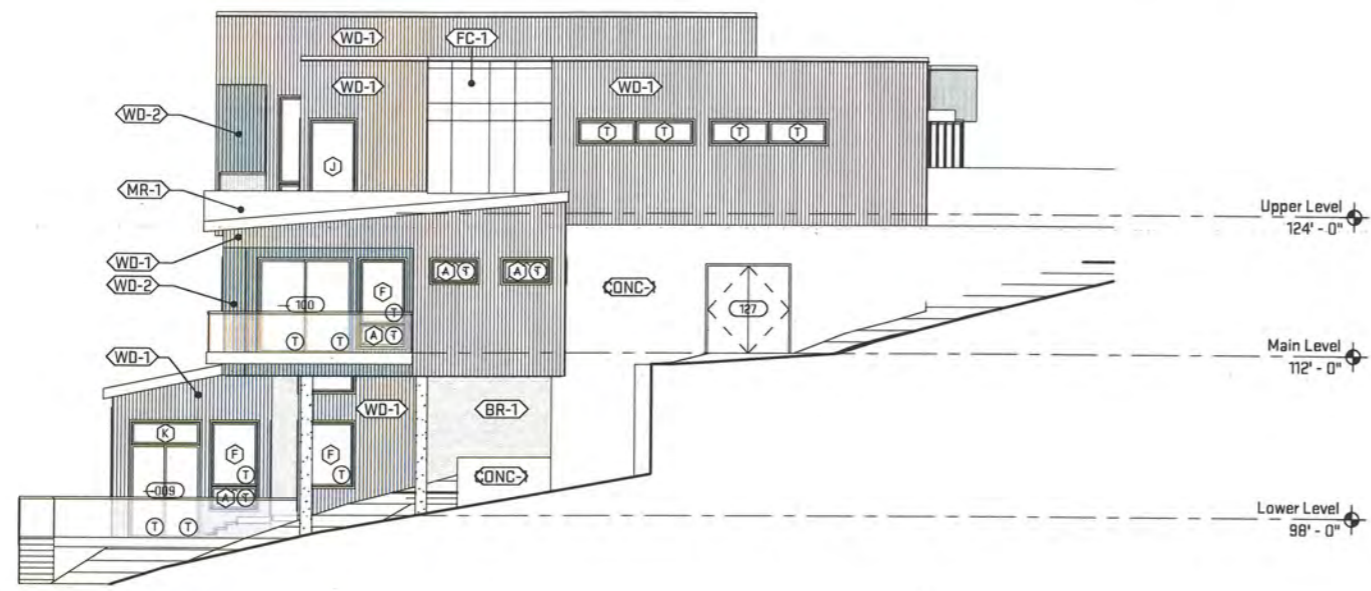


10/15/2021
 SCN-MRP21

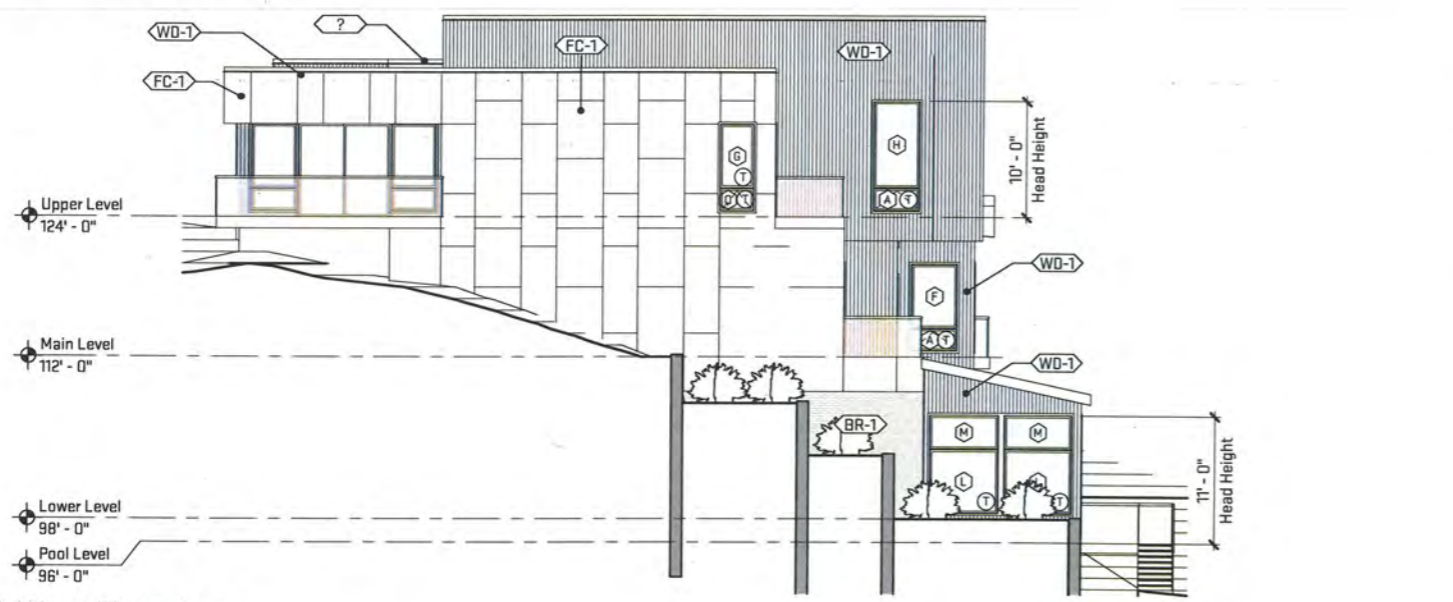
A-301

Scales listed are for 22x34 drawing size

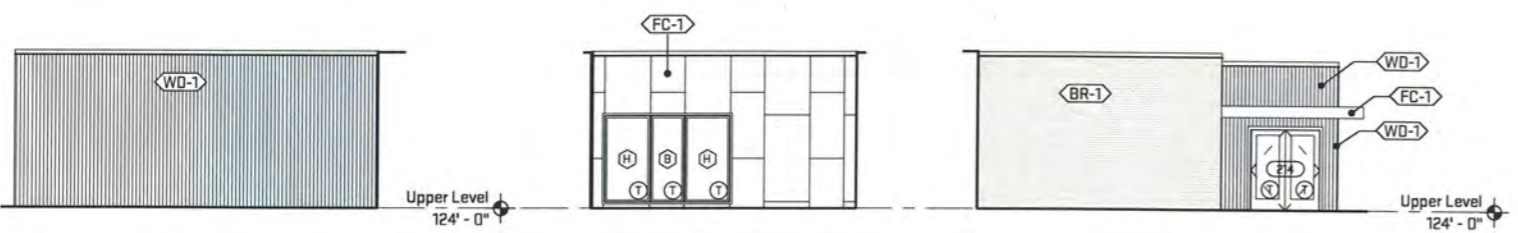
Plot Date/Time: 10/19/2021 12:14:07 PM File Path: C:\Users\rsrowse\Documents\MRP21_SarahRowse.rvt



8 East Elevation
A-302 1/8" = 1'-0"



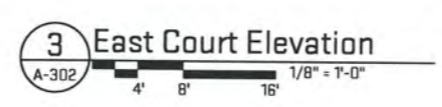
7 West Elevation
A-302 1/8" = 1'-0"



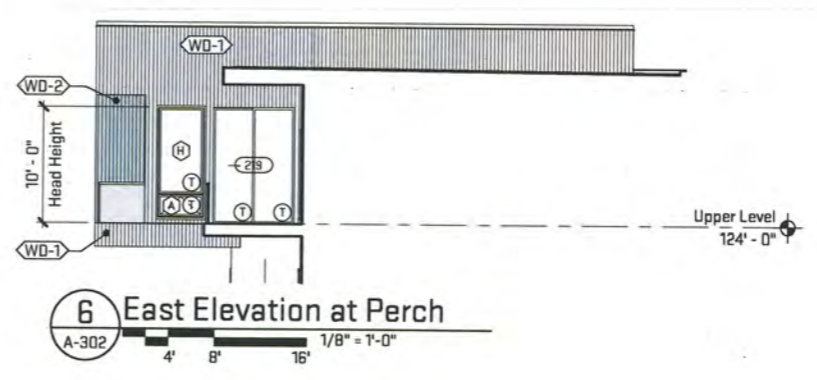
5 West Court Elevation
A-302 1/8" = 1'-0"



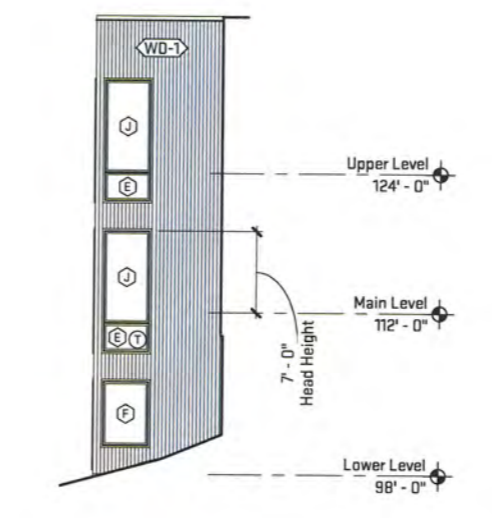
4 North Court Elevation
A-302 1/8" = 1'-0"



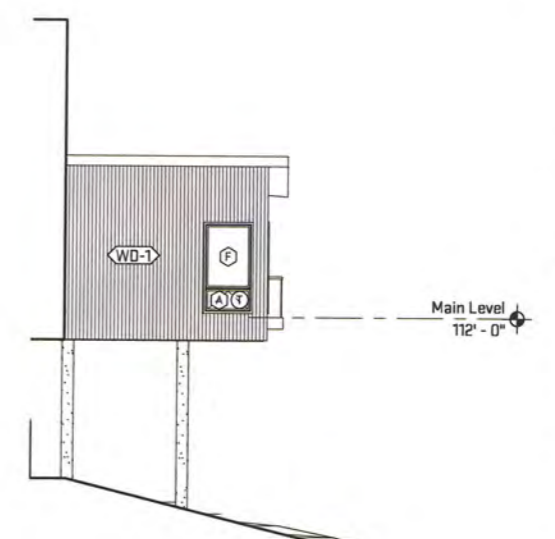
3 East Court Elevation
A-302 1/8" = 1'-0"



6 East Elevation at Perch
A-302 1/8" = 1'-0"



2 East Stair Elevation
A-302 1/8" = 1'-0"



1 West Guest Suite Elevation
A-302 1/8" = 1'-0"

General Sheet Notes:
A. Refer to A-301 General Sheet Notes.

| Exterior Finish Legend | | | | |
|------------------------|-----------------------------|--------------|-----------------------------------|----------|
| ID | Description | Manufacturer | Model | Comments |
| BR-1 | Face Brick | Belde | Black Diamond, Velour Finish | |
| CONC-1 | Cast-in-place concrete | TBD | TBD | |
| FC-1 | Fiber Cement Panel | Equitone | TBD | |
| MR-1 | Standing Seam Metal Roofing | TBD | TBD | |
| WD-1 | Wood Siding | Arborwood Co | Ash | |
| WD-2 | Wood Siding | Arborwood Co | Burned, Brushed, Black Oil Finish | |



Job Title:
Mouliere Residence
5728 Gaddes Road, Ann Arbor, MI 48105

Sheet Title:
Exterior Elevations
Released For: Permit

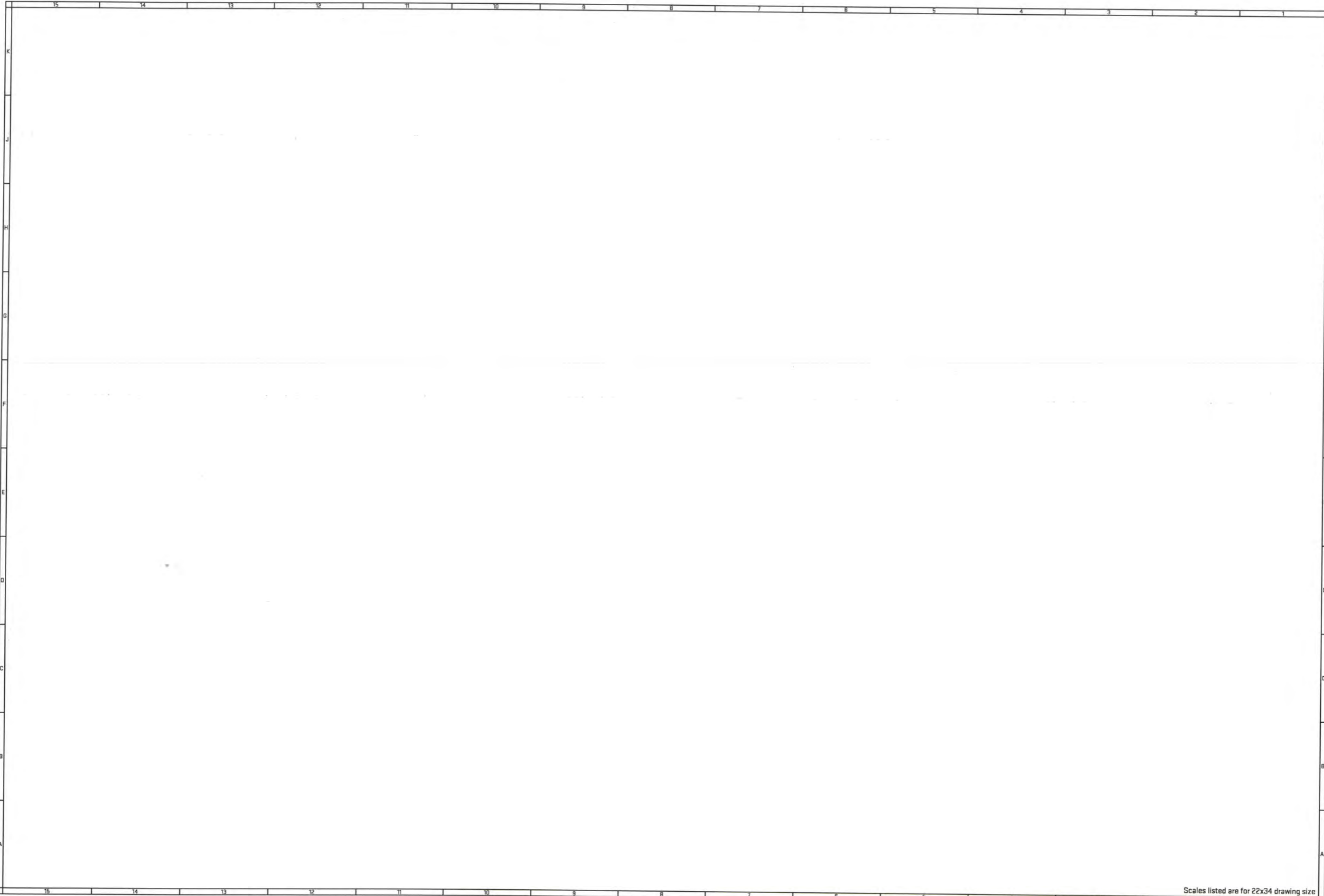


10/15/2021
SCN-MRP21

A-302

Scales listed are for 22x34 drawing size

Plot Date/Time: 10/19/2021 12:14:07 PM File Path: C:\Users\arouse\Documents\MRP21_SarahRowse.rvt



Scales listed are for 22x34 drawing size



Job Title:

Mouliere Residence

5728 Gaddes Road, Ann Arbor, MI 48105

Sheet Title:

Exterior Elevations

Released For: Permit



10/15/2021 Draw Date

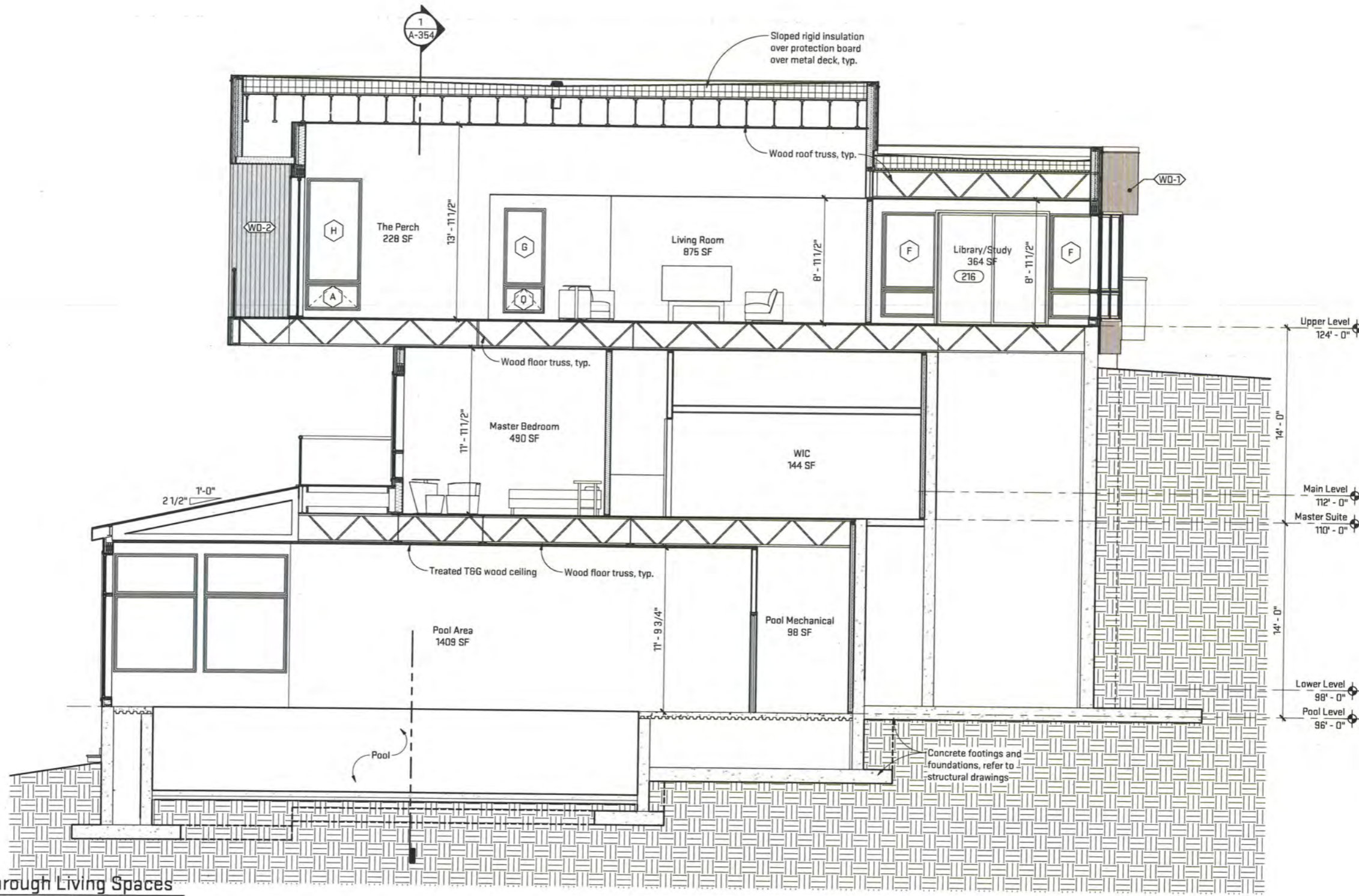
SCN-MRP21 Project #

A-303 Drawing #

Plot Date/Time: 10/19/2021 12:14:08 PM File Path: C:\Users\srowse\Documents\MRP21_SarahRowse.rvt

1 Section through Living Spaces
A-350

2' 4' 8' 1/4" = 1'-0"



architecture | construction | objects
P: [734] 929-9000 | F: [734] 929-9001 | www.oxstudioinc.com

Job Title:
Mouliere Residence
5728 Geddes Road, Ann Arbor, MI 48105

Sheet Title:
Building Sections
Released For: Permit

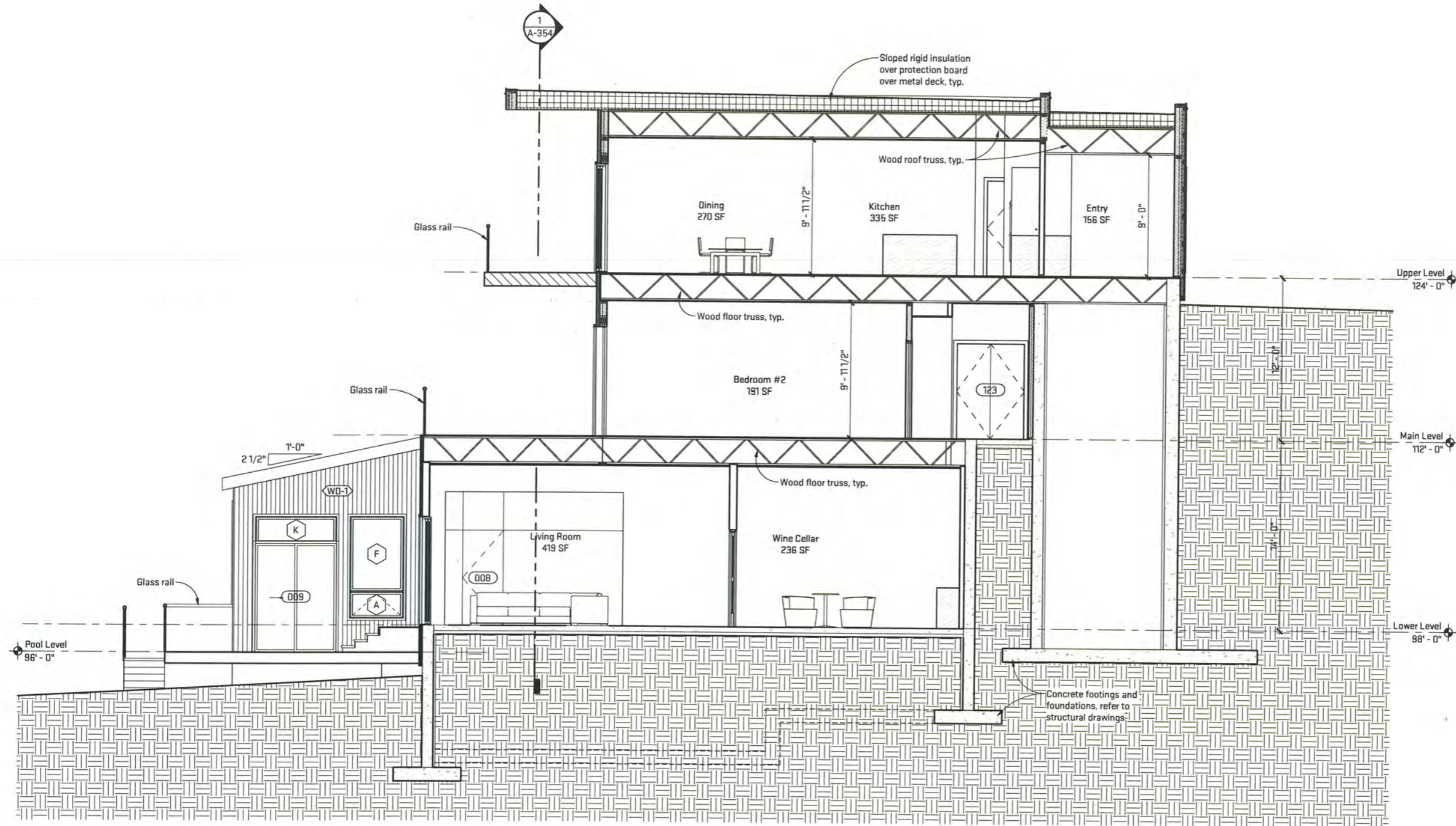


10/15/2021
SCN-MRP21

A-350

Scales listed are for 22x34 drawing size

Plot Date/Time: 10/19/2021 12:14:08 PM File Path: C:\Users\arouse\Documents\MRP21_SarahRowse.rvt



1 Building Section
 A-351
 1/4" = 1'-0"
 2' 4' 8'

Scales listed are for 22x34 drawing size



Job Title:
Mouliere Residence
 5728 Gaddes Road, Ann Arbor, MI 48105

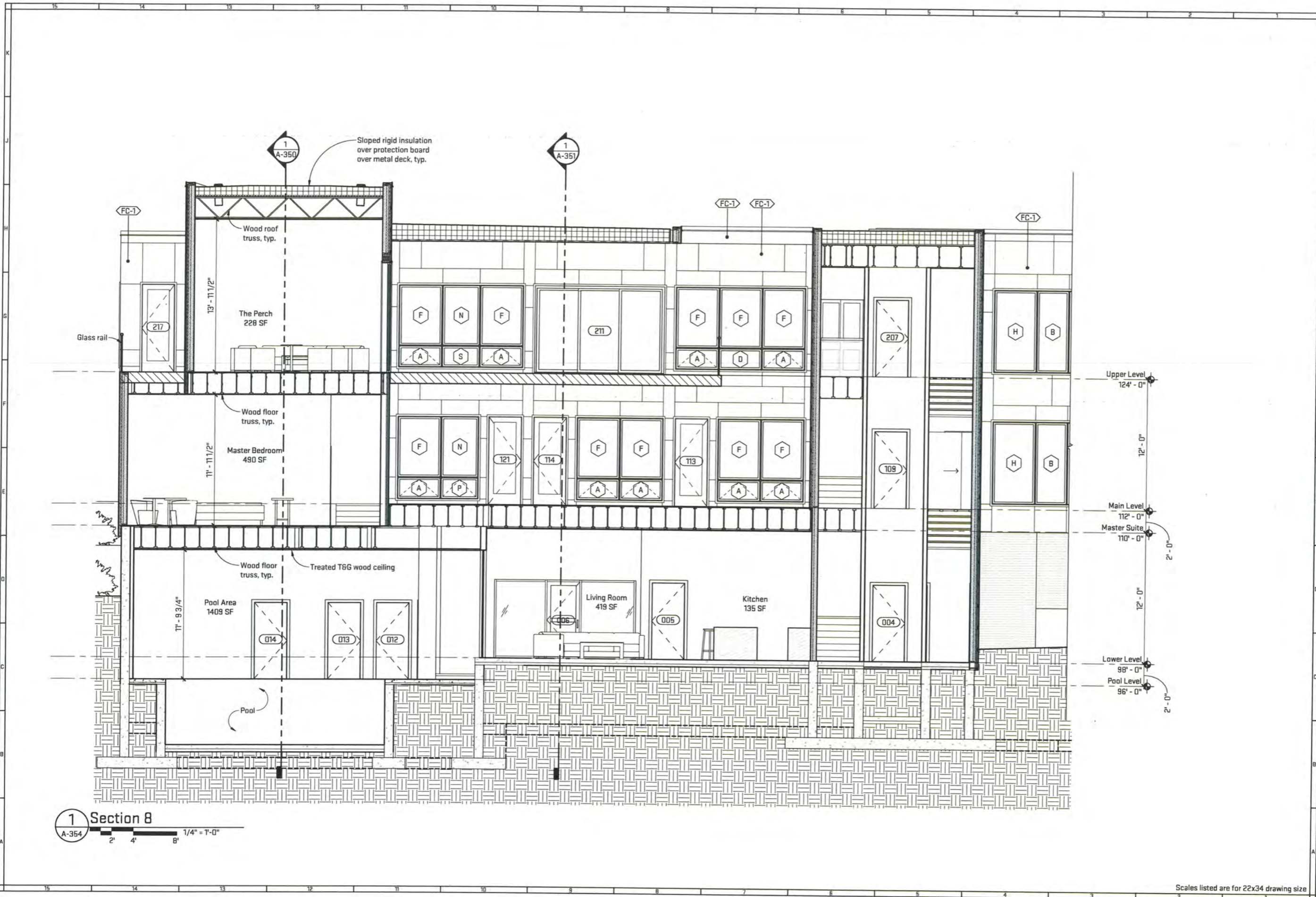
Sheet Title:
Building Sections
 Released For: Permit



10/15/2021
 SCN-MRP21

A-351

Plot Date/Time: 10/19/2021 12:14:10 PM File Path: C:\Users\srowse\Documents\MRP21_SarahRowse.rvt



1 Section 8
 A-354 1/4" = 1'-0"

Upper Level
124' - 0"

12' - 0"

Main Level
112' - 0"

Master Suite
110' - 0"

2' - 0"

12' - 0"

Lower Level
98' - 0"

Pool Level
96' - 0"

2' - 0"

Scales listed are for 22x34 drawing size

Job Title:
Mouliere Residence
 5728 Geddes Road, Ann Arbor, MI 48105

Sheet Title:
Building Sections
 Released For: Permit



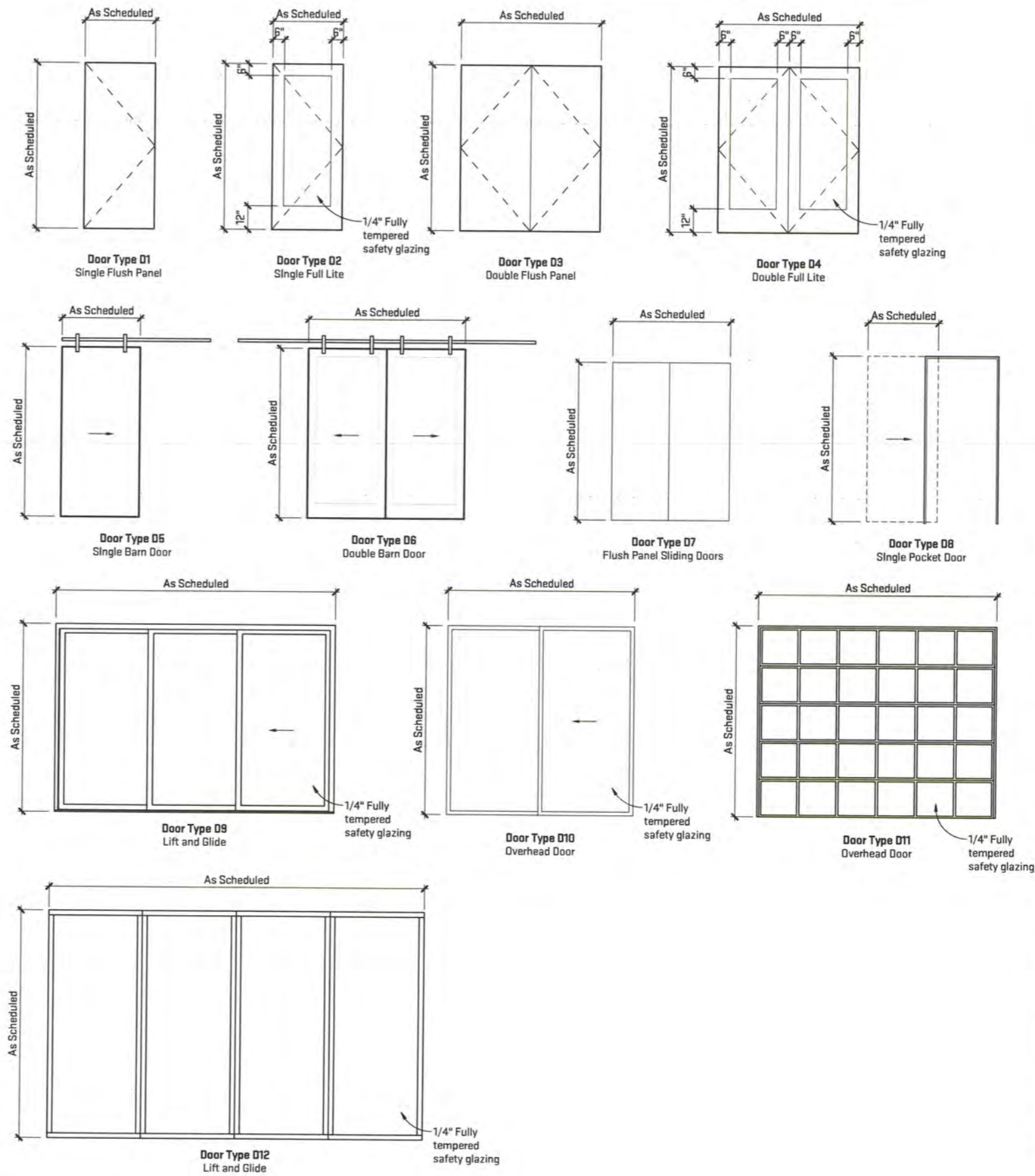
10/15/2021
 SCN-MRP21

A-354

Plot Date/Time: 10/19/2021 12:14:12 PM File Path: C:\Users\rsowse\Documents\MRP21_SarahRowse.rvt

| Door Schedule | | | | | | | | | | |
|---------------|------------------|--------------|--------------|-------------|------|----------|--------|------|----------|--------|
| Mark | Room Name | Door | | | | | Frame | | | |
| | | Width | Height | Thickness | Type | Material | Finish | Type | Material | Finish |
| 002 | Mechanical | 3' - 6" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 003 | Powder Room | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D3 | | | | | |
| 004 | Elevator | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 005 | Home Theater | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 006 | Wine Cellar | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D2 | | | | | |
| 008 | Pool Area | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D2 | | | | | |
| 009 | Pool Area | 5' - 11 1/2" | 8' - 0" | 0' - 2" | D10 | | | | | |
| 011 | Pool Area | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 012 | Steam | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 013 | Pool Area | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 014 | Pool Area | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 100 | Guest Bedroom | 7' - 11 1/2" | 8' - 0" | 0' - 2" | D10 | | | | | |
| 101 | Guest Bedroom | 7' - 11 1/2" | 8' - 0" | 0' - 2" | D10 | | | | | |
| 102 | Guest Bath | 2' - 8" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 103 | Guest Bath | 2' - 8" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 104 | Guest Bedroom | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 105 | Lounge | 2' - 10" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 106 | Lounge | 2' - 10" | 7' - 0" | 0' - 1 3/4" | D2 | | | | | |
| 107 | Mechanical | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 108 | Laundry | 6' - 0" | 7' - 0" | 0' - 1 3/4" | D6 | | | | | |
| 109 | Elevator | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 110 | Bedroom #3 | 2' - 8" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 111 | WIC | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D8 | | | | | |
| 112 | Bath #3 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D8 | | | | | |
| 113 | Bedroom #3 | 3' - 0" | 8' - 0" | 0' - 1 3/4" | D2 | | | | | |
| 114 | Bedroom #2 | 3' - 0" | 8' - 0" | 0' - 1 3/4" | D2 | | | | | |
| 116 | WIC | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D8 | | | | | |
| 117 | Bedroom #2 | 2' - 8" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 118 | Bedroom #1 | 2' - 8" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 119 | Bath #1 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D8 | | | | | |
| 120 | Bedroom #1 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D8 | | | | | |
| 121 | Bedroom #1 | 3' - 0" | 8' - 0" | 0' - 1 3/4" | D2 | | | | | |
| 122 | Master Bedroom | 3' - 0" | 8' - 0" | 0' - 1 3/4" | D10 | | | | | |
| 123 | Master Bedroom | 5' - 0" | 7' - 0" | 0' - 1 3/4" | D4 | | | | | |
| 124 | Master Bedroom | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 125 | Master Bath | 3' - 6" | 7' - 0" | 0' - 1 3/4" | D5 | | | | | |
| 126 | Master Bath | 2' - 8" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 127 | Exterior Storage | 7' - 0" | 7' - 6" | 0' - 1 3/4" | D3 | | | | | |
| 128 | Bath #2 | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D8 | | | | | |
| 200 | Garage | 10' - 0" | 8' - 0" | 0' - 2" | D11 | | | | | |
| 201 | Garage | 10' - 0" | 8' - 0" | 0' - 2" | D11 | | | | | |
| 202 | Garage | 10' - 0" | 8' - 0" | 0' - 2" | D11 | | | | | |
| 203 | Garage | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 204 | Mudroom | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 205 | Mudroom | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D2 | | | | | |
| 206 | Laundry Room | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 207 | Elevator | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 208 | Cl. | 4' - 0" | 7' - 0" | 0' - 2" | D7 | | | | | |
| 209 | Powder Room | 2' - 8" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 211 | Dining | 11' - 11" | 7' - 11 1/2" | 0' - 1 3/4" | D9 | | | | | |
| 212 | Kitchen | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D2 | | | | | |
| 213 | Kitchen | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D2 | | | | | |
| 214 | Entry | 6' - 0" | 7' - 0" | 0' - 1 3/4" | D4 | | | | | |
| 215 | Living Room | 3' - 0" | 7' - 0" | 0' - 1 3/4" | D1 | | | | | |
| 216 | Library/Study | 8' - 0" | 8' - 0" | 0' - 2" | D10 | | | | | |
| 217 | Living Room | 3' - 0" | 8' - 0" | 0' - 1 3/4" | D2 | | | | | |
| 218 | The Perch | 16' - 0" | 10' - 0" | 0' - 1 3/4" | D12 | | | | | |
| 219 | The Perch | 7' - 0" | 10' - 0" | 0' - 2" | D10 | | | | | |

Door Type Legend



Job Title:
Mouliere Residence
5728 Gaddes Road, Ann Arbor, MI 48105

Sheet Title:
Door & Frame Legend & Details
Released For Permit

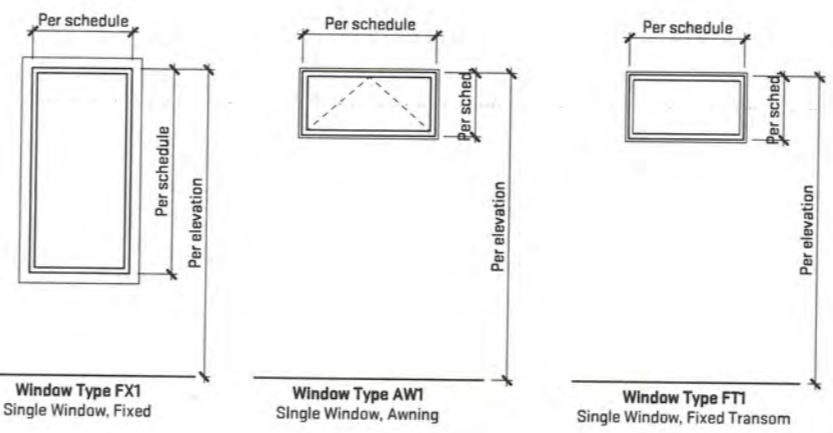


10/15/2021
SCN-MRP21
A-700

Scales listed are for 22x34 drawing size

| Window Schedule | | | | | | | | | |
|------------------|-------|--------------|--------------|----------------|-----------|------|----------|--------|----------|
| ID | Count | R.O. | | Type Elevation | Glazing | | Frame | | Comments |
| | | Width | Height | | Thickness | Type | Material | Finish | |
| A | 32 | 3' - 11 1/2" | 7' - 11 1/2" | AW1 | | | | | |
| B | 9 | 2' - 11 1/2" | 7' - 6" | FX1 | | | | | |
| C | 5 | 5' - 11 1/2" | 7' - 5 1/2" | FX1 | | | | | |
| D | 2 | 3' - 11 1/2" | 7' - 11 1/2" | FX1 | | | | | |
| E | 4 | 3' - 11 1/2" | 2' - 5 1/2" | FX1 | | | | | |
| F | 30 | 3' - 11 1/2" | 5' - 6 1/2" | FX1 | | | | | |
| G | 2 | 2' - 11 1/2" | 5' - 6 1/2" | FX1 | | | | | |
| H | 8 | 3' - 11 1/2" | 7' - 6" | FX1 | | | | | |
| J | 4 | 3' - 11 1/2" | 7' - 11 1/2" | FX1 | | | | | |
| K | 1 | 5' - 11 1/2" | 2' - 0" | FT1 | | | | | |
| L | 4 | 5' - 11 1/2" | 5' - 6 1/2" | FX1 | | | | | |
| M | 7 | 5' - 11 1/2" | 2' - 11 1/2" | FX1 | | | | | |
| N | 3 | 3' - 5 1/2" | 5' - 6 1/2" | FX1 | | | | | |
| P | 2 | 3' - 5 1/2" | 7' - 11 1/2" | AW1 | | | | | |
| Q | 1 | 2' - 11 1/2" | 7' - 11 1/2" | AW1 | | | | | |
| R | 1 | 2' - 11 1/2" | 7' - 11 1/2" | FX1 | | | | | |
| S | 1 | 3' - 5 1/2" | 7' - 11 1/2" | FX1 | | | | | |
| T | 5 | 4' - 11 1/2" | 7' - 11 1/2" | FT1 | | | | | |
| U | 2 | 5' - 11 1/2" | 7' - 11 1/2" | FX1 | | | | | |
| Grand total: 123 | | | | | | | | | |

Window Type Legend



Job Title:
Mouliere Residence
5728 Geddes Road, Ann Arbor, MI 48105

Sheet Title:
Window Schedule and Legend
Released For: Permit



10/15/2021
SCN-MRP21

A-701

MEMO

DATE: December 23, 2021

TO: Charter Township of Superior Zoning Board of Appeals

FROM: Richard Mayernik, Building/Zoning Official

RE: Mouliere ZBA Appeal



The Mouliere's agent (Snyder Contracting) has submitted a building permit application to construct a single-family dwelling at 5728 Geddes Road. I have denied issuance of the permit and have attached a copy of the denial to this memo. Item #1 in my denial letter addresses the issue before you tonight.

In 1996, a division of the property was approved by the Township (copy attached) which created Parcel 'A' (Schuster property- 5766 Geddes), Parcel 'B' and Parcel 'C'. The Mouliere's purchased parcels 'B' and 'C' and in 2018 combined the two parcels into one.

The Mouliere's property is served by a 66' foot wide easement thru the Schuster property. The 1996 land division plot plan indicates the extent of the easement. Additionally, I have attached an Atwell preliminary site plan with latest revisions dated 5/8/2020. While the house location is only generally located by a rectangle, the plan does give a good representation of the location of wetlands and steep slopes.

CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN

November 23, 2021

Snyder Contracting
8650 Huron Rive Drive
Dexter, MI 48130

RE: Building Permit Application 5728 Geddes Road

Mr. Snyder,

In accordance with Section R105.3.1 of the 2015 Michigan Residential Code, your application for a building permit at the above address has been rejected for the following reasons:

1. Setbacks from private road rights-of-way are required to be equal to the zoning district front yard setback. The subject parcel is zoned R-1 and a 60' setback is required per section 3.101. In fact, while not illustrated on the submitted drawings, it appears the subject home is located in the right-of-way.
2. The submitted site plan (sheet G-201) is not adequate. The private road easement is not illustrated. The limits of the wetlands are not illustrated. Grading elevations and storm water management elements are not shown. Specific locations, heights and designs of site retaining walls are not shown on the site plan nor elsewhere on the plans.
3. Sheets G-100 and G-201 indicate conflicting home and garage square footage – which is correct?
4. Notes on sheet S-012 indicate “construction surcharge on retaining wall to be determined.” Who will be determining the surcharge if not the engineer?
5. Plans do not indicate specific steel beam sizing, footing sizing and foundation wall sizing and reinforcement (other than “typical” details) for the home or for site retaining walls.
6. Where are the shear walls located?
7. Several references to compacted engineered fill are indicated on the plans. Who be the testing engineers on this project?
8. “Typical” details have no dimensions such as sheet S-025 and others.
9. The indoor pool is generally illustrated with a note “pool design by others.” Provide specific design, size, depth and details for the pool.
10. Provide a copy of the County Soil Erosion Permit which includes the house construction.

11. Provide copies of the County Well and Septic Permits.

12. Provide a copy of the County Driveway Permit for the construction to Geddes Road.

Once the information requested in items 1-12 is submitted, the plans will be forwarded to Township Engineers for detailed review. Please contact me if you have any questions relating to this review.

A handwritten signature in black ink, appearing to read 'Richard J. Mayernik', with a long horizontal stroke extending to the right.

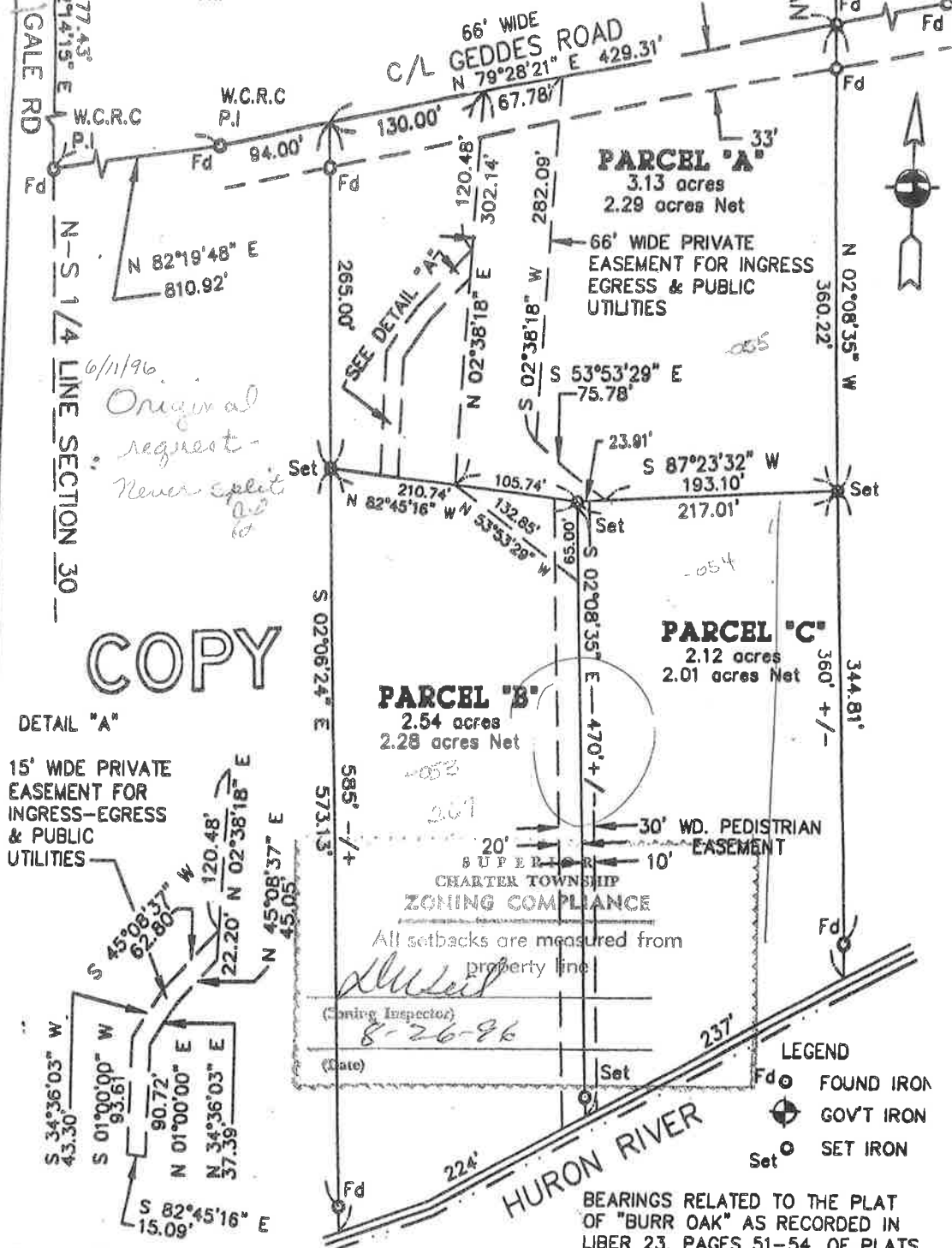
Richard J. Mayernik, Building & Zoning Official

SURVEY CERTIFICATE

CENTER OF SECTION 30
T2S, R7E
SUPERIOR TWP

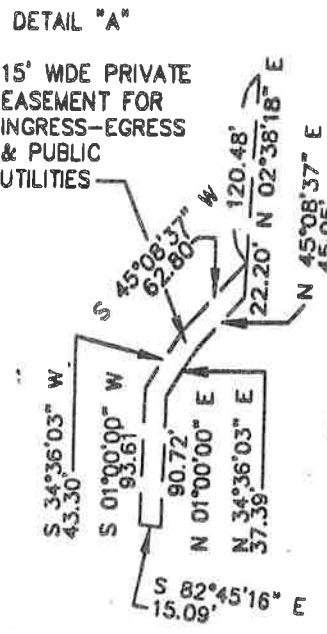
C/L GALE RD
N-S 1/4 LINE SECTION 30

HICKMAN ROAD
W.C.R. P.I.



*6/11/96
Original request -
Never split*

COPY



PARCEL "B"
2.54 acres
2.28 acres Net

30' WD. PEDISTRIAN EASEMENT

SUPERIOR CHARTER TOWNSHIP
ZONING COMPLIANCE

All setbacks are measured from property line

8-26-96
(Date)

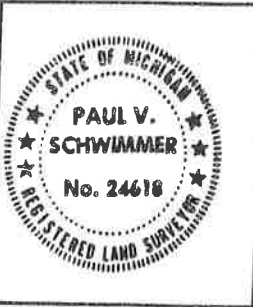
CLIENT: MURRAY/DURBIN BUILDERS

PROJECT NO. 83482-01

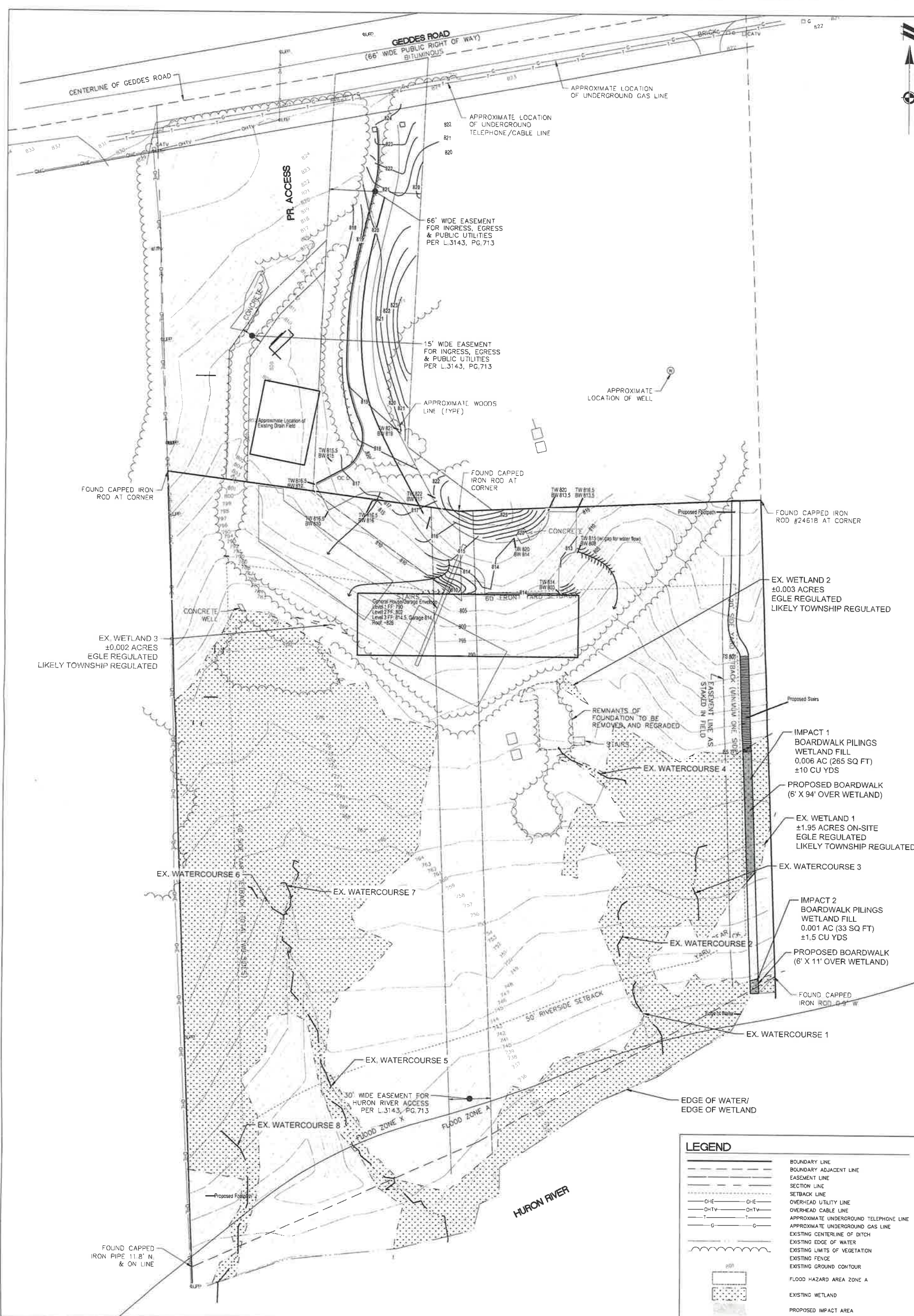
FILE 00995 257E 30

SURVEY AND DESCRIPTION OF 3 PARCELS OF LAND, LOCATED IN THE S.E. 1/4 OF SECTION 30, T2S, R7E, SUPERIOR TWP, WASHTENAW COUNTY, MICHIGAN

Paul V. Schwimmer
REGISTERED LAND SURVEYOR NO. 24618



| | |
|------------|-------------------|
| SCALE | 1 INCH = 100 FEET |
| DRAWN | PVS |
| DATE | 2-17-95 |
| CHECKED | CRO |
| REVISED | - |
| DATE | - |
| CHECKED | - |
| FIELD BOOK | 120-05 PG 28 |
| SHEET | 1 OF 4 |



| LEGEND | |
|--------|--|
| | BOUNDARY LINE |
| | BOUNDARY ADJACENT LINE |
| | EASEMENT LINE |
| | SECTION LINE |
| | SETBACK LINE |
| | OVERHEAD UTILITY LINE |
| | OVERHEAD CABLE LINE |
| | APPROXIMATE UNDERGROUND TELEPHONE LINE |
| | APPROXIMATE UNDERGROUND GAS LINE |
| | EXISTING CENTERLINE OF DITCH |
| | EXISTING EDGE OF WATER |
| | EXISTING LIMITS OF VEGETATION |
| | EXISTING FENCE |
| | EXISTING GROUND CONTOUR |
| | FLOOD HAZARD AREA ZONE A |
| | EXISTING WETLAND |
| | PROPOSED IMPACT AREA |

| | |
|--------------------------------|------------|
| SCALE: 0 15 30 1" = 30 FEET | REVISIONS: |
| DR: JB | |
| PAL: DB | |
| BOOK: NA | |
| APP: 18002735 | |
| SHEET NO: 02 | |

| | |
|--|---|
| CLIENT: MEADOWLARK EGLE IMPACT PLAN PROPOSED SITE PLAN | SECTION 30 TOWN 2 SOUTH, RANGE 7 EAST SUPERIOR TOWNSHIP WASHTENAW COUNTY, MICHIGAN |
|--|---|

ATWELL
866.850.4200 www.atwell-group.com
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
248.447.2000

811
Know what's below.
Call before you dig.
The locations of existing underground utilities are shown on this map. It is your responsibility to verify the accuracy of this information. Call 811 to request a utility locate service. This service is provided by the Michigan Department of Transportation (MDOT) and is not a warranty of any kind. It is the user's responsibility to verify the accuracy of this information before any excavation or construction work begins.

NOT FOR CONSTRUCTION