

**SUPERIOR CHARTER TOWNSHIP PLANNING COMMISSION
SUPERIOR TOWNSHIP HALL
3040 N. PROSPECT, SUPERIOR TOWNSHIP, MI 48198
AGENDA
October 29, 2025 - 7:00 PM**

1. CALL TO ORDER
2. ROLL CALL
3. DETERMINATION OF QUORUM
4. ADOPTION OF AGENDA
5. APPROVAL OF MINUTES
 - A. Approval of the September 24, 2025, Regular Meeting Minutes
6. CITIZEN PARTICIPATION
7. CORRESPONDENCE
8. PUBLIC HEARINGS, DELIBERATIONS AND ACTIONS
9. REPORTS
 - A. Planning & Zoning August & September Report to Board
10. OLD BUSINESS
11. NEW BUSINESS
 - A. STPC #25-07: Trinity Health ER Addition Site Plan
12. POLICY DISCUSSION
 - A. Zoning Ordinance Rewrite
13. ADJOURNMENT

Thomas Brennan III, Commission Secretary
Michelle Marin, Planning & Zoning Administrator
3040 N. Prospect, Ypsilanti, MI 48198 734-482-6099

SUPERIOR CHARTER TOWNSHIP

Planning Commission

Regular Meeting Minutes - DRAFT

September 24, 2025, 7:00 PM

Township Hall - 3040 North Prospect

Superior Township, MI 48198

1. CALL TO ORDER

Chair Gardner called the regular meeting to order at 7:00 p.m.

2. ROLL CALL

Present: Jay Gardner, Chair
Thomas Brennan, Secretary
Patrick McGill
Nahid Sanii-Yahyai
Curt Wolf
Brenda McKinney, Board Representative
Dr. Robert Steele, Vice Chair

Absent: None

Also Present: Planning Consultant –Michelle Marin, Carlisle Wortman.

3. DETERMINATION OF QUORUM

A quorum was present.

4. ADOPTION OF AGENDA

MOTION by McKinney, supported by Sanii-Yahyai, to adopt the September 24, 2025, agenda as presented.

Motion passed unanimously by voice vote.

5. APPROVAL OF MEETING MINUTES

Approval of the August 27, 2025 - Regular Meeting Minutes

MOTION by Brennan, supported by Sanii-Yahyai, to adopt the August 27, 2025, meeting minutes as amended.

Motion passed unanimously by voice vote.

6. CITIZEN PARTICIPATION

Michael Ignani, 4270 Gotfredson Road, expressed concern about the rejection of his zoning compliance permit application for accessory structures. He referenced the existing regulations for accessory structure area. He expressed the preference for lot coverage.

7. CORRESPONDANCE

Marin shared a letter that was provided by Amy Johnson.

MOTION by Brennan to receive the correspondence, supported by McKinney

Motion passed unanimously by voice vote.

8. PUBLIC HEARINGS, DELIBERATIONS AND ACTIONS

None.

9. REPORTS

Marin mentioned that both Ben Carlisle and Marin will be unavailable on October 22nd due to the Michigan Association of Planning (MAP) annual conference. Commissioners are available on October 29th for the meeting. Marin will work with the Clerk's office to move the October meeting as discussed. Brennan asked about ground mounted solar standards.

10. OLD BUSINESS

None.

11. NEW BUSINESS

None.

12. POLICY DISCUSSION

A. Zoning Ordinance Re-write

Marin summarized the substantive changes proposed to Articles 10 and 14 of the zoning ordinance, regulating Specific Use Provisions and Sign Regulations. Commissioners asked questions and provided feedback and direction.

Brennan indicated that backyard chickens should be permitted more broadly, which other commissioners agreed with. Steele mentioned the agricultural roots of the Township. Gardner indicated that the non-farm regulations for animals should reference specific species. McGill mentioned that there has been previous interest in permitting petting zoos.

Steele requested that we add regulations for Event Barns.

The Planning Commission discussed small scale landscape and snowplow businesses, with interest in permitting them more broadly, provided the business is limited to parking a single vehicle.

Gardner mentioned the purpose section of the exterior lighting standards, and mentioned the previous illumination of the Trinity Health hospital building.

13. ADJOURNMENT – *next regularly scheduled meeting on October 29, 2025*

MOTION by Brennan, supported by McKinney to adjourn the meeting.

Motion passed unanimously by voice vote.

The meeting was adjourned at 8:27 p.m.

Meeting Minutes Respectfully submitted,

Thomas Brennan III, Planning Commission Secretary
Michelle Marin, Recording Secretary
3040 N. Prospect, Ypsilanti, MI 48198, 734-482-6099

MEMO

TO: Superior Charter Township Board of Trustees

FROM: Michelle Marin, Planning & Zoning Administrator

RE: Planning & Zoning Department Report

DATE: October 1, 2025

Below is a summary of the planning and zoning activities for the months of August and September 2025.

TRINITY HEALTH - EMERGENCY FAMILY SHELTER

Following a public hearing on August 27th, the Planning Commission approved the conditional use permit to establish an emergency family shelter in the Towsley Health Building of the Trinity Health Campus, in the MS Medical Services District. The proposed project provides 30 apartment-style temporary housing units for families in need, in collaboration with the Interfaith Hospitality Network at Alpha House. The application does not include a site plan, as the existing building is already outfitted with dwelling units, and the project includes interior renovations only. This project will mark the second temporary housing facility in Washtenaw County managed by Alpha House.

HYUNDAI FUEL LOADING SYSTEM

On August 27th, the Planning Commission approved a combined preliminary and final site plan for a fueling facility at the Hyundai America Technical Center in the PM Planned Manufacturing District. The project includes the construction of a two-pump accessory fueling facility and underground storage tanks. The facility is intended for vehicles being used on site and does not include a retail sales component. The planning and engineering reviews have been completed, with several outstanding items identified in both reviews. Construction began on the project in September.

PROSPECT POINTE SOUTH

In July, M/I Homes submitted a rezoning and area plan application for a three-phase single-family residential development project, on two adjacent parcels with a total area of ~48 acres. One parcel is zoned R-4 and one parcel is zoned PC – Planned Community. The development is located on the east side of North Prospect Road, between Berkshire Drive, Sheffield Drive, and the Autumn Woods condos. The applicant is proposing to develop Prospect Pointe South as a 119- unit single family residential development. The existing site is vacant and heavily wooded on roughly $\frac{3}{4}$ of the property.

A public hearing was held at the August 27th Planning Commission meeting, at which time the Commission postponed action on the area plan application and directed the applicant to address the following items:

- a. Traffic study, including coordination with the Washtenaw County Road Commission

- b. Road connections, including private roads
- c. Stormwater management
- d. Landscape buffer
- e. Power grid capacity
- f. Density concerns

As of October 1, no revised area plan has been submitted.

PROSPECT POINTE WEST

Prospect Pointe West is a four-phase single-family residential development project, on a ~67 acre parcel of land zoned R-4 an Urban Residential District. The development is located on the southwest corner of Geddes Road and Prospect Road, west of Hunters Creek Drive in the northeast quarter of Section 33. The applicant is proposing to develop Prospect Pointe West as a 157-unit site condominium.

The four (4) phases consist of the following number of units:

- Phase 1 – 39 units
- Phase 2 – 45 units
- Phase 3 – 26 units
- Phase 4 – 47 units

The proposed lot dimensions are 66' x 130' with a minimum lot size of 8,580 sf. The homes will range in size from 2,000 to 3,200 sf with sales prices starting in the \$400,000s. The development has private roads with sidewalks on both sides and will be serviced by public sanitary sewer which will be designed as an extension of the existing Prospect Pointe development. Public water will also be extended from the existing subdivision. Each phase of the development is required to go through the Final Site Plan process.

The Final Site Plan for Prospect Pointe West Phase 1 (STPC #22-03) was approved by action of the Superior Township Planning Commission on April 26, 2023, and includes 39 single family lots. Building permits for individual homes are being issued and construction has commenced.

The Final Site Plan for Prospect Pointe West Phase 2 (STPC #24-01) was approved by action of the Superior Township Planning Commission on May 22, 2024, and includes 45 single family lots. The Development Agreement for Phase 2 has been recorded and a preconstruction meeting was held on September 10, 2024.

The Final Site Plan for Prospect Pointe West Phase 3 (STPC #25-01) was approved by the Planning Commission at the May 28th meeting. This phase includes 25 single family lots. The development agreement was approved by the Township Board of Trustees at the September 15th meeting.

The applicant submitted a final site plan application for Prospect Pointe West Phase 4 in September. The final site plan is scheduled to be on the October 29th Planning Commission meeting agenda.

BROOKWOOD

Brookwood is a Master Planned Community on an ~84 acre parcel of land zoned Planned Community (PC) a Special District. The development is located on the east side of Leforge Road approximately 700 feet north of Clark Road in the southwest corner of Section 33. The applicant is proposing to develop Brookwood with 318 dwelling units divided into three (3) residential dwelling product types (i.e., stacked flats, duplex units, four-plex units, and attached townhomes).

The development is designed for renters and owners plus a section dedicated for people over 55 years of age. Stacked flats and duplexes are anticipated to rent from \$1.50 - \$2.50 per square foot. The townhomes will be for sale and priced per unit according to the market. The development will also include a clubhouse, amenity areas, paved parking areas, landscape improvement, and a continuous sidewalk network along private drives throughout the development and walking paths that connect amenities with various areas of the development. Existing public water and sanitary sewer mains will be extended to serve the development.

The Brookwood Superior Area Plan Amendment was approved at second reading by the Township Board on May 20, 2024.

The Brookwood Superior Preliminary Site Plan (STPC #23-05) was approved by action of the Superior Township Planning Commission on May 22, 2024, with the following conditions:

- 1) Address all items in the Township Engineers May 9, 2024, review.
- 2) Provide additional details on Natural Feature Plan including how the 25% slopes will be protected, and their integrity remain intact.
- 3) Provide a more detailed landscape plan that meets all landscape, screening, and woodland preservation requirements.
- 4) Provide lighting and photometric plan.
- 5) Provide a detailed narrative of the architectural concept for the site including materials details.

The Final Site Plan for Brookwood Estates (STPC #23-05) was approved by the Planning Commission at the May 28th meeting. The applicant is currently working on addressing the approval conditions that were identified in the Planners' and Engineers' reports.

GARRETT'S SPACE

Garrett's Space is proposed to be a residential center where young adults suffering from depression and anxiety are treated. The facility will include both in-patient and daily services, with a non-medical and non-institutional focus. Garrett's Space is proposed on seven (7) parcels that will be combined into one lot totaling approximately 76.0 acres. The property has historically been used as a single-family residence with an address of 3900 Dixboro Road and is in Section 7 of the Township. The site includes significant natural resources including woodlands, steep slopes, a creek, floodplain, and wetlands.

The applicant proposes the following improvements:

- 1) Convert the existing home on the site to administrative offices
- 2) Construct a 10,100 square foot building to house 15 to 20 residents
- 3) Construct a 2,100 square foot building for recreational and therapy activities
- 4) Construction of a parking lot
- 5) Landscaping improvements
- 6) Create walking paths and lookouts through the site's natural features.
- 7) Expanding the sites well and septic system
- 8) Construct two (2) stormwater detention ponds

The applicant proposes a phased development:

- Phase 1: Use of the existing house for administrative offices and day programming. This phase does not include any overnight guests.
- Phase 2: Construction of the residential structure and creativity studio with parking areas, and utility and landscaping improvements. This phase includes expanded day programming and overnight residents.
- Phase 3: Additional ancillary elements, including the barn for gardening and therapeutic animals, and outdoor recreation and gathering spaces, will be constructed as funding allows.

Previous Township approvals are as follows:

- Property was rezoned from A-2 to Planned Community (PC) Special District via an Area Plan petition approved by the Township Board on July 17, 2023.
- The applicant recorded a Zoning and Land Use Agreement dated October 16, 2023, that limits uses, the number of residents and the number of employees.
- A Preliminary Site Plan (STPC 23-03) was approved by the Planning Commission with conditions on January 24, 2024.
- A Final Site Plan (STPC 23-03) was approved by the Planning Commission on September 25, 2024, with the following conditions:
 - 1) Obtain all outside agency approvals permits outlined in Township Engineer's memo dated 9/19/24.
 - 2) Combine existing seven (7) parcels into one parcel prior to receiving certificate of occupancy.
 - 3) Record conservation protection prior to certificate of occupancy.
- A Development Agreement was approved by the Township Board on October 21, 2024.

To date, the applicant has completed Final Site Plan conditions #1, #2, and #3:

- 1) OHM reviewed the Engineering Plans submittal (dated 12/20/24) and had no exceptions to the proposed development moving forward as shown on the plans as submitted.

- 2) The seven (7) parcels have been combined into one and a new parcel assigned (J -10-07-200-021). Furthermore, the Township Assessor has changed the zoning of this new parcel to PC.
- 3) Resolution No. 2025-13 to approve Garrett's Space Conservation Deed Restriction Agreement between Garrett's Space and the Township was approved by the Board of Trustees on March 17, 2025.

Building permits have been submitted and a preconstruction meeting was held on March 18, 2025. Preliminary site work has commenced. The approved Development Agreement requires the conservation area protection to be recorded prior to Certificate of Occupancy (CO) for the main residential structure to be newly constructed (Phase 2). A C of O may be issued for the Phase 1 portion of the project if all building and fire codes and requirements are met for the change of use.

THE MEADOWS AT HAWTHORNE MILLS

The Meadows at Hawthorne Mills is a 215 unit single-family residential site condominium located on 71 acres of land located south of Geddes Road and east of Leforge Rd. The site includes private roads that provide two (2) access points to Geddes Road and has two (2) connection points with the adjacent Prospect Pointe West Development. In addition, there is a road stub for future development to the south. The proposed development will be served with public utilities. A sewer will connect from Leforge Road, and the Prospect Pointe Development and water will be looped throughout the development from Geddes Road. Stormwater management will be handled with four (4) proposed detention ponds located throughout the development.

The entire development received preliminary site plan approval on October 28, 2020. There are five (5) phases of development, and each phase required final site plan approval. The final site plan for Phase 1 was approved by the Planning Commission with conditions on November 15, 2023. Phase 1 includes a total of 40 lots/units as well as construction of the roads and infrastructure items to directly serve those units, extension of a sanitary sewer from LeForge Road across the neighboring property to the west needed to service Phase 1, and mass grading of the entire site.

The final site plan for Phase 1 of the Meadows at Hawthorne Mill was set to expire and the applicant petitioned the Planning Commission to grant a one-year extension. On January 22, 2025, the Planning Commission granted an extension of the approved final site plan with the following conditions:

1. Provide a cost estimate for required woodland mitigation to be paid into Superior tree fund. Once a fund number is agreed upon with the Township, the applicant shall pay the amount to the Township.
2. All future homebuilders will be required to submit floor plans and elevations for review and approval by the Planning Commission.
3. Secure all required Washtenaw County Road Commission (WCRC) permits and right-of-way dedications to facilitate improvements at the intersection of Prospect and Geddes Rd as well as turn lane improvements for the private connection on Geddes Road.

4. Complete a Development Agreement and present to the Board of Trustees for approval prior to Phase 1 moving to the pre-construction phase of the development.

The applicant for the Meadows at Hawthorn Mills (Louis J. Eyde Family, LLC) is selling the property, possibly in two parts, to Lombardo and/or Pulte. Jared Kime of Atwell is working with Pulte to prepare necessary submissions including an amendment to the Phase 1 Final Site Plan. An application to amend the final site plan was received on March 13, 2025, and is under review. A summary of the changes proposed are as follows:

1. Phase 1 FSP revision
 - a. Minor revisions to lot grading for Pulte standards
 - b. Landscape revision and phasing of the tree impacts/mitigation calculations
 - c. Reduction of mass grading to only phase 1 and the sanitary corridor going through future phases
 - d. Would also include the necessary building elevations for PC review
2. Overall Engineering Plan update
 - a. Raised road grades on south half of site to improve earthwork balance
 - b. Associated lot grading revisions throughout site
 - c. Some storm sewer modifications due to the lot changes in future phase areas
 - d. Updated water main profiles due to new road elevations in future phase areas
 - e. Overall landscape plan update with tree impacts/mitigation calculations

The Planning Commission has authority to determine whether a requested change is major or minor, in accordance with this Section 10.12. Changes to the ownership may impact changes to the site layout, and as such the review of the project is currently on hold until ownership changes are verified.

Other outstanding items to be addressed by the applicant(s) prior to any final site plan approval:

1. Development Agreement – BOT approval
2. Intersection ROW dedication – BOT approval

The Development Agreement was approved by the Board of Trustees at the August meeting, conditioned upon finalizing the Right-of-Way Dedication. The applicant is aiming to beginning construction in Spring 2026.

CLAY HILL COMMUNITY FARM AND GARDEN

The Board of Trustees issued a 1-year extension of the special district area plan approval for the Clay Hill community farm and garden at request of the applicant. The applicant indicated progress as well as the need to extend the approval to update wetland mapping and finalize permits with the County Road, Water, and Drain Commissions.

The applicant submitted a site plan application, omitting the fees. This item is scheduled for the October meeting for the Board of Trustees to discuss and determine if a site plan fee waiver is appropriate.

DTE GRENADA SUBSTATION

Conditional Use Permit/Preliminary Site Plan - DTE Grenada Substation Expansion (STPC #25-02). The applicant hosted a virtual meeting with Ben Carlisle and Emily Dabish Yahind on August 15th, but no substantive site plan changes were shown. Similarly, no revised application has been submitted.

ZONING BOARD OF APPEALS

The ZBA did not have meetings in August or September due to a lack of agenda items. There will similarly be no October ZBA meeting. The ZBA vacancy was filled in August, and a ZBA alternate was similarly appointed.

Per bylaws, the ZBA consists of seven (7) regular and two (2) alternates members appointed by the Township Board. One (1) of the members must be a member of the Township Planning Commission and one member may be a member of the Township Board. The remaining members must reside in the unincorporated areas of the Township and represent the population distribution and various interests present. Current ZBA members include:

- Thomas Brennan, (Chair & PC Member)
- Rachel Smith
- Dana Greene (BOT)
- Tanya Markos-Vanno
- Meghan Winslow
- Jack Gilbreath
- William Schoefield
- Austin Anderson (alternate)

The Township now has regular scheduled ZBA meetings the 2nd Wednesday of the month; if there are no agenda items, the meeting are cancelled.

PLANNING COMMISSION

Due to a full agenda, the Planning Commission did not discuss the zoning ordinance rewrite at the August meeting. On September 24th, the Planning Commission reviewed and discussed the proposed revisions to the following zoning ordinance articles:

- Article 10: Use Standards
- Article 14: Signs

To date, the Planning Commission and CWA staff have convened to review the following articles, as part of the Zoning Ordinance Rewrite Steering Committee:

ARTICLE 1: TITLE, PURPOSE AND LEGAL CLAUSES
ARTICLE 2: DEFINITIONS
ARTICLE 3: ADMINISTRATION AND ENFORCEMENT

- ARTICLE 4: ZONING DISTRICT REGULATIONS
- ARTICLE 6: DEVELOPMENT OPTIONS
- ARTICLE 7: GENERAL PROVISIONS
- ARTICLE 8: SITE PLAN REVIEW
- ARTICLE 9: CONDITIONAL USE REVIEW
- ARTICLE 10: USE STANDARDS
- ARTICLE 11: OFF-STREET PARKING AND LOADING REGULATIONS
- ARTICLE 14: SIGN REGULATIONS
- ARTICLE 15: NONCONFORMITIES
- ARTICLE 16: ZONING BOARD OF APPEALS
- ARTICLE 17: AMENDMENT PROCEDURE

Per bylaws, the Planning Commission shall consist of seven (7) members serving three (3) year terms with eligibility for re-appointment. One member of the Township Board shall be appointed to the Planning Commission as an ex officio member and Township Board Representative, with full voting rights. The current Planning Commission is comprised of the following members:

- Jay Gardner, Chair (Term expires 2/28/2026)
- Robert Steele, Vice Chair (Term expires 2/28/2028)
- Thomas Brennan, Secretary (Term expires 2/28/2027)
- Patrick McGill (Term expires 2/28/2027)
- Brenda McKinney– Board Rep. (Term expires 11/7/2028)
- Nahid Sanii-Yahyai (Term expires 2/28/2026)
- Curt Wolf (Term expires 1/01/2028)

OTHER BUSINESS/NEWS

1) Michelle Marin of Carlisle Wortman Associates (CWA) began to serve as the Township Planning and Zoning Administrator in April. In August, Michelle reviewed and approved 23 Certificates of Zoning Compliance. Two additional permits were denied, both for ground mounted solar installations on residential properties. Ground mounted solar installations are not a permitted use in the Township. In September, Michelle reviewed and approved 26 Certificates of Zoning Compliance.

Michelle responded to many general phone and email inquiries from the public both during and outside of office hours and met in person with numerous folks at the Township Hall during office hours. Michelle continued ordinance enforcement in August and September. She also worked on corrective actions with previously notified code violators. She also attended the August Planning Commission Meeting with Ben Carlisle and the September Planning Commission meeting herself. Michelle also prepared materials for the Board of Trustees meetings.

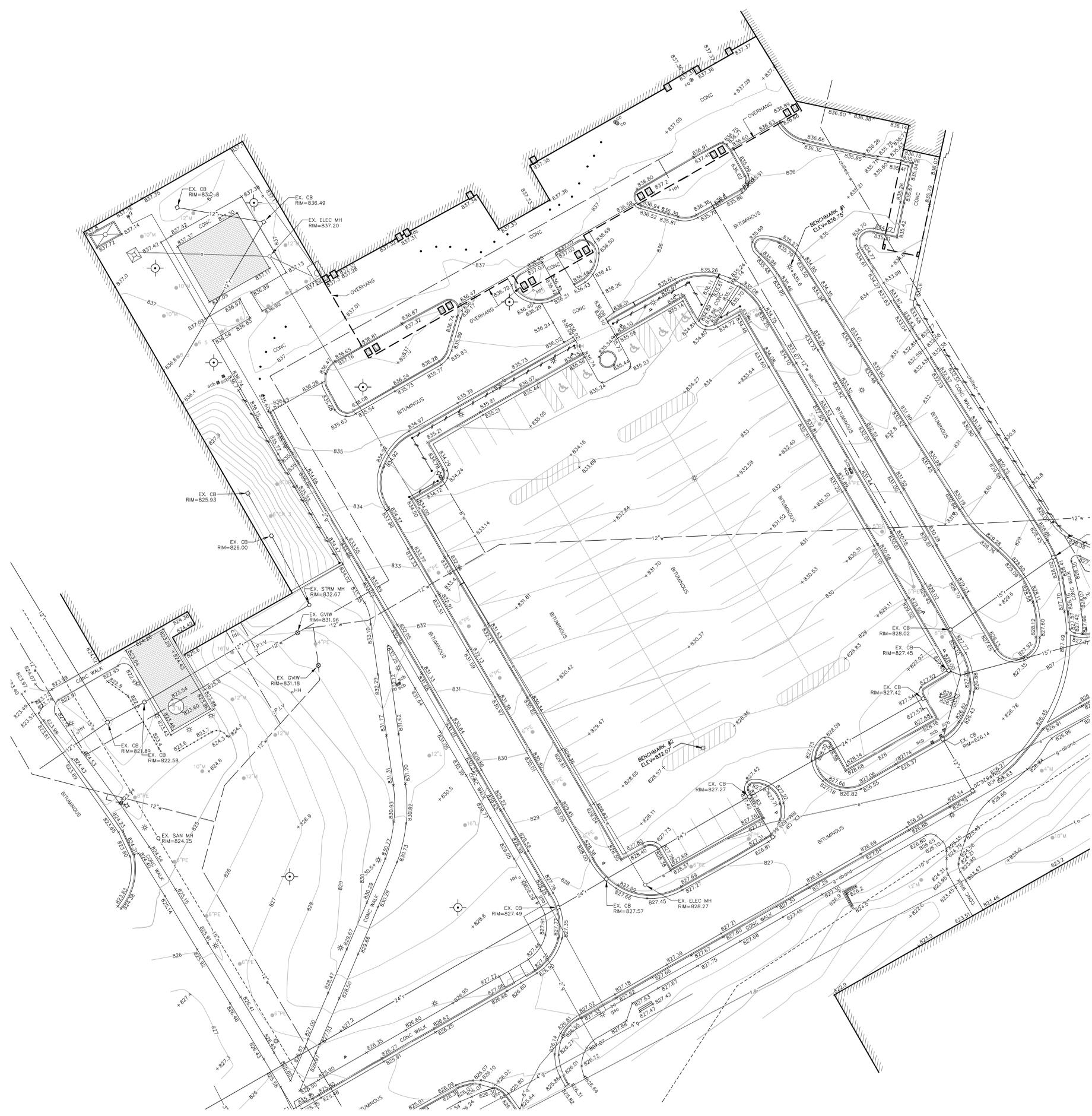
2) Carlisle Wortman Associates staff also serve in the role as the Township Planner and review and manage projects that are paid from escrows including applicant inquiries and project coordination.



SCALE: 1" = 20'
0 20 40 60



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NOTES

1. THE BASE SURVEY WAS PREPARED BY MIDWESTERN CONSULTING IN NOVEMBER 2024. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

BENCHMARKS

- BM#1 - TOP OF W SIDE CONCRETE LIGHT POLE BASE IN THE N END OF THE BLVD FOR ACCESS TO EMERGENCY ROOM AREA. ELEVATION = 836.75' (NAVD 88)
- BM #2 - TOP OF E SIDE CONCRETE LIGHT POLE BASE IN THE SW PAINTED ISLAND AT THE S END OF THE PARKING LOT. ELEVATION = 832.07' (NAVD 88)
- BM #3 - TOP/ARROW ON HYDRANT 50"± NE OF THE NE CORNER OF THE MOC BUILDING. ELEVATION = 825.77' (NAVD 88)

LEGEND

- 838 EXIST. CONTOUR
- x836.2 EXIST. SPOT ELEVATION
- g EXIST. GAS LINE
- f.o. EXIST. FIBER OPTIC LINE
- w EXIST. WATER MAIN
- h EXIST. HYDRANT
- g EXIST. GATE VALVE IN BOX
- g EXIST. GATE VALVE IN WELL
- x EXIST. CURB STOP & BOX
- o EXIST. BLOW-OFF
- g EXIST. POST INDICATOR VALVE
- g EXIST. FIRE DEPARTMENT CONNECTION
- f EXIST. STORM SEWER
- f EXIST. CATCH BASIN OR INLET
- f EXIST. SANITARY SEWER
- g EXIST. CLEANOUT
- g SIGN
- g SPRINKLER CONTROL BOX
- g GAS METER
- g UTILITY HANDHOLE
- g POST
- g FENCE
- g SINGLE TREE
- g ELEC. TRANSFORMER
- g EXIST. LIGHT POLE

TREE LEGEND

- L LOCUST
- O OAK
- P PINE
- E ELM
- M MAPLE
- PE PEAR

sdi structures

STRUCT. ENGINEER
SDI Structures
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MEDICAL EQUIPMENT
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263 Shuman Blvd Suite 550 Naperville, IL 60563 D/ 331.234.9389

Turner

CONSTRUCTION MGR.
TURNER CONSTRUCTION
535 Griswold Suite 1525 Detroit, MI 48226 D/ 313.596.0500

CLIENT

Trinity Health Ann Arbor

EMERGENCY DEPT.
RENOVATION / ADDITION

PROJECT ADDRESS:
5301 MCAULEY DR
YPSILANTI, MI 48197

EXISTING CONDITIONS

commission no. 24055
scale: 1" = 20'
date: 09/30/2025
revised:

CONSTRUCTION DOCUMENTS

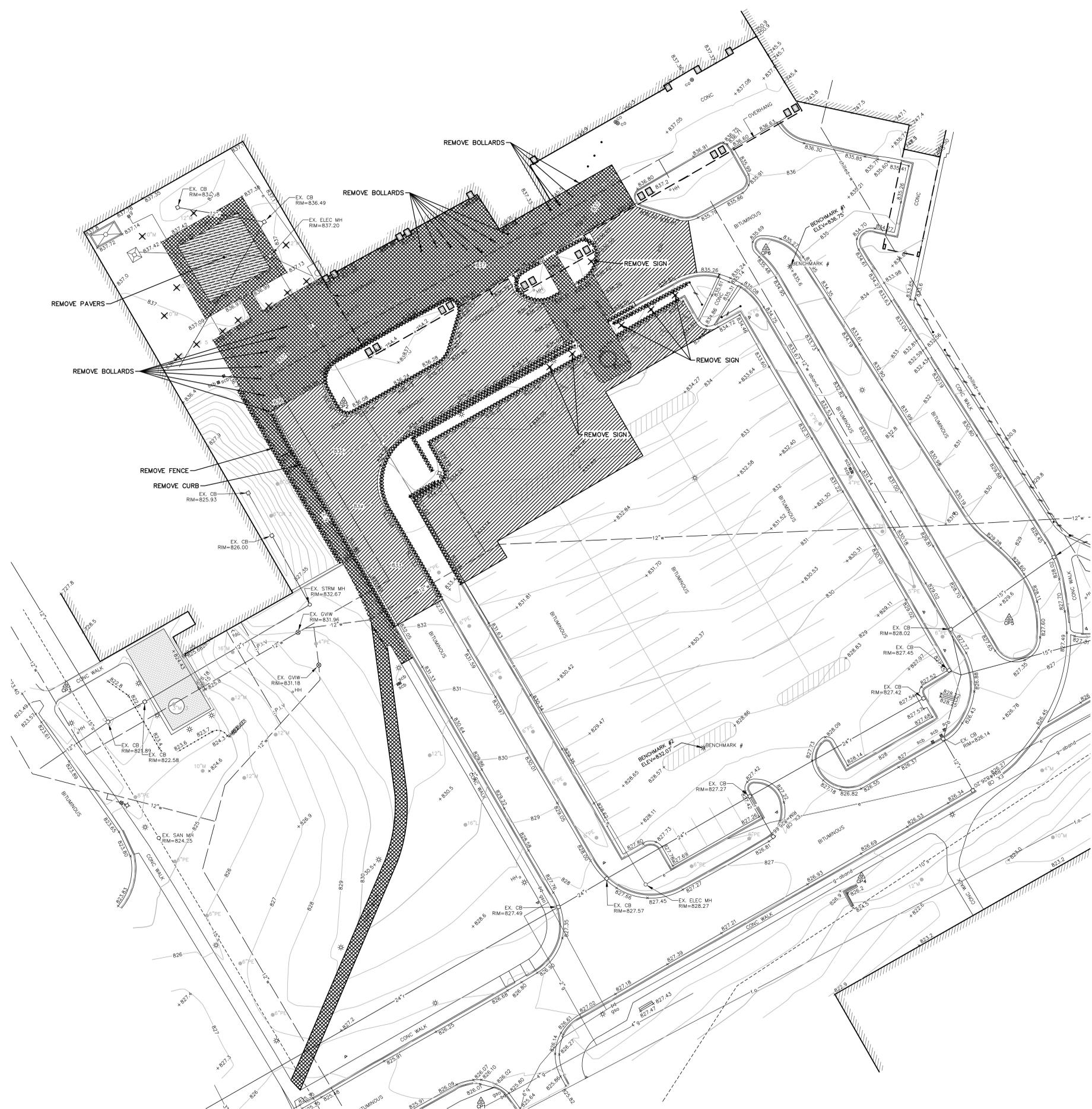
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SCALE: 1" = 20'
0 20 40 60



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LEGEND

- CONCRETE TO BE REMOVED
- BITUMINOUS TO BE REMOVED
- PAVERS TO BE REMOVED
- FENCE TO BE REMOVED
- CURB TO BE REMOVED
- TREE TO BE REMOVED
- ITEM TO BE REMOVED
- 8.38 EXIST. CONTOUR
- 8.36.2 EXIST. SPOT ELEVATION
- EXIST. GAS LINE
- EXIST. GAS VALVE
- EXIST. FIBER OPTIC LINE
- EXIST. WATER MAIN
- EXIST. HYDRANT
- EXIST. GATE VALVE IN BOX
- EXIST. GATE VALVE IN WELL
- EXIST. CURB STOP & BOX
- EXIST. BLOW-OFF
- EXIST. POST INDICATOR VALVE
- EXIST. FIRE DEPARTMENT CONNECTION
- EXIST. STORM SEWER
- EXIST. CATCH BASIN OR INLET
- EXIST. SANITARY SEWER
- EXIST. CLEANOUT
- SIGN
- SPRINKLER CONTROL BOX
- GAS METER
- UTILITY HANDHOLE
- POST
- FENCE
- SINGLE TREE
- ELEC. TRANSFORMER
- EXIST. LIGHT POLE

TREE LEGEND

- LOCUST
- OAK
- PINE
- ELM
- MAPLE
- PEAR

sdi structures

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Turner

CONSTRUCTION MGR.
TURNER CONSTRUCTION
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#	DATE	DESCRIPTION
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CLIENT
Trinity Health Ann Arbor

EMERGENCY DEPT.
RENOVATION /
ADDITION

PROJECT ADDRESS:
5301 MCAULEY DR
YPSILANTI, MI 48197

SITE DEMOLITION PLAN

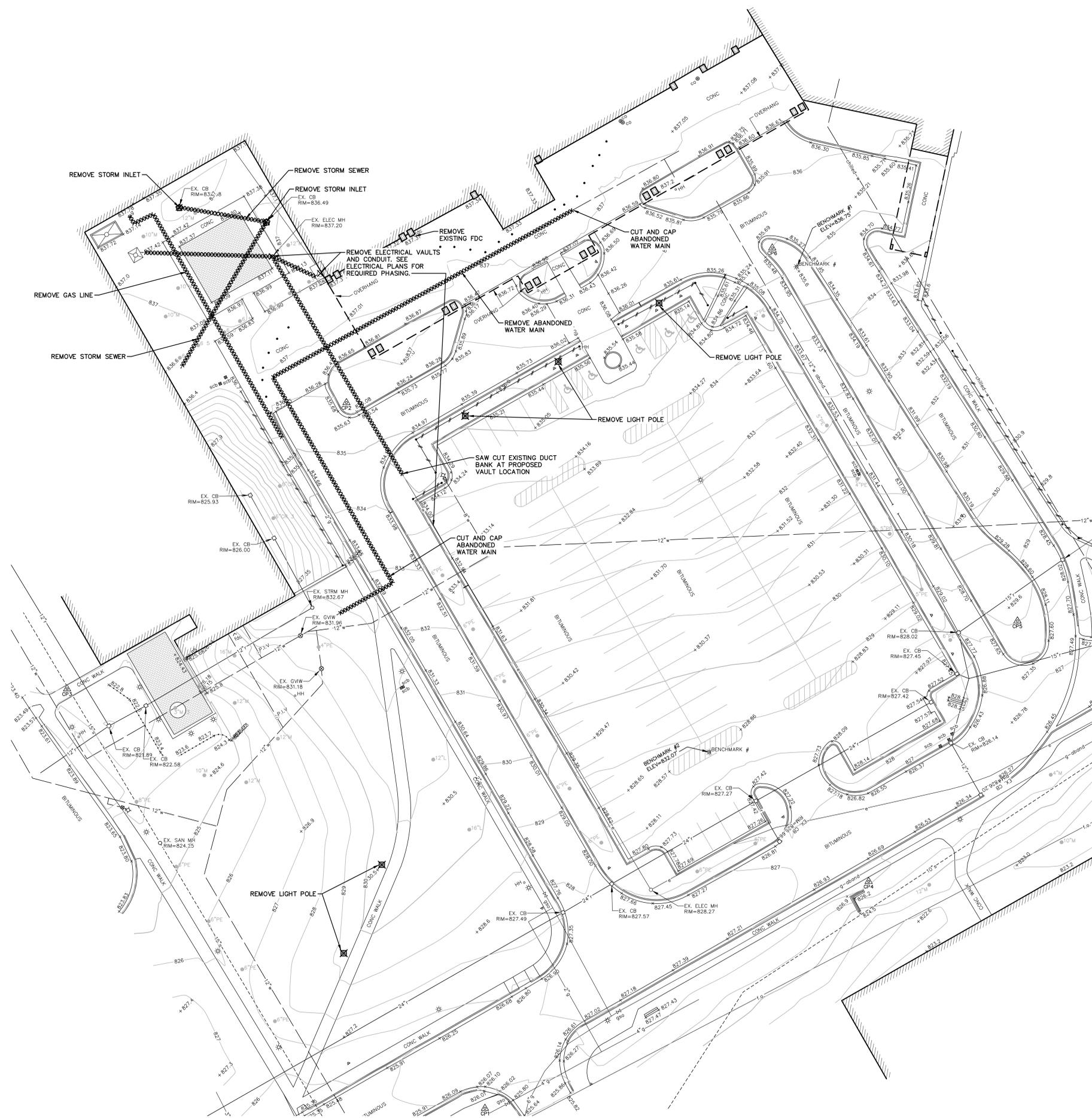
commission no. 24055
scale: 1" = 20'
date: 09/30/2025
revised:



SCALE: 1" = 20'



Know what's below.
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LEGEND

- REMOVE STORM STRUCTURE
- REMOVE LIGHT POLE AND FOUNDATION
- REMOVE UNDERGROUND UTILITY
- EXIST. CONTOUR
- EXIST. SPOT ELEVATION
- EXIST. GAS LINE
- EXIST. GAS VALVE
- EXIST. FIBER OPTIC LINE
- EXIST. WATER MAIN
- EXIST. HYDRANT
- EXIST. GATE VALVE IN BOX
- EXIST. GATE VALVE IN WELL
- EXIST. CURB STOP & BOX
- EXIST. BLOW-OFF
- EXIST. POST INDICATOR VALVE
- EXIST. FIRE DEPARTMENT CONNECTION
- EXIST. STORM SEWER
- EXIST. CATCH BASIN OR INLET
- EXIST. SANITARY SEWER
- EXIST. CLEANOUT
- SIGN
- SPRINKLER CONTROL BOX
- GAS METER
- UTILITY HANDHOLE
- POST
- FENCE
- SINGLE TREE
- ELEC. TRANSFORMER
- EXIST. LIGHT POLE

sdi structures

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IMEG

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Turner

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TURNER CONSTRUCTION
535 Griswold, Suite 1525, Detroit, MI 48226 D// 313.596.0500

DATE DESCRIPTION

CLIENT

Trinity Health Ann Arbor

EMERGENCY DEPT.
RENOVATION /
ADDITION

PROJECT ADDRESS:
5301 MCAULEY DR
YPSILANTI, MI 48197

UTILITY DEMOLITION PLAN

commission no. 24055
scale: 1" = 20'
date: 09/30/2025
revised:

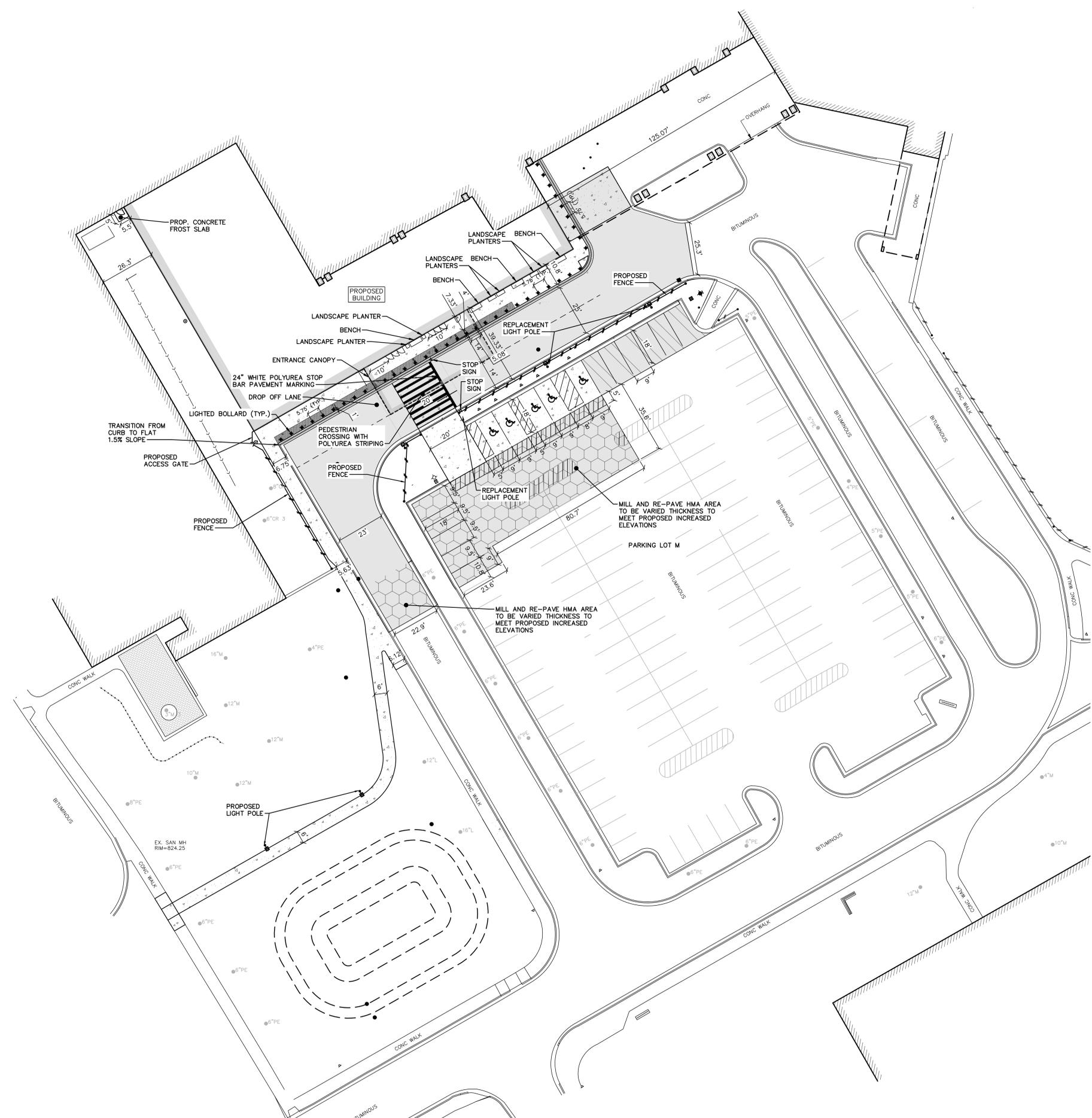
CONSTRUCTION DOCUMENTS



SCALE: 1" = 20'
0 20 40 60



Know what's below.
Call before you dig.



LEGEND

- PROP. CURB & GUTTER
- PROP. FLAT CURB
- ▨ PROP. MILL AND RE-PAVE HMA
- ▨ PROP. LIGHT-DUTY HMA PAVEMENT
- ▨ PROP. HEAVY-DUTY HMA PAVEMENT
- ▨ PROP. CONCRETE PAVEMENT
- ▨ PROP. HEAVY DUTY CONCRETE
- ▬ PROP. SIGN
- ⊕ PROP. SINGLE LIGHT
- 8.38 EXIST. CONTOUR
- × 836.2 EXIST. SPOT ELEVATION
- SIGN
- FENCE
- SINGLE TREE
- ◆ LIGHTED BOLLARD

PARKING LOT M

Site Data	Proposed Site Development	Previously Approved Totals
Development Site Area	12,180 SQFT Additional	
Total Parking	112	112
Barrier Free Parking	5	5

NOTE: BUILDING ADDITION WILL MAINTAIN THE SAME NUMBER OF BEDS AND ON-DUTY EMPLOYEES

sdi structures

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PME ENGINEER
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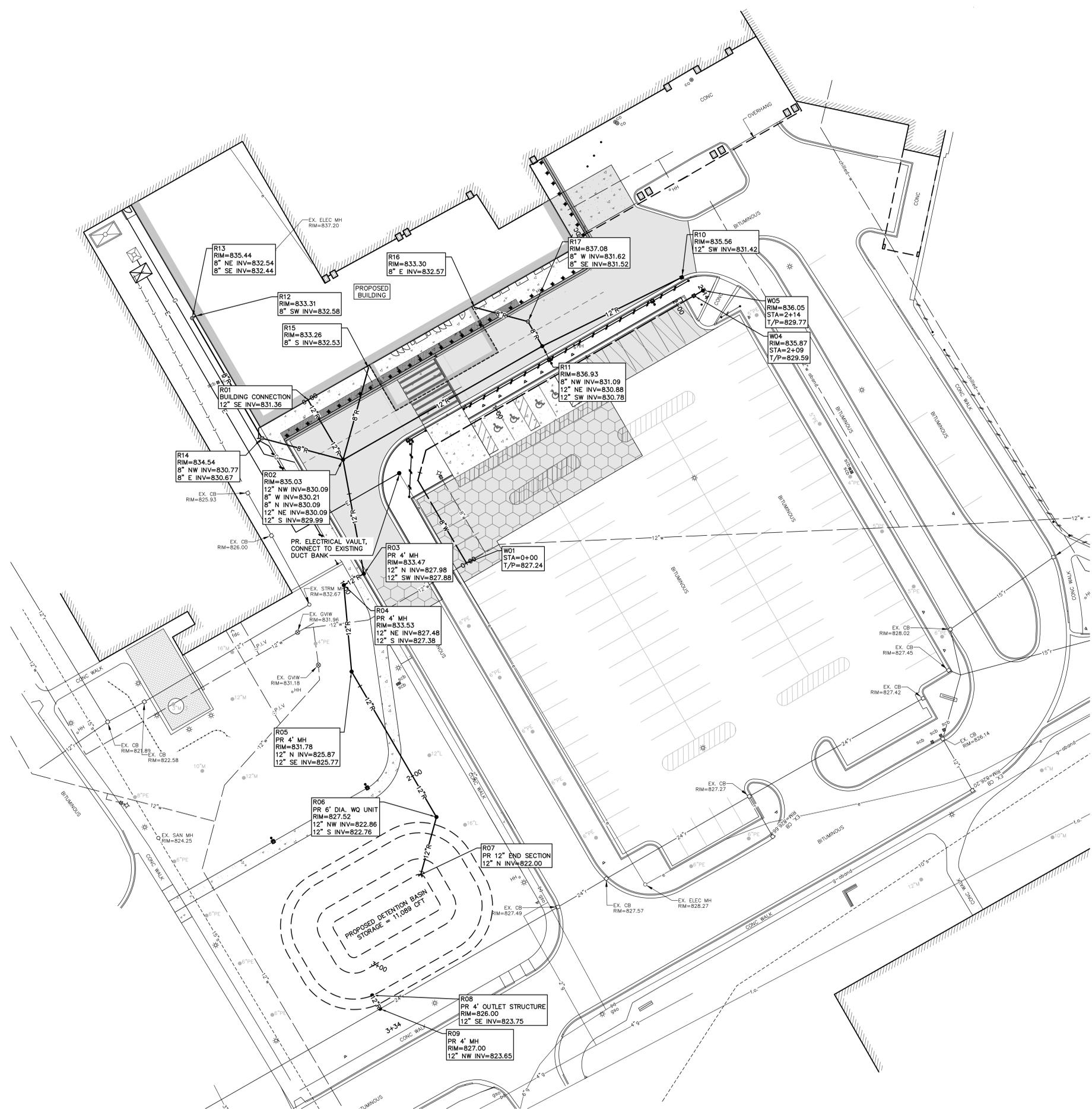
DIMENSIONAL LAYOUT PLAN

commission no. 24055
scale: 1" = 20'
date: 09/30/2025
revised:

CONSTRUCTION DOCUMENTS



SCALE: 1" = 20'
0 20 40 60



LEGEND

—U.P.	EXIST. UTILITY POLE
—U.P.	EXIST. UTILITY POLE W/ TRANS.
—GP	EXIST. GUY POLE
—GW	GUY WIRE
—T	ELEC. TRANSFORMER
—AC	EXIST. AC UNIT
—OH	EXIST. GENERATOR
—OH	EXIST. OVERHEAD UTILITY LINE
—LP	EXIST. LIGHT POLE
—LP	PROP. LIGHT POLE
—BL	PROP. BUILDING LIGHT
—TEL	EXIST. TELEPHONE LINE
—E	EXIST. ELECTRIC LINE
—E	PROP. ELECTRIC LINE
—G	EXIST. GAS LINE
—G	PROP. GAS LINE
—G	EXIST. GAS VALVE
—F.O.	EXIST. FIBER OPTIC LINE
—W	EXIST. WATER MAIN
—H	EXIST. HYDRANT
—GVB	EXIST. GATE VALVE IN BOX
—GVB	EXIST. GATE VALVE IN WELL
—X	EXIST. CURB STOP & BOX
—BO	EXIST. BLOW-OFF
—PIV	POST INDICATOR VALVE
—FDC	EXIST. FIRE DEPARTMENT CONNECTION
—S	EXIST. STORM SEWER
—R	PROP. STORM SEWER
—C	EXIST. CATCH BASIN OR INLET
—C	PROP. CATCH BASIN OR INLET
—B	EXIST. BEEHIVE INLET
—B	PROP. BEEHIVE INLET
—RD	PROP. ROOF DRAIN
—E	END SECTION
—H	HEAD WALL
—C	CULVERT
—DS	EXIST. DOWNSPOUT
—PS	PROP. DOWNSPOUT
—SS	EXIST. SANITARY SEWER
—C	EXIST. CLEANOUT
—E	ELECTRIC METER
—W	WATER METER
—G	GAS METER
—GLM	GAS LINE MARKER
—F	FIBER OPTIC MARKER
—GFC	EXIST. GAS FILLER CAP
—V	EXIST. VEHICLE CHARGING STATION
—R	FIRE HYDRANT 250' COVERAGE RADIUS
—R	FIRE DEPARTMENT CONNECTION

NOTES

1. PROPOSED BUILDING WILL RECEIVE WATER AND SANITARY SERVICE FROM THE EXISTING HOSPITAL BUILDING.



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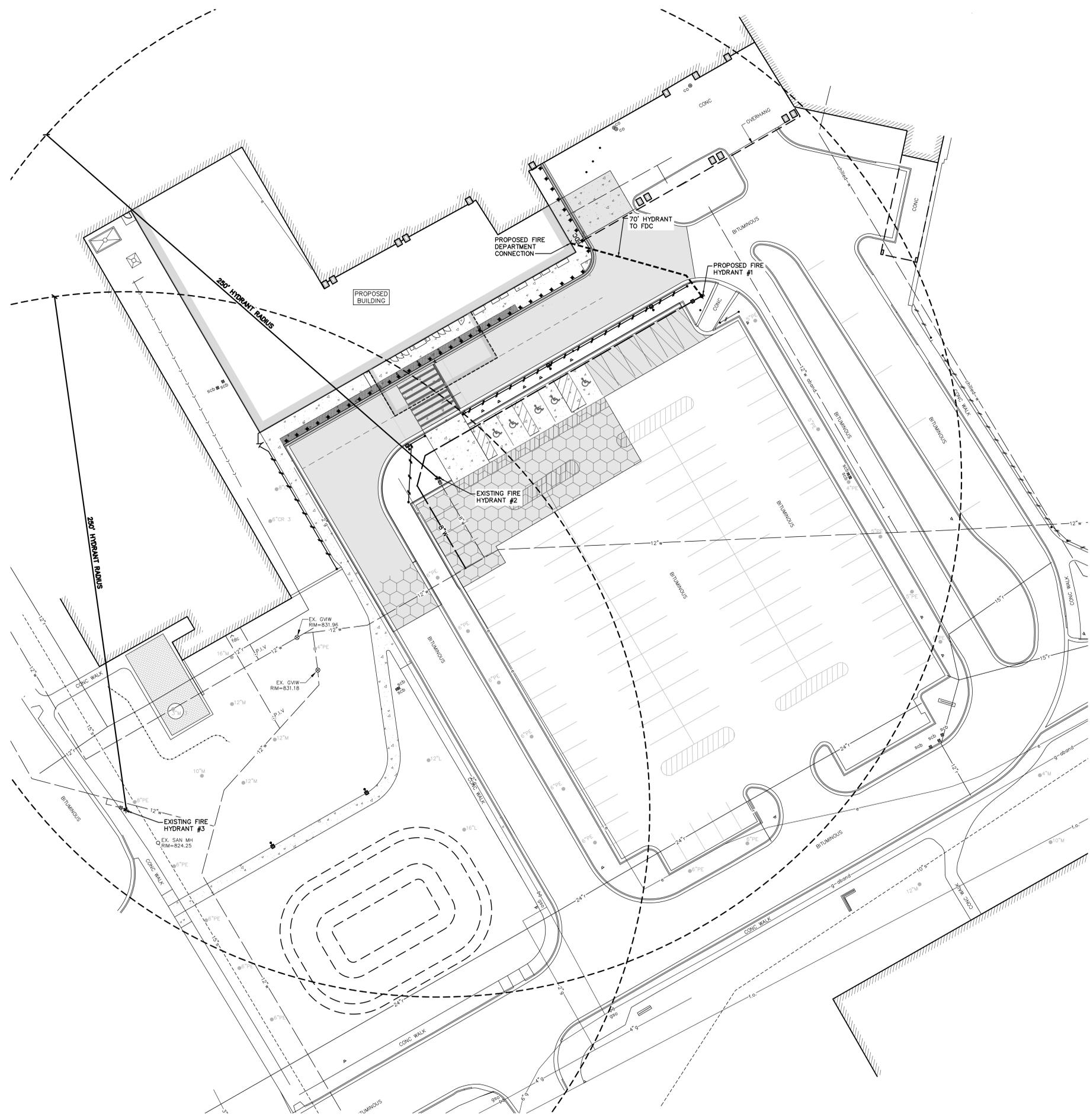
SITE UTILITY PLAN

commission no. 24055
scale: 1" = 20'
date: 09/30/2025
revised:

CONSTRUCTION DOCUMENTS



SCALE: 1" = 20'
0 20 40 60



LEGEND

—U—	EXIST. UTILITY POLE
—U.P.—	EXIST. UTILITY POLE W/ TRANS.
—GP—	EXIST. GUY POLE
—GW—	GUY WIRE
—T—	ELEC. TRANSFORMER
—AC—	EXIST. AC UNIT
—G—	EXIST. GENERATOR
—OH—	EXIST. OVERHEAD UTILITY LINE
—LP—	EXIST. LIGHT POLE
—*—	PROP. LIGHT POLE
—BL—	PROP. BUILDING LIGHT
—T—	EXIST. TELEPHONE LINE
—E—	EXIST. ELECTRIC LINE
—E—	PROP. ELECTRIC LINE
—G—	EXIST. GAS LINE
—G—	PROP. GAS LINE
—G.V.—	EXIST. GAS VALVE
—f.o.—	EXIST. FIBER OPTIC LINE
—W—	EXIST. WATER MAIN
—H—	EXIST. HYDRANT
—B.V.—	EXIST. GATE VALVE IN BOX
—B.V.—	EXIST. GATE VALVE IN WELL
—X—	EXIST. CURB STOP & BOX
—O—	EXIST. BLOW-OFF
—P.I.V.—	POST INDICATOR VALVE
—F.D.C.—	EXIST. FIRE DEPARTMENT CONNECTION
—S—	EXIST. STORM SEWER
—R—	PROP. STORM SEWER
—C.B.—	EXIST. CATCH BASIN OR INLET
—C.B.—	PROP. CATCH BASIN OR INLET
—B.I.—	EXIST. BEEHIVE INLET
—B.I.—	PROP. BEEHIVE INLET
—RD—	PROP. ROOF DRAIN
—>—	END SECTION
—H.W.—	HEAD WALL
—C.—	CULVERT
—D.S.—	EXIST. DOWNSPOUT
—D.S.—	PROP. DOWNSPOUT
—S.S.—	EXIST. SANITARY SEWER
—C.—	EXIST. CLEANOUT
—E.M.—	ELECTRIC METER
—W.M.—	WATER METER
—G.M.—	GAS METER
—G.L.M.—	GAS LINE MARKER
—F.O.M.—	FIBER OPTIC MARKER
—G.F.C.—	EXIST. GAS FILLER CAP
—V.—	EXIST. VEHICLE CHARGING STATION

NOTES

- PROJECT SHALL COMPLY WITH 2024 INTERNATIONAL FIRE CODE (IFC)
- PROJECT SHALL COMPLY WITH SUPERIOR TOWNSHIP FIRE PROTECTION REQUIREMENTS.
- ALL EXTERIOR WALLS OF BUILDING ADDITION ARE WITHIN 150' OF PAVED PARKING LOT DRIVES DESIGNED TO HANDLE THE WEIGHT OF A FIRE TRUCK.
- ALL EXTERIOR WALLS OF THE BUILDING ADDITION FALL WITHIN A 400' HOSE LAY OF A FIRE HYDRANT.
- STORAGE AREA FOR CONSTRUCTION MATERIALS SHALL NOT INTERFERE WITH FIRE/EMERGENCY SITE ACCESS.
- HYDRANTS PROVIDING PROTECTION COVERAGE FOR THE BUILDING SHALL BE IN SERVICE AND APPROVED BY BOTH ENGINEERING AND FIRE DEPARTMENT BEFORE FIRE DEPARTMENT WILL SUPPORT PERMIT ISSUANCE FOR NEW CONSTRUCTION PHASE AND BEFORE COMBUSTIBLE MATERIAL ARE PLACED ON THE JOB SITE.
- "NO PARKING - FIRE LANE" SIGNAGE SHALL BE PLACED IN AREAS WHERE A PARKED OR STOPPED VEHICLE WOULD NARROW THE FIRE LANE ACCESS TO LESS THAN A 20' WIDTH. IFC 2024 503.3
- EMERGENCY RESPONDER RADIO COVERAGE MUST MEET REQUIREMENTS AS SPECIFIED IN THE IFC SECTION 510.
- PROPOSED BUILDING ADDITION WILL HAVE FIRE SUPPRESSION.



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ADDITION

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YPSILANTI, MI 48197

FIRE PROTECTION PLAN

commission no. 24055
scale: 1" = 20'
date: 09/30/2025
revised:

CONSTRUCTION DOCUMENTS

C121



SCALE: 1" = 30'
0 30 60 90



DRAINAGE AREAS LEGEND

- ROOF
- PAVEMENT
- VEGETATION
- WATER SURFACE
- AREA UN-CAPTURED BY PROPOSED SYSTEM

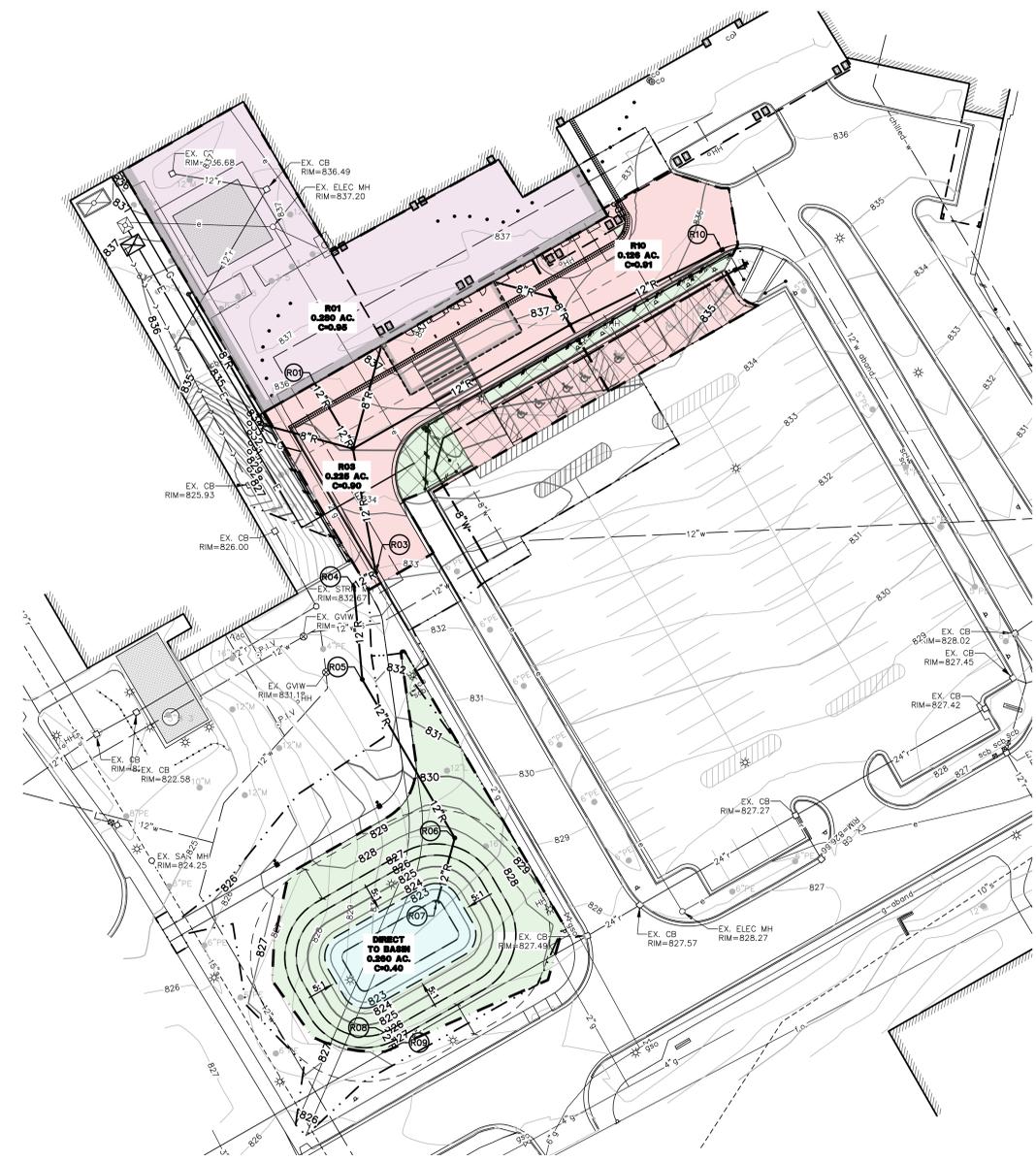
LEGEND

- EXIST. STORM SEWER
- PROP. STORM SEWER
- EXIST. CATCH BASIN OR INLET
- PROP. CATCH BASIN OR INLET
- EXIST. BEEHIVE INLET
- PROP. BEEHIVE INLET
- PROP. ROOF DRAIN
- END SECTION
- HEAD WALL
- CULVERT
- DRAINAGE AREA



EXISTING DRAINAGE CONDITION

Existing Drainage Areas					
Cover Type	Area (sf)	Area (ac)	Soil Type	Runoff Coeff. (C)	(C) x (Area)
Building Roof	5,430	0.12		0.95	0.12
Pavement	17,041	0.39		0.95	0.37
Grass	16,313	0.37	D	0.5	0.19
Total collected on site	38,784	0.89			0.88
Weighted C = (Sum(Cx(Area)) / (Area Total)) =					0.76



PROPOSED DRAINAGE CONDITION - TOTAL AREA

Proposed Drainage Areas					
Cover Type	Area (sf)	Area (ac)	Soil Type	Runoff Coeff. (C)	(C) x (Area)
Building Roof	12,200	0.28		0.95	0.27
Pavement	13,771	0.32		0.95	0.30
Grass	10,651	0.24	D	0.5	0.12
Water Surface	2,162	0.05		1.00	0.05
Total collected on site	38,784	0.89			0.74
Weighted C = (Sum(Cx(Area)) / (Area Total)) =					0.83

PROPOSED DRAINAGE CONDITION - UNCAPTURED AREA

Proposed Drainage Areas - not captured by proposed system					
Cover Type	Area (sf)	Area (ac)	Soil Type	Runoff Coeff. (C)	(C) x (Area)
Pavement	3,159	0.07		0.95	0.07
Grass	1,485	0.03	D	0.5	0.02
Total collected on site	4,644	0.11			0.09
Weighted C = (Sum(Cx(Area)) / (Area Total)) =					0.81



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DRAINAGE AREAS

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scale: 1" = 20'
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revised:

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ENGINEER'S CERTIFICATE OF OUTLET AND CALCULATIONS



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ENGINEER'S CERTIFICATE OF OUTLET

Date: 09/30/25

Development Name: Trinity Health Ann Arbor Emergency Department Addition

City, Village or Township of Superior Township Section: 31

Washtenaw County, Michigan

Trinity Health Ann Arbor is proposing a renovation and addition to an existing emergency room located at 5301 McAuley Drive, Ypsilanti, MI 48197. The site is located at parcel J-10-31-350-043. The project will involve demolition and redevelopment of the areas directly surrounding the proposed building addition. The proposed drainage area for the project accounts for all redeveloped areas that are part of the project. The existing condition of the project area is draining into an existing storm water conveyance system. The proposed storm water management plan for the proposed project site consists of an enclosed sewer network conveying runoff to an at grade infiltration basin to the southwest of the proposed redevelopment area. The proposed drainage area requires 10,834 cft of storage and infiltration basin provides 11,089 cft of storage. The infiltration basin is designed to infiltrate the runoff for the 100-year / 24 hour storm event in less than 48 hours. An outlet will be installed at the elevation 100-year / 24 hour storm and drain into the existing conveyance system southeast of the basin. The emergency overflow route for the basin will be at the southwest corner of the basin. We base the Outlet Certification on the fact that the proposed storm water management systems provide a net increase in detention volume on-site, is designed to completely infiltrate the 100-year / 24 hour rain event according to current standards, and will reduce the rate of discharge from the site for events up to and including the 100-year / 24 hour storm.

I hereby certify that the infiltration basin outlet is the only reasonable achievable storm water outlet for the proposed storm water management system and that the existing drain has sufficient capacity to serve as an adequate outlet for the proposed system, without detriment to, or diminution of, the drainage service that the existing outlet presently provides.

Signed: *Cotton Wallace*
Registered Professional Engineer



Attachments: Outlet Certification Calculations

RI_202404214-Compendium/County Drain Commission/2024-09-30 Certificate of Outlet.docx



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OUTLET CERTIFICATION CALCULATIONS

Existing Drainage

The existing site consists of a developed site and surface drainage flows into an existing conveyance system.

- On-site Area draining to existing conveyance system: 0.89 ac (C=0.76)
 - o Q=CIA
 - o Q=(0.76)(5.11)(0.89) = 3.46 cfs
- Total Discharge: 3.46 cfs

Proposed drainage

The proposed infiltration basin is designed to infiltrate the runoff for the 100-year / 24 hour storm event in less than 48 hours.

- Total area managed on site (Infiltrated): 0.78 ac
- On-site Area uncaptured by proposed conveyance system: 0.11 ac (C=0.82)
 - o Q=CIA
 - o Q=(0.82)(5.11)(0.11) = 0.46 cfs
- Total Discharge: 0.46 cfs

Therefore, the discharge rates will be decreased compared to existing conditions and will not have a detrimental impact on the downstream storm sewer system or county drain.

RI_202404214-Compendium/County Drain Commission/2024-09-30 Outlet Cert. Calc.docx

W1 - Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients

Rational Method Variables

Soil Type	Percent of site	Soil Classification
Blount Loam (BntaAB)		D
St. Clair Clay Loam (S1B)		D

Cover Type	Soil Type	Area (sf)	Area (ac)	Runoff Coeff. (C)	(C) x (Area)
Building Roof		12,200	0.28	0.95	0.27
Pavement		13,771	0.32	0.95	0.30
Grass	D	10,651	0.24	0.5	0.12
Water Surface		2,162	0.05	1.00	0.05
Total		38,784	0.89		0.74

Weighted C = (Sum(C)x(Area))/(Area Total) = 0.83

NCRS Variables (Pervious)

Cover Type	Soil Type	Area (sf)	Area (ac)	Curve Number	(CN) x (Area)
Grass	D	10,651	0.24	80	0.20
Total		10,651	0.24		0.20

Weighted CN = (Sum(CN)x(Area))/(Area Total) = 80

NCRS Variables (Impervious)

Cover Type	Soil Type	Area (sf)	Area (ac)	Curve Number	(CN) x (Area)
Building Roof		12,200	0.28	98	0.27
Pavement		13,771	0.32	98	0.31
Water Surface		2,162	0.05	98	0.05
Total		28,133	0.65		0.63

Weighted CN = (Sum(CN)x(Area))/(Area Total) = 98

W2 - W2 - First Flush Runoff Calculations (Vfr)

A. $Vfr = 1" \times 1/12" \times 43560 \text{ sf/ac} \times A \times C$ where A= 0.89 and where C= 0.83

$Vfr = 1" \times 1/12" \times 43560 \text{ sf/ac} \times 0.89 \times 0.83 = 2,683 \text{ cf}$

W3 - W3 - Pre-Development Bankfull Runoff Calculations (Vbf-pre)

- A. 2 year / 24 hour storm event: P= 2.35 in
- B. Pre-Development CN: CN= 79
- C. S = (1000 / CN) - 10: S= 2,658 in
- D. Q = [(P-0.25)/2] / (P+0.85): Q= 0.739 in
- E. Total Site Area excluding "Self-Crediting" BMPs: 38,784 sf
- F. Vbf-pre = Q x (1/12) x Area: Vbf-pre = 2,387 cft

W4 - Pervious Cover Post-Development Bankfull Runoff Calculations (Vbf-per-post)

- A. 2 year / 24 hour storm event: P= 2.35 in
- B. Pervious Cover CN From Worksheet 1: CN= 80
- C. S = (1000 / CN) - 10: S= 2,500 in
- D. Q = [(P-0.25)/2] / (P+0.85): Q= 0.787 in
- E. Pervious Cover Area from Worksheet 1: 10,651 sf
- F. Vbf-per-post = Q x (1/12) x Area: Vbf-per-post = 698 cft

W5 - W5 - Impervious Cover Post-Development Bankfull Runoff Calculations (Vbf-imp-post)

- A. 2 year / 24 hour storm event: P= 2.35 in
- B. Impervious Cover CN From Worksheet 1: CN= 98
- C. S = (1000 / CN) - 10: S= 0.204 in
- D. Q = [(P-0.25)/2] / (P+0.85): Q= 2.122 in
- E. Impervious Cover Area from Worksheet 1: 28,133 sf
- F. Vbf-imp-post = Q x (1/12) x Area: Vbf-imp-post = 4,974 cft

W6 - W6 - Pervious Cover Post-Development 100-Year Runoff Calculations (V100-per-post)

- A. 100 year / 24 hour storm event: P= 5.11 in
- B. Pervious Cover CN From Worksheet 1: CN= 80
- C. S = (1000 / CN) - 10: S= 2,500 in
- D. Q = [(P-0.25)/2] / (P+0.85): Q= 2.989 in
- E. Pervious Cover Area from Worksheet 1: 10,651 sf
- F. V100-per-post = Q x (1/12) x Area: V100-per-post = 2,653 cft

W7 - W7 - Impervious Cover Post-Development 100-Year Runoff Calculations (V100-imp-post)

- A. 2 year / 24 hour storm event: P= 5.11 in
- B. Impervious Cover CN From Worksheet 1: CN= 98
- C. S = (1000 / CN) - 10: S= 0.204 in
- D. Q = [(P-0.25)/2] / (P+0.85): Q= 4.873 in
- E. Impervious Cover Area from Worksheet 1: 28,133 sf
- F. Vbf-imp-post = Q x (1/12) x Area: Vbf-imp-post = 11,424 cft

W8 - Time of Concentration (Tc-hrs)

- A. Assume 15-minute minimum time of concentration: Tc= 0.25 hr

W9 - Runoff Summary & On-Site Infiltration Requirement

- A. Summary from Previous Worksheets
 - First Flush Volume (Vff): 2,683 cft
 - Pre-Development Bankfull Runoff Volume (Vbf-pre): 2,387 cft
 - Pervious Cover Post-Development Bankfull Runoff Volume (Vbf-per-post): 698 cft
 - Impervious Cover Post-Development Bankfull Runoff Volume (Vbf-imp-post): 4,974 cft
 - Total BF Volume (Vbf-post): 5,672 cft
 - Pervious Cover Post-Development 100-Year Volume (V100-per-post): 2,653 cft
 - Impervious Cover Post-Development 100-Year Volume (V100-imp-post): 11,424 cft
 - Total 100-Year Volume (V100): 14,077 cft
- B. Determine Onsite Infiltration Requirement
 - Subtract the Pre-Development Bankfull from the Post-Development Bankfull Volume: 5,672 cft
 - Total Post-Development Bankfull Runoff Volume (Vbf-post): 2,387 cft
 - Pre-Development Bankfull Runoff Volume (Vbf-pre): 2,385 cft
 - Bankfull Volume Difference: 3,285 cft
 - Infiltration Requirement (Vinf): 3,285 cft

W10 - Detention/Retention Requirement

- A. $Cp = 238.5 / (T+0.82)$: 743.63 cts/(in x sq. mi)
- B. Total Site Area excluding "Self-Crediting" BMPs: 0.89 ac
- C. $Q100 = Q100-per + Q100-imp$ (from W6 and W7, respectively): 7,862 in
- D. Peak Flow (PF) = $Qp \times Q100 \times \text{Area} / 640$: 8.13 cfs
- E. Delta = $PF - 0.15 \times \text{Area (ac)}$: 8.00 cfs
- F. $Vdet = \text{Delta} / PF \times V100$: 0.13 cfs
- Required Detention not including infiltration credit or penalty: 13,846 cft
- Sediment Forebay Volume Required (5% of V100): 704 cft

Retention

- A. $Vret = 2 \times V100$: 28,155 cft

W11 - Determine Applicable BMPs and Associated Volume Credits

Proposed BMP	Area (sf)	Storage Volume (cft)	Design Infiltr. Rate (in/hr)	Infiltr. Volume in 6-hr Drawdown (cft)	Total Volume Reduction (cft)
Pervious Pavement				0	0
Infiltration	2162	11,089	3.00	3,243	14,332
Subsurface Infiltration Bed				0	0
Infiltration Trench				0	0
Bioretention Systems				0	0
Rain Gardens				0	0
Dry Well				0	0
Biowall				0	0
Vegetated Filter Strip				0	0
Green Roof				0	0

Total Volume Reduction Credit by Proposed Structural BMPs (cft): 14,332
Runoff Volume Infiltration Requirement (Vinf) from W9 (cft): 3,285

Runoff Volume Credit (cft): 11,046

W12 - Natural Features Inventory

Refer to Sheet C101 for location and size of natural features.

W13 - Site Summary of Infiltration & Detention

A. Stormwater Management Summary

- Min Infiltration Requirement (Vinf): 3,285 cft
- Designed/Provided Infiltration Volume: 14,332 cft
- % Minimum Required Infiltration Provided: 436 %
- Total Calculated Detention Volume, Vdet: 13,846 cft
- Net Required Detention Volume (Entire Site) (Vdet - Designed/Provided Infiltration Volume): -465 cft

100-year Detention Volume to Basin: 0 cft

Required 100-year Detention Volume to Basin (Net Required Detention Volume - Total Detention Volume to Basin): 0 cft

B. Detention Volume Increase for sites where the required infiltration volume cannot be achieved.

- % Required Infiltration NOT Provided: 0.0 %
- (100% - % Minimum Required Infiltration Provided): 0.0 %
- Net % Penalty (20% x % Required Infiltration NOT Provided): 0.0 %
- Total Required Detention Volume, including penalty: 0 cft
- [(100% + Net % Penalty) x Net Required Detention Volume]

Total Detention Volume to Basin: 0 cft

Additional Detention chamber volume required: 0 cft

Total Required Detention Volume - Basin Volume for re-development area: 0 cft

Detention Outlet Calculations

A. Required Detention Volumes

Storm Event	Req'd Volume	less	6 Hr Infil.	=	Final Volume to Detention Basin
First Flush (Entire Site)	2,683 cft	-	3,243 cft	=	0 cft
Bankfull (Entire Site)	5,672 cft	-	3,243 cft	=	2,429 cft
100-year (Area to Detention Basin)	14,077 cft	-	3,243 cft	=	10,834 cft
Forebay Volume Required (5% of 100-yr)				=	542 cft

B. At-Grade Infiltration Basin Volumes Provided

Elevation	Area (sf)	Depth (ft)	Volume (cft)	Cum. Volume (cft)
822.00	992	0.00	0	0
823.00	1,745	1.00	1,369	1,369
824.00	2,654	2.00	2,200	3,568
825.00	3,721	3.00	3,188	6,756
826.00	4,945	4.00	4,333	11,089
			Total Volume =	11,089

Storage Elevation Calculation

First Flush Elevation (Xff) = 823.0 - 822.0 = Xff - 822.0 Xff = 822.00 ft

Bankfull Elevation (Xbf) = 824.0 - 823.0 = Xbf - 823.0 Xbf = 823.48 ft

100-Year Elevation (X100) = 826.0 - 825.0 = X100 - 825.0 X100 = 825.94 ft

11,089 - 6,756 = 10,834 - 6,756

Impervious Loading Ratio

Area of impervious surface draining to Rain Garden	25,971	sf
Average area of infiltration Basin	1,162	sf
Impervious Area Loading Ratio (8:1 maximum)*	12.0	:1

*WCWRC Section V.6 states that highly permeable soils, may allow for higher loading ratios than 8:1. This infiltration basin has highly permeable soils.

C. Full Infiltration Design

Total Storage Volume	10,834	cft
Infiltration Area	2,162	sf
Infiltration Rate, Average	3.00	in/hr
Infiltration Flow Rate	540.50	cf/hr
Time to Fully Drain	20.0	hr

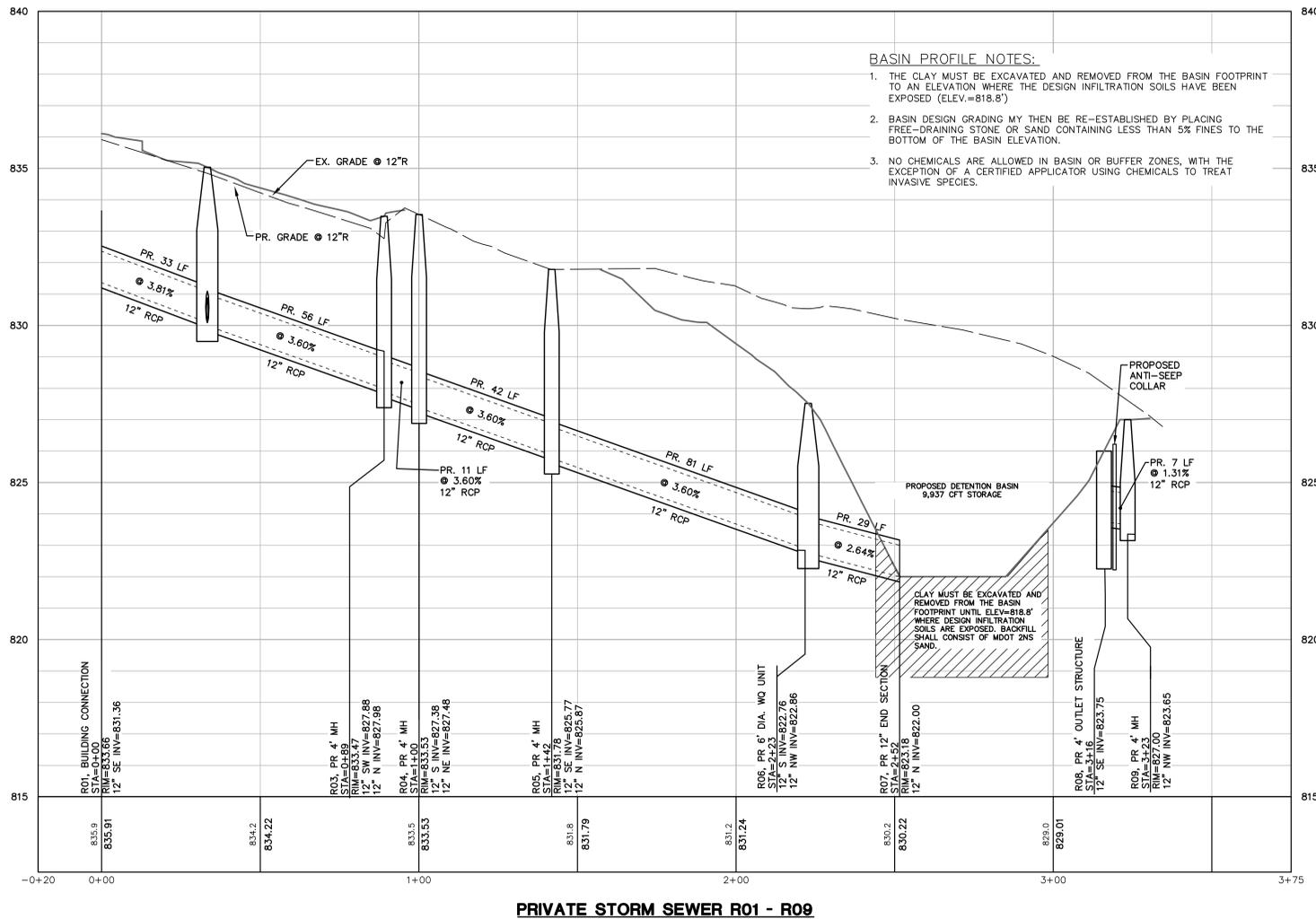
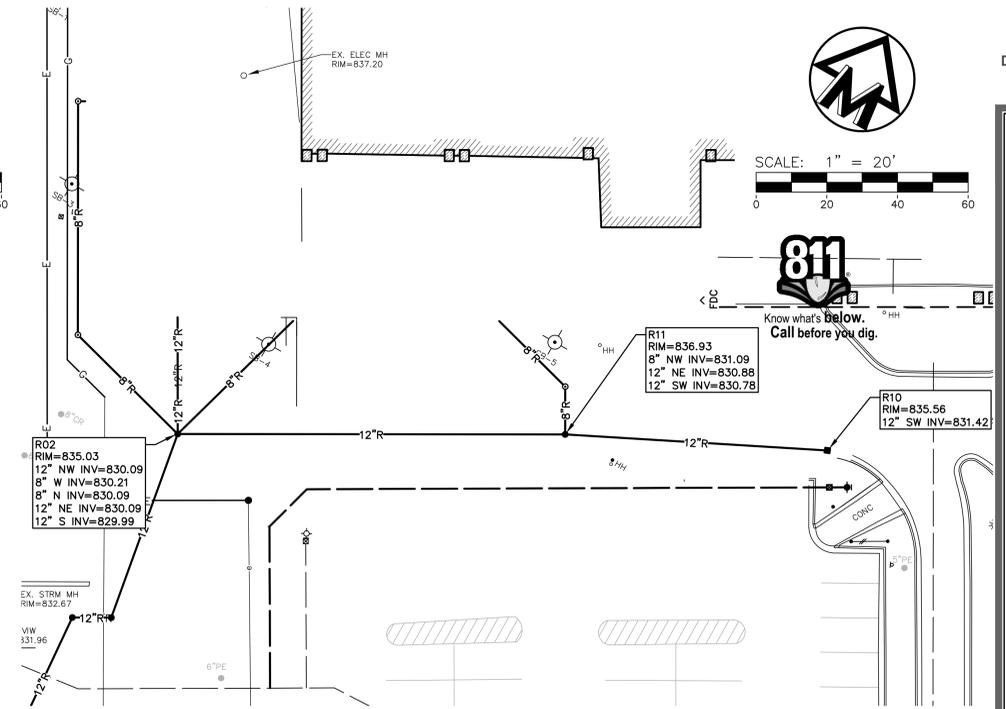
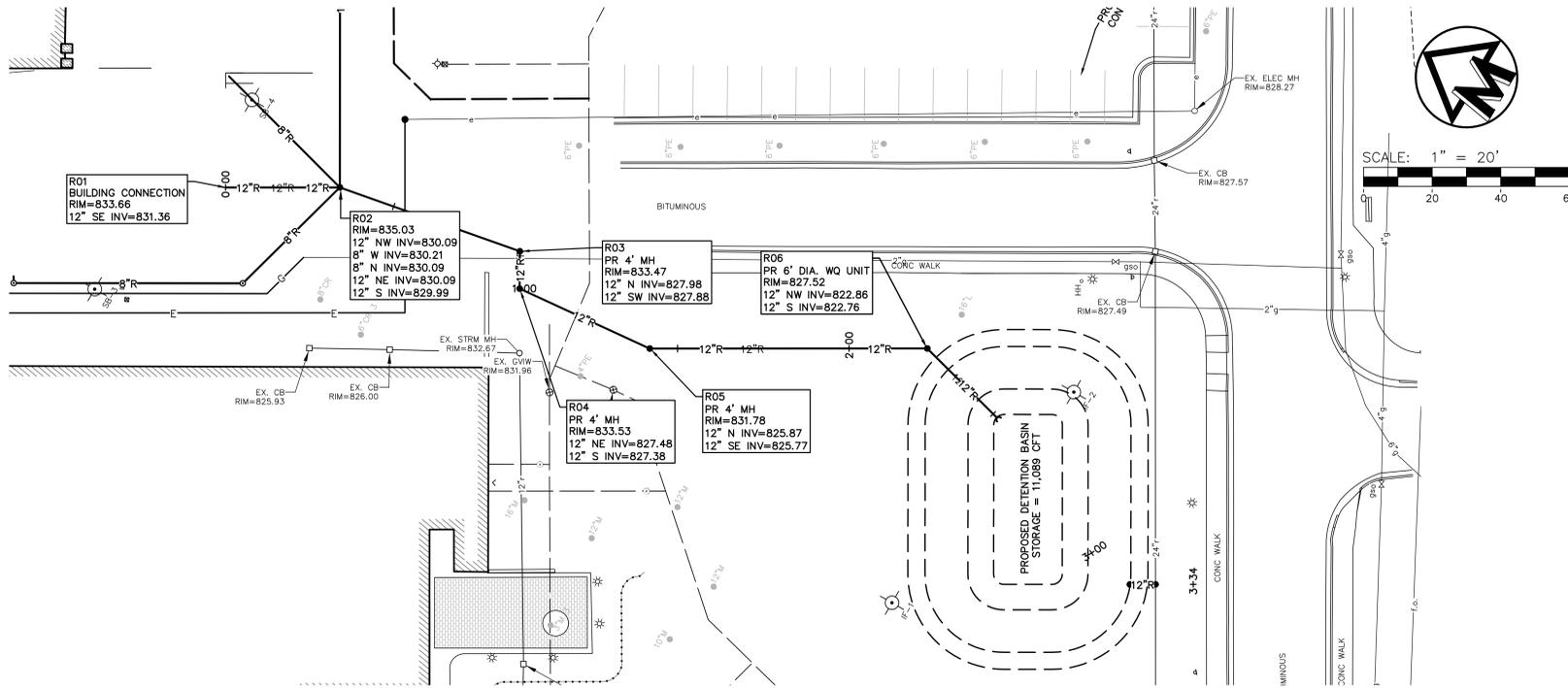
This is less than 48 hours max, so the basin complies with the drawdown requirement.

STORM WATER CONVEYANCE CALCULATIONS

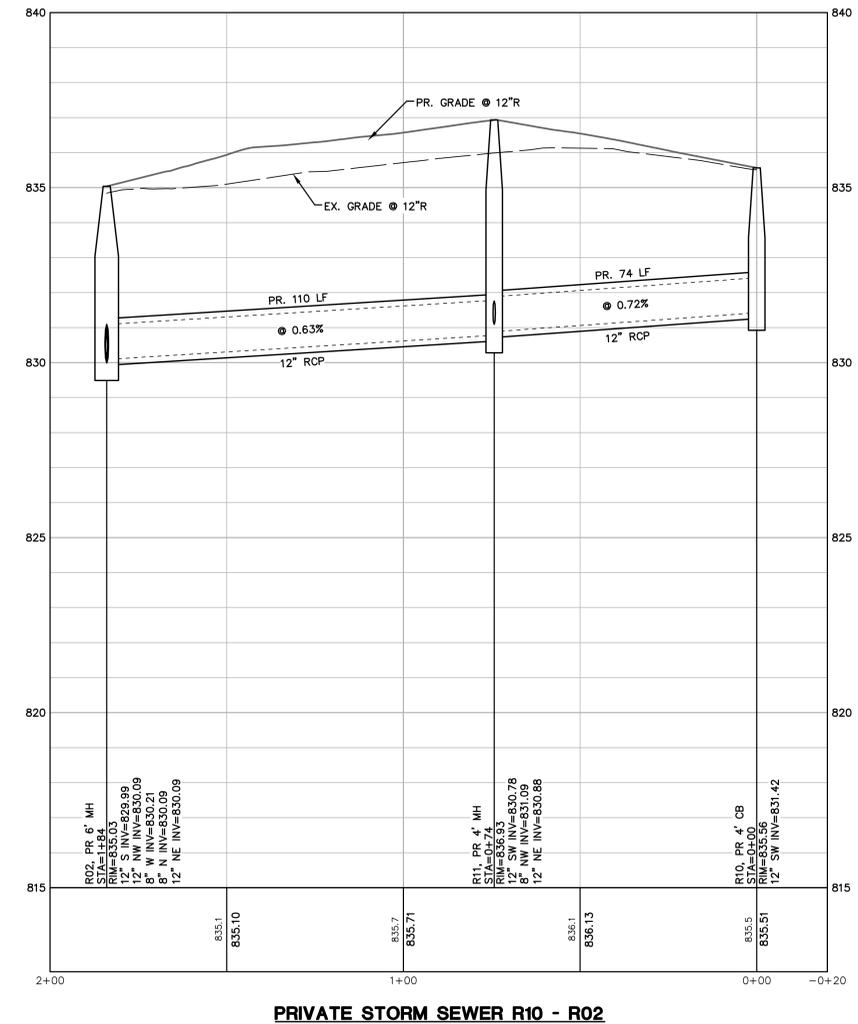
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$I = x/(T+y)$ x = 175 y = 25 (10 Year Storm Event)
Type of Pipe = c2 x = 275 y = 25.00 (100-year event for comparison)
n = 0.013 Min time of concentration: 15.00 min

Structure No. From	Structure No. To	Drainage Area A (Acres)	Runoff Coeff. C	Cx A	ADD. Cx A	± Cx A	Time T (min.)	Rainfall (in./hr.)	Q (cfs)	Q Inlet Here	Dia (in.)	Pipe Length (ft.)	Slope %	Velocity Flowing Full (ft./sec.)	Travel Time (min.)	Sewer Capacity (cfs)	Spare Capac. (cfs)	10-year Hydraulic Grade Line Begins at Bankfull Elevation in Chambers										
																		Down	Up	Down	Rim	Up	Down	Up	H.G. Slope %	Down stream HGL	Up stream HGL	Down stream HGL Cover
R01	R02	0.280	0.95	0.266	0.000	0.266	15.00	4.38	1.16	1.16	12	33	3.81	8.88	0.06	6.97	5.81	830.09	831.36	835.03	836.11	3.94	3.75	0.11	831.58	832.16	3.45	3.95
R10	R11	0.126	0.91	0.114	0.000	0.114	15.00	4.38	0.50	0.50	12	74	0.72	3.86	0.32	3.03	2.53	830.88	831.42	836.93	835.56	5.05	3.14	0.02	831.58	832.22	5.35	3.34
R11	R02	0.000	0.00	0.000	0.000	0.114	15.32	4.34	0.50	0.00	12	110	0.63	3.61	0.51	2.84	2.34	830.09	830.78	835.03	836.93	3.94	5.15	0.02	830.79	831.58	4.24	5.35
R02	R03	0.000	0.00	0.000	0.266	0.381	15.83	4.29	1.63	0.00	12	56	3.60	8.63	0.11	6.78	6.15	827.98	829.99	833.47	835.03	4.49	4.04	0.21	828.68	830.79	4.79	4.24
R03	R04	0.225	0.90	0.203	0.000	0.584	15.93	4.28	2.49	0.89	12	11	3.60	8.63	0.02	6.78	4.28	827.48	827.88	833.53	833.47	5.05	4.59	0.49	828.18	828.68	5.35	4.79
R04	R05	0.000	0.00	0.000	0.000	0.584	15.96	4.27	2.49	0.00	12	42	3.60	8.63	0.06	6.78	4.28	825.87	827.38	831.78	833.53	4.91	5.15	0.49	828.57	828.18	5.21	5.35
R05	R06	0.000	0.00	0.000	0.000	0.584	16.04	4.26	2.49	0.00	12	81	3.60	8.63	0.16</													



PRIVATE STORM SEWER R01 - R09



PRIVATE STORM SEWER R10 - R02

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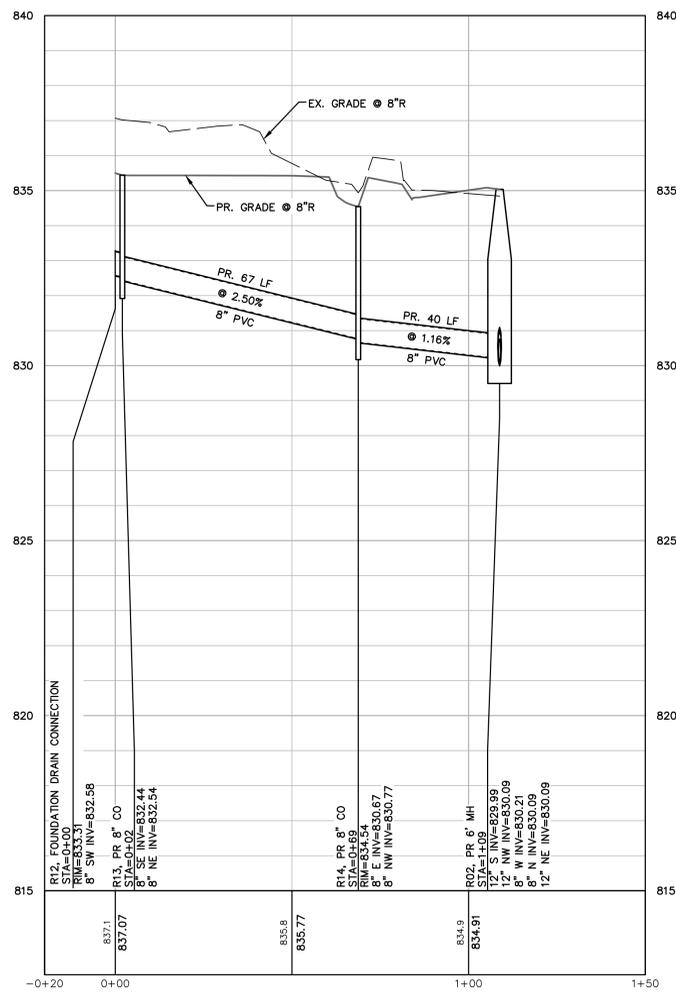
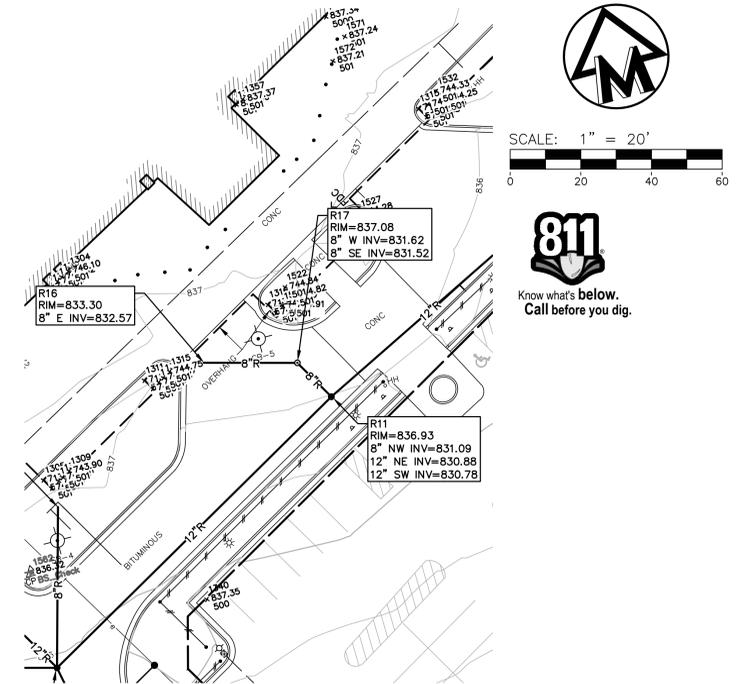
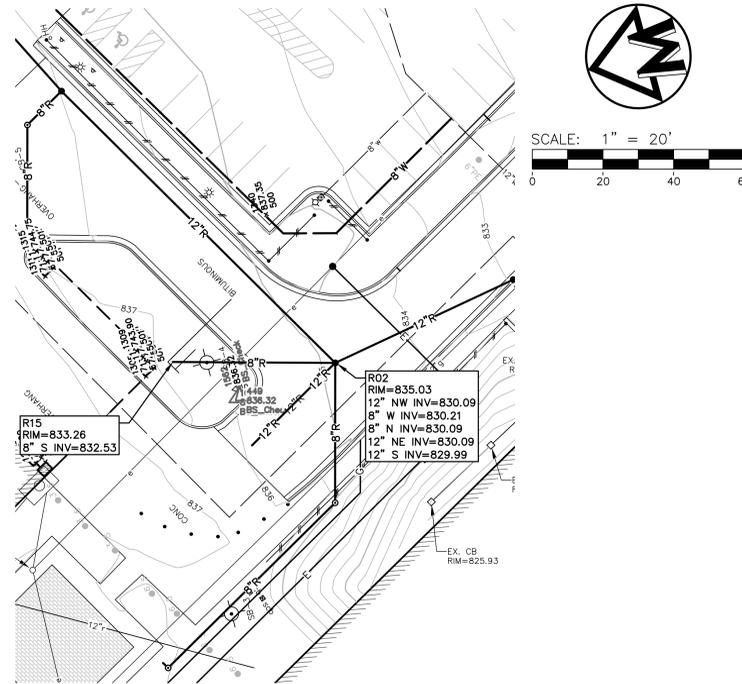
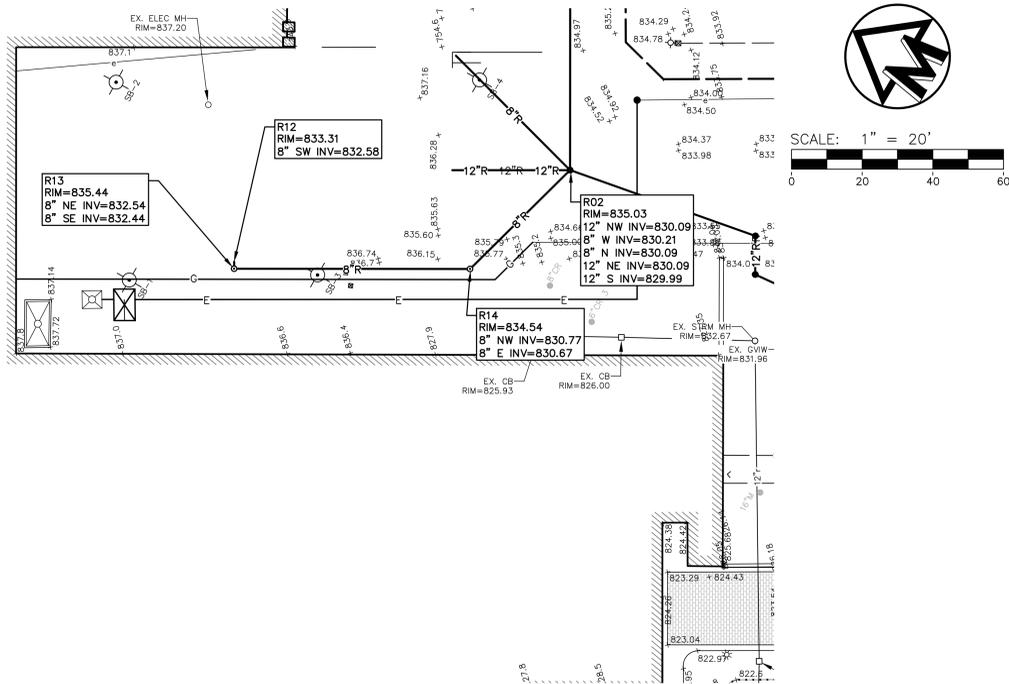
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STORM SEWER PROFILE VIEW

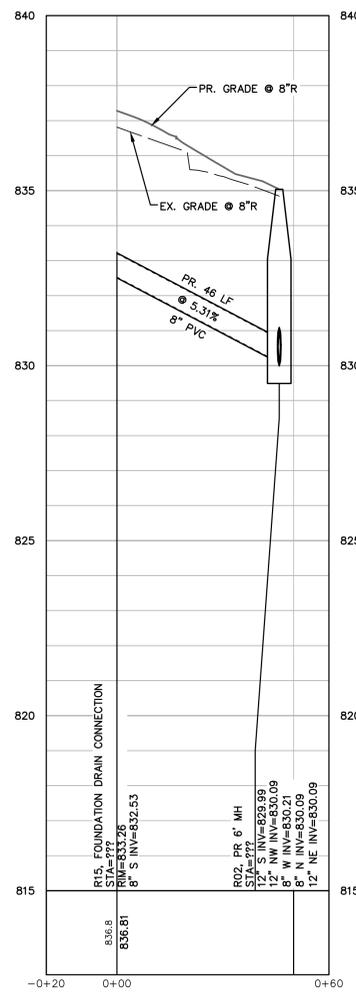
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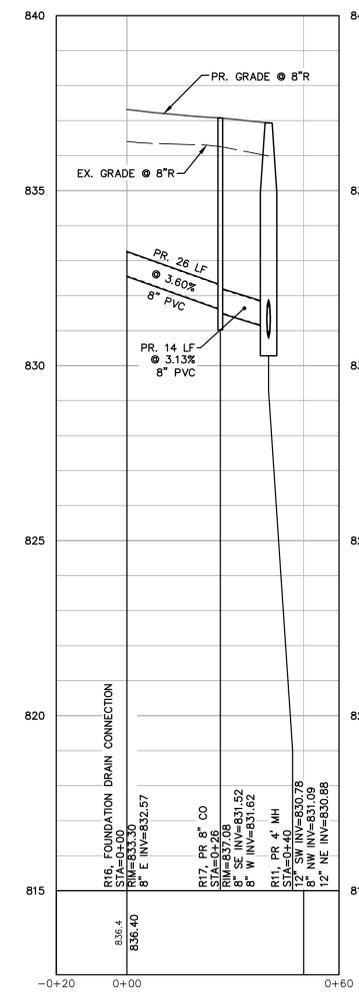
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PRIVATE STORM SEWER R12 - R02



PRIVATE STORM SEWER R15 - R02



PRIVATE STORM SEWER R16 - R11

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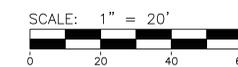
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BUILDING STORM DRAIN PROFILE VIEW		
commission no. 24055 scale: 1" = 20' date: 09/30/2025 revised:		
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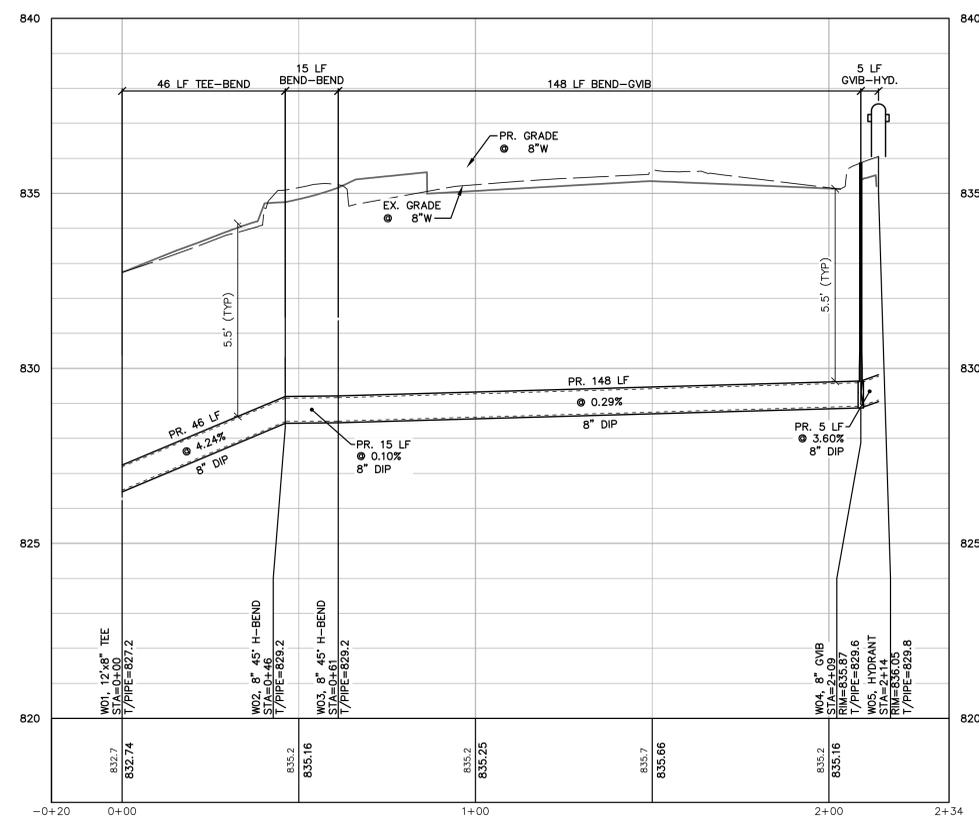
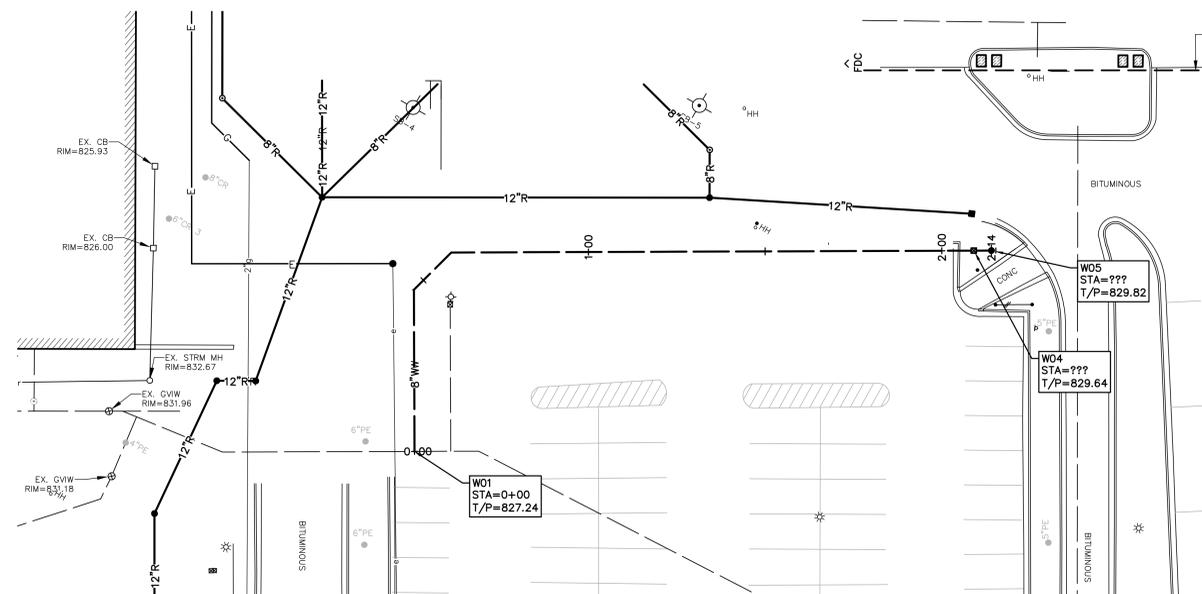
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HYDRANT PROFILE VIEW

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date: 09/30/2025
revised:

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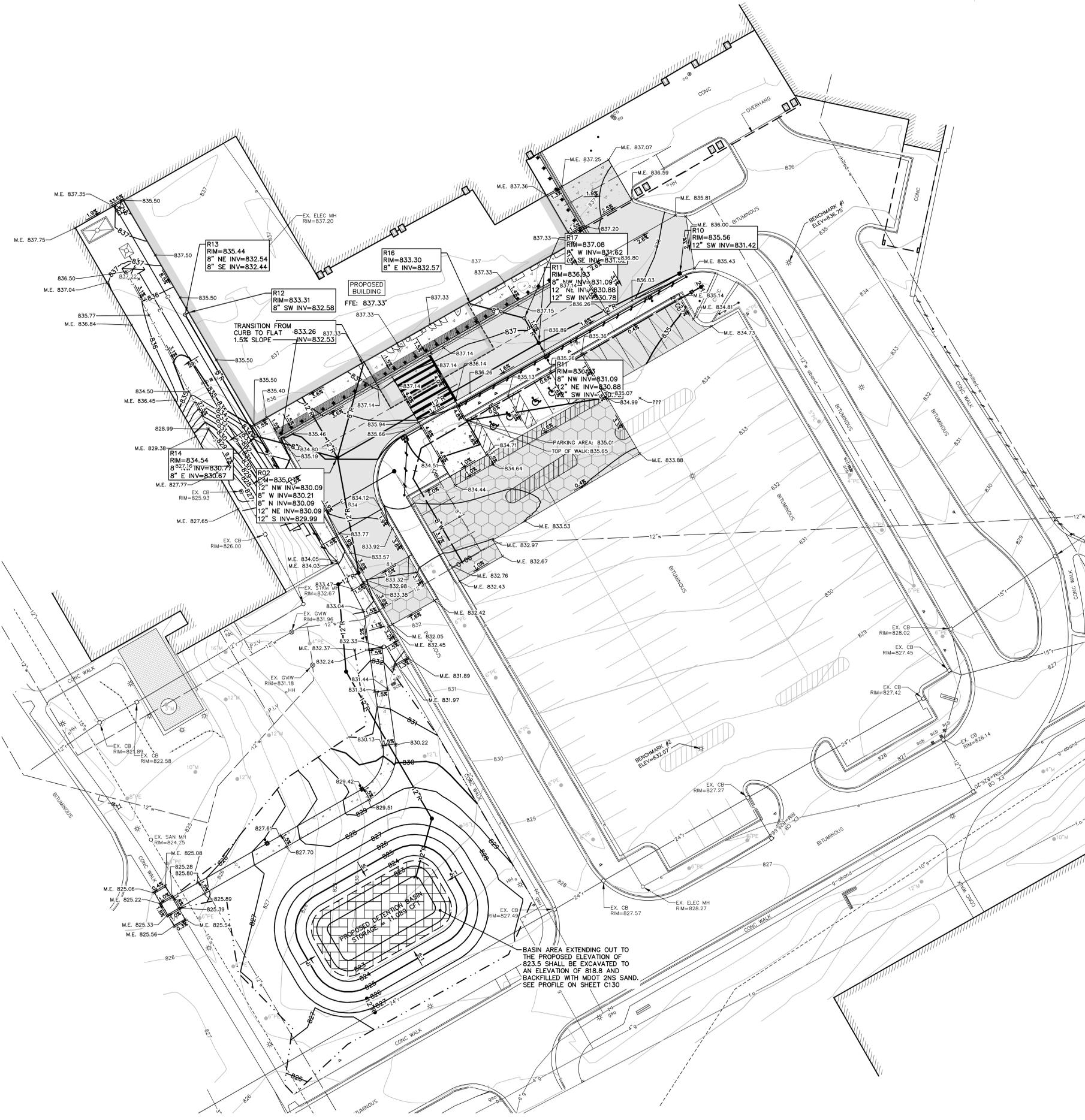
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SCALE: 1" = 20'
0 20 40 60



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BASIN AREA EXTENDING OUT TO THE PROPOSED ELEVATION OF 823.5 SHALL BE EXCAVATED TO AN ELEVATION OF 818.5 AND BACKFILLED WITH MDOT 2NS SAND. SEE PROFILE ON SHEET C130

LEGEND

- 838 EXIST. CONTOUR
- 836.2 PROP. CONTOUR
- 36.60 EXIST. SPOT ELEVATION
- U.P. PROP. SPOT ELEVATION
- U.P. EXIST. UTILITY POLE
- U.P. EXIST. UTILITY POLE W/ TRANS.
- GUY WIRE
- ELEC. TRANSFORMER
- AC UNIT EXIST. AC UNIT
- GENERATOR EXIST. GENERATOR
- OH EXIST. OVERHEAD UTILITY LINE
- LIGHT POLE EXIST. LIGHT POLE
- PROP. LIGHT POLE
- TELEPHONE LINE EXIST. TELEPHONE LINE
- ELECTRIC LINE EXIST. ELECTRIC LINE
- GAS LINE EXIST. GAS LINE
- GAS VALVE EXIST. GAS VALVE
- FIBER OPTIC LINE EXIST. FIBER OPTIC LINE
- WATER MAIN EXIST. WATER MAIN
- PROP. WATER MAIN
- HYDRANT EXIST. HYDRANT
- PROP. HYDRANT
- GATE VALVE IN BOX EXIST. GATE VALVE IN BOX
- GATE VALVE IN WELL EXIST. GATE VALVE IN WELL
- GATE VALVE IN WELL EXIST. GATE VALVE IN WELL
- CURB STOP & BOX EXIST. CURB STOP & BOX
- CURB STOP & BOX EXIST. CURB STOP & BOX
- REDUCER EXIST. BLOW-OFF
- PROP. BLOW-OFF
- POST INDICATOR VALVE EXIST. POST INDICATOR VALVE
- POST INDICATOR VALVE EXIST. POST INDICATOR VALVE
- THRUST BLOCK
- PROP. KNOXBOX
- EXIST. FIRE DEPARTMENT CONNECTION
- PROP. FIRE DEPARTMENT CONNECTION
- EXIST. STORM SEWER
- PROP. STORM SEWER
- EXIST. CATCH BASIN OR INLET
- PROP. CATCH BASIN OR INLET
- EXIST. BEEHIVE INLET
- PROP. BEEHIVE INLET
- PROP. ROOF DRAIN
- END SECTION
- HEAD WALL
- CULVERT
- EXIST. DOWNSPOUT
- PROP. DOWNSPOUT
- EXIST. SANITARY SEWER
- PROP. SANITARY SEWER
- EXIST. CLEANOUT
- PROP. CLEANOUT
- C/L OF DITCH
- DRAINAGE DIRECTION
- SIGN
- SINGLE TREE
- TREE OR BRUSH LIMIT
- FENCE
- SILT FENCE
- LIMITS OF DISTURBANCE
- CONSTRUCTION FENCE
- FINISH FLOOR ELEVATION
- MATCH EXISTING ELEVATION
- PROP. CURB & GUTTER
- PROP. FLAT CURB
- PROP. MILL AND RE-PAVE HMA
- PROP. LIGHT-DUTY HMA PAVEMENT
- PROP. HEAVY-DUTY HMA PAVEMENT
- PROP. CONCRETE PAVEMENT
- PROP. HEAVY DUTY CONCRETE

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PROJECT ADDRESS:
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GRADING PLAN

commission no. 24055
scale: 1" = 20'
date: 09/30/2025
revised:

CONSTRUCTION DOCUMENTS

C140



SCALE: 1" = 20'
0 20 40 60



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SOIL EROSION CONTROL NOTES

- ALL SOIL EROSION CONTROL MEASURES SHALL COMPLY WITH THE CURRENT SUPERIOR TOWNSHIP ORDINANCES, WASHENAW COUNTY STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL, AND STATE OF MICHIGAN "SOIL EROSION AND SEDIMENTATION CONTROL ACT - P.A. 347".
- PRIOR TO COMMENCING EARTH-MOVING OPERATIONS, THE GRADING CONTRACTOR SHALL INSTALL THE TEMPORARY CATCH BASIN FILTER(S) SHOWN ON THE PLANS.
- THE REMOVAL OF TRAPPED SEDIMENT AND THE CLEANOUT OR REPLACEMENT OF CLOGGED STORM MAY BE NECESSARY AFTER EACH STORM EVENT DURING THE PROJECT.
- ALL SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. IF AT ANY TIME THE DEPTH OF SILT AND SEDIMENT COMES TO WITHIN 12" OF THE TOP OF ANY SILT FENCE, ALL SILT AND SEDIMENT SHALL BE REMOVED TO ORIGINAL GRADE.
- ONLY UPON STABILIZATION OF ALL DISTURBED AREAS MAY THE TEMPORARY GRAVEL FILTERS BE REMOVED. ALL STORM SEWERS MUST BE ALSO CLEANED OF ALL SEDIMENT.
- ALL INLETS AND CATCH BASINS WILL HAVE SEDIMENT FILTERS INSTALLED AFTER THEIR CONSTRUCTION. THESE FILTERS WILL BE MAINTAINED UNTIL ALL AREAS AROUND THE STRUCTURE HAVE BEEN STABILIZED.
- THE CONTRACTOR WILL MAINTAIN ALL NECESSARY SOIL EROSION CONTROL DEVICES UNTIL SOIL STABILIZATION HAS OCCURRED.
- APPROPRIATE EMERGENCY ACCESS WILL BE PROVIDED DURING CONSTRUCTION.
- THE ESTIMATED COST OF SOIL EROSION CONTROL MEASURES IS \$6,000.
- THE ESTIMATED COST TO PROTECT ALL SOIL SURFACES FROM EROSION SHOULD CONSTRUCTION DISCONTINUE IS \$2,100.
- DEWATERING OPERATIONS DURING CONSTRUCTION, IF NECESSARY, MUST BE DONE PER CITY REQUIREMENTS INCLUDING SEDIMENT CONTROL AND DISPOSAL.
- FINAL LOCATIONS AND DIMENSIONS OF THE MUD TRACKING MAT AND CONCRETE WASHOUT AREA ARE TO BE DETERMINED BY THE CONTRACTOR SUBJECT TO A CITY APPROVAL.

LEGEND

- 838 EXIST. CONTOUR
- 838 PROP. CONTOUR
- 836.2 EXIST. SPOT ELEVATION
- 36.60x PROP. SPOT ELEVATION
- U.P. EXIST. UTILITY POLE
- U.P. EXIST. UTILITY POLE W/ TRANS.
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- GENERATOR EXIST. GENERATOR
- OH EXIST. OVERHEAD UTILITY LINE
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- CURB STOP & BOX EXIST. CURB STOP & BOX
- CURB STOP & BOX EXIST. CURB STOP & BOX
- REDUCER
- BLOW-OFF EXIST. BLOW-OFF
- BLOW-OFF EXIST. BLOW-OFF
- POST INDICATOR VALVE
- POST INDICATOR VALVE
- THRUST BLOCK
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- FENCE
- SILT FENCE
- LIMITS OF DISTURBANCE
- CONSTRUCTION FENCE
- FF FINISH FLOOR ELEVATION
- GF GARAGE FLOOR ELEVATION
- BFF BASEMENT FINISH FLOOR ELEVATION

MAINTENANCE PROGRAM FOR SOIL EROSION CONTROLS

- DURING CONSTRUCTION IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SOIL EROSION CONTROL MEASURES. FOLLOWING CONSTRUCTION THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE PERMANENT SOIL EROSION CONTROL MEASURES. MAINTENANCE RESPONSIBILITIES SHALL BECOME PART OF ANY SALES OR EXCHANGE AGREEMENT FOR THE LAND ON WHICH THE PERMANENT SECC MEASURES ARE LOCATED.
- WHEN POND WATER IS OBSERVED FOR MORE THAN 48 HOURS, REMOVE SEDIMENT ACCUMULATION AS NEEDED FROM THE BASIN.
- NO CHEMICALS ARE ALLOWING IN THE BASIN OR THE BUFFER ZONES WITH THE EXCEPTION OF CHEMICALS USED TO TREAT INVASIVE SPECIES APPLIED BY A CERTIFIED APPLICATOR.

SOIL EROSION CONTROL MEASURES

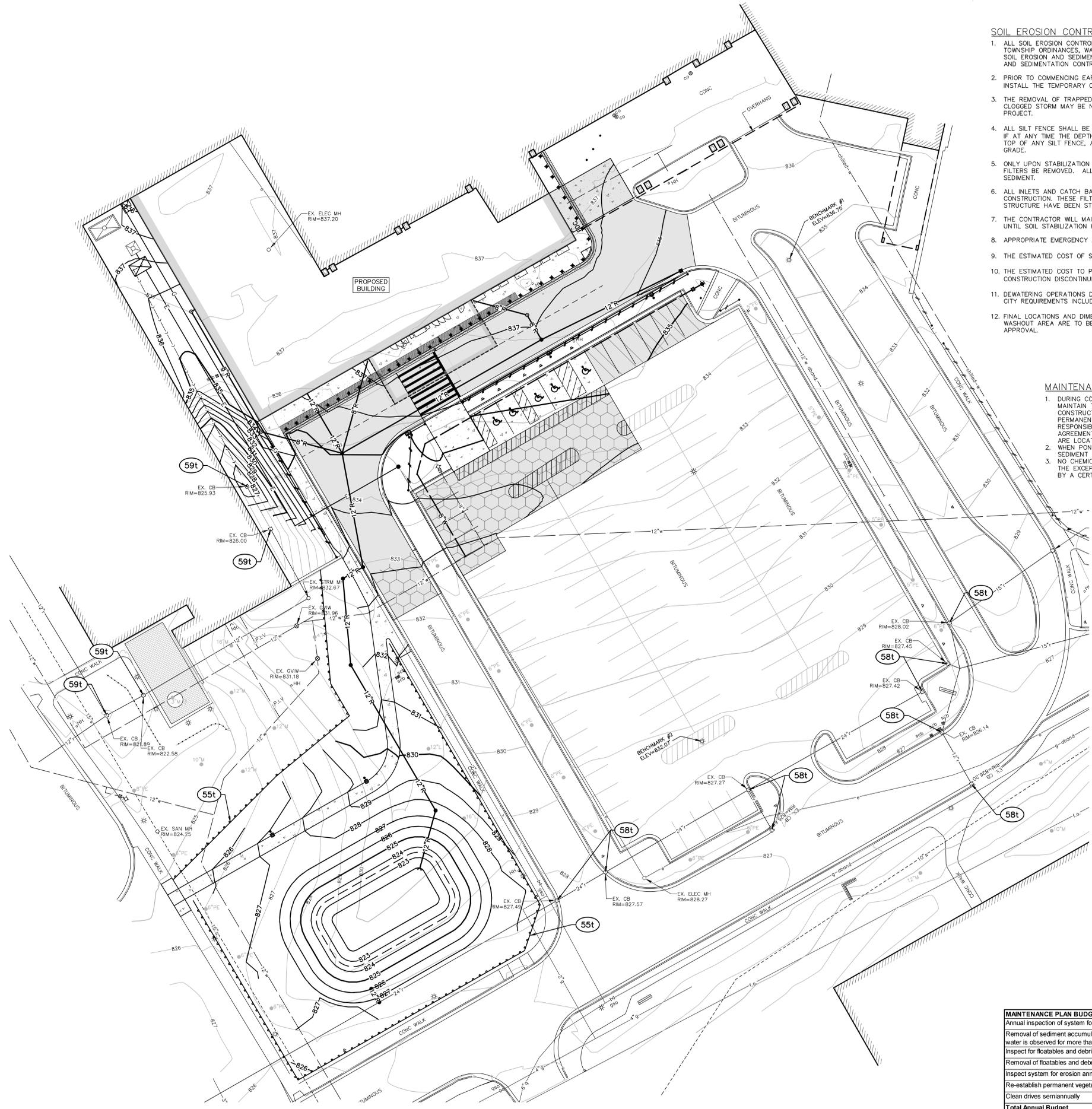
t = temporary p = permanent

5	SEEDING	55	GEOTEXTILE SILT FENCE	59	CB INLET FILTER
54	CONSTRUCTION FENCE OR SNOW FENCE	58	CURB INLET FILTER	60	MUD TRACKING MAT

MAINTENANCE PLAN BUDGET	
Annual inspection of system for sediment accumulation	\$250.00
Removal of sediment accumulation every two (2) years, and when ponded water is observed for more than 48 hours within the basin	\$1,000.00
Inspect for floatables and debris annually and after major storms	\$200.00
Removal of floatables and debris annually and after major storms	\$500.00
Inspect system for erosion annually and after major storms	\$200.00
Re-establish permanent vegetation on eroded slopes, as needed	\$150.00
Clean drives semiannually	\$300.00
Total Annual Budget	\$2,600.00

	PERMANENT MAINTENANCE TASKS AND SCHEDULE				
	Drives and Walks	Storm Sewer System	Catch Basin Sumps	Inlet Castings	Infiltration Basin
Inspect for sediment accumulation	X	X	X		X
Remove sediment accumulation		X	X		X
Inspect for floatables and debris		X	X	X	X
Cleaning of floatables and debris		X	X	X	X
Clean streets	X				

NOTE: NO CHEMICALS ARE ALLOWED IN THE BASIN OR BUFFER ZONES WITH THE FOLLOWING EXCEPTIONS: INVASIVE SPECIES MAY BE TREATED WITH CHEMICALS BY A CERTIFIED APPLICATOR.



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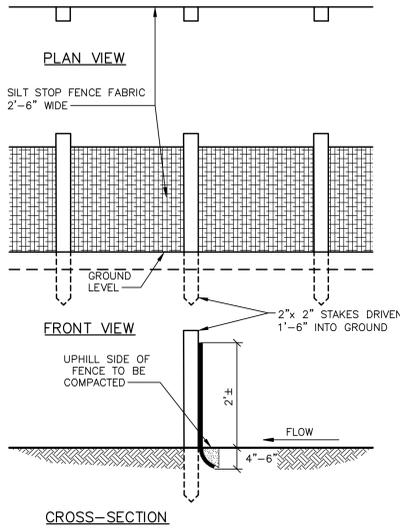
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SOIL EROSION AND SEDIMENT CONTROL PLAN

commission no. 24055
scale: 1" = 20'
date: 09/30/2025
revised:

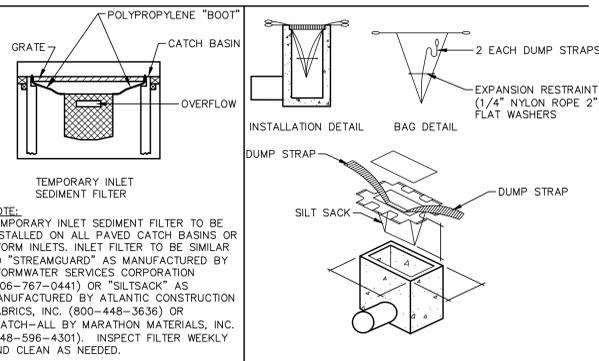
CONSTRUCTION DOCUMENTS

C141



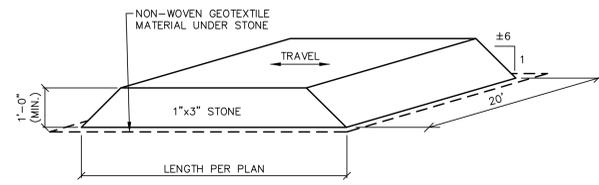
SILT FENCE DETAIL
NOT TO SCALE
BLOCK NAME: SILT FENCE DETAIL-1-55

55t



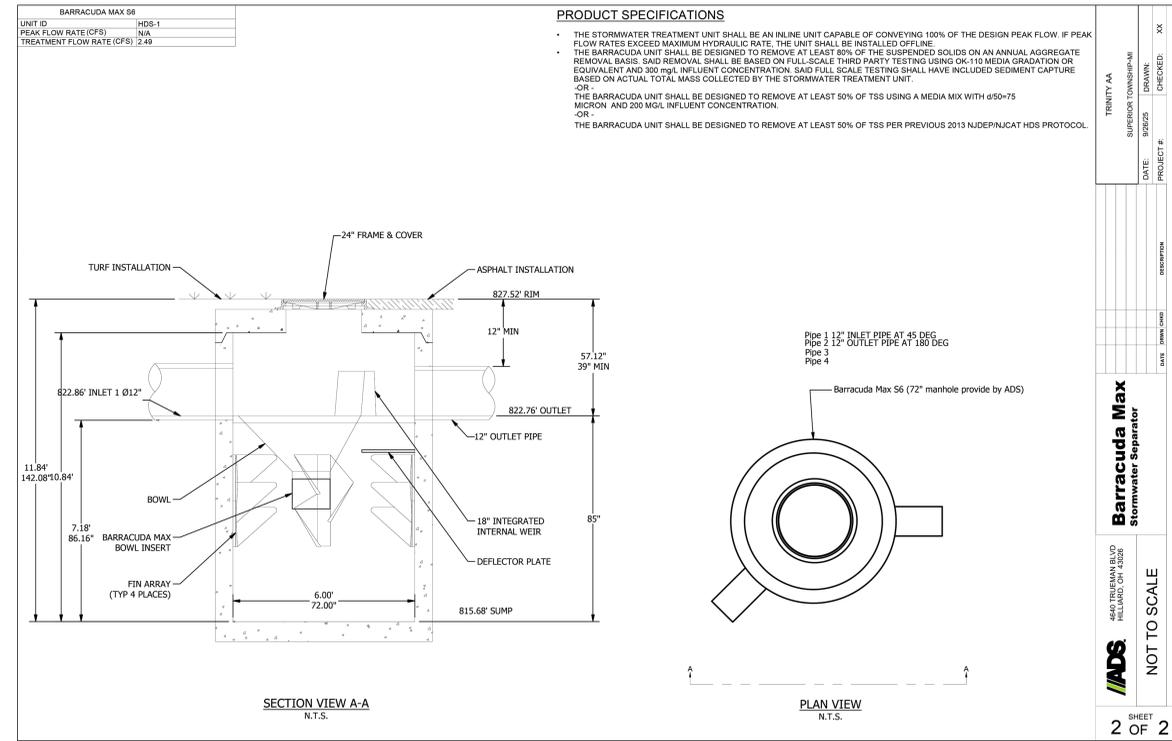
EROSION CONTROL INLET FILTER, SPECIAL
NOT TO SCALE

58t



GRAVEL MUD TRACKING MAT
NOT TO SCALE

60t

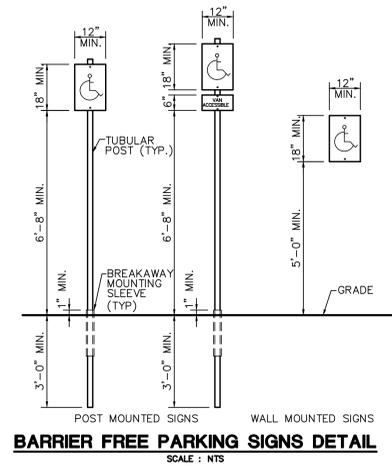


PRODUCT SPECIFICATIONS

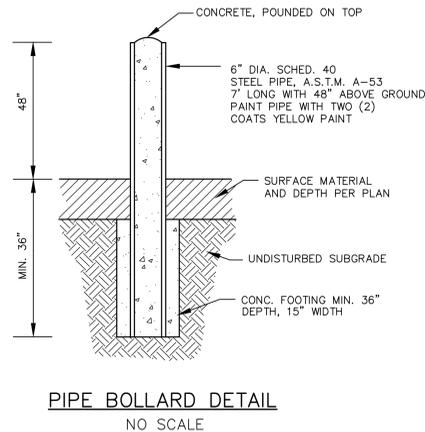
- THE STORMWATER TREATMENT UNIT SHALL BE AN IN-LINE UNIT CAPABLE OF CONVEYING 100% OF THE DESIGN PEAK FLOW, IF PEAK FLOW RATES EXCEED MAXIMUM HYDRAULIC RATE. THE UNIT SHALL BE INSTALLED OFFLINE.
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 80% OF THE SUSPENDED SOLIDS ON AN ANNUAL AGGREGATE REMOVAL BASIS. SAND REMOVAL SHALL BE BASED ON FULL SCALE THIRD PARTY TESTING USING OK-110 MEDIA GRADATION OR EQUIVALENT AND 300 mg/L INFLUENT CONCENTRATION. SAND FULL SCALE TESTING SHALL HAVE INCLUDED SEDIMENT CAPTURE BASED ON ACTUAL TOTAL MASS COLLECTED BY THE STORMWATER TREATMENT UNIT.
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS USING A MEDIA MIX WITH #50-75 MICRON AND 200 MGS/L INFLUENT CONCENTRATION.
- THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS PER PREVIOUS 2013 NUDEP/NACAT HDS PROTOCOL.

UNIT ID	HDS-1
PEAK FLOW RATE (CFS)	N/A
TREATMENT FLOW RATE (CFS)	2.49
DATE	
PROJECT #	
CHECKED	XX
DESIGNED	
REVISION	
DATE	
BY	
SCALE	
SHEET	2 OF 2

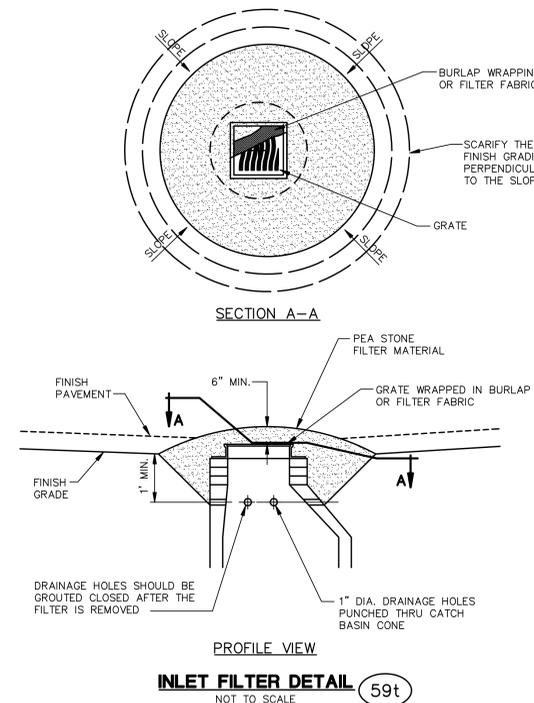
72" WATER QUALITY UNIT (R6)
SCALE: NTS



BARRIER FREE PARKING SIGNS DETAIL
SCALE: NTS

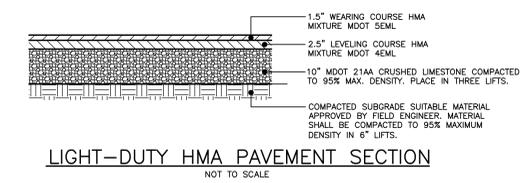


PIPE BOLLARD DETAIL
NO SCALE

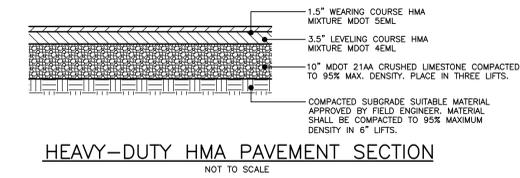


INLET FILTER DETAIL
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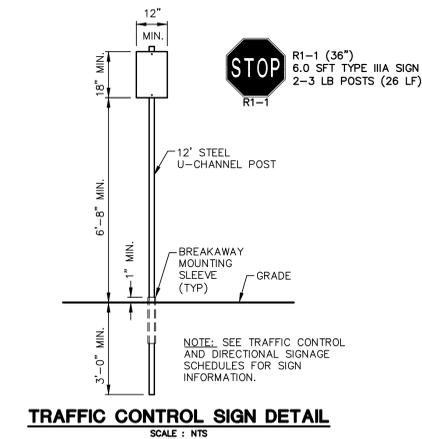
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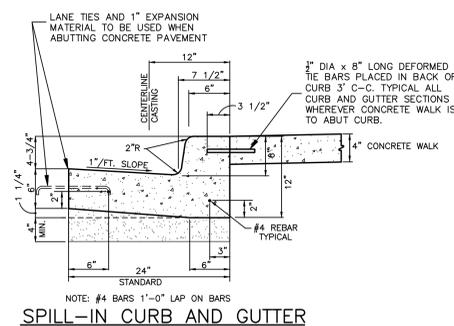
LIGHT-DUTY HMA PAVEMENT SECTION
NOT TO SCALE



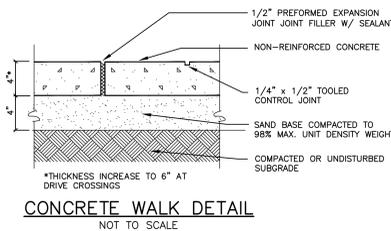
HEAVY-DUTY HMA PAVEMENT SECTION
NOT TO SCALE



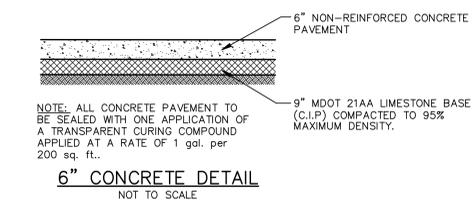
TRAFFIC CONTROL SIGN DETAIL
SCALE: NTS



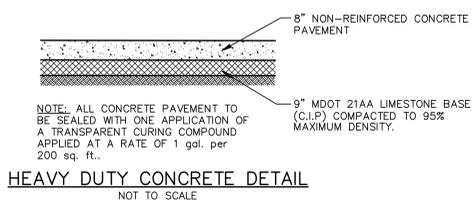
SPILL-IN CURB AND GUTTER



CONCRETE WALK DETAIL
NOT TO SCALE



6" CONCRETE DETAIL
NOT TO SCALE



HEAVY DUTY CONCRETE DETAIL
NOT TO SCALE

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TURNER CONSTRUCTION
535 Griswold Suite 1525 Detroit, MI 48226 D// 313.596.0500

DATE DESCRIPTION

CLIENT
Trinity Health Ann Arbor

EMERGNCY DEPT. RENOVATION / ADDITION

PROJECT ADDRESS:
5301 MCAULEY DR
YPSILANTI, MI 48197

SITE AND SESC DETAILS

commission no. 24055
scale: 1" = 20'
date: 09/30/2025
revised:

CONSTRUCTION DOCUMENTS

C150

Forms + Surfaces

PRODUCT DATA
HELIO™ BOLLARD, SERIES 900

Helio M30-P1/K4 Security Bollards, Series 900 offer robust protection for public spaces of all kinds. Simply elegant in stainless steel, fixtures 9.25" in diameter have an embedded security core and are available in illuminated and non-illuminated designs. Illuminated bollards feature a frosted acrylic lens, 180° or 360° light distribution, and Crawl® LEDs in 3000K warm white and 4000K neutral white. Helio Bollards with 3000K LEDs are approved by the International DarkSky Association to minimize light pollution. For expanded performance, the Helio Family also includes security bollards in other sizes and security ratings, all in illuminated and non-illuminated designs.

MATERIALS & CONSTRUCTION DETAILS		INSTALLATION & MAINTENANCE
CONFIGURATIONS	LED LAMPS & DRIVER	INSTALLATION
<ul style="list-style-type: none"> Series 900 Helio Bollards are 40" high x 9.25" diameter. 3000K warm white and 4000K neutral white color temperatures. Less than 5% upward lumen output. LED driver input voltage is 120-277VAC, -30°C minimum starting temperature. Driver has reverse phase, forward phase, and 0-10V dimming capabilities. LED driver certifications include: P64 enclosure and Class 2 rated output (UL5070). 	<ul style="list-style-type: none"> Custom LED light engine with Crawl® LEDs. 3000K warm white and 4000K neutral white color temperatures. Less than 5% upward lumen output. LED driver input voltage is 120-277VAC, -30°C minimum starting temperature. Driver has reverse phase, forward phase, and 0-10V dimming capabilities. LED driver certifications include: P64 enclosure and Class 2 rated output (UL5070). 	<ul style="list-style-type: none"> Security bollards have embedded security cores and can use either of two mounting options (see below). Non-security bollards are surface-mounted only! 3-bolt. Installation of a surge protector (as part of each unit's wiring is recommended). Stainless steel mounting hardware sold separately. Templates are available upon request. See pages 2-4 for more information. Refer to installation instructions and foundation details for security rating requirements.
MATERIALS & FINISHES		MAINTENANCE
<ul style="list-style-type: none"> Illuminated bollards have a tubular stainless steel column, frosted acrylic lens, and stainless steel head cap. Non-illuminated bollards are a tubular stainless steel with welded stainless steel cap. Stainless steel is standard with a Satin Finish and Ceramicloc treatment. See below for details. For optional powdercoat colors see the Forms+Surfaces Powdercoat Chart. Custom RAL colors are available for an upcharge. 		<ul style="list-style-type: none"> Metals surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners.

CERAMILOC TREATMENT

Ceramicloc is an invisible surface treatment that offers significantly enhanced protection from weather and graffiti and increases the maintenance ease of stainless steel. Ceramicloc combines ceramic durability with an unparalleled ability to lock out water spots, fingerprints, graffiti and more. Patented technology bonds nanoscale particles to the surface of the stainless steel. The treatment minimally alters the surface appearance of the stainless and offers numerous benefits:

- **Easily Cleaned:** The Ceramicloc treatment creates a surface that simultaneously resists fingerprints and is easy to clean. Water spots, grease marks and more can be quickly wiped away. It also creates an "anti-graffiti" surface – even permanent marker is easily removed with a clean microfiber towel and water.
- **Durable:** Ceramicloc-treated materials are abrasion- and scratch-resistant. The treatment is permanent, UV stable, and will not degrade or discolor over time.
- **Environmentally Sound:** The Ceramicloc treatment is a no-VOC, water-based process. Because Ceramicloc surfaces are so easily maintained, cleaning solutions and maintenance are kept to a minimum.

LIGHT ENGINE DESCRIPTION

LED ENGINE	LIGHT DISTRIBUTION	DESCRIPTION	LUMINAIRE LUMENS*	B.L.E. (BATHS)	STARTING TEMPERATURE °C
3000K LED	360°	40W LED driver	604	80-101-00	-30
4000K LED	360°	40W LED driver	604	80-101-00	-30
3000K LED	180°	30W LED driver	224	80-101-00	-30
4000K LED	180°	30W LED driver	224	80-101-00	-30

*Luminaire lumens represent the absolute photometry for the luminaire, and indicates the lumens out of the entire fixture.

NOTE: Polar candela and isocandela plots can be found on the Helio M30-P1/K4 Security Bollard, Series 900 product page on our website.

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PRODUCT DATA
HELIO™ BOLLARD, SERIES 900

PRODUCT OPTIONS

The following options are available for an upcharge

Add powdercoat color from Forms+Surfaces Powdercoat Chart	Custom RAL powdercoat color
Add stainless steel mounting hardware	

LEAD TIME: 6 to 8 weeks. Shorter lead times may be available upon request. Please contact us to discuss your specific timing requirements.

PRICING: Please contact us at 800.451.0410 or sales@forms-surfaces.com. At Forms+Surfaces, we design, manufacture and sell our products directly to you. Our sales team is available to assist you with questions about our products, requests for quotes, and orders. Territory Managers are located worldwide to assist with the front-end specification and quoting process, and our in-house Project Sales Coordinators follow your project through from the time you place an order to shipment.

TO ORDER SPECIFY: Quantity, model, finish, LED color temperature, light distribution, and mounting. Design Guides are available on our website to lead you through the specification process in a simple checkbox format.

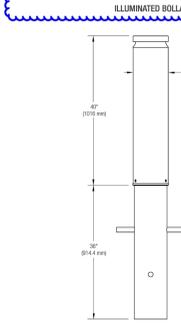
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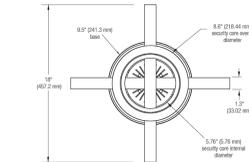
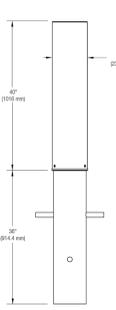
PRODUCT DATA
HELIO™ BOLLARD, SERIES 900

DEEP SET EMBEDDED M30-P1/K4 SECURITY CORE

ILLUMINATED BOLLARD



NON-ILLUMINATED BOLLARD



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PRODUCT DATA
HELIO™ BOLLARD, SERIES 900

M30-P1/K4 SECURITY CORE

Site security is a major concern in today's unpredictable world. Public and private buildings, government facilities, campuses and public parks are all susceptible to accidental, as well as deliberate, vehicle infringement. Design professionals, city planners, facilities managers and engineers must now be increasingly sensitive to the safety and security requirements of public and private spaces. Security bollards placed at ingress points are an excellent way to guard against vehicle infringement while allowing pedestrian access.

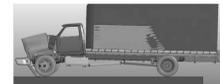
Most security bollards have taken the form of generic pipes and cylinders that offered little in the way of design or lighting functionality. Forms+Surfaces' Helio M30-P1/K4 Security Bollards bring a pre-engineered and fully-tested security core to our Helio line to offer a beautiful and efficient lighting bollard that also meets the stringent high-impact crash requirements normally attained only with unattractive pipe barriers.

Forms+Surfaces' security bollards have been tested using a Finite Element Analysis (FEA) by a professional engineering consultant. FEA is a software-based tool commonly used in the automotive industry and used extensively for crash test simulations. All of our bollards with the security bollard option were tested and passed a very demanding set of impact criteria. Tests were performed using a bollard set in permanent concrete footings and struck by a vehicle at a 90-degree impact. The impact simulation found the bollards to be successful in stopping a 15,000 lb. vehicle traveling at a minimum test velocity of 30 mph in less than 3.9 feet (1 meter).

Please contact us to discuss design and installation considerations for Helio bollards with security cores.



Crash scenario with 15,000 lb pickup truck approaching embedded bollard system at 30 mph



Full-size crash immediately after impact

CERTIFICATION

- ETL and C-ETL listed for wet locations.
- Helio Bollard 3000K is International DarkSky Approved



ENVIRONMENTAL CONSIDERATIONS

- Please refer to the Helio M30/K4 Security Bollard, Series 900 Environmental Data Sheets for detailed environmental impact information.
- Metal components have a long life cycle and are 100% recyclable.
- Standard powdercoat finishes are no-VOC; non-standard powdercoat finishes are no- or low-VOC, depending on color.
- Low maintenance.

MODEL NUMBERS AND DESCRIPTIONS

MODEL	DESCRIPTION
LBKLD-903-SEC	Helio M30/K4 Security Bollard, Series 900, Illuminated
LBKLD-903-NSEC	Helio M30/K4 Security Bollard, Series 900, non-Illuminated
LBKLD-903	Helio Bollard, Series 900, Illuminated (non-security)
LBKLD-903-N	Helio Bollard, Series 900, non-illuminated (non-security)

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CIVIL ENGINEER

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CONSTRUCTION MGR.

TURNER CONSTRUCTION
535 Griswold Suite 1525 Detroit, MI 48226 D// 313.596.0500

DATE DESCRIPTION

CLIENT

Trinity Health Ann Arbor

EMERGNCY DEPT.
RENOVATION /
ADDITION

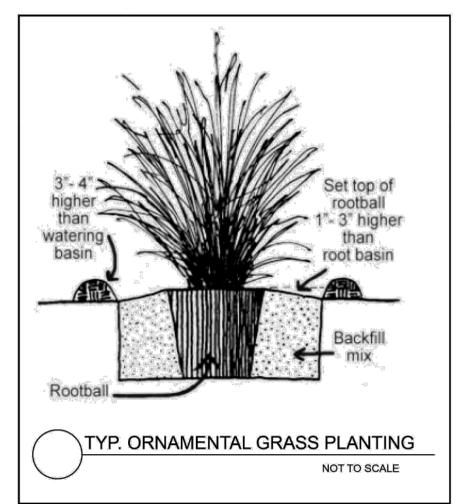
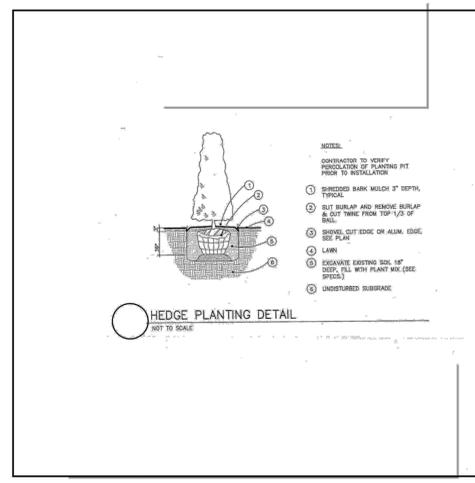
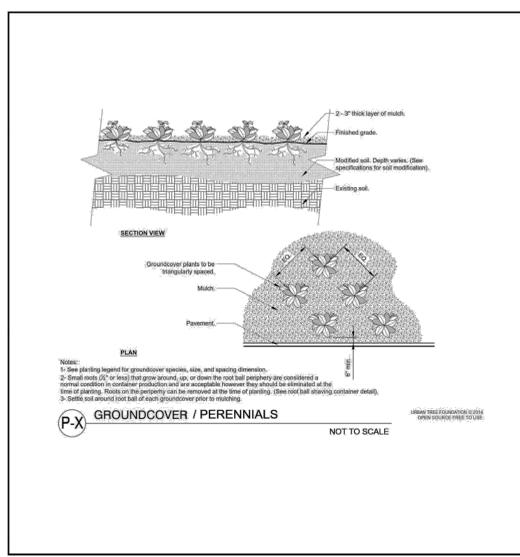
PROJECT ADDRESS:
5301 MCAULEY DR
YPSILANTI, MI 48197

BOLLARD DETAILS

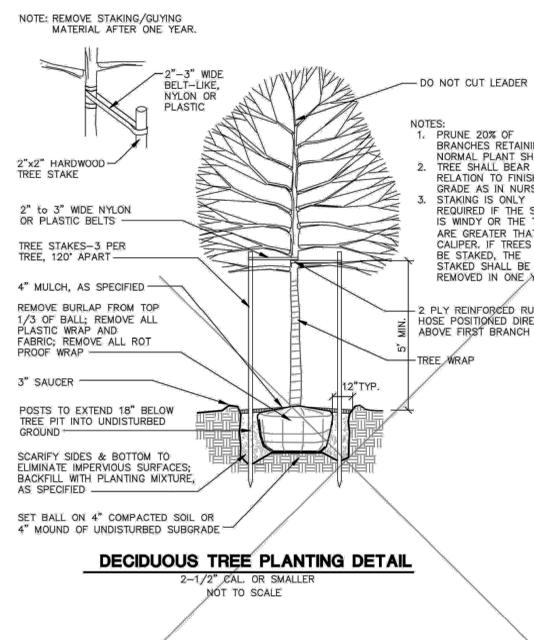
commission no. 24055
scale: 1" = 20'
date: 09/30/2025
revised:

CONSTRUCTION DOCUMENTS

C151



- LANDSCAPE NOTES:**
- THIS PLAN IS FOR APPROXIMATE PLANTING LOCATIONS ONLY. ANY PLANT SUBSTITUTIONS SHALL HAVE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
 - ANY DISCREPANCY WITH THE PLAN AND PLANT LIST THE NUMBER OF SYMBOLS ON THE PLAN SHALL TAKE PRECEDENCE.
 - ALL PLANT MATERIAL SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN, INC. (AAN) STANDARD FOR NURSERY STOCK. (ANSI 260.1-1978).
 - LANDSCAPE INSTALLATION SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERY STANDARDS AND WITH THE TOWNSHIP / CITY LANDSCAPE REQUIREMENTS.
 - SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
 - ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH TOWNSHIP / CITY STANDARDS AND IN A NEAT, HEALTHY AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS TO BE REPLACED WITHIN ONE YEAR, OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER COMES FIRST.
 - PLANTING SCHEDULE: 1) DECIDUOUS MATERIAL SHALL BE PLANTED FROM MARCH 15 FOR SPRING PLANTINGS AND FROM OCTOBER 1 UNTIL THE GROUND FREEZES FOR FALL PLANTING. 2) EVERGREEN MATERIAL SHALL BE PLANTED FROM MARCH 1 THROUGH MAY 31 FOR SPRING PLANTINGS AND FROM AUGUST 1 THROUGH SEPTEMBER 30 FOR ALL FALL PLANTINGS.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. PLANT MATERIAL IS TO BE LOCATED SUCH THAT IT WILL NOT INTERFERE WITH ANY UNDERGROUND OR OVERHEAD UTILITIES. CANOPY AND EVERGREEN TREES SHALL NOT BE PLANTED WITHIN 6 FEET OF ANY WATERMAIN AND 5 FEET FROM STORM SEWER.
 - TREE FENCING IS TO BE INSTALLED AT THE DRIPLINE OF ALL TREES AND SHRUBS TO BE SAVED AS SHOWN IN THE TREE PROTECTION FENCE DETAIL (IF APPLICABLE), PRIOR TO ANY LAND CLEARING OR CONSTRUCTION. TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. SUCH FENCING SHALL BE MAINTAINED AS APPROVED FOR THE DURATION OF THE PROJECT. NO CUTTING, DUMPING, FILLING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREA. TREES TO BE REMOVED WILL BE TAGGED WITH RED RIBBON.
 - NO PLANT MATERIAL IS TO BE PLANTED CLOSER THAN 4 FEET FROM ANY PROPERTY LINE.
 - PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROXIMATELY 1/3 OF THE ROOT BALL ABOVE THE GRADE.
 - REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS.
 - PEEL BACK THE 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE ANY BURLAP AROUND TREE TRUNKS.
 - ALL LANDSCAPE AREAS SHALL BE EXCAVATED OF ALL BUILDING/CONSTRUCTION MATERIAL AND POOR SOILS TO A DEPTH OF 18-24" AND BACKFILLED WITH GOOD, MEDIUM TEXTURED PLANTING SOIL.
 - ALL PLANTING BEDS ARE TO BE EDGED. RECOMMENDED WITH "PERMALOCK ALUMINUM" EDGING OR "BLACK DIAMOND" PLASTIC EDGING. ALL AREAS WITH STONE COVER SHALL HAVE WEED MAT.
 - BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.
 - ALL DISTURBED UNPAVED AREAS ARE TO BE HYDRO-SEED OR SODDED AS NOTED ON THE PLAN. AREAS OF INDIVIDUAL TREES AND LANDSCAPE BEDS ARE TO BE MULCHED WITH A MINIMUM OF 4 INCHES SHEDDED HARDWOOD BARK. LAWN TREES ARE TO BE MULCHED WITH A 4" DIAMETER SHEDDED BARK RING. BARK IS TO BE PULLED AWAY FROM THE TRUNK OF TREES LEAVING A 3" CLEAR AREA AROUND THE TRUNK.
 - EXISTING SOIL NUTRIENT LEVELS SHALL BE TESTED BY AN INDEPENDENT SOIL TESTING LABORATORY BEFORE FERTILIZERS ARE APPLIED. APPLICATIONS OF FERTILIZER BEYOND THE INITIAL TOPSOIL AND SEEDING SHALL BE A FERTILIZER WITH NO PHOSPHORUS.



STORMWATER SEED MIX

Native Connections
17080 Hoshel Rd, Three Rivers, MI 49093
(P) 269.273.2894 • (F) 269.273.1367
info@nativeconnections.net
www.nativeconnections.net

Stormwater Mix

An economical mix specifically designed to withstand the low water quality and highly variable conditions associated with stormwater features. Approximately half of the species are salt tolerant and most species will do well in mesic to wet hydrology with others filling in the wettest and driest ends of the spectrum. The high native seed count and heavy annual nurse crop in this mix ensure full and aggressive establishment in a wide range of site conditions.

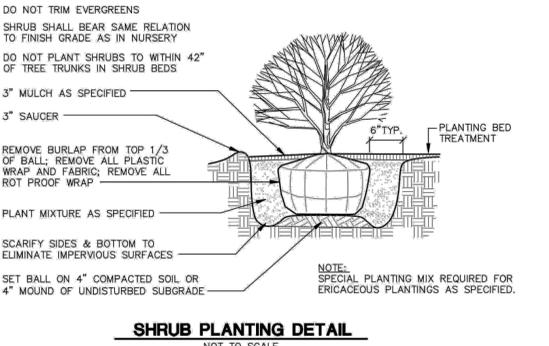
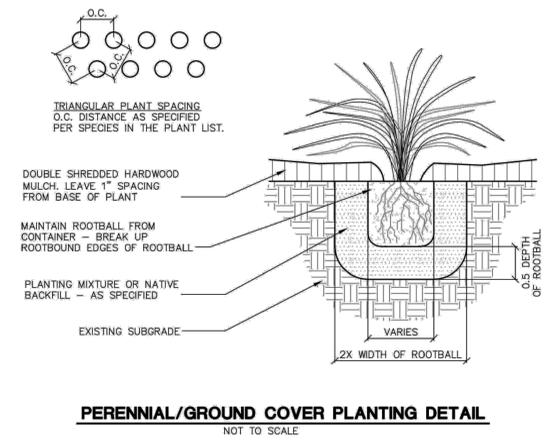
Total Seeding Rate: 34 lbs per acre
2.5 lbs grasses + 1.5 lbs forbs + 30 lbs nurse crop
101 native seeds per sq ft

Call, email or visit our website for pricing.

Grasses, Sedges & Rushes	PLS Oz/acre	Seeds/sq ft
Andropogon gerardi	4.00	0.92
Carex bebbii	1.75	1.37
Carex vulpinoidea	2.00	4.59
Elychnis palustris	1.00	1.17
Elymus virginicus	17.00	1.64
Juncus effusus	0.50	11.48
Juncus tenuis	0.50	11.48
Juncus torreyi	0.25	9.18
Panicum virgatum	7.00	2.25
Scirpus pungens (S. americanus)	1.00	2.87
Scirpus validus (S. tabernaemontani)	1.00	0.71
Sorghastrum nutans	4.00	1.10
Total Grasses	40.00	48.76

Forbs	PLS Oz/acre	Seeds/sq ft
Alisma subcordatum	2.00	2.75
Asclepias incarnata	1.00	0.11
Aster novae-angliae	0.25	0.38
Aster umbellatus (Doellingeria u.)	0.25	0.38
Bidens cernua	1.00	0.48
Echinacea purpurea	4.00	0.61
Hebeclena autumnale	0.75	2.24
Liatris spicata	1.25	0.32
Lycopus americanus	0.50	1.49
Mimulus ringens	0.25	13.20
Monarda fistulosa	0.50	0.52
Oenothera biennis	1.00	2.07
Penthorum sedoides	0.50	14.92
Physostegia virginiana	0.50	0.13
Polygonum pennsylvanicum (Persicaria p.)	2.75	0.52
Rudbeckia hirta	2.50	5.28
Verbena hastata	2.50	5.34
Zizia aurea	2.50	0.63
Total Forbs	24.00	51.95

Temporary Grass Cover	Oz/acre	Seeds/sq ft
Lolium multiflorum	112.00	34.71
Avena sativa	368.00	8.45
Total Temp Grasses	480.00	43.16



LANDSCAPE DETAILS

REVISED PER TWP COMMENTS
9.25.25



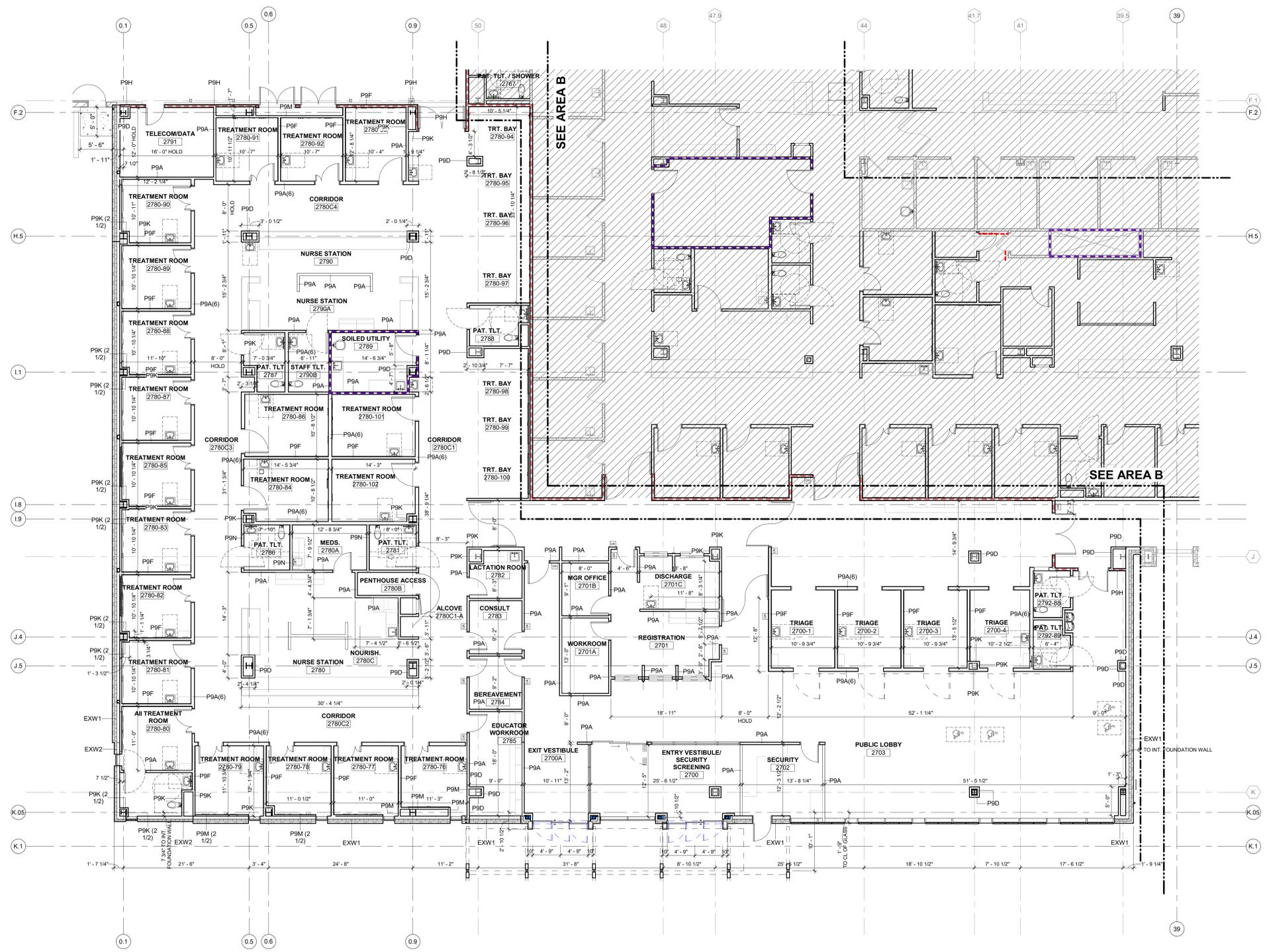


GENERAL NOTES - NEW CONSTRUCTION

- PARTITION TYPES ARE INDICATED BY P9A, P9B, ETC. SEE SHEET A151.1 FOR PARTITION TYPES AND DETAILS.
- PARTITIONS ARE TYPE P9A UNLESS NOTES OTHERWISE.
- PROVIDE PARTITION TYPE 90 AROUND STEEL STRUCTURAL COLUMNS AND PARTITION TYPE 9E AROUND CONCRETE STRUCTURAL COLUMNS UNLESS NOTED OTHERWISE.
- SEE NEW WORK FLOOR PLAN FOR CALL OUTS, DIMENSIONS, AND REFERENCES.
- ALL DIMENSIONS ARE TO COLUMN CENTERLINES, FACE OF GYPSUM WALL BOARD, CONCRETE BLOCK OR CONCRETE UNLESS NOTED OTHERWISE.
- SEE A200.1 & A201.1 NEW WORK RCP FOR CEILING FINISHES, CEILING HEIGHTS, AND OTHER CEILING INFORMATION.
- TOILET ACCESSORY TYPES ARE INDICATED BY T-# AS SHOWN ON THE CALL OUT PLAN, AND/OR ON ENLARGED PLANS, AND/OR ON THE INTERIOR ELEVATIONS. REFER TO SPECIFICATION SECTION 10 26 13 FOR SCHEDULE.
- REFER TO 0202.1 SERIES DRAWINGS FOR FIRE RATED CONSTRUCTION.
- REFER TO SHEET A151.1 FOR DOOR, FRAME AND HARDWARE SCHEDULE.
- REFER TO A800 SERIES DRAWINGS FOR INTERIOR FINISHES.
- REFER TO THE INDEX SHEET FOR ADDITIONAL GENERAL NOTES.
- FLOOR DRAINS: TOP OF DRAINS IN FINISHED SPACES SHALL BE RECESSED 1/8 INCH BELOW FLOOR FINISH WITH 1'-6" RADIUS SLOPE. TOP OF DRAINS IN MECHANICAL AND UTILITY ROOMS SHALL BE RECESSED 1/2 INCH BELOW FLOOR FINISH WITH 3'-0" RADIUS SLOPE.
- REFER TO MEP DRAWINGS FOR HOUSEKEEPING PADS AND EQUIPMENT BASES.
- PROVIDE BLOCKING AS REQUIRED IN WALLS AND CEILING TO ANCHOR ALL WALL AND CEILING MOUNTED ITEMS, INCLUDING BUT NOT LIMITED TO MILLWORK / CASEWORK, HANDRAILS AND RAILING COMPONENTS, DOOR HARDWARE, WALL AND CEILING MOUNTED EQUIPMENT AND FURNISHINGS, TOILET ACCESSORIES AND COMPARTMENTS, MIRRORS, SHELVEING, CURTAIN TRACKS, SHADES AND BLINDS, VISUAL DISPLAY SURFACES, PLAQUES, SIGNAGE, FIRE EXTINGUISHER BRACKETS, LOCKERS, LIBRARY SHELVEING AND EQUIPMENT, PROJECTION SCREENS, COUNTERTOP BRACKETS WHETHER SPECIFIED HEREIN OR PROVIDED BY OWNER. ALL WOOD BLOCKING TO BE A MINIMUM OF 2 X 6 AND BE FIRE RETARDANT TREATED UNO.

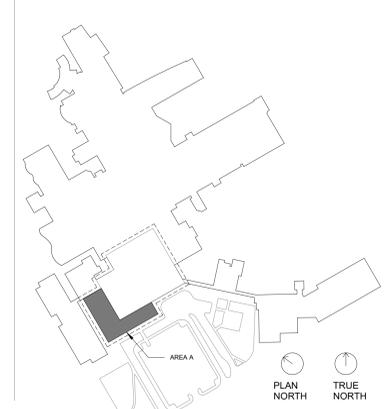
CODED NOTES - DIMENSION PLAN

#	DESCRIPTION
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SECOND FLOOR - AREA A DIMENSION PLAN | 1
1/8" = 1'-0" A120b

KEY PLAN - ED AREA A



CLIENT

Trinity Health Ann Arbor
EMERGENCY DEPT.
RENOVATION /
ADDITION

PROJECT ADDRESS:
5301 MCAULEY DR
YPSILANTI, MI 48197

**SECOND FLOOR
DIMENSION PLAN - AREA A**

commission no. 24055
scale: As indicated
date: 09/30/2025
revised:

CONSTRUCTION DOCUMENTS

A120b



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CODED NOTES - NEW WORK PLAN ED EX

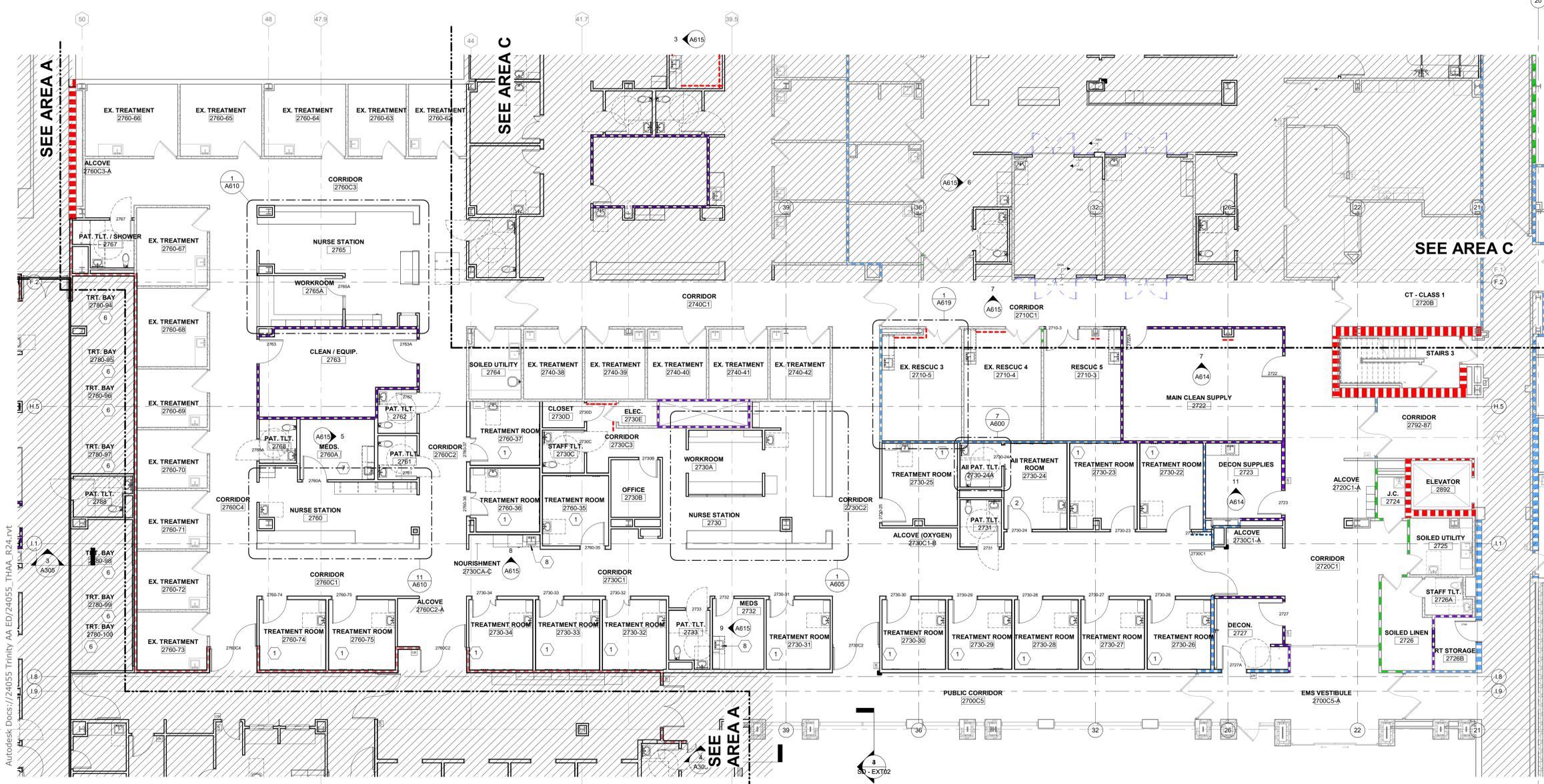
- # DESCRIPTION
- A NEW ALTERNATING TREAD STAIR TO PENTHOUSE. SEE SPECIFICATIONS.
 - B INTERIOR ENTRY VESTIBULE GLASS PARTITIONS TO BE ALUMINUM STOREFRONT SYSTEM. SEE SPECIFICATIONS.
 - C NEW 3" VERTICAL EXPANSION JOINT. PROVIDE COVER TYPE W1 WITH FIRE BLANKET - SEE SPECIFICATIONS. STRUCTURAL DRAWINGS AND A400 SERIES FOR DETAILS.
 - D NEW 3" VERTICAL EXPANSION JOINT. PROVIDE COVER TYPE W2 WITH FIRE BLANKET - SEE SPECIFICATIONS. STRUCTURAL DRAWINGS AND A400 SERIES FOR DETAILS.
 - E NEW 3" VERTICAL EXPANSION JOINT. PROVIDE COVER TYPE W3 - SEE SPECIFICATIONS.
 - F AT 3" EXPANSION JOINT, A PORTION OF PARTITIONS WITHIN RED OUTLINE - STUDS SHALL NOT EXTEND TO DECK. STUDS TO TERMINATE 9" BELOW FLOOR SLAB ASSEMBLY.
 - G NEW CONCRETE PAD. SEE CIVIL AND STRUCTURAL DRAWINGS. SEE DIMENSION PLAN FOR EXTENTS.
 - H PROVIDE FIREPROOFING FOR ALL SURFACES OF COLUMN PER UL DETAIL Y854. SEE A400 SERIES FOR REFERENCE DETAIL.
 - J NEW EXTERIOR HOLLOW METAL DOOR TO BE LEVEL 3 BULLET RESISTANT.
 - K NEW 3" VERTICAL EXPANSION JOINT. PROVIDE COVER TYPE W6 - SEE SPECIFICATIONS.
 - L EXTEND PARTITION TO MULLION BOTH SIDES - SEE DETAIL 10/A401.

GENERAL NOTES - NEW CONSTRUCTION

- 1. PARTITION TYPES ARE INDICATED BY P9A, P9B, ETC. SEE SHEET A151.1 FOR PARTITION TYPES AND DETAILS.
- 2. PARTITIONS ARE TYPE P9A UNLESS NOTES OTHERWISE.
- 3. PROVIDE PARTITION TYPE 90 AROUND STEEL STRUCTURAL COLUMNS AND PARTITION TYPE 91 AROUND CONCRETE STRUCTURAL COLUMNS UNLESS NOTED OTHERWISE.
- 4. SEE NEW WORK FLOOR PLAN FOR CALL OUTS, DIMENSIONS, AND REFERENCES.
- 5. ALL DIMENSIONS ARE TO COLUMN CENTERLINES. FACE OF GYPSUM WALL BOARD, CONCRETE BLOCK OR CONCRETE UNLESS NOTED OTHERWISE.
- 6. SEE A200.1 & A201.1 NEW WORK RCP FOR CEILING FINISHES, CEILING HEIGHTS, AND OTHER CEILING INFORMATION.
- 7. TOILET ACCESSORY TYPES ARE INDICATED BY T (U) AS SHOWN ON THE CALLOUT PLAN, AND/OR ON ENLARGED PLANS, AND/OR ON THE INTERIOR ELEVATIONS. REFER TO SPECIFICATION SECTION 10.28.13 FOR SCHEDULE.
- 8. REFER TO G002.1 SERIES DRAWINGS FOR FIRE RATED CONSTRUCTION.
- 9. REFER TO SHEET A151.1 FOR DOOR, FRAME AND HARDWARE SCHEDULE.
- 10. REFER TO A800 SERIES DRAWINGS FOR INTERIOR FINISHES.
- 11. REFER TO THE INDEX SHEET FOR ADDITIONAL GENERAL NOTES.
- 12. FLOOR DRAINS: TOP OF DRAINS IN FINISHED SPACES SHALL BE RECESSED 1/8 INCH BELOW FLOOR FINISH WITH 1'-6" RADIUS SLOPE. TOP OF DRAINS IN MECHANICAL AND UTILITY ROOMS SHALL BE RECESSED 1/2 INCH BELOW FLOOR FINISH WITH 3'-0" RADIUS SLOPE.
- 13. REFER TO MEP DRAWINGS FOR HOUSEKEEPING PADS AND EQUIPMENT BASES.
- 14. PROVIDE BLOCKING AS REQUIRED IN WALLS AND CEILING TO ANCHOR ALL WALL AND CEILING MOUNTED ITEMS, INCLUDING BUT NOT LIMITED TO MILLWORK / CASEWORK, HANDRAILS AND RAILING COMPONENTS, DOOR HARDWARE, WALL AND CEILING MOUNTED EQUIPMENT AND FURNISHINGS, TOILET ACCESSORIES AND COMPARTMENTS, MIRRORS, SHELVING, CURTAIN TRACKS, SHADES AND BLINDS, VISUAL DISPLAY SURFACES, PLAQUES, SIGNAGE, FIRE EXTINGUISHER BRACKETS, LOCKERS, LIBRARY SHELVING AND EQUIPMENT, PROJECTION SCREENS, COUNTERTOP BRACKETS WHETHER SPECIFIED HEREIN OR PROVIDED BY OWNER. ALL WOOD BLOCKING TO BE A MINIMUM OF 2 X 6 AND BE FIRE RETARDANT TREATED UNO.

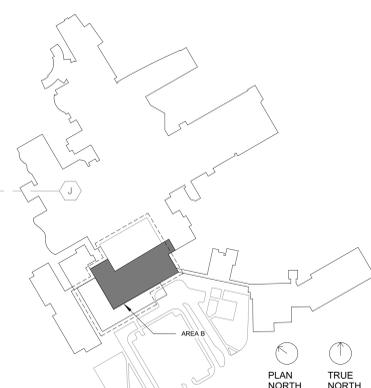
CODED NOTES - NEW WORK PLAN ED

- # DESCRIPTION
- 1 REFER TO SHEET A601 FOR STANDARD TREATMENT ROOM LAYOUT
 - 2 REFER TO SHEET A602 FOR STANDARD AII TREATMENT ROOM LAYOUT
 - 3 LEAD LINED WALLS THIS ROOM, 1/16" ASSUMED FOR PRICING
 - 4 REINSTALL SALVAGED METAL LOCKERS. PROVIDE BLOCKING AND BASE.
 - 5 REINSTALL SALVAGED METAL FOLDING TABLE. PROVIDE BLOCKING IN WALL.
 - 6 REFER TO SHEET A607 FOR STANDARD TREATMENT BAY LAYOUT
 - 7 REFER TO SHEET A608 FOR TYPICAL MEDS ROOM LAYOUT
 - 8 INTEGRAL SINK BOWL (ISB) COORDINATE WITH PLUMBING DRAWINGS.



SECOND FLOOR - AREA B CALLOUT PLAN | 1
1/8" = 1'-0" | A121a

KEY PLAN - ED AREA B



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Trinity Health Ann Arbor

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RENOVATION /
ADDITION

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SECOND FLOOR CALLOUT
PLAN - AREA B

commission no. 24055
scale: As indicated
date: 09/30/2025
revised:

CONSTRUCTION
DOCUMENTS

A121a

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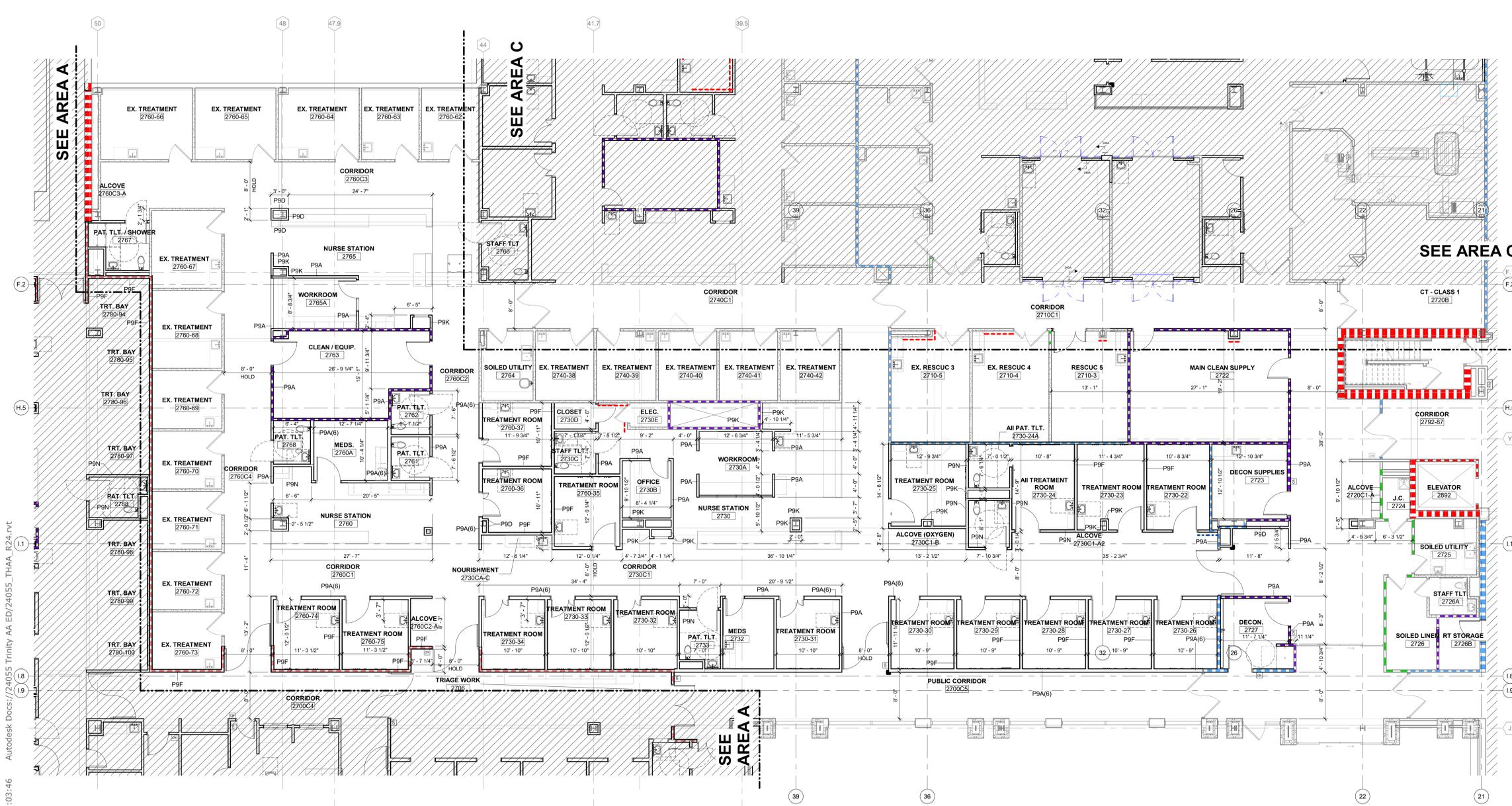
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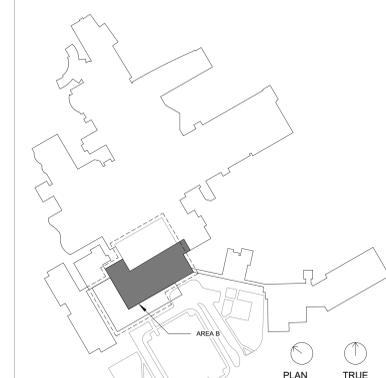
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KEY PLAN - ED AREA B



SECOND FLOOR - AREA B DIMENSION PLAN | 1
1/8" = 1'-0" | A121b

CLIENT
Trinity Health Ann Arbor

EMERGENCY DEPT.
RENOVATION /
ADDITION

PROJECT ADDRESS:
5301 MCAULEY DR
YPSILANTI, MI 48197

SECOND FLOOR
DIMENSION PLAN - AREA B

commission no. 24055
scale: As indicated
date: 09/30/2025
revised:

CONSTRUCTION
DOCUMENTS

A121b

CODED NOTES - NEW WORK PLAN ED EX

- | # | DESCRIPTION |
|---|--|
| A | NEW ALTERNATING TREAD STAIR TO PENTHOUSE SEE SPECIFICATIONS. |
| B | INTERIOR ENTRY VESTIBULE GLASS PARTITIONS TO BE ALUMINUM STOREFRONT SYSTEM. SEE SPECIFICATIONS. |
| C | NEW 3" VERTICAL EXPANSION JOINT. PROVIDE COVER TYPE W1 WITH FIRE BLANKET - SEE SPECIFICATIONS. STRUCTURAL DRAWINGS AND A400 SERIES FOR DETAILS. |
| D | NEW 3" VERTICAL EXPANSION JOINT. PROVIDE COVER TYPE W2 WITH FIRE BLANKET - SEE SPECIFICATIONS. STRUCTURAL DRAWINGS AND A400 SERIES FOR DETAILS. |
| E | NEW 3" VERTICAL EXPANSION JOINT. PROVIDE COVER TYPE W3 - SEE SPECIFICATIONS. |
| F | AT 3" EXPANSION JOINT, A PORTION OF PARTITIONS WITHIN RED OUTLINE - STUDS SHALL NOT EXTEND TO DECK. STUDS TO TERMINATE 3" BELOW FLOOR SLAB ASSEMBLY. |
| G | NEW CONCRETE PAD. SEE CIVIL AND STRUCTURAL DRAWINGS. SEE DIMENSION PLAN FOR EXTENTS. |
| H | PROVIDE FIREPROOFING FOR ALL SURFACES OF COLUMN PER UL DETAIL X864. SEE A400 SERIES FOR REFERENCE DETAIL. |
| J | NEW EXTERIOR HOLLOW METAL DOOR TO BE LEVEL 3 BULLET RESISTANT. |
| K | NEW 3" VERTICAL EXPANSION JOINT. PROVIDE COVER TYPE W6 - SEE SPECIFICATIONS. |
| L | EXTEND PARTITION TO MILLION BOTH SIDES - SEE DETAIL 10/A401. |

GENERAL NOTES - NEW CONSTRUCTION

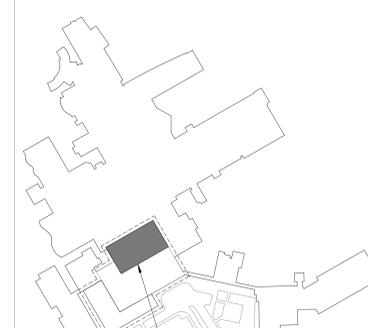
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CODED NOTES - NEW WORK PLAN ED

- | # | DESCRIPTION |
|---|---|
| 1 | REFER TO SHEET A601 FOR STANDARD TREATMENT ROOM LAYOUT |
| 2 | REFER TO SHEET A602 FOR STANDARD AII TREATMENT ROOM LAYOUT |
| 3 | LEAD LINED WALLS THIS ROOM, 1/16" ASSUMED FOR PRICING |
| 4 | REINSTALL SALVAGED METAL LOCKERS. PROVIDE BLOCKING AND BASE |
| 5 | REINSTALL SALVAGED METAL FOLDING TABLE. PROVIDE BLOCKING IN WALL. |
| 6 | REFER TO SHEET A607 FOR STANDARD TREATMENT BAY LAYOUT |
| 7 | REFER TO SHEET A608 FOR TYPICAL MEDS ROOM LAYOUT |
| 8 | INTEGRAL SINK BOWL (ISB1) COORDINATE WITH PLUMBING DRAWINGS. |



KEY PLAN - ED AREA C





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JOSEPH ANDREW HINES
Professional Engineer
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TURNER CONSTRUCTION
535 Griswold Suite 1525 Detroit, MI 48226 D// 313.596.0500

#	DATE	DESCRIPTION

CLIENT

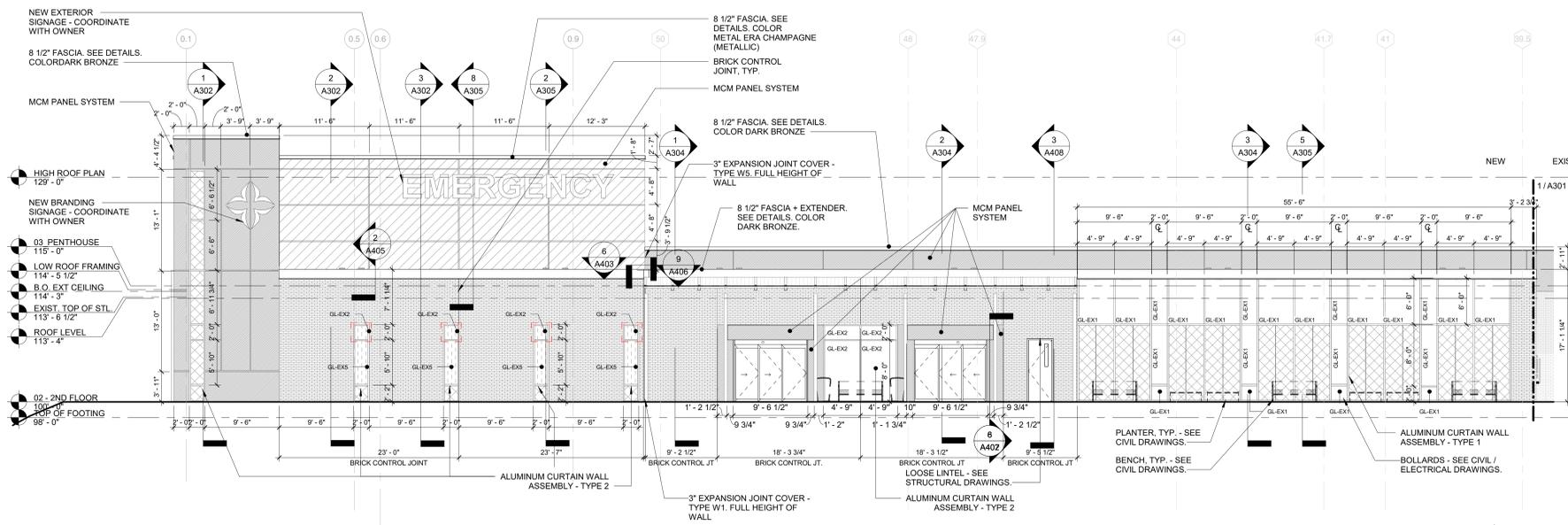
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EMERGENCY DEPT.
RENOVATION / ADDITION

PROJECT ADDRESS:
5301 MCAULEY DR
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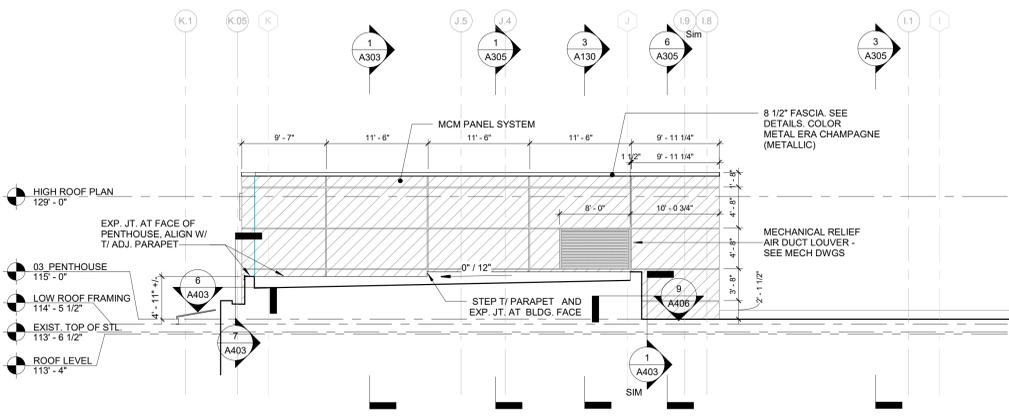
SECOND FLOOR CALLOUT PLAN - AREA C

commission no. 24055
scale: As indicated
date: 09/30/2025
revised:

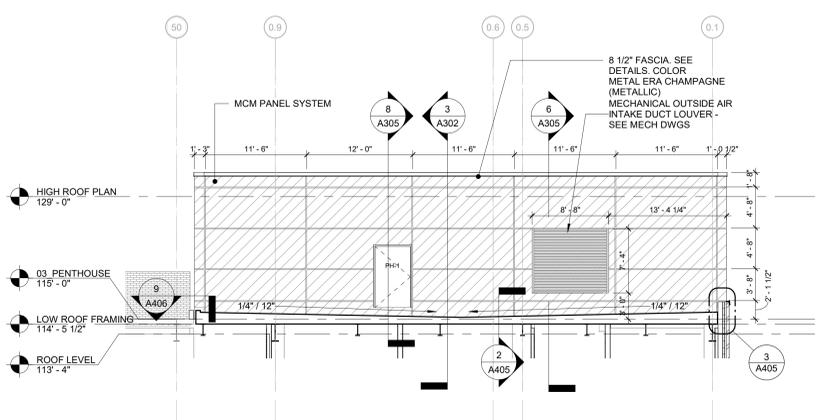
CONSTRUCTION DOCUMENTS



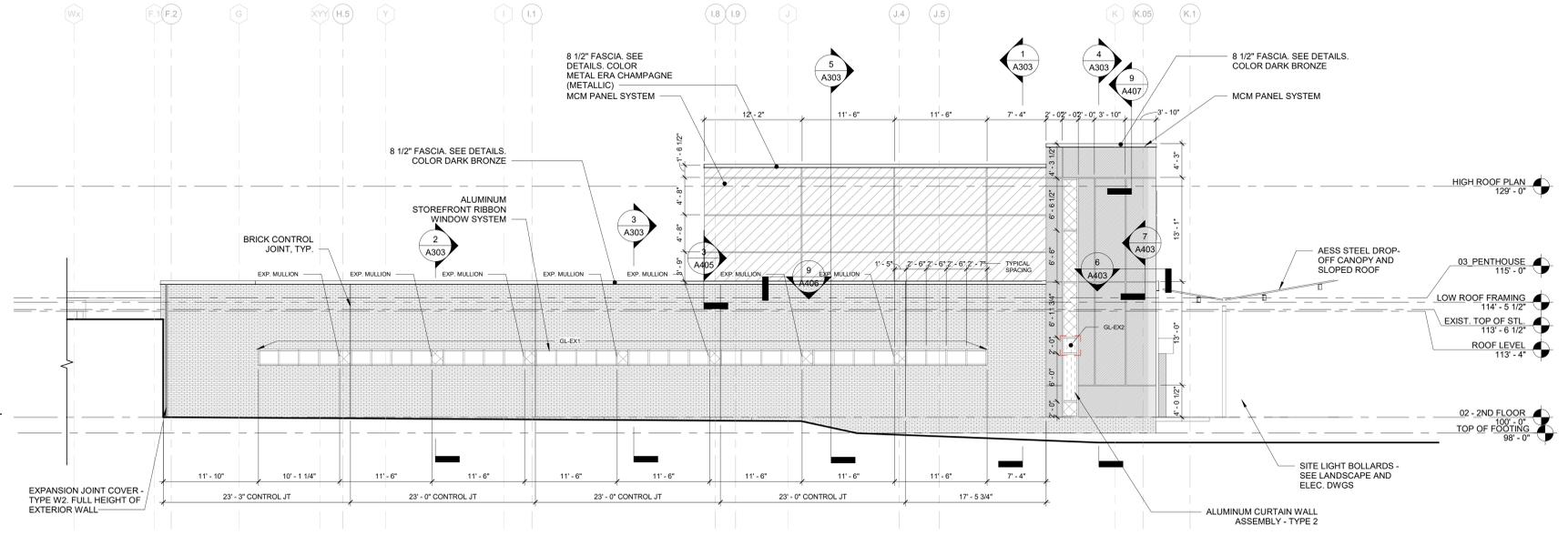
SOUTH ELEVATION | 4
1/8" = 1'-0" A300



WEST ELEVATION | 3
1/8" = 1'-0" A300



NORTH ELEVATION | 2
1/8" = 1'-0" A300



EAST ELEVATION | 1
1/8" = 1'-0" A300

ELEVATION MATERIALS

	CONCRETE		GLASS - CLEAR
	BRICK VENEER		GLASS - TRANSLUCENT
	METAL PANEL - EPERNAY CHAMPAGNE		SHADOW BOX
	METAL PANEL - DRIFTWOOD MICA		MAPES SHAPE PANEL INFILL

EXTERIOR GLASS TYPE LEGEND

EXTERIOR	INTERIOR
Type GL-EX1	1/4" Vitro Solarban 60 on Clear Low-E (Surface #2), 1/2" Argon (90%) / Air (10%), 1/4" Vitro Clear
Type GL-EX2	1/4" Vitro Solarban 60 on Clear Low-E (Surface #2), 1/2" Air, 1/4" Vitro Clear
Type GL-EX3	1/4" Vitro Clear, 1/2" Air, 1/4" Vitro Clear
Type GL-EX4	NOT USED
Type GL-EX5	1/4" Vitro Solarban 60 on Clear Low-E (Surface #2), 1/2" Argon (90%) / Air (10%), 6mm Solarblue with Walker acid etch (opaque) on Surface #3
Type GL-EX6	9/16" Laminated Glass with Fritting - 1" circle spaces 1/4" apart (Skyshade 3300 system by Extetch)

#	DESCRIPTION
DIVISION 3	
3.1	CONCRETE SLAB ON GRADE
3.2	CAST IN PLACE CONCRETE FOOTING
3.3	CONCRETE ON METAL DECK
3.4	UNDERSLAB VAPOR BARRIER
3.5	CAST IN PLACE CONCRETE WALL
3.6	CONCRETE PAVING. SEE CIVIL AND STRUCTURAL DRAWINGS.
DIVISION 4	
4.1	AIR SPACE
4.2	WEEP / VENT - 16 INCH O.C. UNO
4.3	MASONRY EXPANSION JOINT
4.4	BRICK RELIEF JOINT / ANGLE
4.5	MASONRY VENEER ANCHOR
4.6	BRICK VENEER
4.7	CMU 8 INCH NOM. UNLESS NOTED OTHERWISE
4.8	GROUT CAVITY SOLID
4.9	GROUT SOLID
4.10	THRU WALL FLASHING WITH TERM BAR
4.11	<varies>
4.12	CAVITY FILL
DIVISION 5	
5.1	STEEL BEAM
5.2	STEEL ANGLE
5.3	STEEL COLUMN
5.4	COLD FORMED METAL FRAMING, 6 INCHES UNO
5.5	HSS TUBE. SEE 'S' DRAWINGS
5.6	METAL DECK
5.7	STEEL PLATE
DIVISION 6	
6.1	BUILT UP PARAPET PRESERVATIVE TREATED BLOCKING 2X FRT CUT TO FIT WITH 1/2" PLYWOOD TOP AND BOTTOM. SEE STRUCTURAL DRAWINGS FOR FASTENING REQUIREMENTS.
6.2	2X FIRE RETARDANT PRESERVATIVE TREATED BLOCKING
6.3	SOLID SURFACE SILL, 1/2" THICK UNO
6.4	TWO LAYERS OF BUILT UP PARAPET PRESERVATIVE TREATED BLOCKING 2X FRT CUT TO FIT WITH 1/2" PLYWOOD. SEE STRUCTURAL FOR FASTENING DETAILS.
DIVISION 7	
7.1	SEALANT AND BACKER ROD
7.2	FLUID APPLIED WEATHER BARRIER
7.3	COPING
7.4	EPDM MEMBRANE ROOFING SYSTEM
7.5	ROOF INSULATION, R30 CI UNO
7.6	RIGID CAVITY INSULATION, 3 INCHES UNLESS NOTED OTHERWISE
7.7	RIGID FOUNDATION INSULATION, 2 INCHES UNO
7.8	SPRAY FOAM PLUG MIN. THICKNESS TO MATCH ROOF INSULATION THICK. OVER 2 INCH FIRE SAFING. SYSTEM SHALL BE CONTINUOUS / AIR TIGHT INCLUDING BETWEEN MULTIPLE STUDS.
7.9	METAL WALL PANEL SYSTEM
7.10	FOUNDATION DAMPROOFING
7.11	ROOFING SYSTEM COVER BOARD
7.12	CONTINUOUS INSULATION GIRT - 3" DEEP UNO, HORIZONTAL
7.13	EXTEND ROOFING OVER PARAPET AND DOWN FACE OF EXTERIOR FINISH.
7.14	FLEXIBLE LOW EXPANSION SPRAY FOAM. FILL SHIM CAVITY TO CREATE AIR TIGHT CONNECTION BETWEEN WEATHER BARRIER AND WINDOW OPENING.
7.15	FOUNDATION SYSTEM.
7.16	ROOF EDGE / FASCIA
7.17	EXPANSION JOINT COVER
7.18	SPRAY FOAM INSULATION, 3" UNO.
7.19	FASCIA EXTENDER
7.20	AIR FILL
7.21	SHEET WEATHER BARRIER
7.22	MINERAL WOOL INSULATION - FILL CAVITY
7.23	FIREPROOFING
7.24	VAPOR BARRIER
7.25	FIRE SAFING
7.26	RIGID MINERAL FIBERBOARD, FOIL FACED, R-VALUE 4.2 PER INCH
DIVISION 8	
8.1	ALUMINUM STOREFRONT
8.2	EXTRUDED ALUMINUM THERMALLY BROKEN SILL PAN
8.3	ALUMINUM BREAK METAL SILL, (063) MATCH STOREFRONT / CURTAIN WALL FINISH
8.4	ALUMINUM CURTAIN WALL SYSTEM
8.5	CURTAIN WALL ANCHOR
8.6	SHADOW BOX FILLED WITH RIGID INSULATION.
8.7	ALUMINUM SLIDING ENTRY DOOR
8.8	THRESHOLD - SET IN FULL BED OF URETHANE SEALANT.
DIVISION 9	
9.1	GYPSUM SHEATHING, 1/2" UNO
9.2	GYPSUM PARAPET SHEATHING, 1/2" UNO
9.3	FINISH FLOORING
9.4	GYPSUM BOARD, 5/8" UNO.
9.5	RETURN GYPSUM BOARD TO ALUMINUM FRAMING WITH CONCEALED J TRIM AND SEALANT.
9.6	BASE AS SCHEDULED
DIVISION 10	
10.1	DETAIL NOTE DESCRIPTION
DIVISION 11	
11.1	DETAIL NOTE DESCRIPTION
DIVISION 12	
12.1	DETAIL NOTE DESCRIPTION
DIVISION 13	
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DIVISION 14	
14.1	ELEVATOR DOOR / FRAME
14.2	ELEVATOR EQUIPMENT ACCESS DOOR
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14.4	ELEVATOR RAIL INSERT - COORDINATE WALL ASSEMBLY WITH ELEVATOR MANUFACTURER.
14.5	ELEVATOR PIT LADDER
DIVISION 22	
22.1	ROOF DRAIN.
DIVISION 23	
23.1	METAL LOUVER FOR MECHANICAL EQUIPMENT. SEE MEP DRAWINGS. COORDINATE WITH ARCHITECT ON FINISH.
DIVISION 26	
26.1	ELECTRICAL EQUIPMENT/FIXTURE. SEE ELECTRICAL DRAWINGS.
DIVISION 32	
32.1	SUBGRADE PREP PER GEOTECH REPORT
32.2	APPROXIMATE LOCATION OF FINISHED GRADE. SEE GRADING PLAN
32.3	CONCRETE WALK/DRIVE/PATHWAY
32.4	BOLLARD
32.5	DRAINAGE FILL
32.6	FREE DRAINAGE GRANULAR FILL
33.1	FOUNDATION DRAIN WRAPPED WITH FILTER FABRIC. SEE PLAN
KEYPLAN	

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CLIENT
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EMERGENCY DEPT. RENOVATION / ADDITION

PROJECT ADDRESS:
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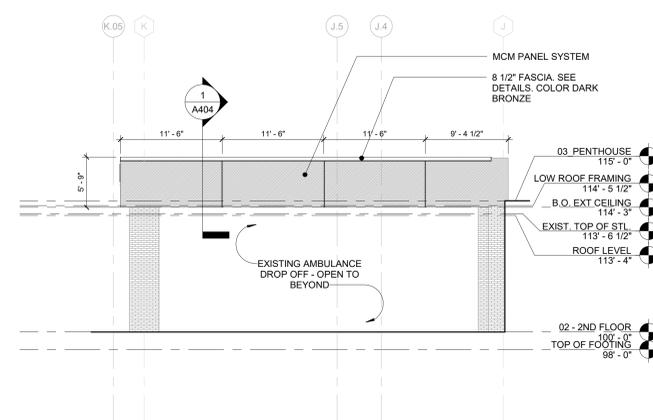
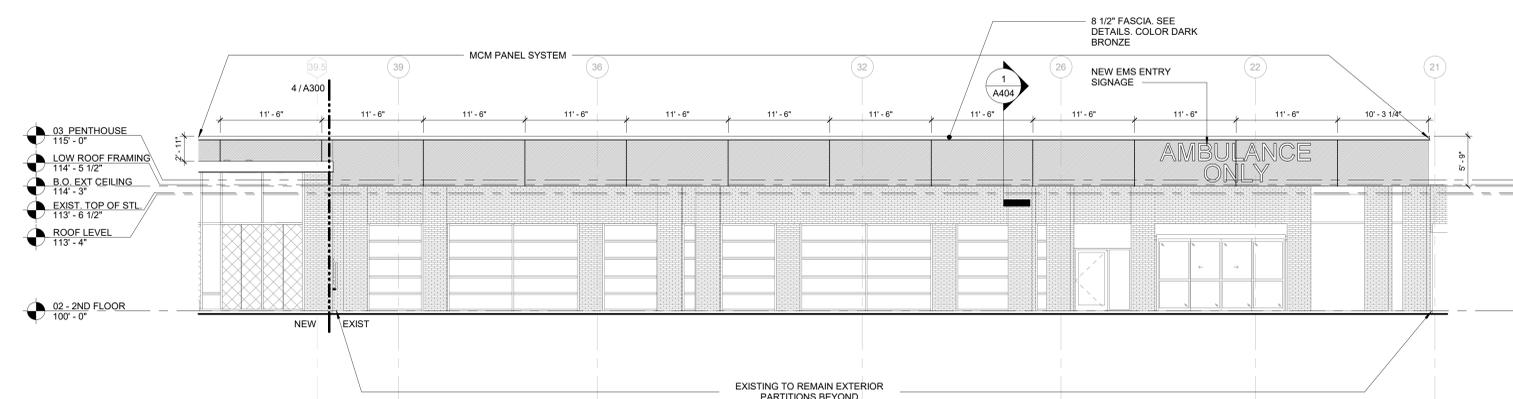
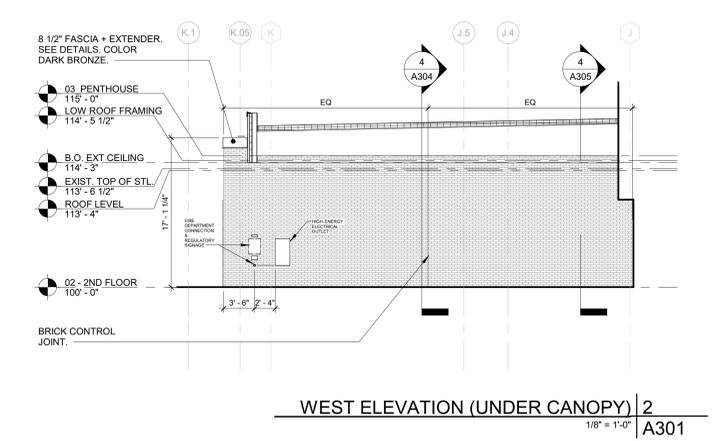
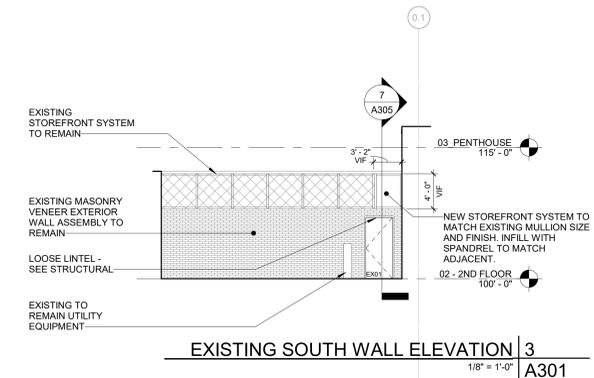
EXTERIOR ELEVATIONS
commission no. 24055
scale: As indicated
date: 09/30/2025
revised:

CONSTRUCTION DOCUMENTS
A300

ELEVATION MATERIALS			
	CONCRETE		GLASS - CLEAR
	BRICK VENEER		GLASS - TRANSLUCENT
	METAL PANEL - EPERNAY CHAMPAGNE		SHADOW BOX
	METAL PANEL - DRIFWOOD MICA		MAPES SHAPE PANEL INFILL

EXTERIOR GLASS TYPE LEGEND

	EXTERIOR	INTERIOR
Type GL-EX1	1/4" Vitro Solarban 60 on Clear Low-E (Surface #2), 1/2" Argon (90%) / Air (10%), 1/4" Vitro Clear	
Type GL-EX2	1/4" Vitro Solarban 60 on Clear Low-E (Surface #2), 1/2" Argon (90%) / Air (10%), 1/4" Vitro Clear	
Type GL-EX3	1/4" Vitro Clear, 1/2" Air, 1/4" Vitro Clear	
Type GL-EX4	NOT USED	
Type GL-EX5	1/4" Vitro Solarban 60 on Clear Low-E (Surface #2), 1/2" Argon (90%) / Air (10%), 6mm Solarblue with Walker acid etch (opaque) on Surface #3	
Type GL-EX6	9/16" Laminated Glass with Fritting - 1" circle spaces 1/4" apart (Skyshade 3300 system by Extel)	



#	DESCRIPTION
DIVISION 3	
3.1	CONCRETE SLAB ON GRADE
3.2	CAST IN PLACE CONCRETE FOOTING
3.3	CONCRETE ON METAL DECK
3.4	UNDERSLAB VAPOR BARRIER
3.5	CAST IN PLACE CONCRETE WALL
3.6	CONCRETE PAVING. SEE CIVIL AND STRUCTURAL DRAWINGS.
DIVISION 4	
4.1	AIR SPACE
4.2	WEEP / VENT - 16 INCH O.C. UNO
4.3	MASONRY EXPANSION JOINT
4.4	BRICK RELIEF JOINT / ANGLE
4.5	MASONRY VENEER ANCHOR
4.6	BRICK VENEER
4.7	CMU 8 INCH NOM. UNLESS NOTED OTHERWISE
4.8	GROUT CAVITY SOLID
4.9	GROUT SOLID
4.10	THRU WALL FLASHING WITH TERM BAR
4.11	<varies>
4.12	CAVITY FILL
DIVISION 5	
5.1	STEEL BEAM
5.2	STEEL ANGLE
5.3	STEEL COLUMN
5.4	COLD FORMED METAL FRAMING, 6 INCHES UNO
5.5	HSS TUBE. SEE 'S' DRAWINGS
5.6	METAL DECK
5.7	STEEL PLATE
DIVISION 6	
6.1	BUILT UP PARAPET PRESERVATIVE TREATED BLOCKING 2X FRT CUT TO FIT WITH 1/2" FRT PLYWOOD TOP AND BOTTOM. SEE STRUCTURAL DRAWINGS FOR FASTENING REQUIREMENTS.
6.2	2X FIRE RETARDANT PRESERVATIVE TREATED BLOCKING
6.3	SOLID SURFACE SILL, 1/2" THICK UNO
6.4	TWO LAYERS OF BUILT UP PARAPET PRESERVATIVE TREATED BLOCKING 2X FRT CUT TO FIT WITH 1/2" FRT PLYWOOD. SEE STRUCTURAL FOR FASTENING DETAILS.
DIVISION 7	
7.1	SEALANT AND BACKER ROD
7.2	FLUID APPLIED WEATHER BARRIER
7.3	COPING
7.4	EPDM MEMBRANE ROOFING SYSTEM
7.5	ROOF INSULATION, R30 CI, UNO
7.6	RIGID CAVITY INSULATION, 3 INCHES UNLESS NOTED OTHERWISE
7.7	RIGID FOUNDATION INSULATION, 2 INCHES UNO
7.8	SPRAY FOAM PLUG MIN. THICKNESS TO MATCH ROOF INSULATION THICK. OVER 2 INCH FIRE SAFING. SYSTEM SHALL BE CONTINUOUS / AIR TIGHT INCLUDING BETWEEN MULTIPLE STUDS.
7.9	METAL WALL PANEL SYSTEM
7.10	FOUNDATION DAMPROOFING
7.11	ROOFING SYSTEM COVER BOARD
7.12	CONTINUOUS INSULATION GIRT - 3" DEEP UNO, HORIZONTAL
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#	DATE	DESCRIPTION
CLIENT		
Trinity Health Ann Arbor		
EMERGENCY DEPT. RENOVATION / ADDITION		
PROJECT ADDRESS: 5301 MCAULEY DR YPSILANTI, MI 48197		
EXTERIOR ELEVATIONS		
commission no. 24055 scale: As indicated date: 09/30/2025 revised:		
CONSTRUCTION DOCUMENTS		

KEYPLAN

A301

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STATE OF MICHIGAN
JOSEPH ANDREW WIEFERS
No. 1301072954
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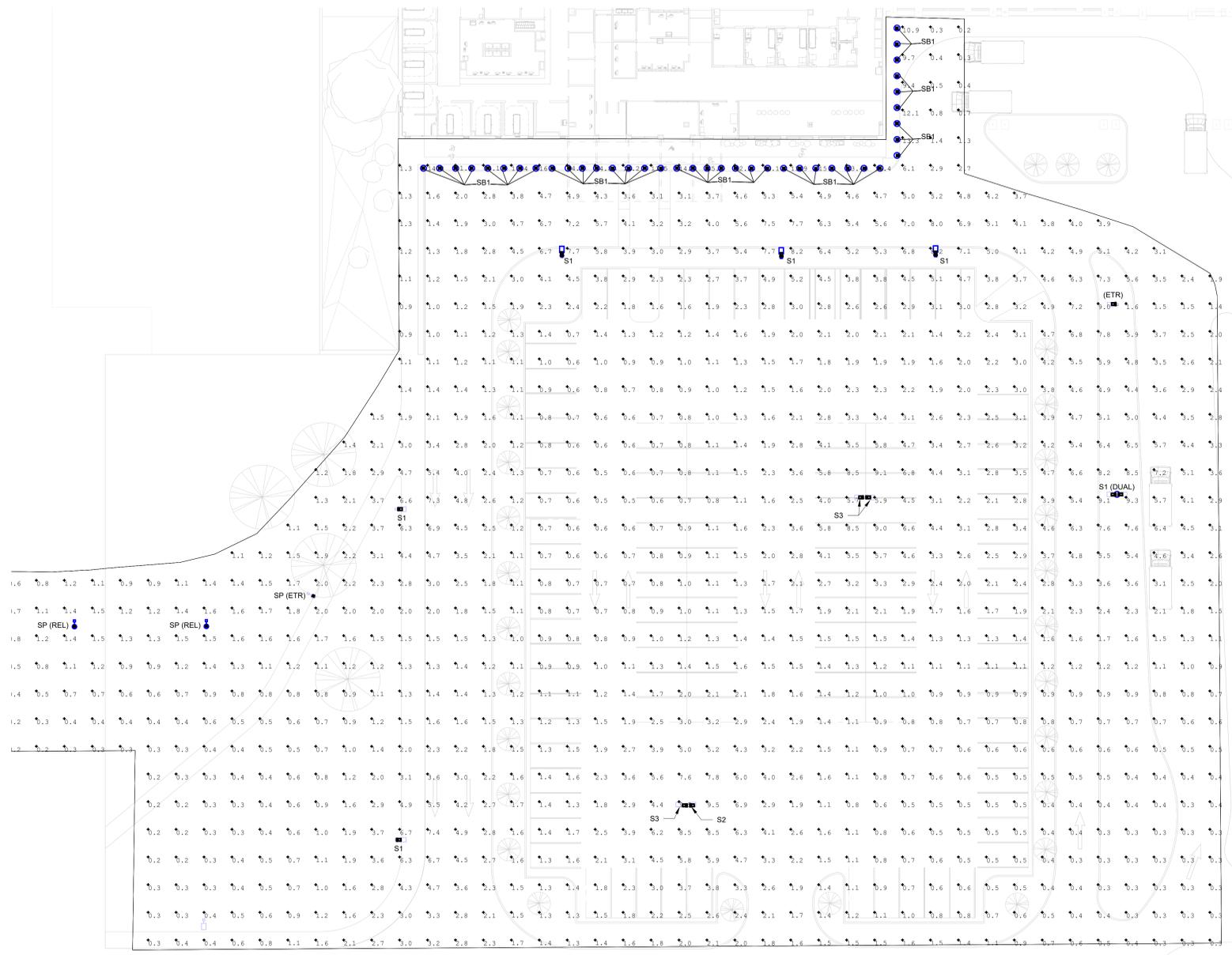


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- SITE LIGHTING NOTES:**
- ALL POLES ARE EXISTING TO REMAIN. EXISTING POLES ARE 25' TALL FOR SINGLE-HEAD "S1" FIXTURES AND 30' TALL FOR DUAL-HEAD "S1" FIXTURES.
 - ALL FIXTURES TYPE "SP" ARE EXISTING TO BE RELOCATED. POLES ARE 12' TALL WITH THE OPTICS AT 15'4" A.F.G.
 - ALL EXISTING FIXTURES TYPE "S1" THAT HAVE NOT BEEN RETROFITTED TO LED SHALL HAVE LUMINAIRES REPLACED WITH LED. TYPICAL FIXTURES OUTSIDE THE CALCULATION AREA ARE EXISTING TO REMAIN AND OUTSIDE THE SCOPE OF THIS PROJECT.
 - AREAS UNDER DRIVE-UP CANOPIES DO NOT INCLUDE THE CONTRIBUTION FROM THE LIGHTING UNDER THE CANOPY OTHER THAN THE BOLLARDS.



Qty	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	[MANUFAC]	Mounting Height
3	AL22-T5-150/480	S3	0.800	21212	144.439	433.317	RAB Lighting Inc.	25
2	AL22-T4-150/480	S2	0.800	22646	138.934	277.868	RAB Lighting Inc.	25, 30
39	LBHLO-903-SEC	SB1	0.800	604	34	1326	Forms+Surfaces	0
3	ALED5T26/480	SP	0.800	3646	26.1	78.3	RAB LIGHTING INC.	13.5
9	AL22-T3-150/480	S1	0.800	21796	144.49	1300.41	RAB Lighting Inc.	25, 30

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Max/Avg
Site Lighting_Floor	Illuminance	FC	2.47	16.5	0.2	12.35	82.50	N.A.

1 ELECTRICAL SITE PHOTOMETRICS
1" = 20'-0"

#	DATE	DESCRIPTION

CLIENT
Trinity Health Ann Arbor

EMERGENCY DEPT.
RENOVATION/
ADDITION

PROJECT ADDRESS:
5301 MCAULEY DR
YPSILANTI, MI 48197

LIGHTING - SITE
PHOTOMETRICS

commission no. 24055
scale: 1" = 20'-0"
date: 09/30/2025
revised:

ISSUED FOR
CONSTRUCTION

E011



Color: Bronze

Weight: 11.0 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	150/100/80W
120V	N/A	Color Temp	3000/4000/5000K
208V	N/A	Color Accuracy	83-86 CRI
240V	N/A	L70 Lifespan	100,000 Hours
277V	N/A	Lumens	12479-22855 lm
Input Watts	82.8-148W	Efficacy	142.8-172.4 lm/W

Technical Specifications

Field Adjustability

Field Adjustable:

Field Adjustable Light Output:
150W/100W/80W (factory default 150W)
Color temperature selectable by 3000K, 4000K and 5000K (factory default 4000K)
Distribution selectable by Type III, Type IV, and Type V (factory default Type III)

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

IP Rating:

Ingress protection rating of IP66 for dust and water

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.
DLC Product Code: S-LTWKTM (Architectural Flood and Spot Luminaires)
DLC Product Code: S-PW3G3C (Outdoor Pole/Arm-Mounted Area and Roadway Luminaires)

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Electrical

Driver:

Constant Current, Class1, 480V, 50/60 Hz:
150W: 480V: 0.35A
100W: 480V: 0.25A
80W: 480V: 0.20A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

14.4% at 480V

Power Factor:

95.6% at 480V

Aux Power Supply:

Yes

Dim to Off:

Yes

Surge Protection:

L/N-PE: 6 kV, L-N: 6 kV

7-Pin Receptacle with Shorting Cap:

ANSI C136.41 7-pin receptacle, compatible with wireless control systems

Photocell:

480V 3-Pin Twistlock photocell included. Photocell is only compatible with 480V.

Construction

IES Classification:

Type III/IV/V Distribution Adjustable:
The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.
The Type IV distribution (also known as a Forward Throw) is especially suited for illuminating the perimeter of parking areas and for intersections. It produces a semicircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.
The Type V distribution produces light in a wide and uniform 360° pattern that is perfect for large outdoor areas such as parking lots, corporate parks and retail settings

Cold Weather Starting:

The minimum starting temperature is -40°F (-40°C)

Technical Specifications (continued)

Maximum Ambient Temperature:

Suitable for use in up to 122°F (50°C)

Lens:

Clear polycarbonate lens

Housing:

Die-cast aluminum

Vibration Rating:

3G vibration rating per ANSI C136.31

Effective Projected Area:

1.3 ft²

Finish:

Formulated for high durability and long-lasting color

Gaskets:

High-temperature silicone

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics**LEDs:**

Long-life, high-efficacy, surface-mount LEDs

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Installation**Mounting:**

Adjustable universal pole mount (standard).
Slipfitter and wall mount accessory available.

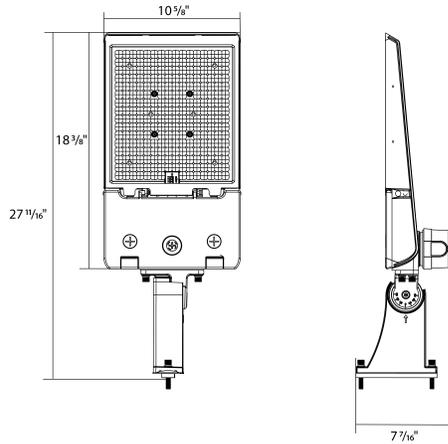
Optical**Bug Rating:**

B3-U0-G3

Other**5-Year Limited Warranty:**

The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Dimensions



Features

- DLC Premium listed
- 100,000-hour LED Life
- 0-10V dimming standard
- 5-Year, limited warranty

Ordering Matrix

Family	Distribution	Wattage	Mounting	Color Temp	Finish	Driver	Options
AL22		150				/480	
	Blank = T3/T4/T5 Optics Adjustable	150 = 150/100/80W 300 = 300/240/200W	Blank = Universal Adjustable Pole Mount	Blank = 3000/4000/5000K CCT Adjustable	Blank = Bronze W = White	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming	Blank = 7-Pin Receptacle with Shorting Cap + 3- Pin Twistlock Photocell

Helio M30-P1/K4 Security Bollards, Series 900 offer robust protection for public spaces of all kinds. Simply elegant in stainless steel, fixtures 9.25" in diameter have an embedded security core and are available in illuminated and non-illuminated designs. Illuminated bollards feature a frosted acrylic lens, 180° or 360° light distribution, and Cree® LEDs in 3000K warm white and 4000K neutral white. Helio Bollards with 3000K LEDs are approved by the International DarkSky Association to minimize light pollution. For expanded performance, the Helio Family also includes security bollards in other sizes and security ratings, all in illuminated and non-illuminated designs.

MATERIAL & CONSTRUCTION DETAILS

INSTALLATION & MAINTENANCE

CONFIGURATIONS	LED LAMPS & DRIVER	INSTALLATION
<ul style="list-style-type: none"> Series 900 Helio Bollards are 40" high x 9.25" diameter. Illuminated security bollards are available with 180° and 360° light distribution options. Non-illuminated Series 900 Helio Security Bollards are available. Series 900 Helio Bollards without security cores are also available in illuminated or non-illuminated versions. 	<ul style="list-style-type: none"> Custom LED light engine with Cree® LEDs. 3000K warm white and 4000K neutral white color temperatures. Less than 5% upward lumen output. LED driver input voltage is 120-277VAC, -30°C minimum starting temperature. Driver has reverse-phase, forward-phase, and 0-10V dimming capabilities. LED driver certifications include: IP64 enclosure and Class 2 rated output (UL8750). 	<ul style="list-style-type: none"> Security bollards have embedded security cores and can use either of two mounting styles: deep set or shallow mount. Non-security bollards are surface mounted with J-bolts. Installation of a surge protector as part of each unit's wiring is recommended. Stainless steel mounting hardware sold separately. Templates are available upon request. See pages 2-4 for more information. Refer to installation instructions and foundation details for security rating requirements.
MATERIALS & FINISHES		MAINTENANCE
<ul style="list-style-type: none"> Illuminated bollards have a tubular stainless steel column, frosted acrylic lens, and stainless steel head cap. Non-illuminated bollards are tubular stainless steel with welded stainless steel cap. Stainless steel is standard with a Satin finish and Ceramiloc treatment. See below for details. For optional powdercoat colors see the Forms+Surfaces Powdercoat Chart. Custom RAL colors are available for an upcharge. 		<ul style="list-style-type: none"> Metal surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners.

CERAMILOC TREATMENT

Ceramiloc is an invisible surface treatment that offers significantly enhanced protection from weather and graffiti and increases the maintenance ease of stainless steel. Ceramiloc combines ceramic durability with an unparalleled ability to lock out water spots, fingerprints, graffiti and more. Patented technology bonds nano-silica particles to the surface of the stainless steel. The treatment minimally alters the surface appearance of the stainless and offers numerous benefits:

- Easily Cleaned: The Ceramiloc treatment creates a surface that simultaneously resists fingerprints and is easy to clean. Water spots, grease marks and more can be quickly wiped away. It also creates an "anti-graffiti" surface – even permanent marker is easily removed with a clean microfiber towel and water.
- Durable: Ceramiloc-treated materials are abrasion- and scratch-resistant. The treatment is permanent, UV stable, and will not degrade or discolor over time.
- Environmentally Sound: The Ceramiloc treatment is a no-VOC, water-based process. Because Ceramiloc surfaces are so easily maintained, cleaning solutions and maintenance are kept to a minimum.

LIGHT ENGINE DESCRIPTION

LED ENGINE	LIGHT DISTRIBUTION	DESCRIPTION	LUMINAIRE LUMENS*	B.U.G. RATING	STARTING TEMPERATURE °C
3000K LED	360°	40W LED driver	604	B0-U1-G0	-30
4000K LED	360°	40W LED driver	604	B0-U1-G0	-30
3000K LED	180°	30W LED driver	224	B0-U1-G0	-30
4000K LED	180°	30W LED driver	224	B0-U1-G0	-30

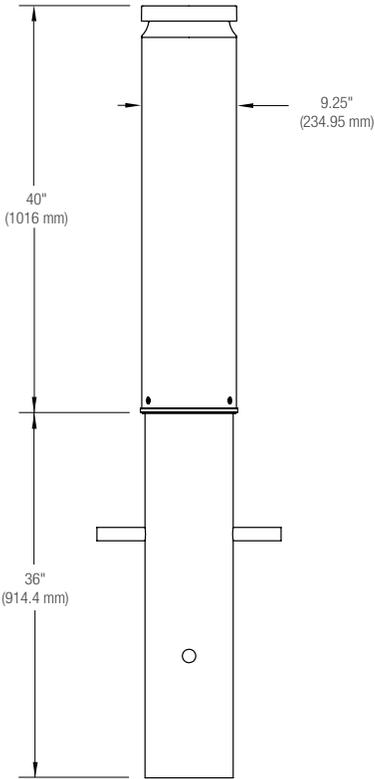
*Luminaire lumens represent the absolute photometry for the luminaire, and indicates the lumens out of the entire fixture.

NOTE: Polar candela and isofotcandle plots can be found on the Helio M30-P1/K4 Security Bollard, Series 900 product page on our website.

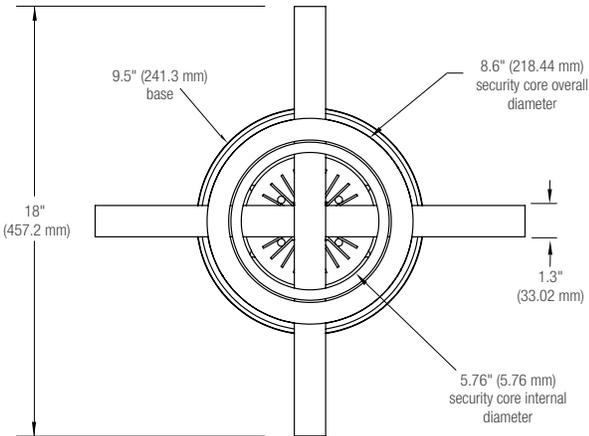
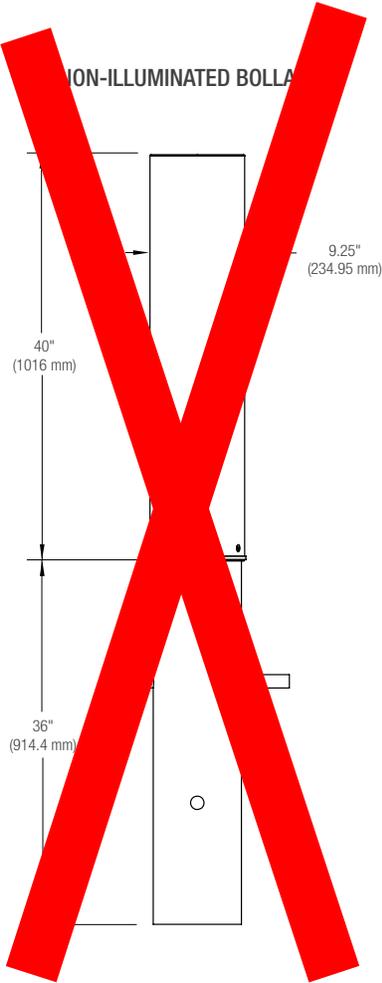
DEEP SET EMBEDDED M30-P1/K4 SECURITY CORE



ILLUMINATED BOLLARD



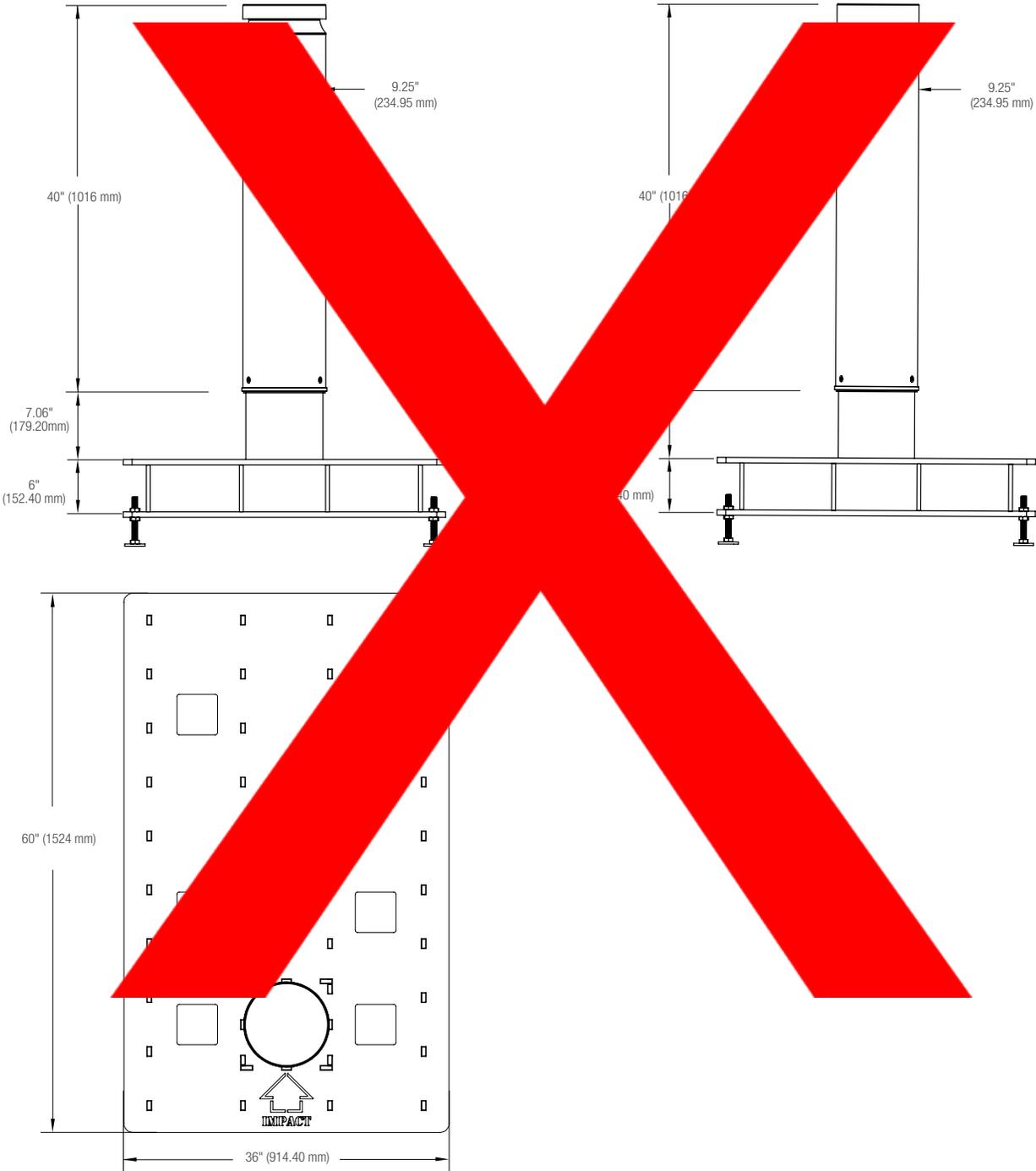
NON-ILLUMINATED BOLLARD



SHALLOW MOUNT EMBEDDED M30-P1/K4 SECURITY CORE

ILLUMINATED BOLLARD

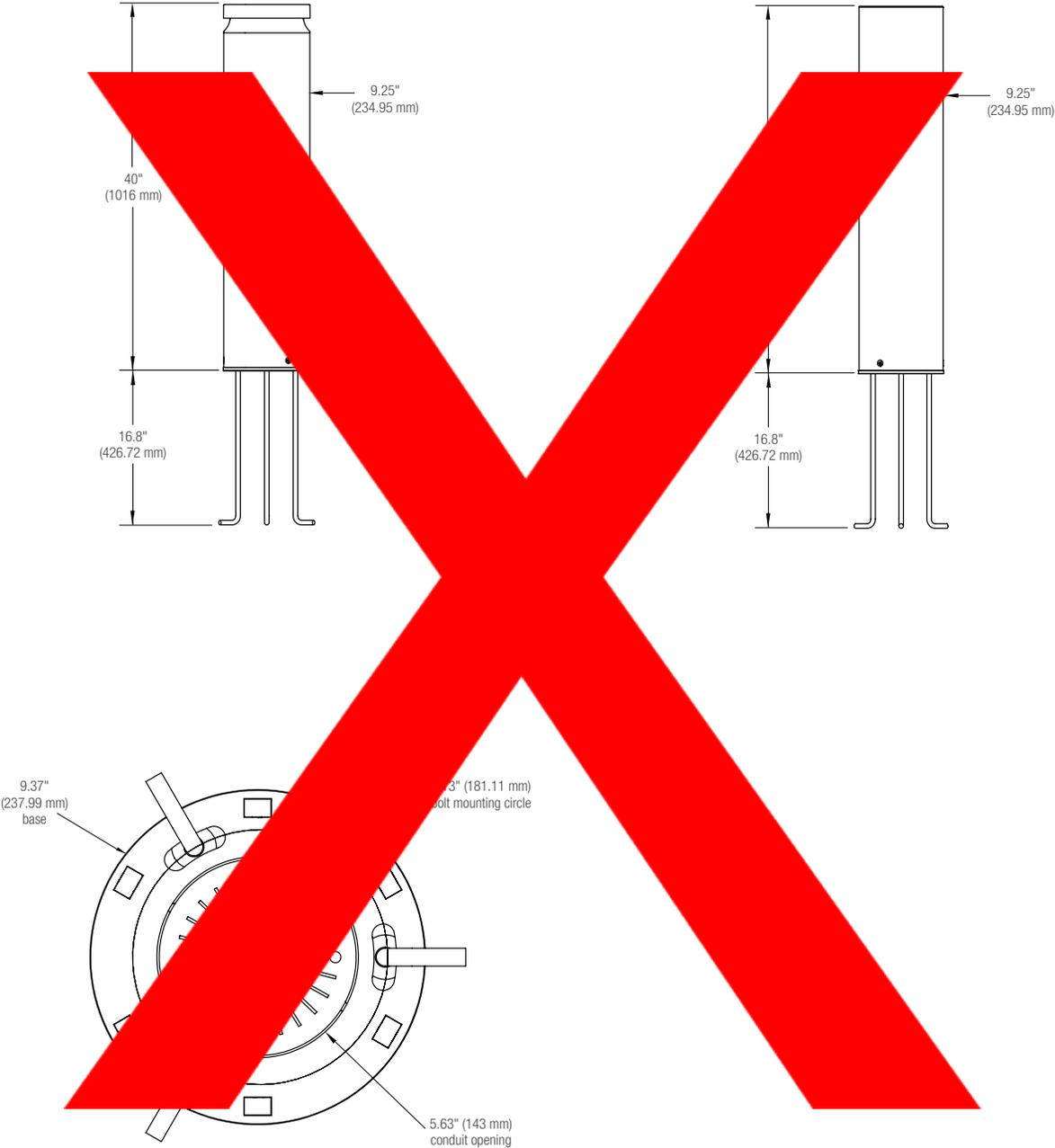
NON-ILLUMINATED BOLLARD



SURFACE MOUNT WITH J-BOLTS (NON-SECURITY)

ILLUMINATED BOLLARD

NON-ILLUMINATED BOLLARD



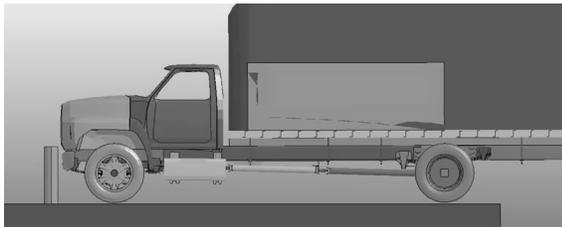
M30-P1/K4 SECURITY CORE

Site security is a major concern in today's unpredictable world. Public and private buildings, government facilities, campuses and public parks are all susceptible to accidental, as well as deliberate, vehicle infringement. Design professionals, city planners, facilities managers and engineers must now be increasingly sensitive to the safety and security requirements of public and private spaces. Security bollards placed at ingress points are an excellent way to guard against vehicle infringement while allowing pedestrian access.

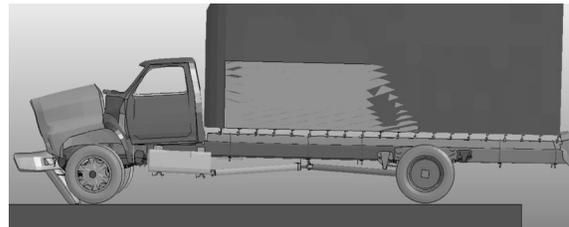
Most security bollards have taken the form of generic pipes and cylinders that offered little in the way of design or lighting functionality. Forms+Surfaces' Helio M30-P1/K4 Security Bollards bring a pre-engineered and fully-tested security core to our Helio line to offer a beautiful and efficient lighting bollard that also meets the stringent high-impact crash requirements normally attained only with unattractive pipe barriers.

Forms+Surfaces' security bollards have been tested using a Finite Element Analysis (FEA) by a professional engineering consultant. FEA is a software-based tool commonly used in the automotive industry and used extensively for crash test simulations. All of our bollards with the security solution option were tested and passed a very demanding set of impact criteria. Tests were performed using a bollard set in permanent concrete footings and struck by a vehicle at a 90-degree impact. The impact simulation found the bollards to be successful in stopping a 15,000 lb. vehicle traveling at a minimum test velocity of 30 mph in less than 3.3 feet (1 meter).

Please contact us to discuss design and installation considerations for Helio bollards with security cores.



Crash scenario with 15,000 lb pickup truck approaching embedded bollard system at 30 mph



Full-scale crash immediately after impact

CERTIFICATION

- ETL and C-ETL listed for wet locations.
- Helio Bollard 3000K is International DarkSky Approved



**DARKSKY
APPROVED**
Reduces light pollution
Certified by DarkSky.org

ENVIRONMENTAL CONSIDERATIONS

- Please refer to the Helio M30/K4 Security Bollard, Series 900 Environmental Data Sheets for detailed environmental impact information.
- Metal components have a long life cycle and are 100% recyclable.
- Standard powdercoat finishes are no-VOC; non-standard powdercoat finishes are no- or low-VOC, depending on color.
- Low maintenance.

MODEL NUMBERS AND DESCRIPTIONS

MODEL	DESCRIPTION
LBHLO-903-SEC	Helio M30/K4 Security Bollard, Series 900, illuminated
LBHLO-903-NSEC	Helio M30/K4 Security Bollard, Series 900, non-illuminated
LBHLO-903	Helio Bollard, Series 900, illuminated (non-security)
LBHLO-903-N	Helio Bollard, Series 900, non-illuminated (non-security)

PRODUCT OPTIONS

The following options are available for an upcharge

Add powdercoat color from Forms+Surfaces Powdercoat Chart	Custom RAL powdercoat color
Add stainless steel mounting hardware	

LEAD TIME: 6 to 8 weeks. Shorter lead times may be available upon request. Please contact us to discuss your specific timing requirements.

PRICING: Please contact us at **800.451.0410** or **sales@forms-surfaces.com**. At Forms+Surfaces, we design, manufacture and sell our products directly to you. Our sales team is available to assist you with questions about our products, requests for quotes, and orders. Territory Managers are located worldwide to assist with the front-end specification and quoting process, and our in-house Project Sales Coordinators follow your project through from the time you place an order to shipment.

TO ORDER SPECIFY: Quantity, model, finish, LED color temperature, light distribution, and mounting. Design Guides are available on our website to lead you through the specification process in a simple checkbox format.



High output LED pole top area light with IES type V circular distribution. Wide and uniform 360 degree pattern ideal for large outdoor areas such as parking lots, corporate parks, and retail settings.

Color: Bronze

Weight: 21.7 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	26W
120V	0.22A	Color Temp	5000K (Cool)
208V	0.13A	Color Accuracy	70 CRI
240V	0.11A	L70 Lifespan	100,000 Hours
277V	0.10A	Lumens	3,431 lm
Input Watts	26.1W	Efficacy	131.5 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.
DLC Product Code: PA9M8L6B

LED Characteristics

LEDs:

High-output, long-life LEDs

Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 100W Metal Halide

Construction

Cold Weather Starting:

The minimum starting temperature is -40°F (-40°C)

Maximum Ambient Temperature:

Suitable for use in up to 104°F (40°C)

Effective Projected Area:

EPA = 1.2

Thermal Management:

Superior thermal management with external air-flow fins

Housing:

Precision die-cast aluminum, Type V distribution

Support Arms:

Extruded aluminum

Lens:

Clear tempered glass lens

Reflector:

Specular vacuum-metallized polycarbonate, Type V distribution

Gaskets:

High-temperature silicone

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Optical

BUG Rating:

B2 U0 G1

Other

Patents:

The designs of the ALED5T26 are protected by patents pending in US, Canada, China, Taiwan and Mexico

Technical Specifications (continued)

5-Year, No-Compromise Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Electrical

Drivers:

Constant Current, Class 2 with 6kV surge protection, 120-277VAC, 50/60 Hz, 120V: 0.22A, 208V: 0.13A, 240V: 0.11A, 277V: 0.10A

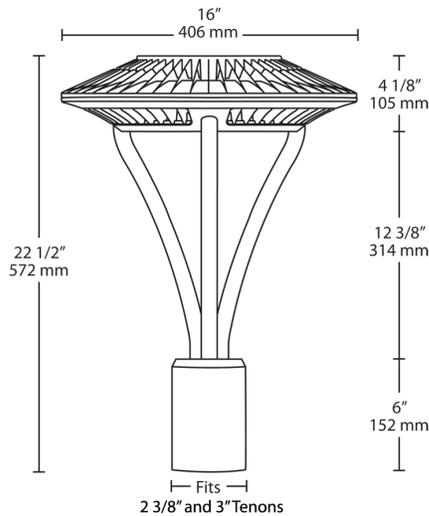
THD:

5.67% at 120V, 6.72% at 277V

Power Factor:

99.6% at 120V, 96.4% at 277V

Dimensions

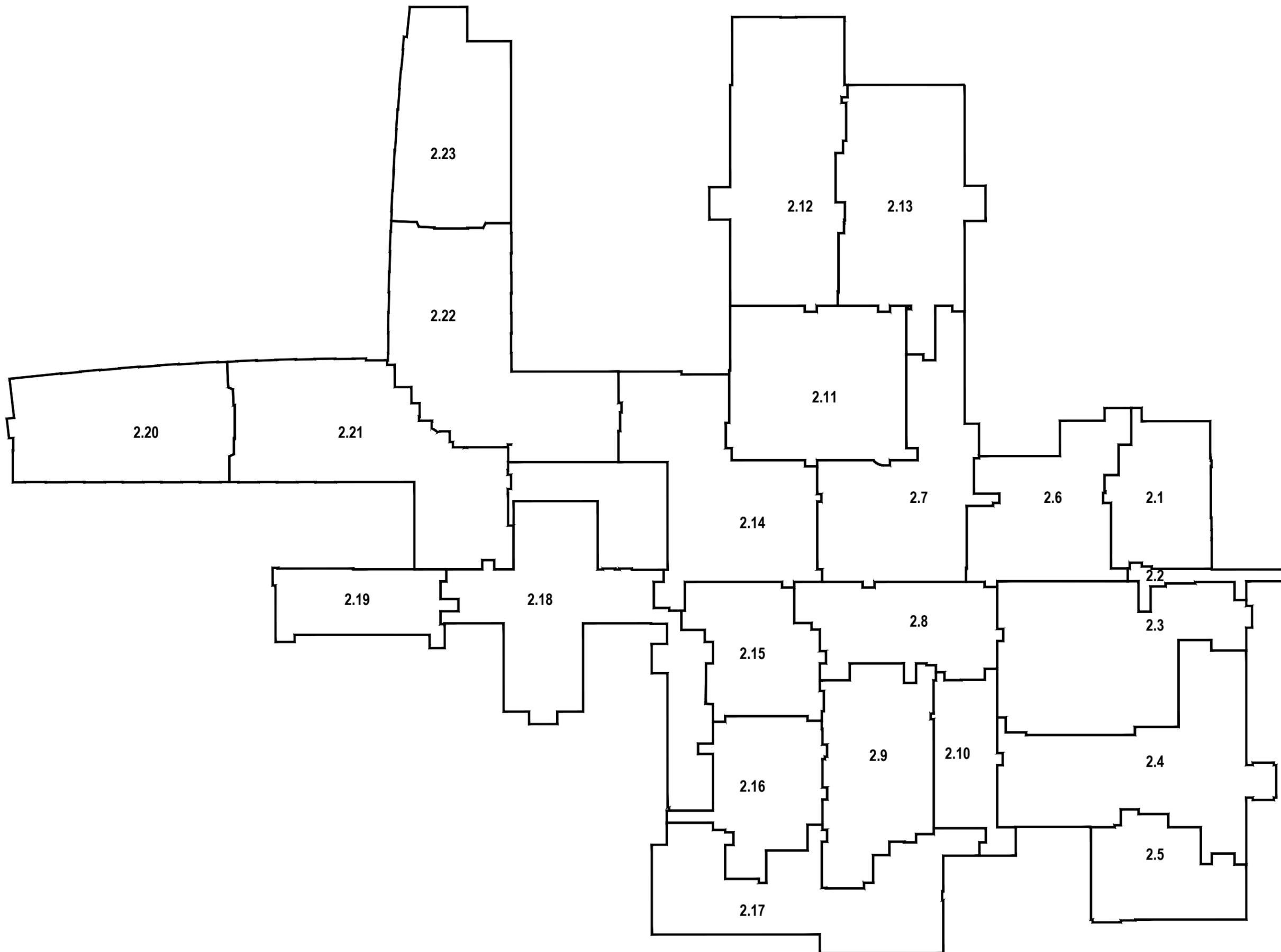


Features

- IES type V (circular) distribution
- 100,000-hour LED lifespan
- Compatible with standard 2 3/8" and 3" tenons
- "Air-Flow" fins for maximum heat dissipation
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Distribution	Wattage	Color Temp	Finish	Driver Option	Options	Other Options
ALED	5T	26					
	5T = Type V	26 = 26W 52 = 52W 78 = 78W	Blank = 5000K Cool N = 4000K Neutral Y = 3000K Warm	Blank = Bronze W = White K = Black RG = Gray	Blank = 120-277V /480/D10 = 480V w/Dimmable /480 = 480V /BL = Bi-Level /D10 = Dimmable	Blank = No Option /LC = Lightcloud /PCT = 120-277V Twistlock Photocell /PCT4 = 480V Twistlock Photocell	Blank = Standard USA = BAA Compliant

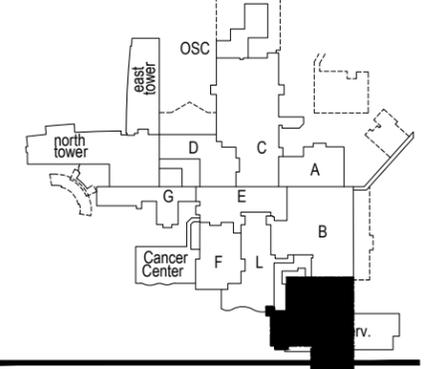


SMOKE COMPARTMENT AREA

SC2.1	7,012	SC2.13	14,575
SC2.2	1,368	SC2.14	14,154
SC2.3	15,198	SC2.15	7,573
SC2.4	15,356	SC2.16	7,787
SC2.5	6,733	SC2.17	13,541
SC2.6	9,998	SC2.18	16,227
SC2.7	13,016	SC2.19	5,694
SC2.8	8,352	SC2.20	12,000
SC2.9	10,504	SC2.21	15,667
SC2.10	5,218	SC2.22	11,627
SC2.11	13,484	SC2.23	11,151
SC2.12	16,105		

**FLOOR 2 - SMOKE
COMPARTMENT PLAN**

KEYPLAN - FLOOR 2



FIRE LEGEND

- HATCHES/SYMBOLS
- STAIRWELLS
 - FACILITY EGRESS CORRIDOR
 - FACILITY EXIT DISCHARGE
 - EXIT ACCESS
 - FIRE SPRINKLER VALVE ZONE (NO.):DEVICE ADD
 - CHUTES/SHAFTS
 - HAZARDOUS ROOM
 - HAZARDOUS AREA
 - PATH OF TRAVEL
 - CENTER OF PATH
 - WALL TYPES
 - 1 HOUR RATED WALL
 - 2 HOUR RATED WALL
 - 1 HOUR RATED SMOKE BARRIER
 - 2 HOUR RATED SMOKE BARRIER
 - SMOKE PARTITION

BUILDING INFORMATION

BUILDING HEIGHT:	28'7 ¹ / ₂ "
STORIES ABOVE GRADE:	2
OCCUPANCY:	12
CONSTRUCTION TYPE:	1B
AREA	45,531 SF

**SJM - ANN ARBOR
BLDG B - FLR 2**

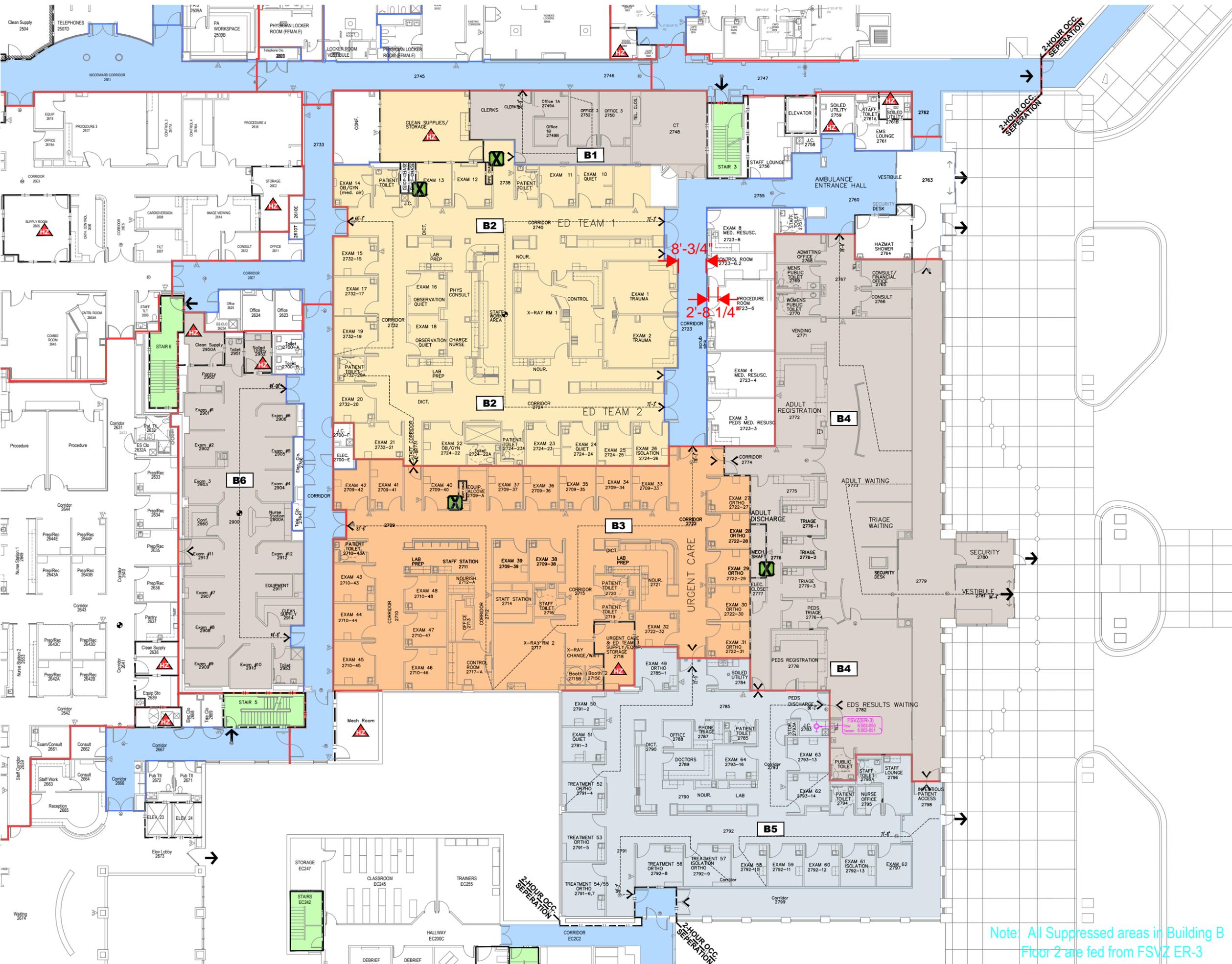
LIFE SAFETY PLAN

SCALE: NO SCALE

DATE REVISED:

SHEET NUMBER:

MAR 24



Note: All Suppressed areas in Building B Floor 2 are fed from FSVZ ER-3



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: September 8, 2025
Revised: October 16, 2025

**Site Plan Review
For
Superior Township, Michigan**

Applicant:	Midwestern Consulting
Project Name:	Trinity Health Ann Arbor Emergency Dept. Renovation/Addition
Location:	5301 Mcauley Drive
Initial Plan Date:	July 15, 2025
Revised:	October 6, 2025
Current Zoning:	MS, Medical Services District
Action Requested:	Combined Preliminary and Final Site Plan Review

PROJECT DESCRIPTION

An application has been submitted for combined preliminary and final site plan approval to construct a building addition and reconfiguration to the existing emergency department facility at the Trinity Health campus. The property is situated in the southwest corner of Section 31 on parcel number J-10-31-350-043, otherwise known as 5301 McCauley Drive. The parcel is zoned MS, Medical Services District and is currently used as a hospital.

The proposed plan includes the construction of a 12,180 square foot building addition with entrance canopy, a reconfigured passenger vehicle drop-off lane, and reconfigured parking. The emergency vehicle drop-off area is not proposed to change.

As shown in Figure 1 and Table 1, the subject site is located on the southern side of the Trinity Health campus, surrounded by medically zoned and used property.

Benjamin R. Carlisle, *President* John L. Enos, *Vice President*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Principal* Brent Strong, *Principal*
David Scurto, *Principal* Sally M. Elminger, *Principal* Craig Strong, *Principal* Douglas J. Lewan, *Principal*
Richard K. Carlisle, *Past President/Senior Principal* R. Donald Wortman, *Past Principal*

Figure 1. Aerial view of subject site and vicinity

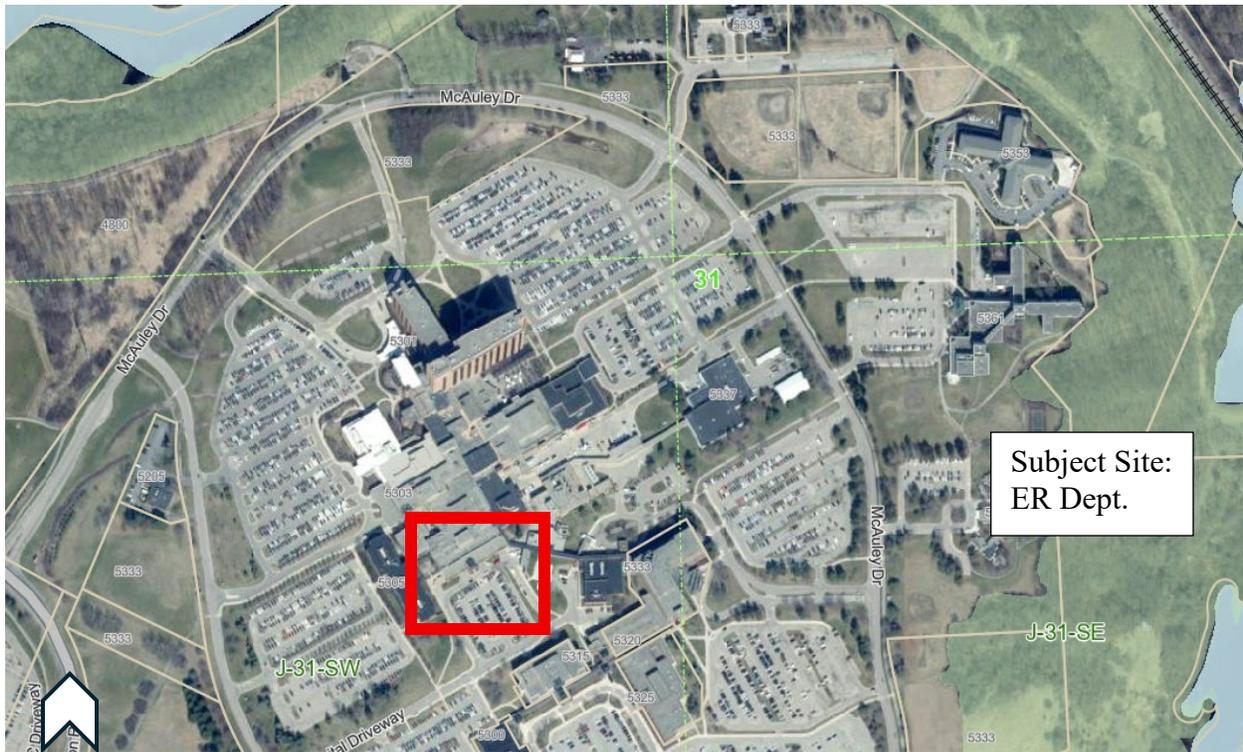


Table 1. Zoning and uses of subject site and vicinity

DIRECTION	ZONING	LAND USE
Subject Site	MS, Medical Services	Medical
North	MS, Medical Services	Medical
South	MS, Medical Services	Medical
East	MS, Medical Services	Medical
West	MS, Medical Services	Medical

Figure 2. Aerial view of the project area



Source: Nearmap, July 29, 2025

NATURAL RESOURCES

The project area is located within the developed area of the Trinity Health campus and does not include impacts on most natural resources. The project removes several trees, as discussed in the “LANDSCAPING” section of this report.

Items to be addressed: None.

SITE ARRANGEMENT

The proposed emergency department building addition is located on the northeast side of the subject building. The project removes the existing overhang to allow for the building addition, modifies the drop-off lane, and reconfigures the northern portion of the existing parking to accommodate updates to the utilities.

Items to be addressed: None.

DENSITY, LOT COVERAGE & FAR, HEIGHT, SETBACKS

Table 2 summarizes the density, placement, and height regulations for the site plan associated with this use in the MS zoning district. Projects in the Medical Services District are subject to special dimensional regulations detailed in Section 7.302 of the zoning ordinance. The site plan does not indicate most of the dimensional details indicated in Table 2, but most of them are clearly complied with.

Table 2. Density, Placement, and Height Regulations

	Required	Provided	Compliance
Lot Width	150 Feet	>150 Feet	Complies
Front Setback	50 Feet	>50 Feet	Complies
Side Setback	20 Feet	>20 Feet	Complies
Rear Setback	10 Feet	>35 Feet	Complies
Distances between buildings	Must be sufficient to meet fire regulations	26.3 Feet	Complies
Floor Area Ratio	25% Max	6.46%	Complies
Building Height	35 Feet/2.5 Stories	29 Feet	Complies

Items to be addressed: None.

PARKING

The proposed building addition does not change the number of beds or on-duty employees within the building. The project does include the westerly relocation of the pedestrian crossing, resulting in no net change to the number of parking spaces. The relocation and repaved parking spaces are eight (8) feet wide and nineteen (19) feet long.

Items to be addressed: None.

SITE ACCESS, CIRCULATION, AND TRAFFIC

Vehicle access to the project area will remain unchanged, and there are no known issues with the current configuration. The reconfigured passenger vehicle drop-off lane includes one-way access that widens to 25.3' near the drop-off area. Existing painted arrows, shown on Figure 2, guides the one-way vehicle access. The emergency vehicle access area on the east side of the building entrance is not proposed to change.

The project includes the relocation of the pedestrian crossing from the parking lot to the building entrance, across the passenger vehicle drop-off lane. Crosswalk striping is provided.

Items to be addressed: None.

LANDSCAPING

The applicant provided a landscaping plan on Sheet L101 indicating the existing and proposed plantings. There are sixteen (16) existing trees in the landscape islands, and three (3) additional trees are proposed. The landscape plan also includes shrubs and ground cover plants that meet the requirements of Section 14.10.

The project includes the removal of five (5) maple trees with a 10 to 12 inch diameter that require replacement. Two 2-inch bur oaks and three 2-inch redbuds are proposed to replace the maple trees, but a tree inventory of the trees proposed for removal was not provided, as required by Section 14.10.F.3.

Items to be addressed: *None.*

LIGHTING

A lighting plan is provided, including a photometric grid of the project area, lighting map, and luminaire schedule. There are three (3) light poles, mounted at twelve (12) feet that will be relocated to the shown locations, and fourteen (14) other pole mounted lights are proposed to remain. All pole lights are downward directed and fully shielded. The plan also proposes 39 illuminated bollards near the ER entrance. The light fixtures are not fully shielded, in noncompliance with Section 14.11.B.1.

The photometric grid does not extend to the property lines to demonstrate compliance with the light intensity standards of Section 14.11.B.4. Furthermore, at many locations between the illuminated bollards, the illumination exceeds the 10.0 footcandle maximum of Section 14.11.B.4.

Items to be addressed: *(1) Applicant shall amend lighting plan such that all lights are fully shielded, as set forth in Section 14.11.B.1. (2) Applicant shall reduce illumination maximum to 10.0 footcandles at all points within the site, as set forth in Section 14.11.B.4. (3) Applicant shall demonstrate how illumination from project lights reach 0.2 footcandles at the property line, as set forth in Section 14.11.B.4.*

FLOOR PLANS AND ELEVATIONS

Floor plans for the proposed building addition and renovated interior of the existing building are provided. The applicant has divided the building into three areas: A, B, and C. Area A represents the building addition and includes a lobby and registration area, treatment rooms, triage rooms, a nurses' station, and additional workrooms and offices. Areas B and C include similar emergency room facilities. The applicant provided the existing floor plan to demonstrate that no additional beds are provided.

The south (front) and east elevations of the building addition indicate brick veneer facades with aluminum ribbon windows and aluminum curtain walls, reflecting the style of the existing Trinity Health campus buildings. MCM (metal composite materials) panels are proposed on the upper portion of the south (front) façade as well as the north and west facades. The proposed canopy is composed of steel and includes a sloped roof.

The elevations include new signage. Sign dimensions must be provided to verify compliance with Article 9.

Items to be addressed: Applicant shall provide sign dimension details to verify compliance with Article 9.

SUMMARY

In general, we find the emergency department addition and reconfiguration to be compliant with the zoning ordinance standards. However, we recommend that the following items be addressed by the applicant prior to Planning Commission approval of the proposed site plan.

1. Amend lighting plan such that all lights are fully shielded, as set forth in Section 14.11.B.1.
2. Reduce illumination maximum to 10.0 footcandles at all points within the site, as set forth in Section 14.11.B.4.
3. Demonstrate how illumination from project lights reach 0.2 footcandles at the property line, as set forth in Section 14.11.B.4.
4. Provide sign dimension details to verify compliance with Article 9.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, AICP, LEED AP



CARLISLE/WORTMAN ASSOC., INC.
Michelle Marin, AICP

cc: Emily Dabish Yahkind, Township Supervisor
Angela Robinson, Township Clerk
Bill Balmes, Building Official
George Tsakof, Township Engineer
Cresson Sloten, Township Engineer



October 16, 2025

CHARTER TOWNSHIP OF SUPERIOR

3040 N. Prospect Road
Ypsilanti, MI 48198

Attention: **Emily Dabish Yahkind, Township Supervisor**

Regarding: **Trinity Health Ann Arbor Emergency Department Renovation
Preliminary Site Plan and Final Site Plan – Review No. 2
OHM Job No. 0140-25-1040**

Dear Ms. Dabish Yahkind,

On behalf of the Township, we have reviewed the Plan Set submittal for the above referenced project, as provided to the Township by the Applicant on October 6, 2025. In our opinion, this plan is ready for consideration by the Planning Commission at their regular meeting on October 29, 2025.

We do offer the following detailed comments to be addressed by the Applicant's Engineer prior to resubmitting the plans to OHM Advisors for Engineering Review.

1. On the Site Utility Plan (Sheet C120) please include the location of the proposed Fire Department Connection (FDC) indicated on the Fire Protection Plan (Sheet C121).
2. A gate valve-in-well should be added between the tee for Proposed Fire Hydrant #1 and the tee for Existing Fire Hydrant #2 at the northwest corner of the parking lot. The Superior Township Engineering Standards call for no more than two hydrants to be out of service in the event of a water main shutdown, and without this valve the existing hydrant east of the parking lot (not shown on the plans) will also be affected by a shutdown affecting these two hydrants.
3. On the Hydrant Profile View plan (Sheet C132), please adjust the profile to provide 3 LF from the hydrant companion valve to the fire hydrant per the Superior Township Utility Standards.
4. Please add the following notations/callouts on the plans:
 - a. On the Stormwater Management Plan (Sheet C123), please add callout labels for structures R02 and R11.
 - b. On the Storm Sewer Profile View plan (Sheet C130), please add callout labels for structures R08 and R09 in the plan view. Also, please add the callout label and information (sta., rim and invert elevations) for structure R02 in the Private Storm Sewer R01 - R09 profile.
 - c. On the Building Storm Drain Profile View plan (Sheet C131), please add the sta. information for structures R02 and R14 on the Private Storm Sewer R-15 - R02 profile.
 - d. On the Hydrant Profile View plan (Sheet C132), please add the sta. information for valve W04 and hydrant W05 in the plan view. Also, in the profile view please adjust the leader line for the proposed grade callout to point to the proposed centerline grade line.
 - e. On the Grading Plan (Sheet C140), please add labels for the proposed contour lines in the parking lot and driveway areas. Also, please add the spot elevation value for the spotter on the northeast corner of the parking lot that is currently shown as "???".



5. On the Landscape Plan (Sheet L101), please show and call out the locations of the fire hydrants in the planting beds at the northeast and northwest corners of the parking lot. Also, please add a note indicating that the landscaping materials are to be maintained to ensure visibility of and access to these hydrants.
6. Please include the current Superior Township Standard Water Main Details plan sheets in the engineering plan submittal.
7. Prior to the initial Engineering Plan submittal, please submit to OHM for review the Engineer's Opinion of Probable Cost for the site civil work including site prep and SESC, earthwork and grading, utilities, stormwater management system, paving and landscaping. The final estimate will be used to determine the initial escrow deposit amounts for Engineering Review and Construction Inspection Services, and the Performance Guarantee amount to be included in the Development Agreement for this project.

Permits and Other Agency Approvals

1. The proposed fire hydrant lead will be considered Customer Site Piping. Though this will not require a State PA399 water main construction permit, future review and approval by YCUA and submittal to EGLE for their information will be required for this water main construction.
2. The stormwater management design must meet Washtenaw County Water Resources Commissioner (WCWRC) Standards. The most recent WCWRC review letter received by OHM dated 8/22/25 noted items to be addressed on the plans and it appears that many of the items from their letter have been addressed on this current plan set, therefore we can say that their approval in the near future is reasonably assured. A copy of the final WCWRC plan approval letter will need to be received by OHM and all requirements of the WCWRC will need to be met prior to scheduling of the pre-construction meeting for the project.
3. Soil erosion and sedimentation control (SESC) measures need to meet the requirements of WCWRC. In an 8/6/25 email from the WCWRC SESC group provided by the Applicant, they have indicated that the plans are acceptable and a permit will be issued for this work.

If you have any questions regarding our review, please do not hesitate to contact me at (734) 466-4585, or George Tsakoff at (734) 466-4439.

Sincerely,
OHM Advisors

Cresson Slotten, PE
Senior Project Manager

cc: Angela Robinson, Township Clerk
Bill Balmes, Building Department
Ben Carlisle, CWA, Township Planner
Michelle Marin, CWA, Township Planner
George Tsakoff, OHM Advisors, Township Engineer
Claire Martin, OHM Advisors, Township Engineer

CHARTER TOWNSHIP OF SUPERIOR FIRE DEPARTMENT

BUREAU OF FIRE PREVENTION

7999 Ford Rd, Ypsilanti, MI 48198

October 16, 2025

Bill Balms
Chief Building Official
Charter Township of Superior
3040 N. Prospect Rd.
Superior Charter Twp, MI 48198

RE: Site Plan
 Project Name: Trinity Health AA, ER renovation
 Project Location: 5301 McAuley Dr.
 Plan Date: 9/30/2025
 Project Job Number: 24214
 Applicable Codes: IFC 2024
 Consultant: Midwestern Consulting
 Consultant Address: 3815 Plaza Drive Ann Arbor, Michigan 487108

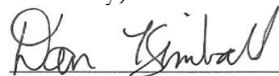
Status of Review

Status of review: Approved as Submitted

Site Coverage - Access

Comments: Meets IFC 2024

Sincerely,



Dan Kimball, Fire Marshal
Charter Township of Superior Fire Department
CFPS, CFI II, CFPE

From: Grayson Wilcox <wilcoxg@washtenaw.org>
Sent: Wednesday, August 6, 2025 8:11 AM
To: Rob Wagner
Cc: Colton M. Wallace
Subject: SESC Plan Approved: Trinity Health - Emergency Department Addition

Rob,

Giving this a once over the plans look like they contain all of the required information for issuance of a permit. We will complete a preliminary inspection once everything is in order and let you know if we need to see any changes. With a project such as this I would not anticipate any changes will need to be made.

Thank you,

Grayson Wilcox | Soil Erosion Control Officer
Washtenaw County Water Resources Commissioner's Office
705 N. Zeeb Rd., P.O. Box 8645, Ann Arbor, MI 48107-8645
P (734) 222-3981 · F (734) 222-3980
wilcoxg@washtenaw.org

From: Rob Wagner <rcw@midwesternconsulting.com>
Sent: Wednesday, July 30, 2025 3:21 PM
To: Grayson Wilcox <wilcoxg@washtenaw.org>
Cc: Colton M. Wallace <cmw@midwesternconsulting.com>
Subject: Trinity Health - Emergency Department Addition

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Grayson,

As discussed and below is the dropbox link to the SESC Review Plans.

<https://www.dropbox.com/scl/fo/7yx4s6nmullo459hdh8z5/AG96dKvniXN6Dc-vy-TWYPg?rlkey=hit66lzb4jc9gbpbjnyj24oe&st=5n5nznf6&dl=0>

Thanks, Rob

Robert C. Wagner
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From: Grayson Wilcox <wilcoxg@washtenaw.org>
Sent: Wednesday, June 11, 2025 8:31 AM
To: Jeremy A. Matthei <jam@midwesternconsulting.com>; Rachel Fusik <fusikr@washtenaw.org>

Cc: Rob Wagner <rcw@midwesternconsulting.com>; Justin Fogle <jfogle@tc.design>; Carolyn Corbett <ccorbett@tc.design>

Subject: Re:

Grayson Wilcox | Soil Erosion Control Officer

Washtenaw County Water Resources Commissioner's Office

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Carlisle | Wortman
ASSOCIATES, INC.

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TO: Superior Township Zoning Ordinance Rewrite Steering Committee

FROM: Benjamin Carlisle and Michelle Marin, Planning Consultants

DATE: October 21, 2025

RE: Sixth Zoning Ordinance Rewrite Committee Meeting – Articles 10 and 4

BACKGROUND

To date, the Zoning Ordinance Rewrite Steering Committee and CWA staff have convened to review the following draft Articles:

ARTICLE 1: TITLE, PURPOSE AND LEGAL CLAUSES
ARTICLE 2: DEFINITIONS
ARTICLE 3: ADMINISTRATION AND ENFORCEMENT
ARTICLE 4: ZONING DISTRICT REGULATIONS
ARTICLE 6: DEVELOPMENT OPTIONS
ARTICLE 7: GENERAL PROVISIONS
ARTICLE 8: SITE PLAN REVIEW
ARTICLE 9: CONDITIONAL USE REVIEW
ARTICLE 10: SPECIFIC USE STANDARDS
ARTICLE 11: ACCESS, PARKING, AND LOADING REQUIREMENTS
ARTICLE 14: SIGN REGULATIONS
ARTICLE 15: NONCONFORMITIES
ARTICLE 16: ZONING BOARD OF APPEALS
ARTICLE 17: AMENDMENT PROCEDURE

Article 10 (currently Article 5) detailing the standards for specific uses and Article 14 (currently Article 9) detailing regulations for signs have been revised to improve clarity, remove redundancies, and incorporate substantive regulation changes. Articles 10 and 14 will be presented to the full Planning Commission for discussion at the regular September meeting.

During the previous Steering Committee meetings, we discussed how much of the current language in the Zoning Ordinance was appropriate and that only minor changes to wording were required to improve clarity and logic and to modernize it to current day standards were necessary. The most significant change would involve reorganizing the chapters, sections, and

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Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Principal* Brent Strong, *Principal*
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Richard K. Carlisle, *Past President/Senior Principal* R. Donald Wortman, *Past Principal*

subsections to assist the general public and applicants as well as Township staff and the Planning Commission who administer these regulations and standards.

The revised table of table of contents is as follows:

ARTICLE 1:	TITLE, PURPOSE AND LEGAL CLAUSES
ARTICLE 2:	DEFINITIONS
ARTICLE 3:	ADMINISTRATION AND ENFORCEMENT
ARTICLE 4:	ZONING DISTRICT REGULATIONS
ARTICLE 5:	SPECIAL DISTRICT REGULATIONS
ARTICLE 6:	DEVELOPMENT OPTIONS
ARTICLE 7:	GENERAL PROVISIONS
ARTICLE 8:	SITE PLAN REVIEW
ARTICLE 9:	CONDITIONAL USE REVIEW
ARTICLE 10:	SPECIFIC USE STANDARDS
ARTICLE 11:	ACCESS, PARKING, AND LOADING REQUIREMENTS
ARTICLE 12:	SITE DESIGN STANDARDS
ARTICLE 13:	ENVIRONMENTAL STANDARDS
ARTICLE 14:	SIGN REGULATIONS
ARTICLE 15:	NONCONFORMITIES
ARTICLE 16:	ZONING BOARD OF APPEALS
ARTICLE 17:	AMENDMENT PROCEDURE

ZONING TEXT AMENDMENTS

As discussed at the September Planning Commission meeting, we are revisiting the drafts of Article 4, Zoning District Regulations, and Article 10, Use Standards. These sections include the zoning map and land use table. After additional review both internally and at previous Planning Commission meetings, we are recommending revisions from the previous draft articles that warrant additional attention. We are also including changes to the zoning map itself. Below are summaries of the changes proposed in these latest iterations of the draft articles.

Article 4: ZONING DISTRICT REGULATIONS

- VC, Village Commercial District: The small geographic area along Plymouth Road that includes Dixboro Village contains three (3) different commercial zoning districts. The Village Commercial (VC) District is proposed to replace the existing NSC (Neighborhood Shopping Center), C-2 (General Commercial), and O-1 (Office) districts that apply to the Dixboro Village frontage along Plymouth Road, as well as other commercial zoning north of Geddes Road. Consolidation into a single VC District will simplify the ordinance, align zoning with the established “village main street” pattern, and provide a consistent regulatory framework for small lots, mixed-use buildings, and context-sensitive infill. The VC District is calibrated to preserve Dixboro’s historic character while enabling modest reinvestment—allowing a compatible mix of neighborhood-serving retail, offices, upper-story residential, and civic

uses—supported by clear building form and site design standards appropriate to a pedestrian-oriented corridor.

- **C-2, General Commercial District:** There are currently only 6 parcels within this zoning district. These parcels are located in 3 places in the Township. Two of these parcels are vacant, 1 is developed with a single family home, and 3 are developed with small-scale commercial/community service uses, including a school, taxidermy, and art gallery. We are recommending the removal of the C-2 district to allow for the consolidation of zoning districts. All 6 of the currently zoned C-2 parcels will be rezoned to the new VC, Village Commercial District. This redistricting will not result in any nonconforming uses or structures.
- **O-1, Office District:** There is currently 1 parcel within this zoning district, which includes an office/warehouse building, directly west of English Gardens. We are recommending the removal of the O-1 district to allow for consolidation of zoning districts. This parcel will be rezoned to the new VC, Village Commercial District. This rezoning will result in a legal nonconforming use. The structure will remain conforming.
- **NSC, Neighborhood Shopping Center:** This zoning district includes 2 vacant and 1 developed parcel near the intersection of Plymouth and Ford Road. We recommend incorporating this district into the reimagined VC, Village Commercial zoning district. This change would result in no nonconformities.
- **NC, Neighborhood Commercial District:** Referred to with the code C-1, the Neighborhood Commercial District only includes 1 vacant parcel on Stamford Road. Another former C-1 parcel was rezoned several years ago for the Clay Hill Farm and Market project. To introduce opportunities for neighborhood commercial uses south of Geddes Road, we are proposing the expansion of this zoning district. Vacant parcels within the Urban Service District area are included in the expanded NC district. This expanded district also includes single-family homes as a permitted use to allow mixed-use style development.

Current Zoning District	Number of Existing Parcels	New District
C-1	6	VC, Village Commercial
O-1	1	VC, Village Commercial
NSC	3	VC, Village Commercial
NC	1	NC, Neighborhood Commercial
R4, vacant	7	NC, Neighborhood Commercial

These zoning district changes reflect the goals of the master plan. They remove excessive zoning districts and better align with the recommendations of the Master Plan. The intention of the zoning districts has been revised to reflect goals related to intended uses, building form, and building design in these zoning districts.

LAND USE TABLE

Within Article 4 is the table of uses permitted by right, by conditional use permit, and as an accessory. During the previous review of Article 4, we reorganized and redefined many of the land uses. The newly revised land use table includes changes to permitted uses in the commercial districts to reflect the proposed district consolidation. Additional land uses have also been added:

1. Public or private elementary, middle, and secondary schools: conditional use in RC, R1, R2, NC, and VC.
2. Public or private colleges, universities, or trades school institutions: conditional use in NC and VC.
3. Theater or gallery: conditional use in NC and VC.
4. Outdoor promotional events: conditional use in A1, A2, NC, and VC.
5. Wireless communications facilities: conditional use in A1, A2, R1, R2, PSP, MS, and PM.
6. Firearm retail sales: conditional use in NC.
7. Artisan food and beverage production: permitted use in NC and VC.
8. Event barns: conditional use in A1 and A2.
9. Short term rentals: conditional use in A1, A2, R1, R2, R3, and R4.

Article 10: USE STANDARDS

Based on direction at the September Planning Commission meeting, we have made the following revisions to the draft Use Standards regulations:

1. Non-farm keeping of animals: 1 acre lot minimum removed, reference to Michigan Animal Industry Act added, and prohibition of exotic animals included.
2. Private and public riding arenas and boarding stables: the setback distance may be reduced from 75 to 50 feet if landscape screening is provided.

3. Landscape operations and snowplow businesses: the regulations only apply to operations that include more than one business vehicle or any vehicle with a payload capacity of 3 tons or greater.
4. Event barn regulations added.
5. Short term rental regulations added.
6. Trades contractor office or yard regulations added. This use appears in the existing land use table without specific use standards.

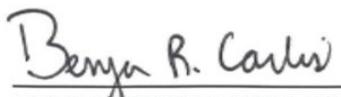
Attached are Articles 4 and 10 with all proposed changes in an underline/strikethrough format as follows:

- Deleted text shown in strikethrough
- Inserted text shown in underline

Section references throughout the Ordinance as well as a careful review of numbering and organizational hierarchy will be undertaken once a complete draft of all Articles are complete. Text shown in [brackets] is optional text including additional limitations recommended by staff that needs further consideration.

We look forward to meeting with you to discuss these proposed changes.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC
Benjamin R. Carlisle, AICP, LEED AP
President



CARLISLE/WORTMAN ASSOC., INC.
Michelle Marin, AICP
Associate Planner

Attachment: Articles 4 and 10

ARTICLE 4

ZONING DISTRICT REGULATIONS

Section ~~2.101~~ 4.01 Zoning Districts.

Superior Charter Township is hereby divided into the following zoning districts by type, name, and symbol:

Type of District	Zoning District Name	Symbol
Rural	Recreation-Conservation District	R-C
	Agricultural District	A-1
	Agricultural District	A-2
Rural Residential	Single-Family Residential District	R-1
	Single-Family Residential District	R-2
Urban Residential	Single-Family Residential District	R-3
	Single-Family Residential District	R-4
	Manufactured Housing Park District	R-6
	Multiple-Family Residential District	R-7
Business	Neighborhood Commercial District	C-1 <u>NC</u>
	General Commercial District	C-2
	Office District	O-1
	Village Commercial District	VC
Other	Public/Semi-Public Services District	PSP
Special	Planned Community District	PC
	Neighborhood Shopping Center District	NSC
	Village Center District	VC
	Medical Services District	MS
	Planned Manufacturing District	PM
	Open Space Preservation Overlay District	OSP

Section ~~2.205~~ 4.02 Official Zoning Map.

For the purpose of this Ordinance, the zoning districts as provided herein are bounded and defined as shown on a map entitled "Official Zoning Map of Superior Charter Township." The Official Zoning Map, and all explanatory matters thereon, are hereby made a part of this Ordinance.

A. Identification of Official Zoning Map.

The Official Zoning Map shall be identified by the signature of the Township Clerk, attested by the Township Supervisor, under the following or equivalent words: "This is to certify that this is the Official Zoning Map referred to in the Superior Charter Township Zoning Ordinance, adopted on [date]."

B. Changes to Official Zoning Map.

If, in accordance with the procedures of this Ordinance and the Michigan Zoning Enabling Act, a change is made in a zoning district or boundary, such change shall be entered onto the Official Zoning Map by the Township Clerk promptly after the ordinance authorizing such change shall have been adopted and published with an entry on the Official Zoning Map stating the date of the Township Board action, and a brief description of the change. The entry shall be signed by the Township Clerk and attested by the Township Supervisor.

1. Any change in corporate boundaries within the Township shall be entered on the Official Zoning Map by the Township Clerk with his or her signature and date and attested by the Township Supervisor.
2. No change of any nature shall be made in the Official Zoning Map or matter shown thereon except in conformance with the procedures set forth herein. Any other change of whatever kind by any person or persons shall be considered a violation of this Ordinance.

C. Authority of Official Zoning Map.

Regardless of the existence of purported copies of the Official Zoning Map that, from time to time, may be made or published, the Official Zoning Map shall be the final authority as to the current zoning status of any land, parcel, lot, district, use, or structure in Superior Township. The Official Zoning Map shall be located in the office of the Township Clerk and shall be open to public inspection.

D. Replacement of Official Zoning Map.

If the Official Zoning Map becomes damaged, destroyed, lost, or difficult to interpret because of the nature and the number of changes made thereto, the Township Board may by ordinance adopt a new Official Zoning Map which shall supersede the prior zoning map. The new Official Zoning Map may correct drafting or other errors or omissions on the Official Zoning Map, but such corrections shall not have the effect of amending the Zoning Ordinance or the prior Official Zoning Map.

1. The new Official Zoning Map shall be identified by signature of the Township Clerk, attested by the Township Supervisor, and bear the seal of Superior Charter Township under the following words: "This is to certify that this is the Official Zoning Map referred to in the Zoning Ordinance of Superior Charter Township, adopted on [date] which replaces and supersedes the Official Zoning Map adopted on [date]."
2. Unless the prior Official Zoning Map has been lost or totally destroyed, the prior map or any significant parts thereof remaining shall be preserved together with all available records pertaining to its adoption or amendment.

E. Rules for Interpretation.

Where uncertainty exists as to the boundaries of zoning districts as shown on the Official Zoning Map, the following rules for interpretation shall govern:

1. Road centerline. A boundary indicated as approximately following the centerline of a highway, alley, or easement shall be construed as following such centerline as it exists on the ground.
2. Recorded lot line. A boundary indicated as approximately following a recorded lot line or the line bounding a parcel shall be construed as following such line.
3. Corporate boundary. A boundary indicated as approximately following a municipal boundary of a city, village, or township shall be construed as following such line.
4. Railroad centerline. A boundary indicated as following a railroad line shall be construed as being located midway in the right-of-way of said railroad.
5. Shoreline centerline. A boundary indicated as following a shoreline shall be construed as following such shoreline, and in the event of change in the shoreline shall be construed as following the shoreline existing at the time the interpretation is made.
6. Waterbody centerline. A boundary indicated as following the centerline of a stream or river, canal, lake, or other body of water shall be construed as following such centerline existing at the time the interpretation is made.
7. Parallel or extension. A boundary indicated as parallel to, or as an extension of features described in this subsection, shall be so construed.
8. Distance. A distance not specifically indicated on the Official Zoning Map shall be determined by the scale of the Map.
9. Variance. In other circumstances not otherwise covered by this subsection, or where a physical or natural feature existing on the ground is at variance with that shown on the Official Zoning Map, the Zoning Board of Appeals shall interpret the location of the zoning district boundary.

10. Division through a lot. Where a district boundary divides a lot that is in single ownership at the time of adoption of this Ordinance, the Zoning Board of Appeals may permit an extension of the regulations for either portion of the lot to the nearest lot line, but not to exceed fifty (50) feet beyond the district line into the remaining portion of the lot.

Section ~~2.204~~ 4.03 District Boundaries.

The boundaries of zoning districts, unless otherwise shown on the Official Zoning Map, shall be lot or parcel lines, municipal boundaries, and the centerlines of road, railroad or other dedicated rights-of-way.

A. Zoning of Rights-of-Way.

All roads and other dedicated rights-of-way, if not otherwise specifically designated, shall be deemed to be in the same zone as the property immediately abutting upon the right-of-way. Where the centerline of a right-of-way serves as a district boundary, the zoning of the right-of-way, unless otherwise specifically designated, shall be deemed to be the same as that of the abutting land up to the centerline.

B. Zoning of Vacated Areas.

Any road and other dedicated right-of-way or other public way or portion thereof within the Township not otherwise classified within the boundaries of a zoning district on the Official Zoning Map shall, upon vacation, automatically be classified in the same zoning district as the land(s) to which it attaches.

Section ~~2.201~~ 4.04 Use Regulations.

In all districts, no structure or land shall be used or occupied, except in conformance with Article _____ Section 4.11 (Land Use Table of Use Regulations), and as otherwise provided for in this Ordinance.

A. Permitted Uses.

Uses shall be permitted by right only if specifically listed as principal permitted uses in the various zoning districts, or if substantially similar in nature to uses which are listed. All other uses shall be prohibited. Land uses for enterprises or purposes that are contrary to federal, state or local laws or ordinances shall be prohibited in any zoning district [amended 6/18/2012, Ord. 174-10].

B. Accessory Structures and Uses.

Where a lot is devoted to a permitted principal use or an approved conditional use, accessory uses are permitted if specifically listed as accessory uses in the applicable zoning district, or if substantially similar to such listed uses. Accessory structures and uses are not permitted as principal structures or uses on a lot unless permitted in this ordinance. Accessory structures and uses shall be subject to the applicable standards of this Ordinance, including Section _____7.03 (Accessory Structures and Uses).

C. Conditional Uses.

Conditional uses are permitted as listed in the various zoning districts, subject to the provisions of Article ~~_____~~9 (Conditional Uses).

Section ~~2.202~~ 4.05 Prohibited Uses.

Uses not listed in Article ~~_____~~Section 4.11 (~~Land-Use-Table of Use Regulations~~) as ~~a-permitted, use-accessory, or conditional uses~~ in a particular zoning district shall be prohibited in the district.

Section ~~2.203~~ 4.06 Design and Development Requirements.

All uses shall comply with ~~any applicable requirements of Article _____ (Use Standards), and all other~~ applicable provisions of this Ordinance and other applicable regulations and standards. No structure shall be erected, reconstructed, altered or enlarged and no certificates shall be issued under this Ordinance except in conformance with this Ordinance and other applicable regulations and standards.

Section 4.07 Intent of Districts**~~Section 2.102A.~~ Recreation-Conservation (R-C) District.**

The best use of certain areas of the Township is the management, preservation, and low-impact utilization of the natural resource base inherent in these areas. ~~The Recreation-Conservation (R-C) District is hereby established to ensure that the natural resource value may be preserved, maintained, and sensitively utilized.~~ The Recreation-Conservation (R-C) District is hereby established to preserve, protect, and manage areas of natural, scenic, and ecological significance for the benefit of current and future generations. This district is intended to promote the sustainable use of land for recreational activities, protect sensitive ecosystems, and ensure the long-term conservation of biodiversity, water quality, and open space.

The R-C District is designed to protect and enhance natural amenities, including woodlands, wetlands, steep slopes, watersheds, and wildlife habitats. It is the intent of this district to permit those uses and structures that can operate or be located in areas of natural amenities in a compatible manner, and to prohibit those uses or structures that detract from, injure, or destroy these amenities. In addition, uses and structures shall be permitted only at a low density and intensity to ensure their compatibility with the natural resourcesbase.

~~Section 2.103B.~~ Agricultural (A-1) District.

The public health and welfare of Superior Charter Township, Washtenaw County, the State of Michigan, and the United States are greatly dependent upon the sustenance and economic benefits provided by a viable agricultural industry. The Agricultural (A-1) District is hereby established as a Rural District to preserve lands that are suitable for long-term agricultural uses, ~~and~~ to protect agricultural enterprises from encroachment

by suburban and urban uses and developments, and to recognize agriculture as a vital component of the local economy, culture, and community well-being.

Residential subdivisions or equivalent are incompatible with the intent of this district. Extension of public water and sanitary sewer service into this district shall be prohibited unless such service is necessary to address public health and safety issues of development existing at the date of adoption of this Ordinance.

In addition, this district is intended to:

1. Preserve woodlands, creeks, and wetlands associated with farms which because of their natural physical features, are useful as water retention, surface water purification and groundwater recharge areas, and as habitat for plant and animal life; and which have important aesthetic and scenic value that contributes to the unique character of the agricultural district;
2. Provide the basis for land tax assessments that reflect its existing agricultural nature and, owing to these regulations, its limited use for other purposes;
3. Prevent the conversion of agricultural land to non-farm development which, when unregulated, unnecessarily increases the cost of public services to all citizens and results in the premature disinvestment in agriculture;
4. Protect farmland from speculative increases in land prices;
5. Prevent loss of farmland;
6. Prevent conflicts between agricultural activities and residences;
7. Prevent encroachment of urban and suburban services into agricultural areas;
8. Encourage long-term investment in improvements needed to maintain and expand agricultural production by creating a stable environment for such production;
9. Reduce the amount of land consumed in rural areas for nonagricultural use;
10. Prevent intrusion into farm areas of uses which are incompatible with general farming activities; and
11. Permit services and uses which are necessary to support farming activities.

~~Residential subdivisions are incompatible with the intent of this district. Extension of public water and sanitary sewer service into this district shall be prohibited unless such service is necessary to address public health and safety issues of development existing at the date of adoption of this Ordinance.~~

Section 2.104C. Agricultural (A-2) District

The public health and welfare of Superior Charter Township, Washtenaw County, the State of Michigan, and the United States are greatly dependent upon the sustenance

and economic benefits provided by a viable agricultural industry. The Agricultural (A-2) District is hereby established as a Rural District to preserve lands that are agriculturally productive, and to allow use for specialized applications on land which, because of factors such as soil suitability, location, parcel size, and existing land uses, are not as suitable for production of staple crops as the lands included in the A-1 District. This district is intended to balance agricultural activity with a range of compatible uses that maintain open space and protect natural resources. This district may serve as a buffer between A-1 lands and non-agricultural lands, thus serving to protect the integrity of the A-1 lands and to protect agricultural enterprises from encroachment by suburban and urban uses and developments.

The A-2 District provides for land uses that are of permanent importance. Extension of public water and sanitary sewer service into this district shall be prohibited unless such service is necessary to address public health and safety issues of development existing at the date of adoption of this Ordinance.

In addition, the A-2 District is intended to:

1. Preserve woodlands, creeks, and wetlands associated with farms which because of their natural physical features, are useful as water retention, surface water purification and groundwater recharge areas, and as habitat for plant and animal life; and which have important aesthetic and scenic value that contributes to the unique character of the agricultural district;
2. Preserve existing drainage patterns and minimize erosion and flooding;
3. Provide the basis for land tax assessments that reflect its existing agricultural nature and, owing to these regulations, its limited use for other purposes;
4. Support small-scale agriculture including hobby farms, specialty crop production, and limited livestock activities, to support local food systems and rural economies.
5. Accommodate Rural Living that allow for rural residential development at low densities that are consistent with agricultural uses and do not conflict with farming activities.
6. Provide a buffer zone between A-1 District and non-agricultural uses.
- 4.7. Prevent the conversion of agricultural land to non-farm development which, when unregulated, unnecessarily increases the cost of public services to all citizens and results in the premature disinvestment in agriculture;
5. ~~Protect farmland from speculative increases in land prices;~~
6. ~~Prevent loss of farmland;~~
- 7.8. Prevent conflicts between agricultural activities and residences;
- 8.9. Prevent encroachment of urban and suburban services into agricultural areas;

~~9.10.~~ Encourage long-term investment in improvements needed to maintain and expand agricultural production by creating a stable environment for such production;

~~10.11.~~ Reduce the amount of land consumed in rural areas for nonagricultural use;

~~11.12.~~ Prevent intrusion of uses into farm areas which are incompatible with general farming activities; and

~~12.13.~~ Permit services and uses which are necessary to support farming activities.

~~The A-2 District provides for land uses that are of permanent importance. Extension of public water and sanitary sewer service into this district shall be prohibited unless such service is necessary to address public health and safety issues of development existing at the date of adoption of this Ordinance.~~

~~Section 2.105D.~~ Single-Family Residential (R-1) District.

The Single-Family Residential (R-1) District is hereby established as a Rural Residential District to provide areas for single-family, rural, non-farm residences on minimum 2.0 acre lots ~~of sufficient size to that~~ permit the use of septic tanks and drain fields and the use of on-site wells. The R-1 District is designed to preserve a distinctly rural character and is intended to be used in those parts of Superior Township in which soils are suitable for septic tanks, drain fields, and wells, and where public sanitary sewer and water facilities are not planned to be extended. Extension of public water and sanitary sewer service into this district shall be prohibited unless such service is necessary to address public health and safety issues of development existing at the date of adoption of this Ordinance.

This district is intended to protect wooded areas, wetlands, wildlife habitats, and similar areas which might be endangered or destroyed by development with smaller lot sizes.

~~Section 2.106E.~~ Single-Family Residential (R-2) District.

The Single-Family Residential (R-2) District is hereby established as a Rural Residential District to provide areas for single-family, rural, non-farm residences on minimum 1.0 acre lots ~~of sufficient size to that~~ permit the use of septic tanks and drain fields and the use of on-site wells. The R-2 District is designed to provide a residential character and is intended to be used in those parts of Superior Township in which soils are suitable for septic tanks, drain fields, and wells, and where public sanitary sewer and water facilities are not planned to be extended. Extension of public water and sanitary sewer service into this district shall be prohibited unless such service is necessary to address public health and safety issues of development existing at the date of adoption of this Ordinance. This district is to be used in those portions of Superior Township in which rural, non-farm residences are planned.

~~Section 2.107F.~~ Single-Family Residential (R-3) District.

The Single-Family Residential (R-3) District is hereby established as an Urban Residential District to provide single-family residential areas on medium-size (minimum 0.5 acre)

lots. The R-3 District is to be used only in accordance with the Township's ~~Growth Management Plan~~Master Plan; and only in those areas of Superior Township which are served by public water and sanitary sewer facilities and where storm drainage is handled by county drains or other acceptable drainage systems.

Section 2.108G. Single-Family Residential (R-4) District.

The Single-Family Residential (R-4) District is hereby established as an Urban Residential District to provide single-family residential areas at an urban density of development on ~~medium-to-small-sized~~ (minimum 7,200 square feet) lots. The R-4 District is intended to create a predominantly urban single-family residential character. The R-4 District is to be used only in accordance with the Township's ~~Growth Management Plan~~Master Plan; and only in those areas of Superior Township which are served by public water and sanitary sewer facilities and where storm drainage is handled by county drains or other acceptable drainage systems.

Section 2.109H. Manufactured Housing Park (R-6) District.

The Manufactured Housing Park (R-6) District is hereby established as an Urban Residential District to provide for the location and regulation of manufactured housing parks (formerly known as "mobile home parks"), as defined by the Mobile Home Commission Act, P.A. 96 of 1987 (as amended), and the Manufactured Housing Commission General Rules. The purpose of the R-6 District is to provide for manufactured housing parks as a permitted use, and to promote the development of manufactured housing parks that have the character of residential neighborhoods.

It is intended that manufactured housing parks be provided with necessary community services and other associated uses and facilities that serve the residents in the district in a setting that provides a high quality of life for residents. In accordance with the purposes of this district, manufactured housing parks shall be located in areas where they will be compatible with adjacent land uses. Development in the R-6 District shall be subject to appropriate standards to ensure sufficient light, air, and privacy for all uses, prevent congestion on public roads, reduce hazards to life and property, provide basic amenities, and ensure compatibility with abutting districts and uses.

The regulations and rules established by the Mobile Home Commission Act (P.A. 96 of 1987, as amended) and the Manufactured Housing Commission govern all manufactured housing parks. Where regulations in this Article and Ordinance exceed the state law or general rules, they are intended to promote the health, safety and welfare of the Township's residents, and to insure that manufactured housing parks are developed and maintained in a manner equivalent to the standards established by this Ordinance for comparable residential developments in the Township.

It is the intent of this Ordinance that manufactured housing parks be located in areas which are served adequately by essential public facilities and services such as access streets, police and fire protection, public water and sanitary sewer facilities, and storm drainage facilities. It is further the intent of this Ordinance that manufactured homes in manufactured housing parks be considered and regulated as urban dwelling units, which deserve and require locations, services, and facilities similar to any other single-family and multiple-family dwelling units built at urban densities.

Section ~~2.110I~~ 2.110J. Multiple-Family Residential (R-7) District.

The Multiple-Family Residential (R-7) District is hereby established as an Urban Residential District to provide areas for a mixture of higher density housing options (such as apartments, townhouses, condominiums and stacked flats) at planned locations in the Township to meet the various needs of different residents, and which are compatible with single-family residential districts. Associated uses and facilities that serve residents in the district shall also be provided within a primarily residential environment.

Uses in the R-7 District should be located near roads with adequate planned capacity to accommodate the traffic volumes typically generated by higher density development and shall be served by public water and sewerage systems and other appropriate utilities and services. Development in the R-7 District shall be subject to appropriate standards to ensure sufficient light, air, and privacy for all uses, prevent congestion on public roads, reduce hazards to life and property, provide basic amenities, and ensure compatibility with abutting districts and uses.

The R-7 District is to be used only in accordance with the Township's Growth Management Plan~~Master Plan~~; and only in those areas of Superior Township which are served by public water and sanitary sewer facilities and where storm drainage is handled by county drains or other acceptable drainage systems.

Section ~~2.111J~~ 2.111J. Neighborhood Commercial (~~C-1NC~~) District.

The Neighborhood Commercial (~~C-1NC~~) District is hereby established as ~~a the primary Business District in the Urban Service Area of Superior Township,~~ to provide suitable locations for retail, service, and office enterprises ~~that serve a which primarily meet the day-to-day convenience, shopping, and service needs of persons in the immediate residential areas localized market area.~~ Goods and services to be provided by establishments in this district are classified as "convenience," as distinguished from "comparison" goods and services, because they serve the day-to-day needs of a neighborhood or group of neighborhoods. With the exception of supermarkets, establishments in this district will generally be small in floor and site area. These districts are intended to be located at intersections of collector and arterial roads in close proximity to the neighborhoods and business districts that they serve.

The ~~C-1NC~~ District is intended to encourage consolidation of business establishments, particularly as neighborhood shopping centers. Consolidations other than shopping centers are also encouraged with the intent of avoiding strip commercial development, lessening traffic congestion by reducing the number of commercial driveways opening onto major streets, and improving the safety and convenience of consumers. The NC District is also intended to encourage residential and commercial mixed-use developments, appropriate in scale, intensity, and location. ~~Establishments permitted in this district may be located on arterial or collector streets.~~

The district is intended to permit the listed activities, while ensuring their compatibility with surrounding residential and/or rural areas. ~~Any one such district is therefore intended to remain small, in the range of two (2) to five (5) acres, and to be subject to yard and density limitations similar to those of the residential districts.~~

~~Section 2.112K. General Commercial (C-2) District.~~

~~The General Commercial (C-2) District is hereby established as a Business District to provide suitable locations for general comparison retail, service, and office establishments that service the entire Township and surrounding area. Retail establishments in this district are of the comparison comparison shopping type and tend to rely on a market area much larger than that of C-1 type establishments. However, C-1 uses are permitted in this district as complementary activities to the primary permitted uses. The district is intended for areas and intersections of major vehicular corridors.~~

~~It is the intent of the C-2 District to encourage consolidation of the permitted business establishments, particularly as shopping centers. Consolidations other than shopping centers are also encouraged, with the intent of avoiding strip commercial development, lessening traffic congestion by reducing the number of commercial driveways opening onto major streets, and improving the safety and convenience of consumers. Establishments permitted in this district will usually be located only on arterial streets.~~

~~This district should be located as to not encroach on any residential or other area or cause undue traffic congestion.~~

~~Section 2.113L. Office (O-1) District.~~

~~The Office (O-1) District is hereby established as a Business District to provide for areas which are considered desirable locations for office activities, but which are considered unsuitable for other commercial uses permitted in the C-1 and C-2 Districts. The O-1 District is intended for those office activities which are not a part of other commercial or industrial activities, or which can be physically separated therefrom. The district may be used as a transition zone between residential and commercial or planned manufacturing areas.~~

~~Section 2.114M. Public/Semi-Public Services (PSP) District.~~

~~The Public/Semi-Public Services (PSP) District is hereby established to provide an appropriate zoning classification for government, civic and recreational facilities where a separate zoning district is deemed appropriate. This district is intended to protect public and quasi-public facilities and institutions from the encroachment of certain other uses, and to ensure compatibility with adjoining residential land uses. Several of the public facilities addressed in this section are also permitted or conditional uses in one or more of the other zoning districts. is hereby established to accommodate dedicated areas of open space, government buildings and uses, institutional and recreational uses, and similar uses of a public service or institutional character.~~

~~Section 2.115N. Planned Community (PC) District.~~

~~The Planned Community (PC) District is hereby established as a Special District to:~~

1. Provide flexibility in regulation of land development, resulting in a higher quality of land development that contributes to the social, economic, and environmental sustainability of the Township.
2. Encourage innovation in land use planning, design, and development that responds to changing public needs.
- ~~1.3.~~ Provide for useful open space and protect and conserve natural features and resources by incorporating such features and resources into the plan for the district;
- ~~2.~~ Provide for the permanent provision of such open spaces, natural features, and/or resources through the appropriate legal vehicles;
- ~~3.~~ Ensure that the increased flexibility in design of land development is subject to proper administrative standards and procedures;
- ~~4.~~ Provide for a compatible mix of land uses;
- 5.4. Encourage innovation in land use planning and development, especially in residential/open space distribution;
- ~~6.~~ Encourage variety in the design of housing, including clustering, where appropriate, and improve the quality of residential environments;
- 7.5. Create more stable communities by providing a variety and balance of housing types and living environments;
- 8.6. Provide for necessary educational, recreational, and commercial opportunities conveniently located in relation to housing;
- 9.7. Promote efficiency and economy in the use of land and energy, in the development of land, and in the provision of public services and facilities;
- ~~10.~~ Establish planning, review, and approval procedures which will properly relate the type, design, and layout of development to a particular site and its neighborhood;
- ~~11.8.~~ Encourage innovations in residential, office, and commercial development so that the growing demands of the population may be met by a greater variety in type, design, and layout of buildings and by the conservation and more efficient use of open space ancillary to these buildings, so that greater opportunities for better housing, recreation, and shops conveniently located to each other may extend to all citizens and residents of Superior Township; and
- ~~12.9.~~ Lessen the burden of traffic on streets and highways.
10. Encourage the use, redevelopment, and improvement of existing sites where current ordinances do not provide adequate protection and safeguards for the site or its surrounding areas, or where current ordinances do not provide the

flexibility to consider redevelopment, replacement, or adaptive reuse of existing structures and sites.

11. Ensure that the increased flexibility of regulations over land development is subject to proper standards and review procedures.

A PC District zoning shall comply with the Township's ~~Growth Management Plan~~Master Plan and shall be located in areas of Superior Township identified in the ~~Growth Management Plan~~Master Plan as suitable and desirable for such development, or in areas in which the use of PC zoning would most nearly reflect the policies in the ~~Growth Management Plan~~Master Plan that apply to the areas in question.

The PC District is a Special District and as such is also subject to applicable provisions of Article ~~7.0~~5.0 (Special District Regulations) and Article ~~10~~8.0 (Site Plan Review).

Section 2-1160. Medical Services (MS) District.

The Medical Services (MS) District is hereby established as a Special District to provide for a mixture of uses and facilities that are necessary to service a major hospital complex, and to permit medical service centers to develop in stages and in a planned manner according to an overall development plan. The MS District shall be located in areas of Superior Township that are designated for such use in the Township's ~~Growth Management Plan~~Master Plan. The district is to be used only in those areas of Superior Township which are served by public water and sewer facilities, and where storm drainage is handled by county drains or other acceptable drainage systems.

The MS District is further intended to:

1. Provide facilities and services that are necessary for the health and convenience of patients and their visitors, and employees of the center;
2. Encourage provision of open spaces and protect and preserve natural features by incorporating such features into the design of a medical services center;
3. Encourage flexibility and efficient use of land and public services;
4. Lessen the burden of traffic on public streets;
5. Encourage development that will incorporate the best features of modern land design; and, in aid of this purpose, provide a procedure which can relate the type, design, and layout of medical facilities and supportive services and facilities to a particular site in a manner that is consistent with the character of adjacent areas; and
6. Ensure that the increased flexibility of design in land development authorized herein is subject to proper administrative standards and procedures.
7. Provide for a variety of uses which are complementary to the primary use of the district.

The MS District is a Special District and as such is also subject to applicable provisions of Article ~~7.0-5.0~~ (Special District Regulations) and Article ~~10.0-8.0~~(Site Plan Review). The MS District is an existing Special District. The Township has no intention to rezone additional properties to the MS District.

~~Section 2.117P.~~ Planned Manufacturing (PM) District.

The Planned Manufacturing (PM) District is hereby established as a Special District to permit and encourage development of environmentally clean and safe research and development facilities, laboratories, warehousing, manufacturing plants, and similar industrial and research uses in a landscaped, low-density, campus-type environment.

The PM District shall be located in areas of Superior Township that are designated for such use in the Township's ~~Growth Management~~Master Plan. The district is to be used only in those areas of Superior Township which are served by public water and sewer facilities, and where storm drainage is handled by county drains or other acceptable drainage systems.

The PM District is further intended to:

1. Permit and encourage uses that support research and technology operations to locate within a PM District, thereby eliminating the need to provide for their location on scattered sites in the general vicinity of the district;
2. Permit a PM District to develop in stages and in a planned, coordinated manner, according to an overall development plan;
3. Provide facilities and services necessary for the health, safety, welfare, and convenience of employees, customers, and visitors in a PM District;
4. Encourage provision of open spaces, and protect and preserve natural features by incorporating such features into the plan for the district;
5. Protect existing and planned uses in the vicinity of a PM District from spillover effects that might be caused by uses in the district;
6. Prevent uses in the PM District that would create any dangerous, injurious, noxious, or otherwise objectionable conditions which may result in fire, explosion, or radioactivity; excessive noise or vibration; water or soil pollution; smoke, dust, odor, or other forms of air pollution; electrical or other disturbances; glare or heat; storage or disposal of liquid or solid materials or wastes; rodent or insect infestations; or from any other substance, condition, or an environment that would adversely affect other uses in the PM District or in the surrounding area;
7. Encourage flexibility and efficient use of land and public services;
8. Lessen the burden of traffic on public streets;
9. Encourage development that will incorporate the best features of modern land design; and, in aid of this purpose, provide a procedure which can relate the

type, design, and layout of PM facilities and supportive services and facilities to a particular site in a manner that is consistent with the character of adjacent areas; and

10. Ensure that the increased flexibility of design in land development authorized herein will be subject to proper administrative standards and procedures.

The PM District is a Special District and as such is also subject to applicable provisions of Article ~~7.0~~ 5.0 (Special District Regulations) and Article ~~10.0~~ 8.0 (Site Plan Review). Uses in a PM District shall be limited to those uses specifically included in the listing of uses shown on the approved area plan, approved preliminary site plan, or approved final site plan, whichever is applicable. No other uses shall be permitted unless the applicable plans are revised or amended in accordance with the provisions of this Ordinance. The PM District is an existing Special District. The Township has no intention to rezone additional properties to the PM District.

Section 2.118Q. Village Center-Commercial (VC) District.

The Village ~~Center-Commercial~~ (VC) District is hereby established as the primary Business District outside of the Urban Services area in Superior Township. a Special District-The Village Commercial District is created to encourage and permit mixed uses with a village scale and character in the Dixboro community and at major intersections along the Plymouth-Ann Arbor Road corridor. This district shall is be located in the Dixboro community in accordance with the adopted Growth Management Master Plan and specifically the Dixboro Special Area Plan. Uses permitted in this district are intended to be compatible with residential type structures and neighboring residences, and are intended to be oriented to pedestrians. The VC District is intended to encourage retention of existing residential structures, either in residential use or in conversion to other permitted uses, and to ensure that remodeled or new structures will have a residential character similar to the existing character of the Dixboro adjacent land uses community. Where feasible and appropriate, residential uses should also be incorporated into new developments of commercial and office uses. New buildings in the Dixboro area should be designed to look like village commercial style buildings. There are existing commercial buildings in Dixboro that people recognize as being consistent with the style and scale that is desired for any new development in Dixboro. It is the intent of this district that the setting of buildings will be spacious, and will reflect the existing residential character of Plymouth Road in Dixboro. Parking shall not dominate the appearance of buildings or sites. New development in the Dixboro area shall incorporate identified streetscape improvements identified in the Dixboro Special Area Plan.

Extension of public water and sanitary sewer service into this district shall be prohibited unless such service is necessary to address public health and safety issues of development existing at the date of adoption of this Ordinance.

~~The VC District is a Special District and as such is also subject to applicable provisions of Article 7.0 5.0 (Special District Regulations) and Article 10.0 8.0 (Site Plan Review). As outlined under Section 6.04, the Dixboro Design Review Board also provides advisory recommendations to the Planning Commission for development and building projects in the VC District that is within the Dixboro Area. The VC District is an existing Special~~

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~~District. The Township has no intention to rezone additional properties to the VC District.~~

~~**Section 2.119R. Neighborhood Shopping Center (NSC) District.**~~

~~THE NEIGHBORHOOD SHOPPING CENTER (NSC) DISTRICT IS HEREBY ESTABLISHED AS A SPECIAL DISTRICT TO PROVIDE FOR DEVELOPMENT OF NEIGHBORHOOD SHOPPING CENTERS. THE NSC DISTRICT IS INTENDED TO ENCOURAGE AND PERMIT RETAIL AND OFFICE USES THAT WILL SERVE THE DAY-TO-DAY NEEDS OF NEIGHBORING RESIDENTS. USES SHOULD BE COMPATIBLE WITH, AND SUPPORTIVE OF, EACH OTHER, IN ONE (1) OR MORE BUILDINGS OF UNIFIED ARCHITECTURAL CHARACTER, ON A SITE THAT IS PLANNED, DEVELOPED, AND MANAGED AS A SINGLE OPERATING UNIT. EACH SITE SHALL BE LANDSCAPED WITH A COMMON UNIFYING THEME, AND BE PROVIDED WITH COMMON DRIVES, PARKING AREAS, AND SERVICE AREAS.~~

~~THIS DISTRICT IS INTENDED TO ENSURE THAT COMMERCIAL USES WILL BE PROVIDED IN A PEDESTRIAN-SCALED SHOPPING CENTER ENVIRONMENT AND NOT IN A MISCELLANEOUS, UNCOORDINATED ARRANGEMENT OF USES ON INDIVIDUAL LOTS. IT IS INTENDED THAT THE DISTRICT PROVIDE AN ATTRACTIVE, COMFORTABLE, AND CONVENIENT ENVIRONMENT FOR PATRONS, AND THAT THE CENTER BE COMPATIBLE WITH NEIGHBORING USES, ESPECIALLY RESIDENTIAL USES. PARKING SHALL NOT DOMINATE THE APPEARANCE OF BUILDINGS AND SITES, AND DRIVE-IN AND DRIVE-THROUGH FACILITIES SHALL BE PROHIBITED IN THIS DISTRICT.~~

~~EXTENSION OF PUBLIC WATER AND SANITARY SEWER SERVICE INTO THIS DISTRICT SHALL BE PROHIBITED UNLESS SUCH SERVICE IS NECESSARY TO ADDRESS PUBLIC HEALTH AND SAFETY ISSUES OF DEVELOPMENT EXISTING AT THE DATE OF ADOPTION OF THIS ORDINANCE.~~

~~THE NSC DISTRICT IS A SPECIAL DISTRICT AND AS SUCH IS ALSO SUBJECT TO APPLICABLE PROVISIONS OF ARTICLE 7.0 5.0 (SPECIAL DISTRICTS) AND ARTICLE 10.0 8.0 (SITE PLAN REVIEW). AS OUTLINED UNDER SECTION 6.04, THE DIXBORO DESIGN REVIEW BOARD ALSO PROVIDES ADVISORY RECOMMENDATIONS TO THE PLANNING COMMISSION FOR DEVELOPMENT AND BUILDING PROJECTS IN THE NSC DISTRICT.~~

~~THIS DISTRICT SHALL BE LOCATED IN AREAS OF SUPERIOR TOWNSHIP THAT ARE DESIGNATED IN THE ADOPTED GROWTH MANAGEMENT PLANMASTER PLAN FOR NEIGHBORHOOD SHOPPING CENTER USE. USES PERMITTED IN THE NSC DISTRICT SHALL BE LIMITED TO THE SPECIFIC LISTING OF USES SHOWN ON THE APPROVED PRELIMINARY SITE PLAN. NO OTHER USES SHALL BE PERMITTED, UNLESS THE PRELIMINARY SITE PLAN IS AMENDED BY APPROVAL OF THE PLANNING COMMISSION, AFTER PUBLIC HEARING AND IN ACCORDANCE WITH THE PROVISIONS OF THIS ORDINANCE. THE NSC DISTRICT IS AN EXISTING SPECIAL DISTRICT. THE TOWNSHIP HAS NO INTENTION TO REZONE ADDITIONAL PROPERTIES TO THE NSC DISTRICT.~~

~~**Section 2.120S. Open Space Preservation (OSP) Overlay District.**~~

Woods and fields permit water infiltration, help maintain biological diversity and provide habitat for wildlife. The rural landscape provides the benefits of nature to citizen mental health. The Open Space Preservation (OSP) Overlay District is hereby established as a Special District to preserve open space for the citizens of Superior Charter Township now and in the future.

~~A. Intent.~~

The OSP Overlay District is intended to overlay certain designated and/or named properties in the Rural Districts and Planned Community (PC) Special District. In order that the rural landscape and open space is preserved and protected for posterity, the OSP Overlay District is designed to add a layer of protection on lands designated for open space, park land, or lands covered by preservation of development rights. The OSP District is a Special District and as such is also subject to applicable provisions of Article ~~7-0~~ 5.0 (Special District Regulations).

~~B. Lands to be Designated.~~

The following parcels and portions of parcels in the Township are to be designated as part of the OSP Overlay District:

1. All parcels and portions of parcels located within the boundaries of the OSP Overlay District, as shown on the Official Zoning Map;
2. Any parcels and portions of parcels to be permanently preserved by means of a conservation easement or similar irrevocable land preservation method; and
3. Any land areas identified in the Township's ~~Growth Management Plan~~ Master Plan for preservation of open space, significant natural resources, park lands, agricultural lands, or similar purposes. [amended 4/20/2009, Ord. 174-03] [Note – unless specifically zoned OSP, designation in GMP does not constitute a zoned district.]

~~ARTICLE 3 DIMENSIONAL STANDARDS~~

Section 4.08 Dimensional Standards by District

- A. Height, bulk, setback and area standards are set forth in Table A. Table of Dimensional Standards.**
- B. In all Districts, no building or use shall be established except in conformity with Table A.**
- C. Section 4.09 includes Supplemental Provisions and Exceptions to Table A.**

Section 3.101.A. Table of Dimensional Standards by District.

Dimensional Standards			Districts <i>(Section 4.01 defines zoning district symbols)</i>																	Additional Standards						
			Rural			Rural Residential		Urban Residential			Business			Other	Special											
			R-C	A-1	A-2	R-1	R-2	R-3	R-4	R-6	R-7	NC-1	C-2	O-1	PSP	PC	NSG	VC	MS		PM	OSP				
Maximum Building Height	Feet	35	40	40	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	35	Section 3.2014.109 A					
	Stories	2.5	3.0	3.0	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5		3.0				
Lot Standards	Minimum Width (feet)	225	225	225	200	150	100	60	see Section 5.205-10.04.E (Manufactured Housing Park Standards)	125	150	150	100	150	see Article 7.05.0 (Special District Regulations)	250	100	see Article 7.05.0 (Special District Regulations)	150	see Article 7.05.0 (Special District Regulations)	Section 3.2024.10 9B					
	Minimum Depth (feet)						150	120																		
	Minimum Area (acres or square-feet)	5.0 acres	5.0 acres	2.0 acres	2.0 acres	1.0 acre	21,780	7,200		21,780	10,500	20,000	20,000	20,000		3.0 acres	20,000		2.0 acres							
Yard/Setback Standards (feet)	Front Yard	Minimum	60	75	75	60	50	35	25	35	20	35	20	20	see Article 7.05.0 (Special District Regulations)	50	20	see Article 7.05.0 (Special District Regulations)	50	see Article 7.05.0 (Special District Regulations)	Section 3.2034.109 C					
		Maximum												35												
	Minimum Side Yard	One Side Yard	30	30	30	20	15	10	6	15	15	20	10	20		25	10		10							
		Total of Two	60	60	60	60	50	25	16	35	30	40	20	40		50	20		20							
Minimum Rear Yard	50	50	50	50	50	50	35	35	35	35	35	35	35	25	35	35										
Maximum Ground Floor Coverage (GFC)		5%	5%	5%	10%	15%	20%	25%	20%	20%	25%	25%	25%	20%	25%	20%	20%									
Maximum Floor Area Ratio (FAR)		0.05	0.05	0.05	0.10	0.15	0.25	0.40	0.30	0.30	0.50	0.50	0.50	0.20	0.50	0.40	0.40									
Maximum Net Dwelling Unit Density (units per acre)		0.2	0.2	0.5	0.5	1.0	2.0	4.0	8.0																	

B. Table of District Symbols:

Type of District	Zoning District Name	Symbol
Rural	Recreation-Conservation-District	R-C
	Agricultural-District	A-1
	Agricultural-District	A-2
Rural Residential	Single-Family-Residential-District	R-1
	Single-Family-Residential-District	R-2
Urban Residential	Single-Family-Residential-District	R-3
	Single-Family-Residential-District	R-4
	Manufactured-Housing-Park-District	R-6
	Multiple-Family-Residential-District	R-7
Business	Neighborhood-Commercial-District	C-1
	General-Commercial-District	C-2
	Office-District	O-1
Other	Public/Semi-Public-Services-District	PSP
Special	Planned-Community-District	PC
	Neighborhood-Shopping-Center-District	NSC
	Village-Center-District	VC
	Medical-Services-District	MS
	Planned-Manufacturing-District	PM
	Open-Space-Preservation-Overlay-District	OSP

Section 4.09 Supplemental Provisions and Exceptions

Section 3.201A. Height Exceptions.

The height requirements established by this chapter shall apply to every building and structure with the following exceptions, provided that their location shall conform to the requirements of Superior Township, the Federal Communications Commission, the Federal Aviation Administration, and other public authorities having jurisdiction: Exceptions to the maximum height standards set forth in this Article shall be permitted, as follows:

1. **Farm structures.** The maximum permitted height of farm structures shall be seventy-five (75) feet.
2. **Wireless communication towers.** Wireless communication towers and antennae shall be subject to the maximum height standards of Section ____ (Wireless Communication Facilities).
3. **Wind energy conversion systems (WECS).** Wind energy conversion systems shall be subject to the maximum height standards of Section ____ (Wind Energy Conversion Systems).
4. **Exempt structures.** Public utility structures and public monuments in any zoning district shall be exempt from the maximum height standards of this Ordinance.
5. **Limited exceptions.**
 - a. ____ Chimneys, steeples, elevator towers, stage scenery lofts, mechanical equipment, and similar structures, provided that the total area covered by such structures shall not exceed twenty percent (20%) of the roof area of the building, may exceed up to twelve (12) feet in height above the roof line. shall not be included in calculating the height of a principal building, provided that the total area covered by such structures shall not exceed twenty percent (20%) of the roof area of the building.
 - b. Spires, belfries, and steeples provided that the overall height does not exceed 150% of the maximum permitted building height in the district wherein located.
 - c. Parapets may extend up to three (3) feet above roof line.

Section 3.202B. Lot Standards.

The development of all parcels in Superior Township must be predicated on having frontage on a public and/or private street. Said frontage must be in compliance with the provisions of this Ordinance and any other applicable ordinances such as Subdivisions, Private Road,

and Land Division ordinances. All resulting parcels must meet the minimum requirements for width, area, and depth of the applicable zoning district, Washtenaw County Health Department requirements for on-site sewage disposal systems or water supply, where a public water system is not available. The following standards and exceptions to the lot provisions set forth in this Article shall apply to all lots in the Township:

A.1. Lot Width Measurements

Lot width is measured from one side lot line to the opposite side lot line. The minimum required width of any lot shall consist of the horizontal straight line distance between the side lot lines measured along the front building line, or the required front yard setback line for vacant lots. The straight line distance between the side lot lines at their foremost points, where they intersect the street line, shall not be less than eighty percent (80%) of the required lot width, except in the case of Lot width measurements shall be further subject to the following:

- a. For lots fronting onto the turning circle of cul-de-sac streets, in which case the minimum lot width distance shall be twenty (20) feet.
- b. Where lots border upon a lake or river, the front yard shall be designated as that yard fronting the water and the required minimum lot width shall be measured along the front building line or the required front yard setback line.
- c. On a flag lot, the lot width shall be measured from the interior lot line most parallel to and nearest the road from which access is obtained.
- d. The total lot width for a parcel of land shall not include any public or private road rights-of-way.
- e. An access driveway or easement serving two or more residential properties under private ownership is considered a road and the width of the right-of-way may not count towards minimum lot width requirements.
- f. An access driveway or easement serving a single residential property under private ownership is not considered a road and the width of the driveway may be counted towards minimum lot width requirements.
- g. Irregular lot widths are measured from one side lot line to the opposite side lot line along the tangent of the curve representing the front building line.

B-2. Lot Area

The lot area used to satisfy the minimum lot area, lot coverage, and floor area ratio requirements shall not include areas within any street-road rights-of-way. Lot width measurements shall be further subject to the following:

- a. An access driveway or easement serving two or more residential properties under private ownership is considered a road and the area associated with the right-of-way may not be counted towards minimum lot area measurements.
- b. An access driveway or easement serving a single residential property under private ownership is not considered a road and the area of the driveway may be counted towards minimum lot area measurements.

Section 3-203C. Yard Standards.

Any required front yard area shall be used primarily for recreational and ornamental purposes, unless otherwise permitted by this Ordinance. No permanent structures shall be maintained within the required front yard, except fences and similar improvements permitted by this Ordinance.

A-1. Yard Measurements

Yard measurements shall be further subject to the following:

- a. Yards shall be measured from the outer edge, including overhangs, of the exterior faces of a structure to lot lines.
- b. Front and corner side yards shall be measured from existing right-of-way or easement lines.
- c. All required yards shall be located parallel and adjacent to property lines.
- d. All required yards shall be measured from the right-of-way line of a public street, or from the right-of-way or easement line of a private street.
- d.e. Where lots border upon a lake or river, the front yard shall be designated as that yard fronting the water.

B-2. Corner Lots.

Structures on corner lots shall comply with the minimum front yard setback requirements from all street rights-of-way, except as may otherwise be required by this Ordinance. Such lots shall be deemed to have two (2) front yards for purposes of this Ordinance.

G-3. Double Frontage Lots.

Where a block of double frontage lots exists, one (1) street may be designated by the Zoning Inspector as the front street for all lots in the block. Otherwise, both frontages shall be considered front yards for purposes of this Ordinance.

D-4. Maximum Setback.

The purposes of the maximum front yard setback (also known as a "build-to line") for certain zoning districts are to minimize the need for excessive signage by maximizing the visibility of permitted commercial buildings; and to minimize visual and other impacts from large expanses of parking within a front yard. All new buildings constructed after the effective date of this Ordinance shall comply with the maximum setback requirements of this Article.

G-5. Permitted Yard Encroachments.

Architectural features, chimneys, elevated porches and decks, and other building projections, egress window wells, HVAC equipment, generators, and similar structures and improvements shall be considered part of the primary building for purposes of determining yard and setback requirements. Limited projections into certain required yards shall be permitted as follows:

- a. The following structures may be located within any required side or rear yard setback area: open and unroofed terraces, and patios; awnings; sheds, flag poles; hydrants; trellises; recreation equipment; outdoor cooking equipment; sidewalks; trees, plants, shrubs, and hedges; solid fences, screens, or walls less than four (4) feet in height; fences, screens, or walls having at least fifty percent (50%) of their surface area open when viewed from the perpendicular; and mailboxes. In addition to allowing in the side and rear yard, the following structures may also be permitted in the required front yard: flag poles; hydrants; trellises; sidewalks; trees, plants, shrubs, and hedges; fences, screens, or walls in compliance with fence ordinance; and mailboxes.
- b. Barrier-free access, such as ramps, to existing dwelling units shall meet the required yard setbacks for the zoning district in which the dwelling is located, wherever possible. A waiver to allow barrier free access improvements within a required yard setback area may be granted by the Zoning Inspector upon the applicant's showing of the following:
 - i. The need for such access by an occupant of the dwelling or by an immediate family member of the occupant; and

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- ii. The encroachment into the required setback is the minimum encroachment necessary to construct or install the barrier-free access.
- c. Porches and decks may encroach into the required rear yard setback when all of the following conditions apply:
 - i. The porch or deck does not enlarge, expand, or extend an existing nonconformity.
 - ii. The porch or deck serves a ~~single-family detached residential~~ dwelling.
 - iii. The maximum encroachment is limited to ten (10) feet in depth and two hundred (200) square feet in area.
 - iv. The lot area of the parcel is ~~eighteen thousand twenty-one thousand, seven hundred and eighty (18,000)~~ eighteen thousand twenty-one thousand, seven hundred and eighty (21,780) square feet or less.
 - v. Portions of porches or decks that encroach into the setback shall be unroofed and open-sided except for guards and handrails as required by the State Construction Code.

~~Section 6.08 Access Through Yards~~

- d. Access drives may be placed in the required front or side yards so as to provide access to rear yards or accessory or attached structures. Any walk, terrace or other pavement serving a like function and not in excess of 18 inches above grade shall be permitted in any required yard and not be considered to be a structure.

H.D. Watercourse and Wetland Setback.

A minimum open space setback area from watercourses and wetlands shall be required in accordance with Section 13.03 (Natural Feature Protection). This open space setback area shall overlap any minimum required yard setback area as regulated by this Article.

~~Section 3.204E. Density Regulations.~~

The following shall be excluded from the total acreage used in calculating the net density of dwelling units in any zoning district that permits RESIDENTIAL USES as part of a development project subject to site plan approval, condominium site plan approval, subdivision plat approval, or Special District Area Plan approval in accordance with this Ordinance or other Township ordinances:

- 1. Existing rights-of-way and easements;

2. Rights-of-way and easements of proposed public and private streets, and rights-of-way of local and collector streets;
3. Floodplains, wetlands, bodies of water, watercourses, and drainageways; and
4. Steep slopes, as defined in Section _____ (Definitions).

~~Section 3.205 Compliance with Dimensional Standards.~~

~~New lots created, new structures erected, and alterations to existing structures after the effective date of adoption or amendment of this Ordinance shall comply with all applicable dimensional standards of this Ordinance.~~

- ~~1. No structure shall be erected, converted, enlarged, reconstructed or structurally altered except in conformity with the yard and area regulations of the district in which the structure is located.~~
- ~~2. No lot, adjacent lots in common ownership, required yard, parking area or other required open space shall be created, divided or reduced in dimensions or area below the minimum requirements of this Ordinance.~~
- ~~3. Every building hereafter erected on a lot or parcel of land created subsequent to the effective date of this Ordinance shall comply with the lot size, lot coverage, and setback requirements for the district in which it is located.~~
- ~~4. Existing yard setbacks shall not be reduced below the minimum requirements of this Ordinance.~~

~~Section 3.206F. Number of Principal Dwellings per Lot.~~

~~Not more than one (1) principal, non-farm single-family detached dwelling shall be located on a lot, nor shall a single-family detached dwelling be located on the same lot with any other principal building or use, except as permitted in a Special District and as permitted on farms for farm labor housing and permitted accessory dwelling units. For single-family condominium developments, not more than one (1) principal detached dwelling shall be placed on each condominium lot, as defined in Section _____ (Definitions).~~

~~Section 3.207 Access to Streets.~~

~~No dwelling shall be built on any lot that does not abut and have direct frontage on an approved road. Access to streets shall be subject to the following:~~

~~A. Access to Public or Private Streets~~

~~In any district, every lot created and every principal use or structure which is established after the effective date of adoption or amendment of this Ordinance shall be on a lot or parcel which abuts a public or private street by the entire width of the lot. Such street shall have a right-of-way at least 66 feet wide unless a lesser width has been established and recorded prior to the effective date of this Ordinance.~~

~~B. Access for Emergency Services and Parking and Loading Areas:~~

~~Every building and structure located or relocated after the effective date of adoption or amendment of this Ordinance shall be so located on lots as to provide safe and convenient access for emergency purposes and fire protection vehicles, and for required off-street parking and loading areas.~~

~~C. Access to Uses Not Permitted in Residential Districts:~~

~~No land in any Rural Residential or Urban Residential Districts shall be used for vehicular or pedestrian access to land or structures in other zoning districts used for any purpose not permitted in the residential district, except as provided in this subsection or otherwise authorized by this Ordinance. Where provision does not exist for safe access for emergency and public service vehicles and such access is not reasonably feasible except through privately owned residentially zoned land, access reserved for and limited to such vehicles may be authorized by the Planning Commission, subject to such conditions and safeguards as the Planning Commission deems necessary to protect the tranquility and character of the residential lands so traversed.~~

Section 3.208 — Corner Clearance Zones. [moved to Art. 7]

On a corner lot in any zoning district, no fence, wall, hedge, screen, sign, structure, or planting shall be placed in such manner as to materially impede the vision between a height of two (2) feet and six (6) feet above the existing centerline road grade within a triangular area formed by the intersection of two (2) road right-of-way lines connected by a diagonal across the interior of such lines at the following distances from the point of intersection (see "Corner Clearance Area" illustration):

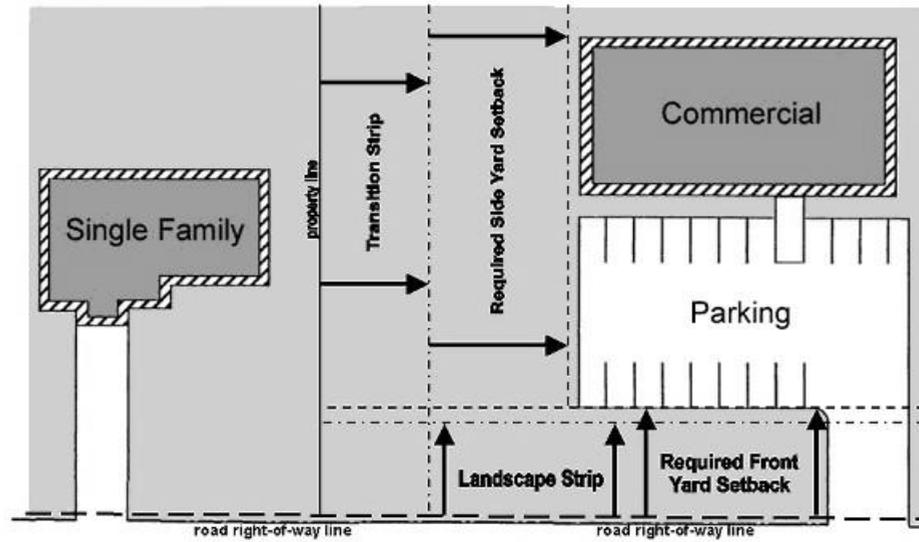
ion (see "Corner Clearance Area" illustration):

Corner Clearance Zones	
Type of Road Intersection	Minimum Corner Clearance Distance along Rights-of-Way
Any intersection of two (2) primary roadways	50 feet
Any intersection of a primary roadway and a collector or local roadway	25 feet
Any intersection of a collector roadway and a collector or local roadway	25 feet

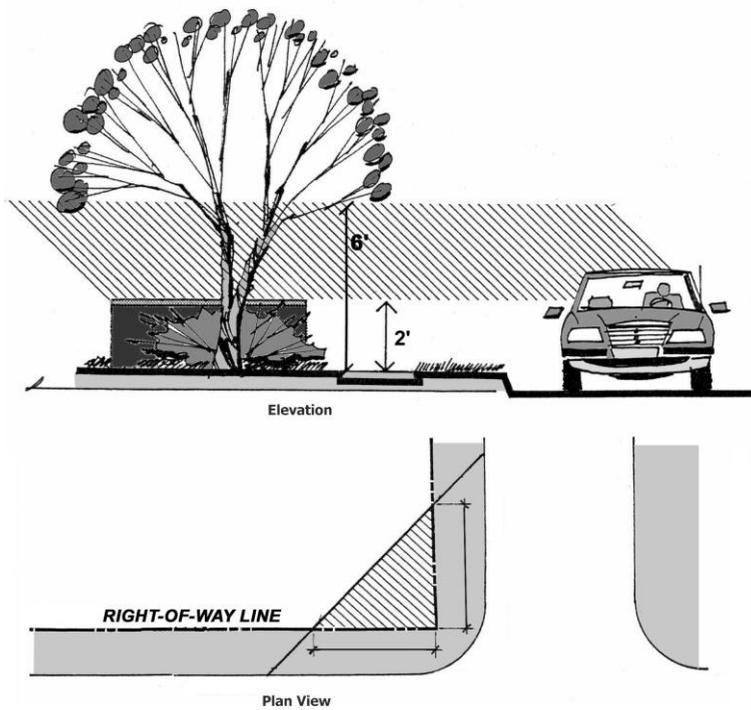
Corner Clearance Zones	
Type of Road Intersection	Minimum Corner Clearance Distance along Rights-of-Way
Any intersection of local roadways	10 feet

- ~~1. Road classifications shall be as defined in the Township's Growth Management Plan and the master transportation plans for state or county road authorities.~~
- ~~2. Trees shall be permitted within a corner clearance zone, provided that limbs and foliage are trimmed so that they do not obstruct visibility or otherwise create a traffic hazard.~~

ILLUSTRATIONS



Transition and Landscape Strips



Corner Clearance Area

ARTICLE-Section 4.10 Land-Use-Table Use Regulations by District

A. In all Districts, no building or land shall be used except for one (1) or more specified uses set forth in Table 4.11θ, Table of Use Regulations. Refer to Section _____ for permitted land uses in the Planned Community (PC) Special District.

Section 4.01B. Key Designations in Table θ-of Use Regulations.

In addition to the following key designations contained in the Section 4.11 Table of Use Regulations, Section 4.01 contains a list symbols used for Zoning District categories.

SYMBOL	KEY	
P	Permitted Uses in the Zoning District	Principal Use
C		Conditional Use
A		Accessory Use
	Prohibited Use in the District	

Section 4.02C. Organization of Table of Permitted-Use Regulations by District.

The uses of land in the following table have been organized, for ease of use and convenience, into use groups based upon certain characteristics that the grouped uses may share. These use groups are described below:

1. **AGRICULTURAL AND RURAL USES.** These uses primarily involve the keeping, breeding or use of animals; production or distribution of produce and farm-related products; and associated uses of a rural character or intensity.
2. **RESIDENTIAL USES.** These uses primarily involve housing of various types and densities, and associated uses typically found in a residential neighborhood.
3. **OFFICE, SERVICE, AND COMMUNITY USES.** Community uses are public-owned or operated uses; uses of a not-for-profit nature; uses that involve benefits

Zoning District Regulations

or services generally provided to a significant portion of the population; or uses that serve as focal or gathering points for the community. Office or service uses are private-owned or operated uses; or uses of a for-profit nature, such as personal service establishments, medical and professional offices, workshops and studios, and similar associated uses.

4. COMMERCIAL USES. These are uses of a generally for-profit nature, and may include retail sales, food service, entertainment, repair services and similar associated uses.

4.5. AUTOMOTIVE USES. These are activities and businesses involved with cars, trucks, and other motor vehicles. This includes the design, manufacture, sale, repair, and care of vehicles, as well as the supply of parts, equipment, and fuel.

5.6. INDUSTRIAL, RESEARCH, AND LABORATORY USES. These are uses of a light manufacturing, research, warehousing or wholesaling character; or that involve compounding, processing, packaging, assembly, storage or treatment of materials.

6.7. OTHER USES. These are uses that, because of unusual character, intensity or nuisance factors, do not fit well into the preceding use groups.

Uses	Districts															Use Standards			
	Rural			Residential				Business			Other	Special							
	R-C	A-1	A-2	R-1, R-2	R-3, R-4	R-6	R-7	E-1 <u>NC</u>	E-2 <u>VC</u>	O-1	PSP	PC	NSC	VC	MS		PM	OSP	
State-Licensed and Other Managed Residential Facilities not otherwise listed in this table															C		Section 5.206		
OFFICE, SERVICE, AND COMMUNITY USES																			
Banks, Credit Unions, and Similar Financial Services								P	P	P				-	-	C	A	Section 5.301 Section 5.406	
Barber Shop, Beauty Salon, or Nail Care Personal Services								P	P	A				-	-	A		Section 5.301	
Campgrounds and Recreational Vehicle Parks	E	-	-	-	-	-	-	-	-	-				-	-	-	-	E Section 5.302	
Cemetery	-	E	E	-	-	-	-	-	-	-	P	-	-	-	-	-	-	Section 5.303	
Copy Center Business Services								P	P	A							A	Section 5.301	
Day Care Center—Child or Adult	-						E	P	-	A	P	-	-	-	P	A	-	Section 5.304	
Funeral Parlor or Mortuary									P	P									
Government Offices	-							P	P	P	P	-	-	-	P	P	-	-	
Health Club or Fitness Center					A	A	A	P	P	P	A			-	-	A	A	Section 5.301	
Hospital or Urgent Care Center								C	C	P				-	-	P			
Institutional Uses								C	C	P	P			-	-	A		Section 5.306	
Landscaping and Maintenance-Snowplow Operations		C	C					C	C	-				-	-		C	Section 5.307	
Medical, Osteopathic, Chiropractic, Optical or Dental Office, Clinic, or Laboratory; Massage Therapist or Physical Therapy Facility exceeding 4,000 square-foot in floor area per building								C	PC	P				P	P	P	A	Section 5.309	
Medical, Osteopathic, Chiropractic, Optical or Dental Office, Clinic, or Laboratory; Massage Therapist or Physical Therapy Facility up to 4,000 square-foot in floor area per building	-	-	-	-	-	-	-	P	P	P				-	P	P	P	A	Section 5.309

Uses	Districts															Use Standards	
	Rural			Residential				Business			Other	Special					
	R-C	A-1	A-2	R-1, R-2	R-3, R-4	R-6	R-7	E-1 NC	E-2 VC	O-1	PSP	PC	NSC	VC	MS		PM
Medical, Optical or Radiology Laboratories	-	-	-	-	-	-	-	-	P	P		-	-	-	P	P	
Professional Offices Offices for Business, Professional, Executive, Service or Administrative Uses exceeding 4,000 square-feet in floor area per building								C	P C	P				P	P	P	P
Professional Offices for Business, Professional, Executive, Service or Administrative Uses up to 4,000 square-feet in floor area per building								P	P	P				P	P	P	P
Public or private elementary, middle, and secondary schools	C			C				C	C								
Public or private colleges, universities, or trades school institutions								C	C								
Offices of a Plumber, Electrician, and Similar Skilled Trades Contractor Trades Contractor Office or Yard without outdoor storage								P	P	E				-	-		P
Trades Contractor Office or Yard with outdoor storage								C	C								P
Pharmacies, Drugstores, and Medical Supply Stores	-	-	-	-	-	-	-	P	P	E		-	P	-	P	A	-
Police, Fire, and Ambulance Stations	E	P	P	P	P	-	-	-	P	P	E						
Recreational Facilities – Private Membership or Restricted Access	C	C	C	C	C		C	C	C	-	P		-	-	C	C	C
Recreational Facilities - Publicly-Owned or Unrestricted Access	C	C	C	C	C		C	PC	P	-	P		-	-	C	C	P
Snow Removal Operations	-	P	P	-	-	-	-	-		-		-	-	-	-	-	-

Section 5.301
Section 5.406

Section 5.308

Section 5.307

Uses	Districts															Use Standards	
	Rural			Residential				Business			Other	Special					
	R-C	A-1	A-2	R-1, R-2	R-3, R-4	R-6	R-7	C-1 NC	C-2 VC	O-1	PSP	PC	NSC	VC	MS		PM
<u>Veterinary Clinic or Animal Hospital</u>	-	C	C	-	-	-	-	P	P			-					<u>Section 5.110</u>
<u>Wireless Communications Facilities</u>		C	C	C							C				C	C	
Workshops and Studios for Art, Photography, Crafts, Repairs, and Similar Activities								<u>E</u> P	P	<u>E</u>			P	P			
COMMERCIAL USES																	
Amusement Center, Indoor								<u>C</u>	C	-			-	-			Section 5.402
<u>Artisan Food and Beverage Production</u>								<u>P</u>	<u>P</u>								
Amusement Center, Outdoor	-	-	-	-	-	-	-	-	<u>E</u>	-		-	-	-	-	-	Section 5.402
Antique Sales and Repair	-	-	-	-	-	-	-	P	P	-		-	-	P	-	-	-
Bakeries	-	-	-	-	-	-	-	P	P	-		-	-	-	-	P	-
Big-Box Commercial Uses	-	-	-	-	-	-	-	-	<u>E</u>	-		-	-	-	-	-	Section 5.404
Bookstores and Music Shops	-	-	-	-	-	-	-	P	P	-		-	P	P	-	-	Section 5.404
Broadcasting Studios, including Radio and Television								<u>P</u>	P	<u>E</u>			-	-			
Car Wash	-	-	-	-	-	-	-	<u>E</u>	P	-		-	-	-	-	-	Section 5.405
Coffee and Tea Shops								P	P	A				P	C		Section 5.401
COMMERCIAL USES not otherwise listed in this table								C	<u>C</u>	-			-	-			
Convenience Stores, Not Including Sales of Alcoholic Beverages								P	P	-			P	-			Section 5.401
Convenience Stores Selling Alcoholic Beverages								C	C	-			P	-			
COMMERCIAL USES (continued)																	
Dealership Showroom for Sales or Rentals of Motor Vehicles, Construction or Farming Machinery, or Similar Durable Goods	-	-	-	-	-	-	-	-	P	-			-	-	-	-	-
Drive-In or Drive-Through Facilities for Financial Institutions and government offices								C	C	<u>E</u>	A				C		Section 5.406

Uses	Districts															Use Standards		
	Rural			Residential				Business			Other	Special						
	R-C	A-1	A-2	R-1, R-2	R-3, R-4	R-6	R-7	C-1 NC	C-2 VC	O-1	PSP	PC	NSC	VC	MS		PM	OSP
Drive-In or Drive-Through Facilities for Restaurants and Food Service Establishments								C	C	-			-	-				Section 5.406
Drive-In or Drive-Through Facilities for Pharmacies, Drugstores, and Other Retail Sales								C	C									Section 5.406
Flower and Plant Shops	-	-	-	-	-	-	-	P	P	-		-	P	P	A	-	-	Section 5.401
Furniture, Appliance, and Department Stores	-	-	-	-	-	-	-	C	P	-		-	-	-	-	-	-	Section 5.404
Gift Shops	-	-	-	-	-	-	-	P	P	-		-	P	P	A	-	-	Section 5.401
General Retail Sales	-	-	-	-	-	-	-	P	P			-			A	A	-	-
Event Barns		C	C															
Firearm Retail Sales								C										
Grocery Stores, Meat and Fish Market, Delicatessen, Ice Cream and Dairy Market, and Health Food Store								P	P	-			P	P				Section 5.404
Hardware, Garden Supply, and Home Improvement Store								C	P	-			P	-				Section 5.404
Hotel or Inn								P	P	-			-	-	C			
Large Scale Retail and Entertainment	-	-	-	-	-	-	-	-	C	-		-	-	-	-	-	-	Section 10.05B
Laundromat or Dry Cleaners								P	P	-			P	-				Section 5.401
Manufactured Housing Sales							C			P	-		-	-				Section 5.410
Motion Picture Cinema, Indoor								P	P	-			-	-				Section 5.407
Motion Picture Cinema, Outdoor	-	-	-	-	-	-	-	-	-	-		-	-	-	-	-	-	Section 5.407
Motor Vehicle Fueling Station	-	-	-	-	-	-	-	-	C	-		-	C	-	-	-	-	Section 5.408
Motor Vehicle Repair Station	-	-	-	-	-	-	-	-	C	-		-	-	-	-	-	-	Section 5.408
Motor Vehicle Service Center	-	-	-	-	-	-	-	-	P	-		-	-	-	-	-	-	Section 5.408

Uses	Districts														Use Standards			
	Rural			Residential				Business			Other	Special						
	R-C	A-1	A-2	R-1, R-2	R-3, R-4	R-6	R-7	C-1 NC	C-2 VC	O-1	PSP	PC	NSC	VC		MS	PM	OSP
<u>Machinery, or Similar Durable Goods</u>									P									
INDUSTRIAL, RESEARCH, AND LABORATORY USES																		
Blacksmithing, Furniture or Cabinet Repair or Manufacture, Woodworking Shops, and Similar Uses								C	C	-			-	-		P		
Trades Contractor's Establishments and Equipment Yards Office	-	-	-	-	-	-	-	C	C	-			-	-	-	P	-	Section 5.503
Crematorium										-			-	-		C		Section 5.501
Distribution Facilities and Truck Terminals										-			-	-		C		Section 5.503
Dry Cleaning - Central Cleaning/Processing Plant										-			-	-		C		Section 5.501
Material Recovery Facilities								C	C	-			-	-		C		Section 5.502
Manufacturing, Processing, or Treatment of Food Products, Pharmaceuticals, Cosmetics, and Similar Items								C	C	-			-	-		P		
INDUSTRIAL, RESEARCH, AND LABORATORY USES (continued)																		
Manufacturing, Processing, or Assembling of Appliances, Wiring Devices, Electronic Components and Equipment, Fabricated Metal Products, Transportation Equipment, and Similar Items										-			-	-		P		
Manufacturing, Processing, or Assembling of Automated Production Equipment; Measuring, Analyzing, and Controlling Instruments; Computing Equipment; Optical Equipment; Time-keeping Devices; and Similar Items										-			-	-		P		

Uses	Districts															Use Standards		
	Rural			Residential			Business			Other	Special							
	R-C	A-1	A-2	R-1, R-2	R-3, R-4	R-6	R-7	C-1 NC	C-2 VC	O-1	PSP	PC	NSC	VC	MS		PM	OSP
Manufacture, Processing, Production or Wholesale Storage of Chemicals, Petroleum or Paper Products, Cement, Lime, Gypsum, Glue, Soap, Soda, Compound, Salt, Potash or Similar Materials										-			-	-		C		Section 5.501
Outdoor Storage, General										-			-	-		P		Section 5.503
Outdoor Storage, Dismantling or Recycling of Motor or Recreational Vehicles, Boats, Construction or Farming Machinery, Manufactured Houses or Similar Items										-			-	-		C		Section 5.502
Outdoor Storage of Recreational Vehicles									C	-			-	-		C		Section 5.504
Packaging Operations										-			-	-		P		
Pilot Plant Operations, and Prototype or Pilot Processing, Manufacturing or Assembly										-			-	-		P		
Printing, Publishing, Bookbinding, and Allied Industries										-			-	-		P		
Production of Genetic Materials										-			-	-		P		
INDUSTRIAL, RESEARCH, AND LABORATORY USES (continued)																		
Research and Development Facilities, Technical Centers, and Laboratories										-			-	-	P	P		
Self-Storage Warehouses									C	-			-	-		P		Section 5.504
Slaughterhouse, Rendering Plant or Similar Facility										-			-	-		C		Section 5.501
Warehouses and Non-Farm Bulk Indoor Storage										-			-	-		AC		
OTHER USES																		
Accessory Structures and Uses	A	A	A	A	A	A	A	A	A	A	A		A	A	A	A	A	
Adult Regulated Uses																C		

ARTICLE 10 USE STANDARDS

Section 10.~~001~~ Intent.

Each use listed in this Article, whether permitted by right or subject to approval of a Conditional Use Permit, shall be subject to the site development standards specified in this Article, in addition to applicable standards and requirements for the zoning district in which the use is located. ~~The standards of this Article are intended to:~~

- ~~1. Alleviate any adverse impacts of a use that is of an area, intensity or type unique or atypical for the district in which the use is allowed.~~
- ~~2. Mitigate the impact of a use that possesses characteristics unique or atypical for the district in which the use is allowed.~~
- ~~3. Ensure that such uses will be compatible with surrounding land uses.~~
- ~~4. Promote the orderly development of the district and the Township as a whole.~~

~~Section 10.002 Scope Of Regulations.~~

~~Unless otherwise specified in this Article, all uses shall be subject to the applicable dimensional and use standards for the zoning district in which the use is located. All uses shall comply with the performance standards for noise, odor, and other impacts specified in Section _____ (Performance Standards). Conformance with these standards shall be subject to site plan approval, where required per this Article or Article _____ (Site Plan Review).~~

Section 10.~~003~~ Organization.

For the purposes of clarity and ease of use, the provisions of this Article have been organized into the following divisions:

SECTION 10.~~10003~~ RURAL USES

SECTION 10.~~20004~~ RESIDENTIAL USES

~~SECTION 10.300 OFFICE, SERVICE, AND COMMUNITY USES~~

~~SECTION 10.400 COMMERCIAL USES~~

~~SECTION 10.500 INDUSTRIAL, RESEARCH, AND LABORATORY USES~~

~~SECTION 10.600 OTHER USES~~

SECTION 10.05 NON-RESIDENTIAL USES

SECTION ~~10.100~~10.03

RURAL USES

A. Volatile Farm-Based Bio-Fuel Production.

In accordance with Section 3513 of the Michigan Zoning Enabling Act, limited, farm-based production of certain biofuels shall conform to the following requirements:

1. General Standards.

The following standards shall apply to all such facilities:

- a. The biofuel production facility shall be accessory to and located on the same zoning lot as an active farm operation lawfully operating in the Township.
- b. Biofuel production authorized by this Section shall be limited to a renewable fuel product, such as ethanol and biodiesel, derived from recently living organisms or their metabolic byproducts. Farm-based production of methane or any fuel product from an anaerobic digester shall be prohibited.
- c. No part of a biofuel production facility, including driveways and other site improvements, shall be located within any required yard setback area per Section 4.07 (Dimensional Standards). In addition, such facilities and improvements shall be set back a minimum of one hundred (100) feet from all lot boundaries and road rights-of-way.
- d. Structures, facilities, and equipment used in the production or storage of biofuel shall comply with this Ordinance, other ordinances, and applicable state and federal laws and regulations.
- e. Prior to the start of operation and upon any written request from the Township, the owner or operator of the biofuel production facility shall provide to the Zoning Inspector documentation of all necessary permits and approvals from applicable federal, state, and local authorities with jurisdiction over any of the following:
 - (1) Air pollution emissions.
 - (2) Transportation of biofuel or another product or by-product of production.
 - (3) Use or reuse of additional products resulting from biofuel production.

- (4) Storage of raw materials, fuel or additional products used in or resulting from biofuel production.
- (5) Verification that the facility includes sufficient storage for raw materials, fuel, and additional products resulting from biofuel production; or the capacity to dispose of additional products through land application, livestock consumption, sale or other lawful means.
- (6) Compliance with federal requirements associated with ethanol production of more than ten thousand (10,000) proof gallons annually.
- f. The operator of the facility shall keep a written record of the source(s) of the feedstock for the biofuel production facility, and the end users of the biofuel or another product or by-product produced by the biofuel production facility.
- g. The operator of a facility with an annual production capacity of not more than one hundred thousand (100,000) gallons of biofuel operating as a permitted use in the zoning district (without Conditional Use Permit approval) shall also provide an annual written report to the Zoning Inspector which demonstrates that:

 - (1) At least seventy-five percent (75%) of the feedstock was produced on the farm where the biofuel production facility is located; and
 - (2) At least seventy-five percent (75%) of the biofuel or another product or byproduct produced by the biofuel production facility is used on that farm.

Operation of a biofuel production facility with an annual production capacity of not more than one hundred thousand (100,000) gallons that does not conform to the percentage limitations of this subsection shall be subject to Conditional Use Permit approval in accordance with this Section and Ordinance.

2. Additional Standards For Certain Facilities.

In accordance with Section 3513 of the Michigan Zoning Enabling Act, the following additional standards shall apply only to biofuel production facilities with an annual production capacity of more than one hundred thousand (100,000) gallons of biofuel, and to any biofuel production facility subject to Conditional Use Permit approval in accordance with this Section or Ordinance:

- a. Such facilities shall be limited to a maximum annual biofuel production capacity of not more than five hundred thousand (500,000) gallons.

b. Any application for approval of a such a facility shall include all of the following, in addition to the other applicable requirements of this Ordinance:

- (1) A detailed description of the process to be used to produce the biofuel.
- (2) The number of gallons of biofuel anticipated to be produced annually.
- (3) An emergency access and fire protection plan, subject to review and recommendation by emergency response agencies serving the Township.
- (4) Documentation of compliance with applicable requirements of this Ordinance, other ordinances, and state and federal laws and regulations.

3. Limitations On Conditional Use Permit Review.

Per Section 3513 of the Michigan Zoning Enabling Act, Township review of a Conditional Use Permit application for a biofuel production facility shall be modified as follows:

- a. **60-day time limit for a public hearing.** For any Conditional Use Permit application subject to the requirements of this Section, the Planning Commission shall hold a public hearing on the application in accordance with Section 3.11 (Public Hearing Procedures) within sixty (60) calendar days after the filing date of a complete and accurate application.
- b. The application shall be deemed to have been rejected as incomplete if no public hearing is held within this sixty (60) calendar day period. An application deemed incomplete per this subsection may be resubmitted as a new application for the purpose of completing the review process. Such applications shall not be subject to the requirements of Section 9.08 (Re-Application).
- c. **Limitation on conditions of approval.** The Planning Commission's authority to impose conditions on the approval of a biofuel production facility subject to this Section shall be limited to conditions necessary to verify that the facility conforms to all of the requirements of this Section [amended 12/16/2013, Ord. 174-14]

~~B. Section 10.101~~ Agricultural Services and Farm Supply Stores.

Agricultural service establishments, bulk feed and fertilizer supply outlets, farm supply stores, and similar uses shall be subject to the following:

1. Any retail store component of such uses shall conform with all parking, loading, screening, and other site development standards that apply to COMMERCIAL USES.
2. Farm products offered for sale shall include those grown or produced on land in Michigan or made from products grown or produced on land in Michigan.
3. Any outdoor sales or display areas shall conform to the standards of Section ~~_____~~10.06 U (Outdoor Sales or Display Areas).
4. Outdoor storage areas shall be adequately contained and shall be screened from adjacent lots and road rights-of-way per Section ~~_____~~12.03 (~~Landscaping, Screening and Land Use Buffers~~ Methods of Screening).
5. Storage, distribution, and processing of farm products as part of a permitted agricultural service establishment shall comply with the following:
 - a. Such uses shall not create a health or safety hazard, a nuisance, or have deleterious impact on the surrounding area either due to appearance or operation.
 - b. Such uses shall be maintained so that odor, dust, or noise shall not constitute a nuisance or hazard to adjoining lots and uses.
 - c. The storage of loose materials shall be contained and covered to prevent it from blowing onto adjacent properties and from access by small animals.
6. ~~_____~~6. A site plan, drawn to scale, showing all intended site uses, shall be submitted for review and approval per Article ~~_____~~8 (Site Plan Review).

~~C. Section 10.102~~ **Farm-Based Tourism/Entertainment Activities.**

Farms providing tourism or entertainment-oriented facilities or activities for promotion of agriculture, rural lifestyle or farm product sales shall be subject to the following:

1. Uses. The following agricultural commercial/tourism businesses may be permitted after conditional land use review:
 - a. Cider mills or wineries selling product in a tasting room, containing at least 50% of crops or produce grown on-site.
 - b. Seasonal outdoor mazes of agricultural origin, such as straw bales or corn.
 - c. The processing, storage and retail or wholesale marketing of agricultural products into a value-added agricultural product in a

farming operation if at least 50% of the stored or processed, or merchandised products are produced by the farm operator.

d. U-pick operations.

e. Uses listed in Subsection A(1) through (4) above may include any or all of the following ancillary agriculturally related uses and some non-agriculturally related uses so long as the general agricultural character of the business is maintained and the income from these activities represents less than 50% of the gross receipts from the business.

(1) Value-added agricultural products or activities, such as education tours of processing facilities, etc.

(2) Playgrounds or equipment typical of a school playground, such as slides, swings, etc. (not including motorized vehicles or rides).

(3) Petting farms, animal display, and pony rides

(4) Wagon, sleigh, and hayrides.

(5) Nature trails.

(6) Open air or covered picnic area with restrooms.

(7) Educational classes, lectures, seminars.

(8) Historical agricultural exhibits.

(9) (Kitchen facilities, for the processing, cooking, and/or baking of goods containing at least 50% produce grown on site.

(10) Gift shops for the sale of agricultural products and agriculturally related products. Gifts shops for the sale of non-agriculturally related products, such as antiques or crafts, limited to 25% of gross sales.

f. Other commercial/tourism business that are complementary and accessory to the primary agricultural land use of the subject property, including but not limited to: a) small-scale entertainment (e.g., music concert, car show, art fair), b) designated, permanent parking for more than 20 vehicles.

2. Site Plan Required:

a. A site plan, drawn to scale, showing all intended site uses, shall be submitted for review and approval per Article ~~8~~8 (Site Plan Review). Such plan shall show the intended use and location of all

structures, growing areas, parking facilities, roads and drives to be utilized by the public, pedestrian circulation, location of necessary sanitary facilities and service areas, and transition plantings or screening devices.

b. The following additional operational information must also be provided as applicable:

- (1) Ownership of the property.
- (2) Months (season) of operation.
- (3) Hours of operation.
- (4) Anticipated number of customers.
- (5) Maintenance plan for disposal, etc.
- (6) Any proposed signs.
- (7) Any proposed lighting.
- (8) Maximum number of employees at any one time.
- (9) Restroom facilities.
- 1-(10) Verification that all required permits have been granted, i.e., federal, state, and local permits.

3. Standards:

2.a. Screening shall be provided per Section ~~12.03~~ 12.03 (Landscaping, Screening and Land Use Buffers Methods of Screening) where off-site abutting residential properties are occupied with dwelling structures within two hundred (200) feet of any area on the site occupied with sales or entertainment facilities. Crop growing areas of a depth of not less than three hundred (300) feet may be permitted to satisfy this requirement.

3.b. All facilities and improvements for permitted farm-based tourism or entertainment activities shall be located outside of all road rights-of-way and required yard setback areas.

4.c. Noise levels shall not exceed sixty-five (65) decibels at any lot boundary or road right-of-way.

5.d. All exterior lighting for permitted farm-based tourism or entertainment activities shall be fully shielded and directed downward to minimize off-site glare and light pollution. Such lighting shall not exceed 0.5

footcandles in intensity as measured at any lot boundary or road right-of-way.

~~6.e.~~ The hours of operation of any outdoor entertainment facilities shall be subject to Planning Commission approval.

~~f.~~ Farm-based tourism or entertainment activities shall conform to the applicable requirements of the Township's Outdoor Assemblies Ordinance (Ord. No. 23).

~~g.~~ Must provide off-street parking to accommodate the use as outlined in Article 11.

~~(1)~~ Parking facilities may be located on a grass or gravel area for seasonal uses, such as roadside stands, u-pick operations, and agricultural mazes. All parking areas shall be defined by either gravel, cut lawn, sand, or other visible marking.

~~(2)~~ All parking areas shall be located in such a manner as to avoid traffic hazards associated with entering and exiting the public roadway.

~~7.(3)~~ Parking shall not be located in required setback or buffer areas. Paved parking areas must meet all design and landscape screening requirements as set forth in this chapter.

~~D.~~ Section 10.103 Farm Products Direct Marketing Business.

~~Where f~~ Farm products direct marketing businesses, ~~are~~ listed in ~~Article~~ ~~Section 4.09~~ (Use Regulations Land Use Table) ~~as a permitted accessory use, such uses~~ shall be accessory to an active farm operation. Such businesses shall ~~include "U-Pick" commercial agriculture operations~~, direct sales to area restaurants, residents, and retail stores, Internet-based sales of farm products, and similar businesses.

~~E.~~ Section 10.104 Greenhouse, Nursery, Or Tree Farm.

The following shall apply to greenhouses, nurseries, and tree farms:

1. Storage, sales, and display areas shall comply with the minimum setback requirements for the zoning district in which the establishment is located.
2. Plant growing areas shall be located outside of all road rights-of-way and corner clearance areas as defined in Section ~~7.13~~ (Corner Clearance Zones).
3. The storage of loose materials shall be contained and covered to prevent it from blowing onto adjacent properties and from access by small animals.

4. ~~Where gGreenhouses, nurseries, and tree farms, are listed in Article _____ (Land Use Table) Section 4.09 (Use Regulations) as a permitted accessory use, such uses~~ shall be accessory to an active farm operation.
5. Retail sales of greenhouse and nursery products shall be permitted as an accessory use, subject to site plan approval per Article _____~~8~~ (Site Plan Review) and compliance with all parking, loading, screening, and other site development standards that apply to COMMERCIAL USES.

F. Section 10-105 Keeping of Animals, Non-Farm.

The standards of this Section shall not apply to keeping of animals as part of an active farm operation maintained in conformance with the Right to Farm Act (P.A. 93 of 1981, as amended) and Generally Accepted Agricultural Management Practices (GAAMPS) established by the Michigan Department of Agriculture. Non-farm raising and keeping of domesticated animals and livestock shall be subject to the following:

1. Non-farm raising and keeping of such animals shall be clearly incidental to a single-family dwelling and not for income generation or remuneration.
2. The raising and keeping of fowl, rabbits, and similar small, domesticated animals shall require a minimum lot area of one (1) acre, a certificate of zoning compliance and must comply with the following standards.
 - a. The activity shall remain an accessory use, incidental to the principal use of the lot for the principal dwelling of the property owner or their tenants.
 - b. No more than six (6) fowl, rabbits, or similar small domesticated animals are permitted, as defined by the Michigan Animal Industry Act. Exotic or wild species are not permitted.
 - c. Roosters or male chickens are not permitted.
 - d. The animals shall be provided with a predator-proof enclosure that is thoroughly ventilated, of sufficient size to admit free movement of the animals, designed to be easily accessed, cleaned, and maintained by the owners, and be at least two (2) square feet per animal in size. All enclosures for the keeping of animals shall be so constructed or repaired as to prevent rats, mice, or other rodents from being harbored underneath, within, or within the walls of the enclosure.
 - e. All feed shall be stored in a rodent and predator-proof container.
 - f. The animals shall be shut into the enclosure at night, from sunset to sunrise.
 - g. Animals shall not be kept in any yard other than the rear yard.
 - h. Slaughtering of animals on premises is prohibited.

- ~~2.i.~~ Structures or fenced areas for the keeping of small, domesticated animals shall be located not less than ~~five-ten~~ (510) feet from adjacent lots and road rights-of-way.
3. The raising and keeping of horses, cows, sheep, goats, llamas and similar domesticated livestock shall require a minimum lot area of four (4) acres, and shall be subject to the following:
- a. Lots between four (4) and five (5) acres in gross land area shall be limited to a maximum of three (3) such animals. Raising and keeping of such animals on lots five (5) acres and larger shall conform to Generally Accepted Agricultural Management Practices (GAAMPS) established by the Michigan Department of Agriculture.
 - b. Structures for keeping such animals shall be located not less than seventy-five (75) feet from adjacent properties.
4. All animals shall be properly housed and fenced so as not to be a public nuisance.
5. All animal waste shall be properly disposed of so as not to jeopardize the public health, safety, or welfare, or create a detrimental effect on the environment or on neighboring properties.
6. Stables, barns, pens, and pastures shall be kept clean, and waste shall be treated and handled in such a manner as to control flies and odor.

~~G.~~Section 10.106 Kennel.

The standards of this Section shall apply to the keeping, housing or raising of six (6) or more dogs over six (6) months old for breeding, showing, boarding, training, competition, or as pets.

Kennels shall be licensed as required by Washtenaw County or other outside agency with jurisdiction, and shall be subject to the following additional standards:

1. **Maximum Number of Animals.** Five (5) animals are permitted for every one-quarter (.25) acre of land. When calculations for the number of animals permitted produces a fraction, the number of animals shall be rounded down to the nearest whole number.
- ~~1.2.~~ Kennels shall have a minimum lot area of ~~ten two-~~ (210) acres.
- ~~2.3.~~ The Planning Commission shall establish a limit on the maximum number of dogs that may be kept, housed or raised at one time as part of any Conditional Use Permit approval for a kennel.
- ~~3.4.~~ Structures or pens where dogs are kept, outdoor runs, exercise areas, and similar facilities shall not be located in any required yard setback areas. Such facilities shall be:

- a. Set back a minimum of three hundred (300) feet from road rights-of-way, one hundred (100) feet from side and rear lot boundaries, and fifty (50) feet from any watercourse.
 - b. Screened in accordance with Section ~~_____12.03~~ (~~Landscaping, Screening, and Land Use Buffers Methods of Screening~~).
- ~~4.5.~~ The facility shall be so constructed and maintained that odors, dust, noise, and drainage shall not constitute a nuisance or hazard to adjoining lots and uses.
- ~~5.6.~~ The kennel shall be established and maintained in accordance with applicable sanitation regulations. The applicant shall submit a waste management plan for review as part of the Conditional Use Permit application.
- ~~6.7.~~ Dogs shall be adequately housed, fenced, and maintained so as not to be or become a public or private nuisance.
- ~~8.~~ Structures in which animals are kept, as well as animal runs and exercise areas, shall not be located in any required front or rear setback area and shall be located at least 50 feet from any dwelling or building used by the public on adjacent land. All dogs shall be enclosed within a building at night.
- ~~7.~~
- ~~9.~~ All outdoor dog pens shall be enclosed with a six (6) foot high safety fence. Dog pen surfaces shall be of concrete pitched to contain and drain run-off from cleaning to a septic tank or other County approved system.
- ~~10.~~ Pet grooming (including bathing, fur and nail trimming, brushing, flea and tick treatment, and similar treatment) shall be permitted for animals being boarded; for animals not being boarded, pet grooming shall be permitted if specifically authorized in the conditional use permit.
- ~~11.~~ The sale of pet and veterinary products shall be incidental to the kennel unless specifically authorized in the conditional use permit.
- ~~8.12.~~ Veterinary care shall be incidental to the kennel unless specifically authorized in the conditional use permit.
- ~~9.13.~~ Preliminary and final site plans shall be required in accordance with Article ~~_____8~~ (Site Plan Review). The Planning Commission may impose other conditions and limitations deemed necessary to prevent or mitigate possible nuisances related to noise or odor [amended 5/21/2012, Ord. 174-07].

~~H. Section 10.107~~ Private Riding Arenas And Boarding Stables.

All stables and facilities for the private rearing, schooling and housing of horses, mules, ponies and similar equine riding animals shall be subject to the following:

1. Stables and facilities for the private rearing, schooling and housing of horses, mules, ponies and similar equine riding animals shall require a minimum lot area of four (4) acres, and shall be subject to the following:
 - a. Lots between four (4) and five (5) acres in gross land area shall be limited to a maximum of three (3) such animals. Private rearing, schooling and housing of such animals on lots five (5) acres and larger shall conform to Generally Accepted Agricultural Management Practices (GAAMPS) established by the Michigan Department of Agriculture.
 - b. All stable and arena buildings, corrals, and similar structures shall be located not less than seventy-five (75) feet from all side and rear lot boundaries. This setback distance may be reduced to fifty (50) feet, if landscape screening is provided in conformance with Section 12.93.D.
 - c. Stable and arena buildings, corrals, and similar structures shall not be located within any required front yard setback and shall be located no closer to any road rights-of-way than rear building line of any dwelling on the subject lot. For lots without a principal dwelling, such structures shall be set back a minimum of three hundred (300) feet from all road rights-of-way.
2. A fenced area for pasturing, exercising or riding such animals may extend to the front, rear or side lot boundaries. All such animals shall be kept confined within a fenced area when not being ridden, under harness, or when not in their stable and arena building, corral or similar structure.
3. The facility shall be so constructed and maintained that odors, dust, noise, and drainage shall not constitute a nuisance or hazard to adjoining lots and uses.
4. There shall be no commercial activity, other than incidental sales not unusual for permitted RURAL USES or RESIDENTIAL USES.
5. Establishment or enlargement of such a facility shall be subject to approval of a certificate of zoning compliance per Section ~~_____~~3.02 (Certificates of Zoning Compliance). Approval of a building permit may be required if the facility is open to the public [amended 6/18/2012, Ord. 174-10].

I. ~~Section 10.108~~ Public Or Commercial Riding Stables.

Public or commercial riding stables and academies for the rearing, schooling and housing of horses, mules, ponies and similar equine riding animals available or intended for use by the public or for hire on a per diem, hourly, or weekly basis shall be subject to the following:

1. An accessory dwelling in a principal building for the property owner or operator of the facility shall be permitted per Section ~~_____~~7.03 C (Accessory Dwelling).

2. The lot area shall not be less than twenty (20) contiguous acres under single ownership.
3. Such public or commercial riding stables and academies shall conform to Generally Accepted Agricultural Management Practices (GAAMPS) established by the Michigan Department of Agriculture.
4. Stable and arena buildings, corrals, and similar structures for public or commercial riding stables and academies shall be located not less than seventy-five (75) feet from adjacent properties. This setback distance may be reduced to fifty (50) feet, if landscape screening is provided in conformance with Section. 12.93.D.
- ~~5. Stable and arena buildings, corrals, and similar structures for public or commercial riding stables and academies shall not be located within any required front yard setback and shall be located no closer to any road rights-of-way than rear building line of any dwelling on the subject lot. A 200-foot open buffer shall be provided on all sides of the property not abutting a roadway. Stable and arena buildings, corrals, and similar structures shall not be located within this buffer.~~
- ~~5.~~
6. Fenced areas for pasturing, exercising or riding such animals may extend to the front, rear or side lot lines. All such animals shall be kept confined within a fenced area when not being ridden, under harness, or when not in their stable and arena building, corral or similar structure.
7. The facility shall be so constructed and maintained that odors, dust, noise, and drainage shall not constitute a nuisance or hazard to adjoining lots and uses.
8. Parking for patrons and employees shall be provided in compliance with Article ~~_____11~~ (Off-Street Parking and Loading Regulations). Such areas shall be screened per Section ~~_____12.03~~ (Landscaping, Screening, and Land Use Buffers Methods of Screening).
9. Such uses shall be subject to site plan approval per Article ~~_____8~~ (Site Plan Review).

J.Section 10.109 Roadside Stands.

Roadside stands up to four hundred (400) square feet in gross floor area shall be permitted accessory to any RURAL USES, subject to the following:

1. Suitable trash containers shall be placed on the premises for public use.
2. Locally/regionally grown farm products. Agriculture products distributed or sold at such facility shall be locally/regionally grown and obtained from Michigan farms within a radius of no more than 100 miles from the facility. For value-added products sold at any facility, at least 50% of the products'

namesake ingredient must be produced by a Michigan farm within 100 miles of the facility.

- ~~2.3.~~ The roadside stand structure(s) shall be set back outside of all road right-of-way. Such stands shall be removed from the roadside location during seasons when not in use.
- ~~3.~~ Any roadside stand shall have at least five (5) off-street parking spaces, which need not be paved with asphalt or concrete. Parking spaces shall be located outside of road rights-of-way.
- ~~4.~~ Nuisances. The roadside stand shall not create nuisances for adjacent property owners. Such nuisances include, but are not limited to, amplified music or sounds, excessive dust or odors, and/or traffic that cannot be accommodated on-site.
- ~~4.5.~~ All signs used in connection with the use shall be temporary and shall comply with the requirements of Article ~~_____~~14 (Signs). Such signs shall be removed when the stand is not in use.
- ~~5.6.~~ Any roadside stand exceeding the limitations of this Section shall be subject to Conditional Use Permit approval as a farm-based tourism or entertainment facility per Section ~~_____~~10.04 C (Farm-Based Tourism/Entertainment Activities).

~~K.~~Section 10.110 **Veterinary Clinics And Hospitals.**

Veterinary clinics and hospitals shall comply with the following:

- a. All activities shall be conducted within a completely enclosed building, except that an outdoor exercise area shall be permitted, subject to the following:
 - a. Such areas shall be enclosed by a six (6) foot high safety fence.
 - b. Such exercise areas shall not be located in any required yard setback areas and shall be set back a minimum of fifty (50) feet from road rights-of-way, side and rear lot boundaries, and any watercourse.
 - c. Such areas shall be screened in accordance with Section ~~_____~~12.03 (Landscaping, Screening, and Land Use Buffers Methods of Screening).
- b. The facility shall be so constructed and maintained that odors, dust, noise, exterior lighting, and drainage shall not constitute a nuisance or hazard to adjoining lots and uses.
- c. Keeping of animals for overnight care shall be limited to the interior of the principal building. Treatment of non-domesticated animals shall be permitted.

- d. Operation shall include proper control of animal waste, odor, and noise.
- e. A site plan, drawn to scale, showing all intended site uses, shall be submitted for review and approval per Article ~~_____~~8 (Site Plan Review).

SECTION 10. ~~2000~~4

RESIDENTIAL USES

~~Section 10.201 Accessory Dwelling. [Note – moved to Sec. 7.03]~~

~~It is the intent of this Section to permit dwellings accessory to certain non-residential uses under limited circumstances and subject to specific standards. The standards of this Section are intended to preserve the character and appearance of principal buildings that include one (1) or more accessory dwelling units. Accessory dwellings shall be subject to the following standards:~~

~~A. Accessory To Office And Service Uses And Commercial Uses.~~

~~The following standards shall apply to accessory dwelling units permitted in the O-1 (Office) District, and the NSC (Neighborhood Shopping Center) and VC (Village Center) Special Districts:~~

- ~~a. The accessory dwelling unit(s) shall be located within the same building occupied or intended to be occupied by one (1) more principal OFFICE AND SERVICES USES or COMMERCIAL USES, as permitted in the zoning district.~~
- ~~b. Accessory dwelling units shall be prohibited on the ground floor or street level of the building and shall be constructed with adequate sound and firewall separation from the principal use(s).~~
- ~~c. Each accessory dwelling unit shall have separate kitchen, bath, and toilet facilities and a private entrance. Where there is more than one (1) accessory dwelling unit in a building, such entrances may be provided from a common hallway.~~
- ~~d. Parking shall be provided for each accessory dwelling unit per Article _____ (Off-Street Parking and Loading Regulations).~~
- ~~e. Construction of new accessory dwelling units shall be subject to site plan approval per Article _____ (Site Plan Review). The application shall include submittal of floor plans for the accessory dwelling and principal building.~~
- ~~f. Alteration of existing, approved accessory dwelling units shall be subject to administrative approval per Section _____ (Certificates of Zoning Compliance).~~

~~B. Accessory Dwelling In The Pm Special District.~~

~~A dwelling may be permitted accessory to principal INDUSTRIAL, RESEARCH, AND LABORATORY USES permitted in the PM (Planned Manufacturing) Special District, subject to the following:~~

- ~~a. The accessory dwelling shall be located in a separate residential building on the same parcel or an abutting parcel under the same ownership as the principal INDUSTRIAL, RESEARCH, AND LABORATORY USES permitted on the site.~~

- ~~b. Use of the accessory dwelling shall be limited to the owner, operator or manager of the principal use(s) of the parcel, or to on-site security personnel.~~
- ~~c. Approval of a new accessory dwelling in the PM Special District shall be subject to the procedures and requirements of Article _____ (Special District Regulations). The application shall include submittal of floor plans and elevation drawings for the accessory dwelling.~~
- ~~d. Alteration of an existing, approved accessory dwelling in the PM Special District shall be subject to administrative approval per Section _____ (Certificates of Zoning Compliance).~~

~~C. Caretaker's Residence.~~

~~Where a provision of this Article permits an accessory dwelling for use as a caretaker's residence, the following standards shall apply:~~

- ~~a. The caretaker's residence may be located within the principal building or may be a separate residential building on the same parcel as the principal use(s).~~
- ~~b. The caretaker's residence shall have separate kitchen, bath, and toilet facilities and a private entrance. If located within the principal building, the caretaker's residence shall be constructed with adequate sound and firewall separation from the principal use(s).~~
- ~~c. Use of the accessory dwelling shall be limited to the owner, operator or manager of the principal use(s) of the parcel.~~
- ~~d. Construction of a caretaker's residence shall be subject to site plan approval per Article _____ (Site Plan Review). The application shall include submittal of floor plans and elevation drawings for the accessory dwelling.~~
- ~~e. Alteration of an existing, approved accessory dwelling in the PM Special District shall be subject to administrative approval per Section _____ (Certificates of Zoning Compliance).~~

A. Section 10.202 Bed and Breakfast Inn.

Bed and breakfast inns shall comply with the following:

1.A. General Regulations.

A bed and breakfast inn shall be permitted only in a single-family detached dwelling unit that is the principal dwelling unit on the property.

- a. A dwelling unit containing a bed and breakfast operation shall be the principal residence of the operator and the operator shall live in the principal dwelling unit during the time that the bed and breakfast operation is active.

b. A dwelling unit containing a bed and breakfast operation shall be maintained in compliance with fire safety codes, the State Construction Code, and other applicable regulations. The bed and breakfast operation shall comply with all applicable state laws and regulations.

~~c.~~ Not more than one (1) person, other than members of the resident family, shall be employed in a bed and breakfast operation.

~~e.~~

2.B. Specifications.

A dwelling to be used for a bed and breakfast operation shall have a minimum floor area of one thousand-six hundred (1,600) square feet, excluding basement and garage floor areas.

~~b.~~ a. Each bedroom shall have a minimum floor area of one hundred-twenty (120) square feet and shall be occupied by not more than two (2) persons.

~~e.b.~~ Not more than four (4) bedrooms shall be provided for bed and breakfast operations in any one single-family detached dwelling.

~~d.c.~~ Lavatories, toilets, and bathing facilities shall be available within the principal structure to all persons using the bed and breakfast operation in that structure. At least one (1) bathroom containing a lavatory, toilet, and bathtub or shower shall be provided for each four (4) guests. Each such bathroom shall be separate from the living quarters of the resident family.

~~e.d.~~ No kitchen or other food preparation area or facilities shall be provided in or available to the rooms in a bed and breakfast inn. Cooking facilities in a dwelling containing a bed and breakfast inn shall be limited to the residential kitchen.

3.C. Scope Of Operation.

a. No retail sales or other COMMERCIAL USES shall be permitted, except incidental sales associated with the bed and breakfast operation.

b. Full breakfasts or continental breakfasts may be served to registered guests only. No other meals shall be provided to such guests.

c. Service of alcoholic beverages in a bed and breakfast operation shall be prohibited.

d. Bed and breakfast facilities shall not be used for receptions, weddings, and similar celebrations and parties, other than private events for members of the resident's immediate family.

- e. The maximum length of stay for any occupant of a bed and breakfast operation shall be fourteen (14) days in any period of ninety (90) consecutive days.

4.D. Signs, Parking, And Exterior Appearance.

A single-family detached dwelling unit containing a bed and breakfast operation shall have no outside appearance of the presence of the operation, except as permitted by this Section.

- ~~1.~~ a. One (1) ground sign, not more than four (4) square feet in area and four (4) feet in height, shall be permitted for the bed and breakfast operation; in addition to signs permitted for the principal dwelling per Article ____ (Signs). The ground sign shall be set back a minimum of ten (10) feet from road rights-of-way.
- ~~2.~~ b. A minimum of one (1) off-street parking space shall be provided per sleeping room in a bed and breakfast inn; in addition to spaces required for the dwelling unit per Article ~~_____11~~ (Off-Street Parking and Loading Regulations). Parking for the bed and breakfast inn shall not be located in any required front yard and stacking of more than two (2) vehicles in a driveway shall be prohibited.

5.E. Site Plan Approval.

Bed and breakfast inns shall be subject to site plan approval per Article ~~_____8~~ (Site Plan Review). The site plan application shall include floor plans with the dimensions and floor areas of all rooms and areas to be used by guests (sleeping rooms, bathrooms, dining areas, etc.), and the locations of required exits, emergency exit routes, tornado protection locations, smoke detectors, and carbon monoxide detectors.

6.F. Inspection And Certificate Of Occupancy.

An approved Conditional Use Permit for a bed and breakfast inn shall not become effective and a bed and breakfast inn shall not be operated for business until the premises has been inspected by the Building Inspector and a certificate of occupancy has been issued with a finding of no safety violations. The Certificate shall be valid unless suspended by the Building Inspector upon a subsequent re-inspection disclosing violations, or until expiration of the time stated on the Certificate.

B.Section 10.203 Farm Labor Housing.

Single-family dwelling units for temporary housing for workers and their families during the season in which they are employed in the planting, harvesting, or processing of crops or other essential but temporary agriculturally related employment associated with an active farm operation shall comply with the following:

- 1. Construction, expansion, and alteration of farm labor housing shall be subject to site plan approval per Article ~~_____8~~ (Site Plan Review).

2. All structures for farm labor housing shall comply with the standards of Article ~~_____~~4.07 (Dimensional Standards) for the zoning district, and all provisions of state laws regulating farm labor or migrant labor housing. The following additional required setbacks shall apply to farm labor housing:
 - a. Such housing shall be set back a minimum of one hundred (100) feet from all side and rear property lines and seventy-five (75) feet from road rights-of-way.
 - b. Such housing shall be set back a minimum of one hundred-fifty (150) feet from any off-site single-family dwelling located on a separate parcel of property and owned by another individual or entity.
 - c. Legal nonconforming farm labor housing may be expanded or enlarged, provided such expansion or enlargement does not increase the nonconformity with respect to required setback distances.
3. The maximum number of permitted farm labor housing units shall be based upon the total gross land area of the associated farm operation, as follows:
 - ~~a.~~ a. One (1) single-family dwelling unit per ~~100~~2-249 acres;
 - ~~b.~~ b. Two (2) single-family dwelling units per 250-399 acres;
 - ~~c.~~ c. Three (3) single-family dwelling units per 400-599 acres; and
 - ~~e.~~ d. Four (4) single-family dwelling units per 600 acres or more.
4. Farm labor housing may be permitted as a principal use on a parcel that contains a minimum of two (2) acres and complies with all other requirements of this Section. This parcel shall be adjacent to the farm parcel where the laborers are employed and both parcels shall be under the same ownership.
5. The occupants shall be employed for farm labor by the farm operation owner at least fifty percent (50%) of the time while they occupy the housing.
6. Farm labor housing shall comply with the Michigan Public Health Code (P.A. 368 of 1978, as amended), including any related state or county rules and regulations. Such housing shall comply with the State Construction Code and other codes and standards that apply to the type of construction. Proof of all required outside agency permits and approvals for construction, expansion or alteration of farm labor housing shall be provided to the Township, prior to the start of construction on the site.

C. Family and Group Day Care Homes

1. State licensed family day care homes shall be considered a residential use of property and a permitted use in all residential districts.

2. The following regulations shall apply to group day care homes and day care centers, except licensed group day-care homes that lawfully operated before March 30, 1989:

 1. In accordance with applicable state laws, such facilities shall be registered with or licensed by the State of Michigan.
 2. Group day care homes shall be located a minimum of one thousand-five hundred (1,500) feet from the lot boundaries for any of the following facilities, as measured along public or private road rights-of-way between the nearest boundaries of the group day care home lot and the facility lot. The subsequent establishment of any of the facilities listed in this subsection shall not affect any approved Conditional Use Permit for a group day-care home:

 - (1) Another licensed group day-care home.
 - (2) An adult foster care small group home, large group home or congregate care facility.
 - (3) A facility offering substance abuse treatment and rehabilitation service to seven (7) or more people as licensed under the State public health code.
 - (4) A community correction center, resident home, halfway house, or other similar facility that houses an inmate population under the jurisdiction of the Michigan Department of Corrections.
3. All outdoor play areas for group day care homes and day care centers shall be enclosed and secured by a fence not less than four (4) feet nor more than six (6) feet in height that conforms to the requirements of Section _____ (Fence Regulations) and is capable of containing the children within the play area.
4. The group day care home premises shall be maintained consistent with the visible character of single-family dwellings.

 - (1) No signs shall be permitted for such uses, other than that permitted for a single-family dwelling in the zoning district.
 - (2) A group day-care home shall not require the modification of the dwelling exterior nor the location of playground equipment in the front yard.
5. The operation of a group day care home shall not exceed sixteen (16) hours during any twenty-four (24) hour period. The Planning Commission may limit but not prohibit the operation of a group day-care home between the hours of 10 p.m. and 6 a.m.
6. One (1) off-street parking space shall be provided per non-resident employee of the group day care home, in addition to required parking for the dwelling.

7. Construction, expansion, and alteration of such uses shall be subject to site plan approval per Article 8 (Site Plan Review).
8. In accordance with Section 206 of the Michigan Zoning Enabling Act, the Planning Commission shall approve a Conditional Use Permit for a group day care home upon determination that the proposed use conforms to the requirements of this Section and Ordinance. The Planning Commission shall not impose additional conditions on an approved group day care home beyond those listed in this Section.

[amended 8/16/2010, Ord. 174-04; and amended 2/21/2017, Ord. No. 174-19]

D.Section 10.204 Home Occupations.

Home occupations shall be permitted as a use accessory to a single-family dwelling in any zoning district where such dwellings are permitted, subject to the following:

1.A. Use Standards.

Home occupations shall conform to the following requirements:

- a. The home occupation shall qualify for and receive all applicable local, state, and federal licenses, certificate, and permits.
- b. No persons shall be employed in the home occupation other than members of the immediate family residing on the premises.
- c. Home occupations shall be limited to single-family detached dwellings, and to other owner-occupied dwellings. The home occupation shall be conducted only within the dwelling or within an accessory structure on the parcel.
- d. The use of the dwelling for the home occupation shall be clearly incidental and subordinate to its use for residential purposes.
 - ~~(2)~~(1) The total floor area used by the home occupation, whether the home occupation is conducted within the dwelling unit or within an accessory building, shall not exceed twenty percent (20%) of the floor area of the dwelling unit.
 - ~~(3)~~(2) There shall be no change in the appearance of the structure or premises, or other visible evidence of the home occupation. External and internal alterations not customary for a single-family dwelling shall be prohibited.
- e. Traffic generated by a home occupation shall not be greater in volume than that normally expected within the neighborhood.
- f. Parking for the home occupation shall not exceed two (2) spaces. Such spaces shall not be located in any required yard and shall be subject to the standards of Article ~~10~~11 (Off-Street Parking and Loading Regulations).

- g. No signs shall be permitted for the home occupation, other than a nameplate as permitted for a dwelling per Article ~~_____~~14 (Signs).
- h. No article shall be sold on the premises except that which is prepared on-site or provided as incidental to the service or profession conducted therein.
- i. Exterior display and storage of equipment or materials associated with or resulting from a home occupation shall be prohibited.
- j. Customer or client visits, and deliveries associated with the home occupation shall be limited to between the hours of 7:00 a.m. and 8:00 p.m.

~~2.B.~~ Permitted Home Occupations.

The following uses shall be permitted as home occupations:

- ~~b.~~ a. Home offices for such professionals as architects, doctors, brokers, engineers, insurance agents, lawyers, realtors, accountants, writers, salespersons, and similar occupations.
- ~~e.b.~~ Personal services, including beauty and barbershops (one-chair operations only) and animal grooming (provided there is no overnight keeping of animals).
- ~~d.c.~~ Home office for a massage therapist, subject to the standards of Section _____ (Therapeutic Massage).
- ~~e.d.~~ Music, dance, arts and crafts classes, and private tutoring and instruction for a maximum of five (5) pupils at any given time.
- ~~f.e.~~ Studios and workshops for artists, sculptors, musicians, and photographers; and for weaving, lapidary, jewelry making, cabinetry, woodworking, weaving, sewing, tailoring and similar crafts.
- ~~g.f.~~ Repair services, limited to watches and clocks, small appliances, computers, electronic devices, and similar small devices.
- ~~h.g.~~ A yard or garage sale for household or personal items of the principal residents of the dwelling shall be permitted as a temporary home occupation, provided that such activities shall not exceed fifteen (15) days per calendar year.
- ~~i.h.~~ Any home occupation not specifically listed may be approved by the Planning Commission with a Conditional Use Permit, subject to the provisions of this Section and Article ~~_____~~9 (Conditional Uses).

~~3.C.~~ Prohibited Uses.

The following uses are expressly prohibited as a home occupation:

- ~~b.~~ a. Motor vehicle and recreational vehicle repair, body and paint shops, welding shops, and storage or dismantling yards.
- ~~e.b.~~ Kennels and veterinary clinics.

- ~~d.c.~~ Medical or dental clinics.
- ~~e.d.~~ Retail sales of merchandise and eating or drinking establishments.
- ~~f.e.~~ Mortuary and funeral homes.
- ~~g.f.~~ Controlled uses and sexually oriented businesses.
- ~~h.g.~~ Any use or process that creates noise, vibration, glare, fumes, odor, electrical interference, or similar nuisances to persons off the premises; or any use involving electrical equipment processes that create visual or audible interference with any radio or television receivers off the premises or which cause fluctuations in line voltages off the premises.
- ~~i.h.~~ Any use involving outdoor display or storage of materials, goods, supplies, or equipment; or the use of machinery, equipment or facilities not commonly incidental or accessory to a residential dwelling.
- ~~j.i.~~ Any use that would potentially create or exacerbate any hazard of fire, explosion, or radioactivity.
- ~~k.j.~~ Uses similar to the above listed uses, or any use which would, in the determination of the Planning Commission, result in nuisance factors as defined by this Ordinance.

~~4.D.~~ Inspection And Enforcement.

All home occupations may be subject to inspection by the Zoning Inspector to verify compliance with this Section and Ordinance. Failure to comply with this Section and Ordinance may result in Township action to seek closure of the home occupation, and such other penalties as provided for in this Ordinance.

E. Section 10-205 Manufactured Housing Parks.

Manufactured housing parks shall be subject to all the rules and requirements of the Mobile Home Commission Act (P.A. 96 of 1987, as amended), the Manufactured Housing Commission General Rules, and the following minimum requirements:

~~1.A.~~ Lot Area And Height Regulations.

~~b.~~ **a. Lot area.** The minimum area of the lot that comprises the manufactured housing park shall be twenty (20) acres.

~~e.b.~~ Height requirements.

~~(2)~~ **(1)** Except as otherwise provided in Paragraph b below, no building or structure shall exceed a height of two (2) stories or twenty-five (25) feet.

~~(3)~~**(2)** The maximum height of accessory structures in a manufactured housing park shall be fifteen (15) feet. The height of a storage building on a manufactured housing park site shall not exceed the lesser of fifteen (15) feet or the height of the manufactured housing.

~~d.c.~~ Landscaping.

~~(2)~~(1) A landscape strip at least twenty (20) feet wide shall be located and continually maintained along all park borders not adjacent to public streets. This strip shall consist of such plant materials as trees and shrubs to provide privacy for the manufactured housing park residents and to provide a transition area between the manufactured housing park and surrounding properties. A fence may be required by the Planning Commission as part of the site plan approval to protect the manufactured housing park or adjacent properties from trespassing.

~~(3)~~(2) Such landscape strip shall not contain carports, recreation shelters, storage shelters, or any other structures, parking spaces, or active recreation areas.

2.B. Planning And Development Regulations for Manufactured Housing Parks.

~~b.~~ a. **Sale of homes.** The business of selling new and/or used manufactured housings as a commercial operation in connection with the operation of manufactured housing parks shall be prohibited. New or used manufactured homes located on lots within the manufactured housing park to be used and occupied on that site may be sold by a licensed dealer or broker. This Section shall not prohibit the sale of a used manufactured home by a resident of the manufactured housing park provided the park's regulations permit the sale.

~~e.b.~~ Minimum distances. A manufactured home shall be in compliance with the following minimum distances:

- ~~a.~~ (1) Twenty (20) feet from any part of an attached or detached structure, which is used for living purposes, on an adjacent manufactured housing park site.
- ~~b.~~ (2) Ten (10) feet from an attached or detached structure or accessory, which is not used for living purposes, of an adjacent manufactured home.
- ~~c.~~ (3) Ten (10) feet from an on-site parking space of an adjacent site.
- ~~d.~~ (4) Fifty (50) feet from any permanent building.
- ~~e.~~ (5) Ten (10) feet from the edge of an internal street.
- ~~f.~~ (6) Twenty (20) feet from the right-of-way line of a dedicated public street within the manufactured housing park.
- ~~g.~~ (7) Seven and one-half (7.5) feet from a parking bay.
- ~~h.~~ (8) Seven (7) feet from a common pedestrian walkway.

~~d.c.~~ Parking requirements.

- a. ~~(1)~~ A minimum of two (2) parking spaces shall be provided for each manufactured housing park site.
- b. ~~(2)~~ Additional parking facilities shall be provided:
 - ~~(1)~~ ~~(a)~~ for storage of maintenance vehicles;
 - ~~(2)~~ ~~(b)~~ at the park office location for office visitors; and
 - ~~(3)~~ ~~(c)~~ for general visitor parking, at the ratio of one (1) parking space for every three (3) manufactured housing park sites in the park, in a convenient location for the manufactured housing park sites served thereby.

e.d. Streets.

- a. ~~(1)~~ Vehicular access to a manufactured housing park shall be provided by at least one hard-surface public road as designated in the adopted Growth Management Plan.
- b. ~~(2)~~ Only streets within the manufactured housing park shall provide vehicular access to individual manufactured housing park sites in the manufactured housing park.
- c. ~~(3)~~ Two-way streets shall have a minimum width of twenty-one (21) feet where no parallel parking is permitted, thirty-one (31) feet where parallel parking is permitted along one (1) side of the street, and forty-one (41) feet where parallel parking is permitted along both sides of the street.
- d. ~~(4)~~ The minimum width of a one-way street shall be thirteen (13) feet where no parallel parking is permitted, twenty-three (23) feet where parallel parking is permitted along one (1) side, and thirty-three (33) feet where parallel parking is permitted along both sides.
- e. ~~(5)~~ A dead-end road shall terminate with an adequate turning area. A blunt-end road is prohibited. Parking shall not be permitted within the turning area. Adequate turning radii for emergency vehicles, including fire trucks, shall be provided.

f.e. Outdoor storage. Common storage areas for the storage of boats, motorcycles, recreation vehicles, and similar equipment may be provided in a manufactured housing park but shall be limited for use only by residents of the manufactured housing park. The location of such storage area shall be shown on the site plan. No part of such storage area shall be located in any yard setback required on the perimeter of the manufactured housing park. Such storage area shall be screened from view from adjacent residential properties, public streets, and roads.

g.f. Site-constructed buildings. All buildings constructed on site within a manufactured housing park must be constructed in compliance with applicable building, electrical, plumbing, and mechanical and cross-

connection codes. Any addition to a manufactured housing unit that is not certified as meeting the standards of the U.S. Department of Housing and Urban Development for manufactured housing shall comply with applicable building, electrical, plumbing, and mechanical codes. Certificates and permits shall be required as provided in Article ~~_____~~3 (Administration and Enforcement). A final site plan shall be approved prior to construction of any principal structure, not including manufactured housing park units, in accordance with Article ~~_____~~8 (Site Plan Review).

~~h.g.~~ **Placement of a manufactured housing park unit.**

- a. (1) It shall be unlawful to park a manufactured housing park unit so that any part of such unit will obstruct a street or pedestrian walkway.
- b. (2) A building permit shall be issued by the Township Building Department before a manufactured home may be placed on a site in a manufactured housing park.

~~i.h.~~ **Site plan review required.** Construction of a manufactured housing parking shall require prior approval of a site plan by the Township Planning Commission in accordance with Article 8 (Site Plan Review).

- a. ~~(Construction of a manufactured housing park shall require prior approval of a site plan by the Township Planning Commission.~~
- b. ~~The site plan shall be prepared on standard twenty four (24) inch by thirty six (36) inch sheets and shall be of a scale not greater than one (1) inch equals twenty (20) feet or less than one (1) inch equals two hundred (200) feet, and of such accuracy that the Planning Commission can readily interpret the plan.~~
- c. ~~For purposes of this Section only, a site plan shall provide the following information:~~
 - ~~(1) Scale, north arrow, name and date, and date of any revisions.~~
 - ~~(2) Name and address of property owner and applicant; interest of applicant in the property; name and address of developer.~~
 - ~~(3) Name and address of designer. A site plan shall be prepared by a community planner, architect, landscape architect, engineer, or land surveyor registered in the State of Michigan.~~
 - ~~(4) A vicinity map; legal description of the property; dimensions and area; lot line dimensions and bearings. A metes and bounds description shall be based on a boundary survey prepared by a registered surveyor.~~
 - ~~(5) Existing topography, at a minimum of two (2) foot contour intervals; existing natural features such as trees, wooded areas, streams, and wetlands; natural features to remain or to be removed; one hundred (100) year flood hazard area.~~

- ~~(6) Existing buildings, structures, and other improvements, including drives, utility poles and sewers, easements, pipelines, excavations, ditches, bridges, culverts; existing improvements to remain or to be removed; deed restrictions, if any.~~
- ~~(7) Name and address of owners of adjacent properties; use and zoning of adjacent properties; location and outline of buildings, drives, parking lots, and other improvements on adjacent properties.~~
- ~~(8) Locations and size of existing public utilities on or surrounding the property; location of existing fire hydrants; inverts of sanitary and storm sewers; location of existing manholes and catch basins; location of existing wells, septic tanks, and drain fields, if applicable.~~
- ~~(9) Names and rights of way of existing streets on or adjacent to the property; surface type and width; spot elevations of street surface at intersections with streets and drives of the proposed development.~~
- ~~(10) Zoning classification of the subject property; location of required yards; total property area; dwelling unit density; schedule of dwelling units, by type; phasing information.~~
- ~~(11) Grading plan, at a minimum contour interval of two (2) feet.~~
- ~~(12) Location and exterior dimensions of proposed buildings and structures other than manufactured housing unit dwellings; height and finished floor elevations of such buildings and structures; location of the manufactured home and parking spaces on each manufactured housing park site.~~
- ~~(13) Location and alignment of all proposed streets and drives; rights of way, where applicable; surface type and width; typical street sections; location and details of curbs; curb radii.~~
- ~~(14) Location and dimensions of all proposed parking areas; number of spaces in each; dimensions of spaces and aisles; typical cross-section of parking surface.~~
- ~~(15) Location, width, and surface of proposed sidewalks and pedestrian paths, including notations on the site plan depicting handicapped access.~~
- ~~(16) Location, use, size, and proposed improvements of open space and recreation areas.~~
- ~~(17) Location and type of proposed screens and fences; height, typical elevations, and vertical section of screens, showing materials and dimensions.~~
- ~~(18) Location, type, size, area, and height of proposed signs.~~

- ~~(19) General proposed utility layout for sanitary sewer, water and storm water systems.~~
- ~~(20) Landscape plan showing location, type, and size of plant materials.~~
- ~~(21) Location, dimension, and materials of proposed retaining walls; fill materials; typical vertical sections.~~
- ~~(22) An overall map shall be developed on a twenty four (24) inch by thirty six (36) inch sheet showing how this property ties in with all other surrounding properties, including:

 - ~~(a) existing and proposed water mains and sanitary and storm sewers in the area, including sanitary sewer service areas;~~
 - ~~(b) the road network in the area; and~~
 - ~~(c) the relationship of existing and proposed drainage courses and retention bases in the general area that impact or are impacted by this development as well as an area wide drainage map showing all the sub areas that affect this site (all drainage must be directed to retention ponds).~~~~

~~j.i.~~ **Building permits required.** No manufactured home may be placed on a manufactured housing park site until a Building Permit has been issued by the Superior Township Building Department. A Building Permit shall not be issued until all required state approvals have been obtained.

~~k.j.~~ **Occupancy.** A manufactured home in a manufactured housing park shall not be occupied until all required approvals have been obtained from the State of Michigan and a Certificate of Occupancy is issued by the Superior Township Zoning Inspector.

F. ~~Section 10-206~~ Multiple-Family Housing.

All multiple-family dwellings and developments, townhouses, stacked flats, senior and independent elderly housing, nursing homes, assisted living facilities, dependent elderly housing, dormitory housing, and other state-licensed and other managed residential facilities shall comply with the following:

A1. General Standards.

a. Distances between buildings. In addition to the required yard setbacks for the zoning district, the following minimum distance shall be provided between two (2) or more residential buildings on a lot:

In addition to the required setback lines provided elsewhere in this chapter, in multiple-family dwellings (including semidetached and multiple dwellings) the following minimum distances shall be required:

Minimum Distance Between Buildings

<u>Minimum Setback From:</u>				
<u>Building Height (feet)</u>	<u>Internal Drive (feet)</u>	<u>Building Side to Building Side (feet)</u>	<u>Building Side to Building Front or Building Rear (feet)</u>	<u>Building Front to Building Front or Building Rear to Building Rear (feet)</u>
<u>35 or under</u>	<u>10</u>	<u>20</u>	<u>30</u>	<u>40</u>
<u>36 and higher</u>	<u>10</u>	<u>30</u>	<u>36</u>	<u>50</u>

b.

- ~~a. (1) Where buildings are front to front or front to rear, three (3) times the height of the taller building, but not less than seventy (70) feet.~~
- ~~b. (2) Where buildings are side to side, one and one half (1 1/2) times the height of the taller building, but not less than twenty (20) feet.~~
- ~~c. (3) Where buildings are front to side, rear to side, or rear to rear, two (2) times the height of the taller building but not less than forty five (45) feet.~~

In applying the above regulations, the front of the building shall mean that face of the building having the greatest length; the rear shall be that face opposite the front; and the sides shall be the faces between the front and rear faces.

~~e.b.~~ **Pedestrian access.** Concrete sidewalks or paved pathways shall be provided from all building entrances to adjacent parking areas, public sidewalks, and recreation areas, along with barrier-free access ramps. Permanent barrier free access shall be provided to primary building entrances where a difference in elevation exists between an entrance and grade level.

~~e.c.~~ **Recreation areas.** Passive or active recreation areas (such as seating areas, playgrounds, swimming pools, walking paths and other recreational elements) shall be provided in accordance with the intended character of the development. Such areas shall be centrally and conveniently located to be physically and visibly accessible to residents and shall not be located within any required yard setbacks or required building separation areas.

~~e.d.~~ **Compatibility.** Multiple-family buildings shall be aesthetically compatible in design and appearance with housing in the neighborhood and the intended character of area per the Growth Management Plan. Compatibility shall be determined by the Planning Commission according to the following standards:

- ~~a. (1) Multiple-family buildings shall comply with the standards of Section 12.02 (Building Form and Composition).~~

b. (2) Exterior walls shall be finished with materials common to dwellings in the Township, such as, but not limited to, beveled siding or brick.

c. (3) Roof designs and roof materials shall be similar to those commonly found on dwellings in the Township.

f.e. **Site plan approval.** Construction, expansion, and alteration of multiple-family housing shall be subject to site plan approval per Article ~~8~~ 8 (Site Plan Review).

B2. Senior Housing and Elderly Housing and Dormitory Housing.

The following additional standards shall apply to senior and independent elderly housing, nursing homes, assisted living facilities, dependent elderly housing, dormitory housing, and other state-licensed and other managed residential facilities:

1. **a. Accessory uses.** Accessory retail, restaurant, office, and service uses may be permitted within the principal building(s) for the exclusive use of residents, employees, and guests. No exterior signs of any type are permitted for these accessory uses.

2. **b. Compliance with regulations.** Such facilities shall be constructed, maintained, and operated in conformance with applicable local, state, and federal laws, and applicable licensing and certification requirements.

3. **c. Density.** Nursing homes, assisted living facilities, dependent elderly housing, and permitted dormitory housing shall be exempt from the maximum dwelling unit density standards for the zoning district. Such standards shall apply to senior and independent elderly housing, and other state-licensed and other managed residential facilities.

~~C3. Multiple-Family Residences In The O-1 (Office) District.~~

~~THE FOLLOWING ADDITIONAL STANDARDS SHALL APPLY TO MULTIPLE-FAMILY RESIDENCES, WHERE PERMITTED IN THE O-1 (OFFICE) DISTRICT:~~

~~1.A~~

~~MULTIPLE-FAMILY RESIDENCES PROPOSED TO BE LOCATED WITHIN THE SAME BUILDING OCCUPIED OR INTENDED TO BE OCCUPIED BY ONE (1) MORE PRINCIPAL OFFICE AND SERVICES USES OR COMMERCIAL USES PERMITTED IN THE ZONING DISTRICT SHALL BE SUBJECT TO APPROVAL AS ACCESSORY DWELLING UNITS PER SECTION 7.03 C (ACCESSORY DWELLING).~~

~~2.B~~

~~MULTIPLE-FAMILY RESIDENCES PROPOSED TO BE DEVELOPED AS THE PRINCIPAL USE OF A PARCEL IN THE O-1 DISTRICT SHALL BE SUBJECT TO THE STANDARDS OF THIS SECTION, AND THE STANDARDS OF THE R-7 (MULTIPLE-FAMILY RESIDENTIAL) DISTRICT AS SPECIFIED IN ARTICLE 4.07 (DIMENSIONAL STANDARDS).~~

G. Section 10.207 Single-Family Dwellings, Detached

The intent of this Section is to ensure compliance of single-family detached dwellings on individual lots with all applicable Ordinance standards for the protection of the public health, safety, and welfare; and to ensure that new dwellings on individual lots are aesthetically compatible with existing single-family dwellings in the surrounding area. The standards of this Section are not intended to apply to dwellings located within a licensed and approved manufactured housing park in the R-6 (Manufactured Housing Park) District. New single-family detached dwellings and additions to existing dwellings constructed or installed on lots in the Township, without regard to the type of construction, shall be subject to the following:

1. The dwelling shall meet all applicable federal and state design, construction, and safety codes for the type of construction.
- ~~2. The dwelling shall be placed on a permanent foundation wall meeting all requirements of the State Construction Code, subject to the following:~~
 - ~~a. The dwelling shall be secured to the ground by an anchoring system that meets all State Construction Code and other applicable requirements before a Certificate of Occupancy is issued.~~
 - ~~b. Wheels, tongue, hitch, or similar appurtenances attached to a manufactured dwelling shall be removed before anchoring the dwelling.~~
- ~~3.2.~~ The dwelling shall be connected to potable water and sanitary sewerage facilities per Section 14.06 (Water Supply and Sanitary Sewerage Facilities).
- ~~4.3.~~ The single-family detached dwelling shall be aesthetically compatible in design and appearance with housing in the neighborhood and other single-family dwellings in Superior Charter Township. Compatibility shall be determined according to the following standards:

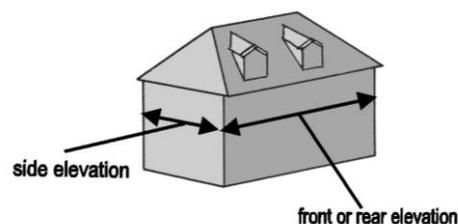
- a. Single-family dwellings shall comply with the standards of Section ~~_____~~ 12.02 (Building Form and Composition).
- b. Exterior walls shall be finished with materials common to dwellings in the Township, such as, but not limited to, beveled siding or brick.
- c. Roof designs and roof materials shall be similar to those commonly found on dwellings in the Township.
- d. ~~The dwelling, prior to any additions or expansions, shall have a minimum width across all front, side, and rear elevations of twenty-six (26) feet see "Dwelling Elevations" illustration.~~

5.4. A building permit shall be required for construction of the foundation wall, for placement of the single-family detached dwelling on the lot, and for any addition(s) to the dwelling. A building permit shall not be issued until a Certificate of Zoning Compliance has been issued in accordance with Section ~~_____~~ 3.02 (Certificates of Zoning Compliance).

6.5. Not more than one (1) single-family detached dwelling shall used as a dwelling on a lot, nor shall a new dwelling be placed on any lot where an existing dwelling or other principal use is located, except as permitted by Section 7.03.C. A single-family detached dwelling shall not be used as an accessory building in any residential district.

7.6. Single-family dwellings shall have a minimum floor area, not including basement or attached garage floor area, of one thousand-two hundred (1,200) square feet. [amended 4/20/2009, Ord. 174-02]

ILLUSTRATION



Dwelling Elevations

H. ~~Section 10.208~~ Adult Foster Care Facilities.

The following shall apply to all adult foster care facilities as defined in ~~Section _____~~ Article 2 (Definitions):

A1. General Standards.

The following standards shall apply to all adult foster care facilities in the Township:

1. a. Licensing. In accordance with applicable state laws, all adult foster care facilities shall be licensed by the State of Michigan and shall be maintained in compliance with the minimum standards for such facilities.

2. **b. Outdoor recreation area.** For each person cared for in an adult foster care facility there shall be provided and maintained a minimum of one hundred-fifty (150) square feet of usable outdoor recreational area, which shall be enclosed and secured by a fence not less than four (4) feet nor more than six (6) feet in height that conforms to the requirements of Section ~~_____~~ 7.02 (Fence Regulations).
3. **c. Appearance.** Where adult foster care facilities are located in the Residential Districts or a Special District planned for RESIDENTIAL USES, the premises shall be maintained consistent with the visible character of single-family dwellings.

B2. Additional Standards For Larger Facilities.

The following additional standards shall apply to all adult foster care large group homes and congregate care facilities in the Township, as well as to any adult foster care small group home for care of seven (7) or more people:

1. **a. Location.** These facilities shall have direct frontage on and vehicle access to a primary or collector road as classified by the master transportation plans of the Township, or county or state road authorities.
2. **b. Pick-up and drop-off areas.** These facilities shall provide adequate off-street space and facilities for safe pick-up and drop-off of residents.
3. **c. Concentration of facilities.** These facilities shall be located a minimum of one thousand-five hundred (1,500) feet from the lot boundaries for any of the following facilities, as measured along public or private road rights-of-way between the nearest lot boundaries:
 - a. **(1)** A licensed group day-care home.
 - b. **(2)** Another adult foster care small group home, large group home or congregate care facility.
 - c. **(3)** A facility offering substance abuse treatment and rehabilitation service to seven (7) or more people as licensed under the State public health code.
 - d. **(4)** A community correction center, resident home, halfway house, or other similar facility that houses an inmate population under the jurisdiction of the Michigan Department of Corrections.
4. **d. Screening.** The Planning Commission may require any outdoor recreation or off-street parking area for these facilities to be screened from adjacent RESIDENTIAL USES or lots in the Residential Districts per Section ~~_____ (Methods of Screening)~~ 12.02 (Landscaping, Screening and Land Use Buffers).

5. **e. Site plan approval required.** Construction, expansion, and alteration of these facilities shall be subject to site plan approval per Article ~~8~~ 8 (Site Plan Review). [amended 2/21/201709, Ord. 174-19]

SECTION 10.300**SECTION 10.05 OFFICE, SERVICE, AND COMMUNITY NON-RESIDENTIAL USES****Section 10.301 Accessory Office, Service, And Community Uses:**
[Note – moved to Sec. 7.03]

Where ~~specific OFFICE, SERVICE, AND COMMUNITY USES~~ are proposed accessory to another principal use in a zoning district, such uses shall be subject to the following restrictions, in addition to any other applicable use standards:

1. ~~Such uses shall be located and designed so as to be clearly intended primarily for use by the occupants of the building and not for the use of the general public.~~
2. ~~No signs for such accessory uses shall be permitted that are visible from a road right-of-way or adjacent lot.~~
3. ~~In the Planned Community (PC), Medical Services (MS), and Planned Manufacturing (PM) Special Districts, such uses shall be located either in a building containing the principal use that will be served, or in a service center consisting of one (1) or more buildings designed with common drives, parking and loading areas, and landscaping.~~
4. ~~In all other zoning districts where accessory OFFICE, SERVICE, AND COMMUNITY USES are permitted, such uses shall be located in a building containing the permitted principal use that will be served.~~
5. ~~Where an accessory pharmacy, drugstore or medical supply store is located within a hospital or other principal building, the building shall have sixty five percent (65%) or more of its usable floor area devoted to principal medical or dental uses. Not more than eight percent (8%) of the building's usable floor area shall be occupied by the pharmacy, drugstore or medical supply store.~~

A. Section 10.402 Amusement Center.

Amusement centers that provide space for patrons to engage in the playing of mechanical amusement devices, recreational games, and similar recreational activities of a commercial character shall be subject to the following:

1. All amusement centers shall have direct vehicle access to a primary road as classified by the master transportation plans of the Township, or county or state road authorities.

2. Outdoor amusement centers also shall be subject to the standards of Section ____ (Outdoor Sales and Display Areas).
3. Pool and billiard parlors, pinball/video game parlors, and arcades shall be permitted as an amusement center.
4. Such uses shall comply with the applicable standards and licensing requirements of the Township's Public Amusements Ordinance (Ord. No. 67).

~~Section 10.403 Bakeries.~~

~~Bakeries shall be subject to the following standards by zoning district:~~

- ~~1. **Planned Manufacturing (PM) Special District.** The principal use of the premises shall be for the preparation and manufacturing of bakery products to be distributed and sold at off-site locations. Any area(s) for sales of products prepared on the premises shall be limited to no more than ten percent (10%) of the usable floor area occupied by the principal use.~~
- ~~2. **Business Districts.** The principal use of the premises shall be for the preparation and sale of bakery products on the premises. Distribution of products made on the premises to off-site locations shall be prohibited.~~

~~B. Section 10.404 Big Box COMMERCIAL USES~~ Large Scale Retail and Entertainment.

~~"Big Box"~~ Large Scale Retail and Entertainment shall include stores, supermarkets, and wholesales stores, multi-tenant shopping centers, and similar COMMERCIAL USES with more than fifty thousand (50,000) square-feet of total gross floor area in a single building footprint) shall be subject to the following:

1. Building design and materials.

- a. Facades and exterior walls. The maximum length of an uninterrupted building facade facing public streets, residentially zoned or used property, and/or parks shall be 30 feet. Facade articulation or architectural design variations for building walls facing the street are required to ensure that the building is not monotonous in appearance. Building wall offsets (projections and recesses), cornices, varying building materials, or pilasters shall be used to break up the mass of a single building.
- b. Roofs. Roofs shall exhibit one or more of the following features depending upon the nature of the roof and building design:
 - (1) Flat roof. Parapets concealing flat roofs and rooftop equipment or screening surrounding rooftop equipment such as HVAC units from public view are required. Parapets shall not exceed 1/3 of the height of the supporting wall at any point.

(2) Pitched roof.

(a) Overhanging eaves, extending no less than three feet past the supporting walls;

(b) An average slope greater than or equal to one foot of vertical rise for every three feet of horizontal run and less than or equal to one foot of vertical rise for every one foot of horizontal run;

(c) Three or more roof slope planes.

2. Site design.

a. Parking lot location. No more than 50% of the off-street parking area devoted to the large-scale retail establishment shall be located within the front yard and between the front facade of the principal building and the abutting streets.

b. Primary entrance. The primary building entrance shall be clearly identifiable and usable and located facing the right-of-way.

c. Pedestrian connection. A pedestrian connection shall provide a clear, obvious, publicly accessible connection between the primary street upon which the building fronts and the building. The pedestrian connection shall comply with the following:

(1) Fully paved and maintained surface not less than five feet in width.

(2) Unit pavers or concrete distinct from the surrounding parking and drive lane surface.

(3) Located in a separated sidewalk, within a raised median, or between wheel stops to protect pedestrians from vehicle overhangs where parking is adjacent.

d. Additional entrances. In addition to the primary facade facing front facade and/or the right-of-way, if a parking area is located in the rear or side yard, it must also have a direct pedestrian access to the parking area that is of a level of materials, quality, and design emphasis that is at least equal to that of the primary entrance.

e. Delivery/loading operations. Loading docks, trash collection, outdoor storage, and similar facilities and functions shall be incorporated into the overall design of the building and the landscaping so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets. Use of screening

materials that are different from or inferior to the principal materials of the building and landscape is prohibited.

~~1.f.~~ **Access and circulation.** Vehicular circulation patterns shall be designed to eliminate potential conflicts between traffic generated by the site, and traffic and adjacent streets and streets, and the number and location of curb cuts shall be the minimum necessary to provide adequate access to the site.

~~a.g.~~ Sites shall have frontage on a primary road as classified by the master transportation plans of the Township, or county or state road authorities. Vehicle access to private, local or unpaved roads shall be prohibited.

~~b.h.~~ A traffic impact study and proposed mitigation measures shall be required.

~~2.3.~~ **Outlots.** The site design, circulation, parking layout and building architecture of any outlots shall be complementary to and fully integrated with the design of the overall site. Separate curb cuts for any outlots shall be prohibited, except where determined to be necessary by the Planning Commission.

~~3.4.~~ **Screening.** Screening shall be required from adjacent Rural, Rural Residential, and Urban Residential Districts and existing RESIDENTIAL USES per Section ~~_____ (Methods of Screening)~~ 12.03 (Landscaping, Screening and Land Use Buffers), along with adequate screening for all loading facilities, trash dumpsters, and mechanical equipment.

~~4.5.~~ **Pedestrian connectivity.** Building entrances, sidewalks, and outlots shall be arranged and designed to allow for convenient and safe pedestrian access and connectivity through the site. A minimum six (6) foot wide concrete sidewalk shall be provided through the parking areas to all public entrances in a manner that effectively separates pedestrians from vehicular traffic. Driveway crossings shall be clearly delineated with pavement striping.

~~D. Section 10.302~~ **Campgrounds and Recreational Vehicle Parks.**

Recreational vehicle parks and campgrounds shall be subject to the following:

1. **Lot area.** Minimum site area shall be ten (10) acres.
2. **Screening and security.** The Planning Commission may require a fence up to six (6) feet in height around the perimeter of the site and may require screening from road rights-of-way and abutting RESIDENTIAL USES in accordance with Section ~~_____ (Methods of Screening)~~ 12.03 (Landscaping, Screening and Land Use Buffers).
3. **Setbacks.** Structures and areas designated for camping shall be located a minimum of one hundred (100) feet from all lot boundaries.

4. **Temporary storage of recreational vehicles and trailers.** Temporary off-season storage of recreational vehicles and camping trailers not set up for occupancy shall be permitted as an accessory use, subject to the following:
- a. Such storage shall be incidental to the principal use of the parcel as a campground or recreational vehicle park.
 - b. Storage of such vehicles and trailers shall be limited to the off-season when the campground or recreational vehicle park is closed.
 - c. Such vehicles and trailers shall be stored on the individual campsites and shall be limited to one (1) recreational vehicle or trailer per campsite.
 - d. Such vehicles and trailers shall be secured and shall not be occupied while in storage.
5. **Use standards.** The location, layout, design, or operation of campgrounds and recreational vehicle parks shall not impair the continued enjoyment, use, and future orderly development of adjacent and nearby lots. Such uses shall not generate excessive noise, odors, dust, exterior lighting, or other impacts that impair the continued use and enjoyment of adjacent lots.
- a. All recreational vehicles and trailers must be operable and licensed to operate on the highways of the State of Michigan.
 - b. Each campsite shall either be provided with approved potable water and sanitary sewer or septic hookups, or shall have convenient access to approved bathrooms, toilets, and shower facilities.
 - c. Campgrounds and recreational vehicle parks shall be for seasonal recreation use. Permanent residency on a campsite shall be prohibited.
 - d. A caretaker's residence shall be permitted accessory to a campground or recreational vehicle park, subject to the requirements of Section ~~_____~~ 7.03 C (Accessory Dwelling).
 - e. Limited retail uses shall be permitted accessory to a campground or recreational vehicle park, provided that such uses are designed to serve only campground or park patrons.

~~E. Section 10.405~~ **Car Washes.**

Automobile, truck, and recreational vehicle wash facilities shall be subject to the following:

A1. Use Standards.

1. **a.** _____ All washing facilities shall be completely within an enclosed-building and exit lanes shall be designed to prevent runoff from impacting adjacent properties or road rights-of-way.

2. b. Steam used in the cleaning process shall be contained within an enclosed building.
3. c. Vacuuming facilities shall be prohibited within the front yard, and shall be set back a minimum of one hundred (100) feet from any RESIDENTIAL USES. The hours of operation of any vehicle wash facility shall be subject to Planning Commission approval.
4. d. The facility shall be so constructed and maintained that odors, dust, noise, exterior lighting, and drainage shall not constitute a nuisance or hazard to adjoining lots and uses.
5. e. The hours of operation of the car wash shall be subject to Planning Commission approval.

B2. Ingress/Egress.

1. a. Sites shall have frontage on a primary road as classified by the master transportation plans of the Township, or county or state road authorities.
2. b. Driveways serving a wash facility shall be set back a minimum of one hundred (100) feet from the intersection of any two (2) public roads.
3. c. Road rights-of-way shall not be used for maneuvering or parking by vehicles to be serviced by the car wash.
4. d. To minimize traffic conflicts and road icing caused by runoff from vehicles, sufficient space shall be provided on the lot so that vehicles do not exit the wash building directly into the road right-of-way.
5. e. All maneuvering areas and stacking lanes shall be located within the car wash lot.

C3. Screening.

Screening shall be required from adjacent Rural, Rural Residential, and Urban Residential Districts and existing RESIDENTIAL USES per Section ~~_____ (Methods of Screening)~~ 12.03 (Landscaping, Screening and Land Use Buffers), along with adequate screening for all loading facilities, trash dumpsters, and mechanical equipment.

~~F. Section 10.601~~ Composting Centers.

Composting centers and support facilities shall be subject to the following:

A1. Site Plan Requirements for Composting Facilities.

Establishment, expansion, and alteration of a composting facility shall be subject to site plan approval. In addition to the requirements of Article ~~_____ 8~~ (Site Plan Review), the following information shall be included on a site plan for a composting facility:

- ~~1.~~ a. Access route traffic patterns as well as on-site traffic patterns.
- ~~2.~~ b. A detailed maintenance plan for all outdoor areas where compost materials are received, processed, cured or stored; and impacts on public road rights-of-way. The maintenance plan shall include the following minimum provisions:
 - ~~a.~~ (1) Methods and practices by which the tracking of mud or compost materials from composting areas into public road rights-of-way will be minimized.
 - ~~b.~~ (2) Location(s) of truck cleaning areas, and methods of cleaning trucks to prevent the occurrence of nuisances resulting from the tracking of mud or compost materials.
 - ~~c.~~ (3) An on-site traffic control pattern, including a bypass road around the truck cleaning area if applicable.
 - ~~d.~~ (4) Method for removing soil, dust, and/or compost materials attributable to the composting operations from public roads within 1,500 feet of the composting area entrance and exits.
- ~~3.~~ c. Written documentation of an operation plan addressing the following:
 - ~~a.~~ (1) Hours of operation.
 - ~~b.~~ (2) Methods of controlling fugitive dust, noxious odors, noise, vibration, light, and blowing debris.
 - ~~c.~~ (3) Method of receiving compost materials.
 - ~~d.~~ (4) Method of sorting and handling composting materials on-site.
 - ~~e.~~ (5) Measures to be taken should anaerobic conditions arise.
 - ~~f.~~ (6) Expected frequency of removal of composted materials.
 - ~~g.~~ (7) Expected frequency for turning of composting windrows.
 - ~~h.~~ (8) Fire protection.
 - ~~i.~~ (9) Description of daily cleanup procedures.
 - ~~j.~~ (10) Measures to be taken should surface or groundwater contamination take place.
 - ~~k.~~ (11) The capacity of the composting facility in terms of cubic yards, and the maximum amount of compost material to be accepted annually.

4. d. A closure plan shall be submitted with the application, which shall detail the final end use of the property should use of the facility be discontinued for more than three hundred sixty-five (365) consecutive days. The plan shall describe:
- a. (1) How the existing site will be cleaned up.
 - b. (2) How and where the existing surface debris will be disposed.
 - c. (3) What the final disposition of the land will be.
 - d. (4) A cost estimate for clean-up and restoration of the site.

B2. Size And Location.

Composting facilities shall have a minimum lot area of twenty (20) acres, and shall not be allowed in any one hundred (100) year floodplain, groundwater recharge area, or regulated wetland.

C3. Ground And Surface Water Quality.

To ensure that ground or surface waters are not contaminated, such facilities shall be subject to the following:

- 1. a. The surface and ground waters at a composting facility shall comply with the water quality requirements of applicable state and federal laws.
- 2. b. Monitoring wells shall be installed by the owner, operator or lessee on site prior to construction of the composting facility. The location of such wells shall be determined on a site-by-site basis, subject to review and approval by a professional acceptable to the Township. All review costs shall be assumed by owner/operator or lessee.
 - a. (1) Sampling of groundwater monitoring wells must start before operations begin, continue quarterly during the active life of operations, and quarterly for a two (2) year period after operations cease for compliance with applicable state and federal laws. The monitoring shall be done by a professional acceptable to the Township. All costs for such monitoring shall be assumed by owner/operator or lessee.
 - b. (2) Should test wells reveal violation of the water quality requirements of applicable state and federal laws, the petitioner shall be required to install a groundwater remediation system. The system shall be subject to review and approval by a professional acceptable to the Township. All costs shall be assumed by owner/operator or lessee.
- 3. c. If any stream or swale is present on the site, it shall be buffered by a one hundred (100) foot open space setback measured from the outer edge

of the floodplain or all alluvial soils to ensure that the stream is adequately protected from pollution.

4. d. Surface water monitoring shall also be required to assess the adequacy of leachate containment and runoff control, and for compliance with applicable state and federal laws. Such monitoring shall be required quarterly. The monitoring shall be done by a professional acceptable to the Township. All costs for such monitoring shall be assumed by the owner/operator or lessee.
5. e. Documentation of the analysis for all ground and surface water monitoring events shall be submitted to the Township within sixty (60) days after completion.
6. f. Discharge of water from an on-site stormwater retention basin shall only be reintroduced into the compost pile, directed into a publicly owned and operated sanitary sewerage system, or transported and disposed of off-site by a liquid industrial waste hauler. Discharges into the Township's sanitary sewerage system shall comply with the Township's utility and sewer ordinances.

D4. Anaerobic Conditions Prohibited.

Compost materials shall not be accepted on site in an anaerobic conditions. Such facilities shall be closed when anaerobic conditions arise, with operations limited to correcting the condition. Determination of anaerobic conditions may be made by the Zoning Inspector, Washtenaw County, or authorized consultant.

If anaerobic conditions arise more than two (2) times during any thirty (30) calendar day period, the Planning Commission may rescind approval of any Conditional Use Permit or require closure of the facility for up to sixty (60) calendar days. After two (2) such closures within one (1) calendar year, the Planning Commission may take action to rescind approval of any Conditional Use Permit and require closure of the facility permanently.

E5. Screening And Separation Standards.

To ensure proper buffering of the composting facility from nearby land uses that may be adversely affected by the facility, the following requirements shall apply:

1. a. No composting facility shall be constructed or expanded within five hundred (500) feet of the boundary of any Rural Residential or Urban Residential Districts, or Planned Community (PC) special district incorporating RESIDENTIAL USES, as measured by a straight line along the shortest distance between the zoning district boundary and the boundary of the subject lot for the facility.
2. b. The site shall be screened from all road rights-of-way and abutting uses in accordance with Section ~~_____ (Methods of Screening)~~ 12.03 (Landscaping, Screening and Land Use Buffers) [amended 8/16/2010, Ord. 174-04].

F6. Fugitive Dust, Noxious Odors, Noise, Vibration, Light, And Blowing Debris.

The operation of a composting facility shall not result in unreasonable off-site deterioration of air quality, cause unreasonable interference with the comfortable enjoyment of life and property, or cause injurious effects to human health, safety, and welfare.

1. a. All composting facilities shall be designed, constructed and operated so that fugitive dust, noxious odors, noise, vibration, light, and blowing debris are controlled and do not cause off-site problems or nuisances.
2. b. Failure to meet minimum performance standards or maintain the site in compliance with the approved plans shall be considered a use violation of this Ordinance, subject to all applicable penalties

G7. Compost Storage.

The height of compost material shall not exceed eight (8) feet, and storage of any material, other than compost, shall not be allowed on-site. No sludge of any kind shall be stored or deposited on composting facility property.

H8. Right Of Entry and Inspection.

All composting areas are subject to inspection by the Zoning Inspector, Township Planner, Township Engineer or other designated Township agent during regular business hours. The designated Township agent shall be empowered to collect and examine samples as deemed necessary to perform such inspections, and to take photographic, videotape, or other representation of conditions in the composting facility. No person shall hinder, obstruct, delay, resist, or prevent any inspection made or any sample collected and examined.

~~G. Section 10.602~~ Controlled Uses.

~~It is hereby recognized by the Township Board that controlled uses, as defined in this Ordinance, have serious and inherent objectionable operational characteristics, particularly when several such uses are concentrated under certain circumstances. The Board acknowledges the specific consequences that adult uses, and sexually oriented businesses have caused for the adjoining City of Ypsilanti, including lost business opportunities, increased costs for police services in the neighborhood of such uses, and significant financial costs associated with mitigation and removal of such blighting influences.~~

~~Controlled uses are hereby recognized as an impediment to stable growth and development and full implementation of the Growth Management Plan in the Township. Such uses create or exacerbate disruptive and deleterious conditions that impact adjacent properties; especially when constructed in proximity to other controlled uses, residential zoning districts, and public and other institutional uses. Special regulation of these uses is necessary to minimize adverse impacts on the public health, safety, and welfare of persons and property; and to ensure that such impacts will not cause or contribute to blighting conditions or downgrading of property values in the Township. Accordingly, it is the intent and purpose of Superior Charter Township to adopt reasonable regulations for controlled~~

~~uses. Operation or expansion of any controlled use, whether conducted as a separate business activity or in conjunction with another use, shall conform to the following:~~

~~1. **Intent and Purpose.** The purpose and intent of this Section is to regulate the location and operation of certain adult businesses identified in this Section within the Township, and to minimize the negative secondary effects of such businesses. Based upon studies undertaken and reported by numerous other communities in Michigan and across the United States, which have been studied by the Township and found to have relevance and application to the Township, it is recognized that the adult businesses identified in this Section, because of their very nature, have serious objectionable operational characteristics that cause negative secondary effects upon nearby residential, educational, religious, and other similar public and private uses. The regulation of such businesses is necessary to ensure that their negative secondary effects will not contribute to the blighting or downgrading of surrounding areas and will not negatively impact the health, safety, and general welfare of Township residents.~~

~~The provisions of this Section are not intended to offend the guarantees of the First Amendment to the United States Constitution, or to deny adults access to these types of businesses and their products, or to deny such businesses access to their intended market. Neither is it the intent of this Section to legitimize activities that are prohibited by Township Ordinance or state or federal law. If any portion of this Section relating to the regulation of adult businesses is found to be invalid or unconstitutional by a court of competent jurisdiction, the Township intends said portion to be disregarded, reduced, and/or revised so as to be recognized to the fullest extent possible by law. The Township further states that it would have passed and adopted what remains of any portion of this Section relating to regulation of adult businesses following the removal, reduction, or revision of any portion so found to be invalid or unconstitutional.~~

A2. Controlled Uses Defined.

The following uses are defined as "controlled uses" for the purposes of this Ordinance:

- ~~1.~~ a. Adult drive-in motion picture theater; adult motion picture theater; adult supply store; adult physical culture establishment; adult cabaret; or similar adult or sexually oriented business, as defined in Section ~~2.0~~ (Definitions);
- ~~2.~~ b. Pawnshop or collateral loan and/or exchange establishment; and
- ~~3.~~ c. Specially designated distributor's establishment or specially designated merchant's establishment, as licensed by the Michigan Liquor Control Commission.

B3. Application.

Any person with a legal interest in a lot zoned for such uses may apply for a Controlled Use Permit, subject to the following:

1. a. If the applicant is not the fee simple owner of the property, the applicant shall submit a statement signed by all of the owners consenting to the application for a Controlled Use Permit.
2. b. Application shall be made by filing all completed forms and the required review fee and escrow deposit with the Township Clerk.
3. c. Submittal of preliminary and final site plans shall be required for establishment, expansion or alteration of a controlled use in accordance with the requirements of Article 8 (Site Plan Review).
- d. The Township Clerk, upon receipt of all application materials, shall forward the materials to the Planning Commission.

C4. Planning Commission Action

The Planning Commission shall study the application and, within one hundred-eighty (180) calendar days after receipt of a complete and accurate application, shall approve, approve with conditions, or reject the application.

1. a. If the applicant has submitted a written request with the application for a Controlled Use Permit to waive one (1) or more requirements of Section 10.06 G. 5. (Restrictions on Location), then the Planning Commission shall hold a public hearing on the request in accordance with Section 3.11 (Public Hearing Procedures). Public notice signage shall be required in accordance with the requirements for a Conditional Use Permit application.
2. b. Planning Commission action on any request to waive one (1) or more requirements of Section 10.06 G. 5. (Restrictions on Location) shall be in accordance with the standards of Section 10.06 G. 7. (Waiver of Restrictions on Location).
3. c. Prior to the granting of approval for the establishment of any controlled use, the Planning Commission may impose any such conditions or limitations upon the establishment, location, construction, maintenance, or operation of the controlled use as in its judgment may be necessary for the protection of the public interest.
4. d. The Planning Commission may require the applicant to submit a performance guarantee to the Township per Section 3.09 (Performance Guarantees) to ensure that such conditions will be fulfilled.

D5. Restrictions On Use.

The following use restrictions shall apply to controlled uses:

1. a. All controlled uses shall be contained in a freestanding building. Enclosed malls, commercial strip stores, common wall structures, and multi-tenant buildings shall not constitute a freestanding building.
2. b. No adult use or sexually oriented business shall be conducted in any manner that permits the observation of any material depicting, describing, or

relating to specified sexual activities or specified anatomical areas from any road right-of-way or from any property not regulated as a controlled use. This provision shall apply to any display, decoration, sign, window or other opening.

E6. Restrictions On Location.

The following minimum separation distances shall be measured by a straight line between a point on the boundary of a zoning district listed below or a lot occupied by a use listed below nearest to the contemplated structure or contemplated location of the structure containing the controlled use:

- ~~a. No controlled use shall be located within one thousand (1,000) feet of any other controlled uses.~~
- ~~b. No controlled use shall be located within one thousand (1,000) feet of any institutional uses as defined in Section _____ (Definitions), child day care center, public park or playground.~~
- ~~c. No controlled use shall be located within five hundred (500) feet of the boundary of any Rural Residential or Urban Residential Districts or PC (Planned Community) Special District incorporating RESIDENTIAL USES.~~
- a. No adult business use may be located within one thousand (1,000) feet from the property line of another adult business use. For purposes of this subsection, the distance between any two (2) adult business uses shall be measured in a straight line, without regard to intervening structures or objects, from the closest exterior wall of the structure in which the business is located.
- b. No adult business use may be located within five hundred (500) feet from the property line of any residential zoning district, lot or parcel in residential use, school property, church or other place of worship, public park, childcare facility, nursery school, preschool or other use which is primarily oriented to youth (less than 18 years of age) activities. For the purpose of this subsection, measurement shall be made in a straight line, without regard to intervening structures or objects, from the nearest portion of the building or structure used as a part of the premises where an adult business use is conducted, to the nearest property line of any lot or parcel in residential use, school property, church or place of worship, public park, child care facility, nursery school, preschool or other use which is primarily oriented to youth (less than 18 years of age) activities.
- c. No adult business use shall be located in any principal or accessory structure already containing an adult business use.

F7. Waiver Of Restrictions On Location.

Upon written request from the applicant submitted with the application for a Controlled Use Permit, the Planning Commission may waive or reduce one (1) or more

of the restrictions in Section ~~_____10.06 G. 6.~~ (Restrictions on Location), subject to the following:

~~b.~~ ~~a.~~ _____ No waivers shall be given to permit a controlled use ~~to locate within one thousand (1,000) feet of any institutional uses as defined in Section _____ (Definitions), child day care center, public park or playground which does not comply with Section 10.06 G. 6.~~

~~e.b.~~ _____ A public hearing shall be held per Section ~~_____9.11~~ (Public Hearing Procedures).

~~d.c.~~ _____ To waive or reduce one (1) or more of the restrictions in Section ~~_____10.06 G. 6.~~ (Restrictions on Location), the Planning Commission shall find that the following conditions exist:

~~(2)~~ ~~(1)~~ _____ The proposed use will not be contrary to the public interests or injurious to nearby properties in the proposed location, and the spirit and intent of the purpose of the spacing requirement will still be observed;

~~(3)~~~~(2)~~ _____ The proposed use will not cause or exacerbate a deleterious impact upon adjacent areas through causing or encouraging blight, or disrupting normal development or use of land;

~~(4)~~~~(3)~~ _____ The establishment of an additional controlled use at the proposed location will not be contrary to or interfere with implementation of the Growth Management Plan or any related improvement program or plan; and

~~(5)~~~~(4)~~ _____ All other applicable Township regulations and state or federal laws will be observed.

~~H.~~Section 10.303 Cemetery.

Cemeteries and similar uses shall comply with all applicable federal, state and local laws and regulations, and shall be subject to the following:

1. The minimum gross lot area for any new cemetery shall be ten (10) acres.
2. All access shall be provided from a primary road as classified by the master transportation plans of the Township, or county or state road authorities.
3. The cemetery shall be secured by a fence and screened from abutting Rural Residential and Urban Residential Districts or existing RESIDENTIAL USES per Section ~~_____12.03 (Landscaping, Screening and Land Use Buffers Methods of Screening).~~

4. Crypts, mausoleums, and other buildings containing human remains, other than a subterranean grave, shall be set back a minimum of one hundred (100) feet from lot boundaries.
5. Assembly. The use shall be so arranged that adequate assembly area is provided off-street for vehicles to be used in a funeral procession. This assembly area shall be provided in addition to any required off-street parking are
6. a.
7. Ingress and egress. Points of ingress and egress for the site shall be designed so as to minimize possible conflicts between traffic on adjacent major thoroughfares and funeral processions or visitors entering or leaving the site.
8.
- 5.9. The location shall not disrupt the convenient provision of utilities to adjacent properties, nor disrupt the continuity of the public road system.
- 6.10. A caretaker's residence shall be permitted accessory to a cemetery, subject to the requirements of Section ~~_____~~ 7.03 C. (Accessory Dwelling).
- 7.11. Establishment, expansion, and alteration of a cemetery shall be subject to site plan approval per Article _____ (Site Plan Review). A maintenance plan shall be submitted with the application for site plan approval, which shall include the following minimum information:
 - a. The entity responsible for long-term maintenance of the cemetery, and methods and anticipated funding sources for such maintenance.
 - b. Details of the proposed landscape and lawn care maintenance program, which shall include the best available practices for protection of abutting properties and the environment of the Township.

I. Section 10.304 Day Care Facilities.

~~The following regulations shall apply to day care centers: The following regulations shall apply to group day care homes and day care centers, except licensed group day care homes that lawfully operated before March 30, 1989:~~

1. A safe means of drop-off and pick-up of children shall be provided adjacent to the main building entrance, located off of a public street and the parking access lane, and shall be of sufficient size so as to not create congestion on the site or within a public roadway;
2. Off-street parking shall be provided at a rate of one (1) space per employee plus one (1) space for every five (5) children intended for maximum enrollment at the facility;

~~3. There shall be an outdoor play area of twelve hundred (1,200) square feet in area or fifty (50) square feet per child, whichever is greater. The play area shall not be located within a required front setback area. This requirement may be waived by the Planning Commission if public play area is available five hundred (500) feet from the subject parcel;~~

~~1. In accordance with applicable state laws, such facilities shall be registered with or licensed by the State of Michigan.~~

~~2. Group day care homes shall be located a minimum of one thousand five hundred (1,500) feet from the lot boundaries for any of the following facilities, as measured along public or private road rights-of-way between the nearest boundaries of the group day care home lot and the facility lot. The subsequent establishment of any of the facilities listed in this subsection shall not affect any approved Conditional Use Permit for a group day care home:~~

~~(1) Another licensed group day care home.~~

~~(2) An adult foster care small group home, large group home or congregate care facility.~~

~~(3) A facility offering substance abuse treatment and rehabilitation service to seven (7) or more people as licensed under the State public health code.~~

~~(4) A community correction center, resident home, halfway house, or other similar facility that houses an inmate population under the jurisdiction of the Michigan Department of Corrections.~~

~~3.4. All outdoor play areas for group day care homes and day care centers shall be enclosed and secured by a fence not less than four (4) feet nor more than six (6) feet in height that conforms to the requirements of Section ____ (Fence Regulations) and is capable of containing the children within the play area.~~

~~4.5. The group day care home premises shall be maintained consistent with the visible character of single-family dwellings.~~

~~(1) No signs shall be permitted for such uses, other than that permitted for a single-family dwelling in the zoning district.~~

~~(2) A group day-care home shall not require the modification of the dwelling exterior nor the location of playground equipment in the front yard.~~

~~5.6. The operation of a group day care home shall not exceed sixteen (16) hours during any twenty-four (24) hour period. The Planning Commission may limit but not prohibit the operation of a group day-care home between the hours of 10 p.m. and 6 a.m.~~

~~6.7.~~ One (1) off-street parking space shall be provided per non-resident employee of the group day care home, in addition to required parking for the dwelling.

~~7.8.~~ Construction, expansion, and alteration of such uses shall be subject to site plan approval per Article ____ (Site Plan Review).

~~8.9.~~ In accordance with Section 206 of the Michigan Zoning Enabling Act, the Planning Commission shall approve a Conditional Use Permit for a group day care home upon determination that the proposed use conforms to the requirements of this Section and Ordinance. The Planning Commission shall not impose additional conditions on an approved group day care home beyond those listed in this Section.

~~[amended 8/16/2010, Ord. 174-04; and amended 2/21/2017, Ord. No. 174-19]~~

J. Section 10.406 Drive-In or Drive-Through Facilities.

Drive-in and drive-through lanes, facilities or establishments shall be subject to the following:

1. ~~Adequate on-site~~ stacking space for vehicles shall be provided for each drive-in window so that vehicles will not interfere with vehicular circulation or parking maneuvers on the site, will not interfere with access to or egress from the site, and will not cause standing of vehicles in a public right-of-way.
 - a. Access to and egress from the site shall not interfere with peak-hour traffic flow on the street serving the property.
 - b. Projected peak-hour traffic volumes that will be generated by the proposed drive-in or drive-through service shall not cause undue congestion during the peak hour of the street serving the site.
2. ~~Each drive-through facility shall provide adequate stacking space meeting the following standards:~~
 - a. ~~Each stacking lane shall be one (1) way, and each stacking lane space shall be a minimum of ten (10) feet in width and twenty (20) feet in length.~~
 - b. ~~Each drive-through facility shall have an escape lane a minimum of ten (10) feet in width to allow other vehicles to pass those waiting to be served.~~
 - c. ~~The number of stacking spaces per service lane shall be provided for the uses limited below. Each stacking space shall be computed at twenty (20) feet in length. When a use is not specifically mentioned, the requirements for off-street stacking space for the use with similar~~

needs, as determined in the discretion of the Planning Commission, shall apply.

<u>Table _____</u>	
<u>Drive-Through Stacking Requirements</u>	
<u>Use</u>	<u>Stacking Space Per Service Lane/Stall</u>
<u>Banks, Pharmacy, Photo service, and Dry Cleaning</u>	<u>4</u>
<u>Restaurants with drive-through</u>	<u>10</u>
<u>Auto Washes (self service)</u>	
<u>Entry</u>	<u>4</u>
<u>Exit</u>	<u>2</u>
<u>Auto Washes (automatic/drive-through)</u>	
<u>Entry</u>	<u>6</u>
<u>Exit</u>	<u>2</u>
<u>Quick Oil Change</u>	<u>3</u>

~~2.3.~~ Such facilities shall be set back a minimum of one hundred (100) feet from abutting RESIDENTIAL USES. Screening shall be required from adjacent Rural, Rural Residential, and Urban Residential Districts and existing RESIDENTIAL USES per Section ~~_____12.03~~ (Landscaping, Screening and Land Use Buffers Methods of Screening), along with adequate screening for all loading facilities, trash dumpsters, and mechanical equipment.

~~3.4.~~ Driveways serving a drive-in or drive-through facility shall be set back a minimum of one hundred (100) feet from the intersection of any two (2) public roads. No more than one (1) driveway shall be permitted per road frontage.

~~4.~~ A bypass lane or similar means of exiting or avoiding the drive-through facility shall be provided, subject to Planning Commission approval.

5. Devices for the transmission of voices shall be directed and designed to prevent transmitted sound from being audible beyond the lot boundaries.

6. Sales of alcoholic beverages through any drive-through or drive-in service window or facility shall be prohibited.
7. Menu boards may be installed and maintained for the drive-through facility, subject to the following:
 - a. Such signs shall be located on the interior of the lot and shall be shielded to minimize visibility from all road rights-of-way and abutting lots. The total sign area of all permitted menu boards shall not exceed forty-eight (48) square feet.
 - b. The location, size, and manner of illumination shall not create or exacerbate a traffic or pedestrian hazard or impair vehicular or pedestrian traffic flow.

K. Section 10.603 Extractive And Earth Removal Operations.

1. Purpose and Intent

- a. The purpose of this Section is to provide for the proper development and utilization of mineral resources existing within the Township, while at the same time making proper provisions for the present and future health, safety and welfare of the residents of the Township. The development and utilization of mineral resources in the Township shall be subject to appropriate regulations of the Township and other agencies with jurisdiction.

Such regulations shall consider the conduct of the extractive and earth removal operation and the reuse of the site upon termination of the activity. It is the intent of this Section that parcels subject to the extractive and earth removal operations shall, upon termination of such operations, be reclaimed and rendered fully useful for one (1) or more of the uses permitted as principal uses within the various districts included in this Ordinance. Extractive and earth removal operations shall be subject to the following:

- b. It is also the intent of this Section to ensure that no very serious consequence would result from the extraction of valuable natural resources where they have been naturally deposited. Natural resources shall be considered valuable for the purposes of this section if a person, by extracting the natural resources, can receive revenue and reasonably expect to operate at a profit.
- c. A person challenging a zoning decision under this Section has the initial burden of showing that there are valuable natural resources located on the relevant property, that there is a need for the natural resources by the person or in the market served by the person, and

that no very serious consequences would result from the extraction, by mining, of the natural resources.

d. In determining under this Section whether very serious consequences would result from the extraction, by mining, of natural resources.

e. In determining under this Section where very serious consequences would result from the extraction, by mining, or natural resources, the standards set forth in Silva v. Ada Township, 416 Mich. 153 (1982), shall be applied and all of the following factors may be considered, if applicable:

(1) The relationship of extraction and associated activities with existing land uses.

(2) The impact on existing land uses in the vicinity of this property.

(3) The impact on property values in the vicinity of the property and along the proposed hauling route serving the property.

(4) The impact on pedestrian and traffic safety in the vicinity of the property and along the proposed hauling route serving the property.

(5) The impact on other identifiable health, safety, and welfare interests in the local unit of government.

(6) The overall public interest in the extraction of the specific natural resources on the property.

A2. Scope.

THE FOLLOWING TYPES OF EXTRACTIVE AND EARTH REMOVAL ACTIVITIES SHALL BE SUBJECT TO THE REGULATIONS OF THIS SECTION:

1. a. The removing or extracting of any soil, sand, peat, marl, clay, gravel, stone, or similar materials.

2. b. The processing, storage, loading, and transportation of the above-mentioned materials.

The regulations of this Section shall apply in conjunction with the Township's Soil Removal and Deposit Ordinance (Ord. No. 147). Where the standards of this Section may conflict or overlap with Ordinance No. 147, the more restrictive standards shall govern. These regulations shall not affect excavation work for the construction of foundations for dwellings and other structures, roads, utilities, and related site improvements pursuant to the State Construction Code.

B3. General Requirements.

In addition to other requirements set forth in this Ordinance, the removal of soil, including topsoil, sand, gravel, stone, and other earth materials shall conform to all applicable federal, state, county, and local laws and regulations, and to the following requirements:

1. a. There shall be not more than one (1) entranceway from a public road to a parcel of land used for such operations for each six hundred-sixty (660) feet of frontage on a public road right-of-way. Entranceways shall be located not less than five hundred (500) feet from an intersection of two (2) or more public roads.
2. b. Such operations shall be permitted only between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday, and between 8:00 a.m. and 12:00 noon on Saturday and Sunday.
3. c. No digging, stockpiling, excavating, or equipment storage and/or repairs shall take place closer than 100 feet from any lot line, and three hundred (300) feet from the boundary of any Rural Residential or Urban Residential Districts, and any Planned Community (PC) Special District incorporating Residential Uses. Stockpiles of stripped topsoil shall be seeded with grass or similar plant materials approved by the Planning Commission to prevent erosion onto other properties.
4. d. The operator shall be responsible for keeping all public roads upon which trucks haul materials to or from the premises in a condition at least equal to that which would have existed in the absence of the earth removal operations; to keep the roads free of dust or other windblown debris from the operations; and to clean any and all spillage of materials and dirt, rock, mud, and any other debris carried onto these roads by these trucks or other equipment.
5. e. Noise levels shall not exceed sixty (60) dBA as measured at the property line of the nearest residentially zoned or occupied property, or otherwise shall not exceed seventy (70) dBA. No dust, fumes, smoke, vibration, or odor above ambient levels shall be detectable on neighboring properties.
6. f. Such operations shall not be conducted so as to cause the pollution by any material of any surface or subsurface watercourse or body of water outside the lines of the lot on which such use shall be located, or of any existing body of water located within the premises.
7. g. Such operations shall not be conducted so as to cause or threaten to cause the erosion by water or wind of any land outside of the lot on which such use is located, or of any land on said lot in such manner that earth materials are carried outside of the lines of said lot. Such removal shall not be conducted as to alter the drainage pattern of surface or subsurface waters on adjacent property. In the event that such removal shall cease to be

conducted, it shall be the continuing responsibility of the owner(s) and operator(s) to ensure that no erosion or alteration of drainage patterns shall take place after the date of the cessation of operation.

- 8. h. All fixed equipment and machinery shall be located at least one hundred (100) feet from any lot line and five hundred (500) feet from the boundary of any Rural Residential or Urban Residential Districts, and any Planned Community (PC) Special District incorporating Residential Uses. If the zoning classification of any land within five hundred (500) feet of such equipment or machinery shall be changed to a residential classification or to a PC Special District incorporating residential uses subsequent to the operation of such equipment or machinery, the operation of such equipment or machinery may continue but may not expand in intensity of use and in no case shall be less than one hundred (100) feet from any lot line adjacent to such zoning district.
- 9. i. A fence not less than six (6) feet high shall be erected around the area being excavated, which shall be adequate to prevent trespass.
- 10. j. Areas within an operation shall be rehabilitated progressively as they are worked out or abandoned. Such areas shall be improved to be completely hazard-free, and to appear natural and blend with the surrounding area.
- 11. k. Travel routes for trucks entering and leaving the operation shall not pass through residential areas, unless such travel routes are on paved primary roads.
- 12. l. Only equipment owned or leased by the operator of the operation and used in the operations of the facility shall be stored overnight or longer on the premises of the facility. Storage of other equipment on the premises shall be prohibited [amended 8/16/2010, Ord. 174-04].

C4. Site Plan Requirements.

At the time of the application for a Conditional Use Permit, the applicant shall submit a site plan for the use of the property during the excavation or earth removal operations. Such plan shall conform to the requirements of Article ~~_____~~ 8 (Site Plan Review) and shall include the following additional information:

- 1. a. Name and address of the person, firm, or corporation who or which will be conducting the actual removal operations.
- 2. b. Type of materials or resources to be removed or to be brought to the site.
- 3. c. An aerial photograph showing the subject property and adjacent areas, location and outline of trees, wooded areas, streams, marshes, ponds and other wetlands, and other natural features.

4. d. Clear indication of all natural features to remain and to be removed.
5. e. Existing topography at contour levels of two (2) feet.
6. f. Existing and proposed site improvements such as buildings, drives, wells, utility poles and towers, pipelines, and drain fields, showing location, outline, general dimensions, and distances between such improvements, with a clear indication of all improvements to remain and to be removed.
7. g. Extent of future earth removal areas and depth thereof.
8. h. Location and nature of structures and stationary equipment to be located on the site during earth removal operations.
9. i. Location and description of soil types.
10. j. An estimate of the kind and amount of material to be withdrawn from the site and the expected termination date of earth removal operations.
11. k. Description of all operations to be conducted on the premises, such as, but not limited to, digging, sorting, and washing operations and crushing, and the type, size, and nature of equipment to be used with each operation, and whether blasting or use of explosives is required or contemplated.
12. l. Location and width of drives, sight distances, and lane widening on public roads at intersections of same with drives.
13. m. Description of pollution and erosion control measures, including a dust control program that includes, at a minimum, the following:
 - a. (1) Paving, watering regularly, or treating with dust suppressant chemicals all roads, drives, parking areas, storage piles, and loading and unloading areas on the parcel so as to limit nuisances caused by windborne dust on neighboring properties and on public roads.
 - b. (2) Directing engine exhaust gases that are generated by the machine used on the piles for loading or unloading upwards;
 - c. (3) Covering open body trucks before they leave the site;
 - d. (4) Cleaning the wheels and body of trucks as needed to remove spilled materials after the truck has been loaded;
 - e. (4) Restricting the speed of vehicles used on site as necessary to minimize dust generation;
 - f. (5) Minimizing the drop distance from which the material is discharged into a pile or a truck; and
 - g. (6) Maintaining records adequate to demonstrate compliance with the approved dust control plan.

- 14. n. Certified statement by a qualified engineer, with supporting data and analyses, concerning expected impact on the water table and water supply wells in the vicinity of the site.
- 15. o. Map showing truck routes to and from the site.
- 16. p. Owner, use, and zoning classification of land uses and location(s) of adjacent buildings, drives, and road rights-of-way within five hundred (500) feet of the subject parcel(s).
- 17. q. General description of existing and proposed water, sewer or septic, and storm drainage systems.
- 18. r. Location and type of proposed screens and fences; height, typical elevation, and vertical section of screens and fences, showing materials and dimensions.
- 19. s. Location, type, direction, and intensity of outside lighting.

D5. Restoration Plan Requirements.

At the time of the application for Conditional Use Permit, the applicant shall submit a plan for restoring the site to a safe, attractive, and usable condition. The plan shall satisfy the requirements for a preliminary site plan per Article ~~_____~~ 8 (Site Plan Review), and shall include the following additional information:

- 1. a. Location and extent of all natural features to be retained during operations.
- 2. b. Contour lines at intervals of two (2) feet of the proposed, restored surface, clearly showing connection to existing undisturbed contour lines.
- 3. c. Schedule and areas of progressive rehabilitation.
- 4. d. Proposed ground cover and other plantings to stabilize the soil surface and to beautify the restored area.
- 5. e. Conceptual layout of proposed site improvements and a description of the proposed use(s) of the site when restored.
- 6. f. Description of methods and materials to be used in restoring the site.

E6. Performance Guarantees.

The applicant shall provide a performance guarantee in accordance with Section ~~_____~~ 3.09 (Performance Guarantees) to ensure restoration of the site. Such guarantee shall not be released until the Township Engineer certifies that restoration is complete, and until the Planning Commission accepts such certification as accurate. The performance guarantee may be

used by the Township to restore the site if the applicant does not fulfill the restoration requirements of the approved permit.

The applicant shall provide a bond, letter of credit, cash deposit, or other performance guarantee when required by the Planning Commission to maintain, repair, and replace public roads traversed by trucks associated with such operations. The performance guarantee shall be deposited with the Washtenaw County Road Commission in the form and amount required by the Road Commission and release shall be subject to joint approval by the Planning Commission and the Road Commission.

~~F~~7. Expiration Of Extractive and Earth Removal Operation Approval.

The applicant shall provide a date for completing earth removal operations, based upon the estimated volume of material to be extracted and average annual extraction rates.

- ~~1.~~ **a.** Authorization allowing such operations shall expire on that date or such other reasonable date specified by the Planning Commission. Any extension of operations beyond that date shall require a new Conditional Use Permit.
- ~~2.~~ **b.** The approved restoration plan, conditions of approval, and Conditional Use Permit for the restoration and re-use of the site shall remain in force and effect.
- ~~3.~~ **c.** Preliminary site restoration shall begin immediately upon expiration of authorization for excavation or earth removal operations. Approval of a final site plan per Article ~~8~~ (Site Plan Review) shall be required for final redevelopment and re-use of the site.

~~G~~8. Right Of Entry and Inspection.

All extractive and earth removal operations are subject to inspection by the Zoning Inspector, Township Planner, Township Engineer, or other designated Township agent during regular business hours. The designated Township agent shall be empowered to collect and examine samples as deemed necessary to perform such inspections, and to take photographic, videotape, or other representation of conditions within the operation. No person shall hinder, obstruct, delay, resist, or prevent any inspection made or any sample collected and examined.

~~L~~Section 10.305 Funeral Parlor or Mortuary.

Funeral parlors and mortuaries shall be subject to the following standards [crematoriums are an INDUSTRIAL, RESEARCH, AND LABORATORY USE as permitted in Article ~~4.11~~ Section 4.11 (Land Use Table)]:

1. **Assembly area.** An adequate assembly area shall be provided off-street for funeral processions and activities. All maneuvering areas shall be located

within the site and may be incorporated into the required off-street parking. Road rights-of-way shall not be used for maneuvering or parking of vehicles.

2. **Screening.** The service and loading area shall be screened from adjacent Rural Residential and Urban Residential Districts or existing RESIDENTIAL USES per Section ~~_____~~12.03 (Landscaping, Screening and Land Use Buffers Methods of Screening).
3. **Caretaker's residence.** A caretaker's residence shall be permitted accessory to a funeral home or mortuary, subject to the requirements of Section ~~_____~~7.03 A (Accessory Dwelling).

M.Section 10.306 -Institutional Uses.

The following shall apply to all educational, social and religious institutions, public and private elementary and secondary schools, institutions for higher education, auditoriums, and other places for assembly, and centers for cultural activities defined as institutional uses per Section ~~_____~~2.0 (Definitions):

1. **Height.** The maximum height of the principal building containing an institutional use shall be subject to the following conditions and exceptions:
 - a. The building height shall be permitted to exceed the maximum height requirements of the district up to a maximum height equal to twice the permitted maximum height of the zoning district, provided that the minimum required front, side and rear yard setbacks shall be increased by one (1) foot for each foot of additional building height above the maximum.
 - b. The highest point of chimneys, stage towers of scenery lofts, church spires, cupolas, and domes may be erected to a height not exceeding one hundred-fifty percent (150%) of the height of the building, provided that no such structure shall occupy more than twenty percent (20%) of the roof area of the building.
2. **Frontage and access.** Institutional uses shall have direct vehicle access to a primary road as classified by the master transportation plans of the Township, or county or state road authorities.
3. **Traffic impacts.** A traffic impact study and proposed mitigation measures may be required by the Planning Commission for facilities that have a seating capacity of over five hundred (500) persons.
- ~~3.4.~~ Parking location. Parking shall not be permitted in the required yards adjacent to any public street or adjacent to any land zoned for residential purposes, other than that which is developed or committed for uses other than the construction of residential dwellings. Such yards shall be maintained as landscaped open space.

N. ~~Section 10.501~~ Intensive Industrial Operations.

Intensive industrial operations shall be subject to the following:

A1. General Standards.

Such uses shall comply with all standards of this Ordinance, the Township's utility and sewer ordinances, and all standards established by the U.S. Environmental Protection Agency, U.S. Department of Agriculture, Michigan Department of Environmental Quality, Michigan State Police, Washtenaw County Environmental Health Division, and other agencies with jurisdiction.

B2. Impact Assessment.

The applicant shall submit an impact assessment with any plan submitted for review, which shall describe the expected impacts associated with the use and any mitigation measures to be employed. The assessment shall include the following minimum information and documentation:

~~b.~~ a. Description of all planned or potential discharges of any type of wastewater to a storm sewer, drain, river, stream, wetland, other surface water body or into the groundwater.

~~e.b.~~ b. Description of storage area for any salt, oil or other potentially hazardous materials including common name, name of chemical components, location, maximum quantity expected on hand at any time, type of storage containers or base material, and anticipated procedure for use and handling.

~~d.c.~~ c. Description of any transportation, on-site treatment, cleaning of equipment, and storage or disposal of hazardous waste or related containers.

~~e.d.~~ d. Description of all secondary containment measures, including design, construction materials and specifications, and security measures

~~f.e.~~ e. Description of the process for maintaining and recording of all shipping manifests.

All mitigation measures shall be subject to Planning Commission approval. The Planning Commission may impose conditions on the proposed use to the extent that the Commission determines are necessary to minimize any adverse impact of the facility on nearby properties, in addition to the conditions of approval specified in Article ~~9~~ 9 (Conditional Uses).

~~C3.~~ Development Standards.

Intensive industrial operations shall not be located within five hundred (500) feet of the boundary of any Rural Residential or Urban Residential Districts, or Planned Community (PC) special district incorporating RESIDENTIAL USES.

~~b.~~ a. This separation distance shall be measured by a straight line along the shortest distance between the zoning district or lot boundary and the boundary of the subject lot for the intensive industrial operation.

~~c.~~ ~~In accordance with Section _____ (Regulatory Flexibility) the Planning Commission may recommend, and the Township may authorize measurement of this separation distance to the near edge of the operation's development area within a larger parcel. The planned uses and/or method of open space preservation for land within the required separation distance shall be shown on the Planned Manufacturing (PM) district Area Plan for the project.~~

b. Such uses shall be screened from all road rights-of-way and abutting uses in accordance with Section ~~_____~~ 12.03 (Landscaping, Screening and Land Use Buffers Methods of Screening) [amended 8/16/2010, Ord. 174-04].

O. Section 10.307 Landscape Operations and Snowplow Businesses.

Landscape maintenance and installation operations, snowplowing and removal businesses, and similar uses that include more than one business vehicle or any vehicle with a payload capacity of 3 tons or greater shall be subject to the following:

1. **Minimum lot area.** A minimum lot area of five (5) acres shall be required for landscape maintenance and installation operations, and snowplowing and removal businesses.
2. **Site plan approval.** Establishment, expansion or alteration of such businesses shall be subject to site plan approval per Article ~~_____~~ 8 (Site Plan Review).
3. **Use standards.** The use ~~shall~~ may be accessory to ~~and remain secondary to~~ a principal farm operation or single-family dwelling on the same parcel, and shall be subject to the following requirements:
 - a. Employees of the business not residing on the lot shall work primarily off-site.
 - b. The Planning Commission may limit hours of operation for the business to minimize impacts on adjacent residents and uses.
 - c. The character or appearance of the dwelling shall not change. The total floor area of the dwelling used for the business shall not exceed twenty percent (20%) of the dwelling's total floor area.
 - d. The business shall not generate vehicular traffic above that normally associated with similar agricultural operations in the Rural Districts.

- e. Such businesses may occupy all or part of any accessory buildings on the lot that conform to the minimum required yard setbacks for the zoning district, subject to Planning Commission approval.
4. **Outside storage.** Outdoor display or storage of equipment, vehicles, and materials shall be subject to the following:
 - a. A maximum of two (2) commercial trucks or similar vehicles may be parked outside, provided such vehicles are located outside of all road rights-of-way, required yard setback areas, and corner clearance areas. All other vehicles and equipment associated with the business shall be stored within a completely enclosed building.
 - b. Outside storage shall conform to the standards of Section ~~_____~~ 10.06 V (Outside Storage, General).
5. **Screening.** To ensure compatibility between land uses, the Planning Commission may require screening of storage building(s), outside storage areas, and business vehicle parking area(s) occupied or intended to be used by the business from road rights-of-way and abutting parcels per Section ~~_____12.03 (Landscaping, Screening and Land Use Buffers Methods of Screening)~~.
6. **Parking.** Parking of vehicles or other activity associated with the business shall be prohibited within road rights-of-way and the minimum required yard setbacks for the zoning district. Parking for the business shall be subject to Article ~~_____11~~ (Off-Street Parking and Loading Regulations).
7. **Nuisances.** No nuisance shall be generated by any heat, glare, noise, exterior lighting, smoke, vibration, noxious fumes, odors, vapors, gases, or chemicals at any time. No hazard of fire, explosion or radioactivity shall exist at any time.
8. **Fuel storage.** On-site fuel storage and handling shall comply with all applicable state, county and local regulations, including the Michigan Fire Prevention Code (P.A. 207 of 1941, as amended).

P. Section 10-502 Material Recovery Facilities And Outdoor Storage, Dismantling Or Recycling Of Motor Or Recreational Vehicles, Boats, Machinery, Manufactured Houses Or Similar Items.

Material recovery facilities, junkyards, salvage yards, and similar outdoor vehicle storage, dismantling or recycling facilities shall conform to all applicable federal, state, county, and local laws and regulations and to the following requirements:

1. A site plan shall be provided at the time of the Conditional Use Permit application with the following information:

- a. All information required by Article ~~8~~8 (Site Plan Review);
 - b. A description of any materials processing, dismantling, and wrecking operations to be conducted within the facility; and of the location and nature of equipment for such operations, including any power-driven processing equipment; and
 - c. Travel routes within the Township for trucks entering and leaving the facility.
2. Such facilities shall be located on a paved primary road as classified by the master transportation plans of the Township, or county or state road authorities. Vehicle access to private, local or unpaved roads shall be prohibited. Truck travel routes shall not pass through residential areas, unless such routes follow paved primary roads.
 3. Such facilities shall not be located on property contiguous to or across a road right-of-way from the boundary of any Rural, Rural Residential, or Urban Residential Districts.
 4. The facility, when established and located within five hundred (500) feet of the boundary of any Rural Residential or Urban Residential Districts, Planned Community (PC) special district incorporating Residential Uses, or boundary of a lot occupied by existing Residential Uses, as measured by a straight line along the shortest distance between the zoning district or lot boundary and the boundary of the subject lot for the facility, shall not be open for business and shall not be operated at any time other than between the hours of 8:00 a.m. and 6:00 p.m. on weekdays, and between 8:00 a.m. and 12:00 noon on Saturday and Sunday [amended 8/16/2010, Ord. 174-04].
 5. The facility shall be enclosed within a solid wall or fence at least six (6) feet and no more than eight (8) feet in height, which shall not be located within the required yard setbacks.
 - a. Strips of metal, plastic or other materials inserted into wire fences shall be prohibited.
 - b. Gates shall also be made of solid, opaque material.
 - c. A landscape strip shall be provided along the road right-of-way, and the remaining required yard areas shall be landscaped and maintained in good condition.
 6. Automobiles, trucks, and other vehicles or junk materials shall not be stacked higher than the top of the fence or wall surrounding the facility.
 7. All exterior storage of recyclable or recoverable materials, other than large vehicle components, shall be in sturdy containers or enclosures which are covered, secured, and maintained in good condition, or shall be baled or

- palletized. No storage, excluding truck trailers, shall be visible above the height of the fence or wall.
8. Stored vehicles and materials shall be stored in organized rows with open intervals at least twenty (20) feet wide between rows for purposes of fire protection access and visitor safety. The facility shall be maintained in such a manner as to prevent the breeding or harboring of rats, insects or other vermin.
 9. All flammable liquids shall be drained immediately from automobiles and other vehicles brought to the facility. Such liquids shall be stored in containers approved by the Township Fire Chief and promptly disposed of in accordance with applicable federal, state, county, and local regulations.
 10. The site shall be maintained in such a manner as to prevent the breeding or harboring of rats, insects, or other vermin. The site shall be maintained free of litter and any other undesirable materials and shall be cleaned of loose debris on a daily basis. The site shall be secured from unauthorized entry and removal of materials when attendants are not present.
 11. Power driven processing, dismantling, and wrecking operations may be restricted or prohibited by the Planning Commission to minimize impacts of such operations on neighboring properties.
 - a. Such operations shall operate within a wholly enclosed building or within an area enclosed on all sides by a solid fence or wall not less than eight (8) feet in height.
 - b. Such operations shall be set back a minimum of one hundred-fifty (150) feet from any Rural Residential or Urban Residential Districts or existing RESIDENTIAL USES.
 - c. Material recovery facility processing operations shall be limited to baling, briquette, crushing, compacting, grinding, shredding, and sorting of source-related recyclable materials.
 12. All drives, parking areas, and loading/unloading areas shall be paved, watered, or treated so as to limit nuisances caused by windborne dust on neighboring properties and on public roads.
 13. There shall not be more than one (1) entranceway from each public road that adjoins the facility.
 14. Noise levels shall not exceed sixty (60) dBA as measured at the property line of the nearest residentially zoned or occupied property, or otherwise shall not exceed seventy (70) dBA. No dust, fumes, smoke, vibration, or odor above ambient levels shall be detectable on neighboring properties. To achieve this end, the Planning Commission may require odor-control devices or facilities.

Exterior lighting shall conform to the standards of Section ~~_____12.04~~ (Exterior Lighting).

15. Space shall be provided on-site for the anticipated peak load of customers to circulate, park, and deposit materials. If the facility is open to the public, space shall be provided for a minimum of ten (10) customers or the peak load, whichever is higher.
16. Any containers provided for after-hours donations of recyclable materials at a material processing facility shall be of sturdy, rustproof construction, shall have sufficient capacity to accommodate materials collected, and shall be secure from unauthorized entry or removal of materials.
 - a. Donation areas shall be kept free of litter and any other undesirable materials.
 - b. The containers shall be clearly marked to identify the type of material that may be deposited.
 - c. The facility shall display a notice stating that no material shall be left outside the containers.
17. Signs or other advertising materials shall not be placed on any fences or walls.

~~Q. Section 10.407~~ **Motion Picture Cinema.**

Indoor or outdoor motion picture cinemas shall be subject to the following:

A. General Requirements.

All indoor or outdoor motion picture cinemas shall conform to the following standards:

1. **Screening.** Screening shall be required from adjacent Rural, Rural Residential, and Urban Residential Districts and existing RESIDENTIAL USES per Section ~~_____12.03 (Landscaping, Screening and Land Use Buffers Methods of Screening)~~.
2. **Access.** Sites shall have frontage on a primary road as classified by the master transportation plans of the Township, or county or state road authorities. Vehicle access to private, local or unpaved roads shall be prohibited.
3. **Traffic impacts.** A traffic impact study and proposed mitigation measures may be required by the Planning Commission for facilities that have a seating capacity of over five hundred (500) persons.

B. Additional Outdoor Cinema Requirements.

All outdoor cinemas and drive-in theaters shall conform to the following:

1. A drive-in theater shall not be located adjacent to any Rural Residential or Urban Residential Districts.
2. All traffic movement shall be accommodated within the site so that entering and exiting vehicles will make normal and uncomplicated movements between the site and the public road(s).
3. All points of entrance or exit for vehicles shall be located no closer than five hundred (500) feet from the intersection of any two (2) road rights-of-way.
4. Adequate stacking lanes shall be provided so that vehicles waiting to enter the theater will not occupy driving lanes, parking lanes, or road rights-of-way.
5. The facility shall be fully enclosed by a solid screen fence or wall at least six (6) feet high. Strips of metal, plastic, or other materials inserted into wire fences shall not constitute a solid, screen-type fence and shall not be permitted as a substitute for this requirement. Fences or walls shall be set back at least one hundred (100) feet from any road rights-of-way or front lot boundary.
6. Signs or other advertising material shall not be placed on any fences or walls in a manner visible from adjacent lots and road rights-of-way.
7. The facility shall be so constructed and maintained that odors, dust, noise, exterior lighting, and drainage shall not constitute a nuisance or hazard to adjoining lots and uses.

~~R. Section 10.408~~ Motor Vehicle Service Centers, Repair Stations, And Fueling Stations.

Motor vehicle service centers, repair stations, and fueling stations shall be subject to the following:

A. Use Standards.

1. Motor vehicle service centers, repair stations, and fueling stations shall be located on a primary road as classified by the master transportation plans of the Township, or county or state road authorities.
2. The minimum lot area for such uses shall be one (1) acre, and the minimum lot width for such uses shall be one hundred-seventy-five (175) feet.
3. Sales, display or rental of motor vehicles shall be prohibited, except where the service center or repair station is accessory to a permitted dealership showroom or outdoor dealership sales lot.

4. Hydraulic hoist, service pits, lubricating, greasing, washing, and repair equipment and operations shall be located within a completely enclosed structure(s), and all auto repair activities shall take place within a completely enclosed structure(s).
5. Open service bays and overhead doors shall not face towards any adjacent Rural Residential or Urban Residential Districts or RESIDENTIAL USES.
6. Display of temporary signs shall be prohibited where such signs are attached to the pump island canopy, light poles or similar structures.
7. Outdoor sales or display areas shall ~~limited~~ be limited to areas identified on an approved final site ~~plan, and plan and~~ shall conform to the requirements of Section ~~10.06 U.~~ (Outdoor Sales and Display Areas).
8. Required parking shall be calculated separately for each use, including any accessory convenience store or other permitted COMMERCIAL USES. Such calculations shall be based upon the floor area occupied by each use.

B. Pollution Prevention.

In addition to the requirements contained in Article ~~8~~ 8 (Site Plan Review), the final site plan shall contain provisions for ventilation and the dispersion and removal of fumes, for the removal of hazardous chemicals and fluids, and for the containment of accidental spills and leaks of hazardous chemicals and fluids, including a detailed description of the oil and grit separator or other measures to be used to control and contain run-off.

1. There shall be no external evidence of service and repair operations, in the form of dust, odors, or noise, beyond the interior of the service building.
2. The entire area used for vehicle service shall be paved.
3. Buildings containing service and repair activities shall have appropriate filtering systems to prevent emission of odors.

C. Fueling Station Pump Islands.

In addition to the requirements contained in Article ~~8~~ 8 (Site Plan Review), the preliminary site plan shall illustrate the height, proposed clearance, materials, and design for all pump island canopy structures (see "Pump Island Canopy Lighting" illustration).

~~1. The pump island canopy shall be architecturally and aesthetically compatible with the principal building and the surrounding area, as determined by the Planning Commission.~~

~~2.1. All lighting fixtures under the canopy shall be fully recessed into the canopy structure. The Planning Commission may permit a maximum intensity of twenty (20.0) footcandles for lighting under the canopy as part of site plan~~

~~approval, provided that site lighting is otherwise shall be~~ in compliance with Section ~~_____12.04~~ (Exterior Lighting).

2. The following minimum setbacks shall apply to canopies and pump facilities constructed in conjunction with fueling/multi-use:

Table 11.34.A-1

<u>Setback</u>	<u>Canopy Support (feet)</u>	<u>Pump Islands (feet)</u>	<u>Canopy Edge (feet)</u>
<u>Front</u>	<u>35</u>	<u>30</u>	<u>25</u>
<u>Side</u>	<u>20</u>	<u>20</u>	<u>10</u>
<u>Rear</u>	<u>30</u>	<u>20</u>	<u>20</u>

3. Fueling areas site arrangement. All fueling areas shall be arranged so that motor vehicles do not park on or extend over abutting landscaped areas, sidewalks, streets, buildings, or adjoining property while being served.

4. Canopy structures. Canopy structures shall be designed and constructed in a manner which is architecturally compatible with the principal building. The canopy structure shall be attached to and made an integral part of the principal building unless it can be demonstrated that the design of the building and canopy in combination would be more functional and aesthetically pleasing if the canopy was not physically attached to the principal building.

5. Pedestrian and vehicular safety. Vehicle fueling/multi-use stations shall be designed in a manner which promotes pedestrian and vehicular safety. The parking and circulation system within each development shall accommodate the safe movement of vehicles, bicycles, pedestrians and refueling activities throughout the proposed development and to and from surrounding areas in a safe and convenient manner.

~~3. Pump islands shall be so arranged that ample space is available for motor vehicles that are required to wait.~~

~~4.6.~~ The location of gasoline storage and sales shall be reviewed by the Township Fire Department for compliance with the National Fire Prevention Code.

D. Vehicle Access.

Curb openings for drives shall not be permitted where the drive would create a safety hazard or traffic nuisance for other ingress and egress drives, or traffic generated by other buildings or uses.

1. Sidewalks shall be separated from vehicular circulation areas by curbs, wheel stops, or traffic islands. The portion of the property used for vehicular traffic shall be separated from landscaped areas by a curb.
2. The maximum width of any driveway at the right-of-way line shall be thirty-five (35) feet, and the interior angle of the driveway between the street curb line and the lot line shall be not less than forty-five (45) degrees.
3. The distance of any driveway from any property line shall be at least twenty (20) feet, measured at the tangent points of the drive edge and the street curb return.
4. The distance between curb cuts shall be no less than forty (40) feet, measured between the tangent points of the drive edges and the street curb returns. On corner lots or where the facility has frontage on more than one (1) road right-of-way, not more than one (1) driveway shall be permitted per road frontage.

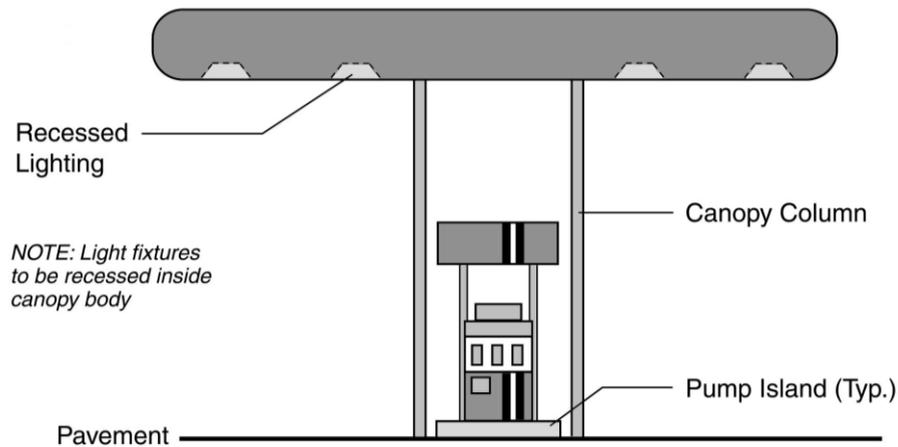
E. ~~Incidental Outdoor Storage.~~

~~Storage of vehicles rendered inoperative, either through damage or disrepair or any other cause, and vehicles without current license plates, shall be limited to a period of not more than thirty (30) calendar days, and then only for the purpose of temporary storage pending transfer to a junk yard or other premises for permanent disposition or disposal.~~

1. Outdoor storage. Dismantled, wrecked, or inoperable vehicles awaiting repair shall not be stored outdoors for a period exceeding five days. Outdoor storage shall be enclosed by an opaque fence up to eight feet in height and/or landscape screening meeting the standards set forth in Article 12.
2. Disposal containers. Suitable containers shall be provided and used for disposal of used parts, and such containers shall be screened from view.
3. Enclosed buildings. All repair and maintenance activities, including hydraulic hoists, lubrication pits, and similar activities, shall be performed entirely within an enclosed building.
4. Retail sales limitations. Retail sales shall be limited to those items necessary to carry out the vehicle repair occurring on the subject site.
5. _____

- 1.6. Outdoor storage of trash or other materials, including new or discarded vehicle parts, shall comply with the provisions of Section ~~_____~~12.01 (Trash Storage and Disposal Standards).
- 2.7. All outdoor storage shall be reviewed and approved by the Township Fire Department for compliance with the National Fire Prevention Code.
- 3. ~~Such storage shall not occur in front of the front building line.~~
- 4.8. Such inoperative vehicles shall not be sold or advertised for sale on the premises.
- 5.9. Outdoor storage shall be prohibited accessory to a motor vehicle fueling station, unless separate approval has been granted for a vehicle repair use.

ILLUSTRATION



Pump Island Canopy Lighting

S.SECTION 10.409 OUTDOOR CAFÉS AND EATING AREAS.

Outdoor seating and/or service when associated with a restaurant shall be subject to the following requirements:

- 1. The site plan shall indicate the location and amount of proposed outdoor seating. Screening shall be required per Section ~~_____~~12.03 (~~Landscaping, Screening and Land Use Buffers Methods of Screening~~) where seating is located in a required yard. The maximum allowable seating for an outdoor seating area shall be established as part of the Conditional Use Permit.
- 2. Parking shall be provided as required per Article ~~_____~~11 (Off-Street Parking and Loading Regulations).

3. The outdoor café shall be kept clean, litter-free, and with a well-kept appearance within and immediately adjacent to the area of the tables and chairs. Additional outdoor waste receptacles may be required.
4. Exterior lighting for the outdoor café shall not constitute a nuisance or hazard to adjoining lots and uses.
5. Broadcasting of music or any other amplified sound shall be prohibited.
6. Additional signs shall not be permitted beyond those allowed for the principal use.
7. Approval of the Washtenaw County Environmental Health Division shall be obtained as required.

~~I.~~Section 10.410 Outdoor Sales Or Display Areas.

Open air businesses and outdoor sales or display areas for sales or rentals of motor vehicles, recreational vehicles, building supplies, equipment, boats, merchandise or similar items shall be subject to the following:

1. **~~Location.~~**—The location of all sales activity and the display of all merchandise shall be maintained in the area specified on an approved final site plan. No sales activity or display of merchandise shall be permitted in any road right-of-way or required yard setback.
2. **~~Setbacks.~~**—Outdoor sales or display areas shall be set back a minimum of ten (10) feet from any parking area, driveway or access drive. No outdoor sales area shall be located within fifty (50) feet of any Rural Residential or Urban Residential Districts or RESIDENTIAL USES.
3. **~~Broadcasting devices prohibited.~~**—Devices for the broadcasting of voice, telephone monitoring, music or any other amplified sound shall be prohibited outside of any building.
4. **~~Hours of operation.~~**—Where the use abuts any Rural Residential or Urban Residential Districts, the maximum hours of operation shall be limited to between the hours of 9:00 a.m. and 9:00 p.m., Monday through Friday; and between 10:00 a.m. and 6:00 p.m. on Saturday and Sunday.
5. **~~Exterior lighting and signs.~~**—Exterior lighting shall conform to the standards of Section ~~_____~~ 12.04 (Exterior Lighting). Additional signs shall not be permitted beyond those permitted for the principal use.
6. **~~Pedestrian access.~~**—The proposed activity shall be located and designed so as to ensure safe pedestrian access.
7. **~~Grading, surfacing, and drainage.~~**—Outdoor sales lots, parking areas, and other vehicle maneuvering areas shall be hard surfaced with concrete or

bituminous material, and shall be graded and drained so as to effectively dispose of or retain stormwater runoff.

8. **Screening.**—Such sales or display area shall be screened from adjacent Rural, Rural Residential, and Urban Residential Districts in accordance with Section ~~_____ (Methods of Screening)~~. 12.03 (Landscaping, Screening and Land Use Buffers).

SECTION 10.503

Outdoor promotional activities events.

1. Days and hours. The event can only be carried on for a period not exceeding four consecutive days and only between the hours of 7:00 a.m. and 10:00 p.m.
2. Permits allowed in calendar year. In any calendar year, no more than five permits for such events may be approved for a particular business establishment.
3. Parking location. Parking for such activity is provided on same site.
4. Temporary structures. The total number, size, and location of tents or other temporary structures shall be subject to the review and approval of the Zoning Administrator based on factors, such as the size and overall layout of the site, the street frontage, and the design and occupancy of the building.
5. Total area. The total square footage dedicated to the outdoor promotional activity cannot exceed 10% of the lot area.
6. Setbacks. Outdoor display and sale of merchandise is conducted at least 100 feet from any premises used or zoned for residential purposes.
7. Traffic control. The event does not occupy or utilize the street right-of-way nor block traffic movement on the street, and allows pedestrians to utilize the sidewalks.
8. Sanitation facilities. Available sanitation facilities are adequate to meet the requirements of the expected attendance, and any temporary facilities are approved for use by the Washtenaw County Health Department.
9. Fire or other hazards. Equipment and products used in the event pose no unusual fire or other hazard.
10. Nuisance. The use of any sound system shall be controlled so as not to become a nuisance to adjacent properties.
11. Application rejections. The Zoning Administrator may reject such applications for cause, including, but not limited to, the advice of the Department of Public Safety or the Township Engineer.

Outdoor Storage, General.

Outdoor storage of equipment, products, machinery, lumber, landscaping and building supplies or similar Items shall be subject to the following:

1. Such storage shall be strictly and clearly incidental to the principal use, and only products and materials owned or produced by the principal business, and equipment owned and operated by the principal use shall be permitted for storage under the subsection.
- ~~1.2.~~ The storage area shall be enclosed within a solid wall or fence at least six (6) feet and no more than eight (8) feet in height, which shall not be located within the required yard setbacks.
 - a. Strips of metal, plastic or other materials inserted into wire fences shall be prohibited.
 - b. Gates shall also be made of solid, opaque material.
 - c. A landscape strip shall be provided along the road right-of-way, and the remaining required yard areas shall be landscaped and maintained in good condition.
- ~~2.3.~~ The site shall be screened from all road rights-of-way and abutting uses in accordance with Section ~~_____~~ 12.03 (Landscaping, Screening and Land Use Buffers Methods of Screening).
- ~~3.4.~~ **Use standards.** Any storage area shall comply with the minimum setback requirements for the district in which the facility is located. No storage shall be permitted in any required setback areas.
 - a. The storage of soil, fertilizer and similar loosely packaged materials shall be contained and covered to prevent them from blowing into adjacent lots or rights-of-way.
 - b. Any outside storage area shall be paved or surfaced with a gravel or similar hard surface material and shall include an approved stormwater management system.
 - c. No materials shall be stored above the height of the required wall or fence.
 - d. Storage or disposal of used oil or other petrochemicals, junk vehicles, garbage, or similar materials to be dismantled or recycled shall be prohibited.

V.Section 10.308 Private Recreational Facilities.

Private parks and recreational facilities including, but not limited to private parks, country clubs, golf courses, golf driving ranges, sportsman's clubs and other privately-owned recreational facilities, shall be subject to the following:

A1. General Requirements.

The following general standards shall apply to all private recreational facilities:

- ~~b.~~ **a.** _____ Such uses shall have direct vehicle access to a primary road as classified by the master transportation plans of the Township, or county or state road authorities.
- ~~e.b.~~ _____ The facility shall be so constructed and maintained that odors, dust, noise, exterior lighting, and drainage shall not constitute a nuisance or hazard to adjoining lots and uses. The hours of operation of any private recreational facilities shall be subject to Planning Commission approval.
- ~~d.c.~~ _____ Accessory food service operations and/or sales of recreation equipment shall be permitted, subject to the following:
 - ~~a.~~ **(1)** _____ Such accessory uses shall be clearly incidental to and subordinate to the principal private recreational use(s).
 - ~~b.~~ **(2)** _____ Such accessory uses shall be limited to hours of operation that coincide with those of the principal private recreational use(s).
- ~~e.d.~~ _____ Construction, expansion, and alteration of private recreational facilities shall be subject to site plan approval per Article ~~___~~**8** (Site Plan Review).

B2. Sportsman's Clubs and Ranges.

The following additional standards shall apply to all sportsman's clubs, shooting ranges, and similar uses, except private hunting activities:

- ~~b.~~ **a.** ~~_____ Minimum land area.~~—Such facilities shall be located on a parcel of land not less than forty (40) acres in gross lot area.
- ~~e.b.~~ **Security fencing and signage.**—Such facilities shall be secured by perimeter fencing with a minimum height of six (6) feet and posted through both symbol and written statement so as to inform the public of the nature of the facility at frequent intervals not to be greater than one hundred (100) feet apart.
- ~~d.c.~~ **Compliance with standards.**—Design and operation of such facility shall be in accordance with applicable state and federal laws and

regulations, and current National Rifle Association specifications and practices.

~~e.d.~~ **Indoor ranges.**—Indoor firearms ranges shall be insulated with sound dampening materials and shall be set back a minimum of five hundred (500) feet from all lot boundaries.

~~f.e.~~ **Outdoor ranges.**—Outdoor firearms ranges shall be surrounded by berms or other suitable containment and noise dampening measures and set back a minimum of one thousand-five hundred (1,500) feet from all lot boundaries.

~~g.f.~~ **Noise impacts.**—All facilities shall be designed to contain projectiles within the site, and to minimize noise impacts on surrounding properties and uses.

~~C3.~~ Golf Course and Driving Ranges.

The following requirements shall apply to all golf courses and driving ranges, in addition to the general standards above:

~~b.~~ **a.** Golf driving ranges shall be prohibited in the Rural Residential and Urban Residential Districts.

~~e.b.~~ A maintenance plan shall be submitted with the application for site plan approval for a new or expanded golf course, which shall include the following minimum information:

~~(2)~~ **(1)** The entity responsible for long-term maintenance of the facility, and methods and anticipated funding sources for such maintenance.

~~(3)~~**(2)** Details of the proposed landscape and lawn care maintenance program, which shall include the best available practices for protection of abutting properties and the environment of the Township.

~~d.c.~~ Structures associated with such uses shall be set back a minimum of one hundred (100) feet from lot boundaries that abut Rural Residential or Urban Residential Districts or existing RESIDENTIAL USES.

~~e.d.~~ The facility shall be designed and maintained to contain golf balls and other course activities within the site.

~~(2)~~**(1)** The use of netting or similar materials to contain errant golf balls within the site shall be prohibited, except where the Planning Commission determines that it would be compatible with surrounding uses.

~~(3)~~(2) The site plan shall include illustration of expected ball trajectories and dispersion patterns along fairways and for driving ranges located within five hundred (500) feet of a building, parking lot, lot boundary or road right-of-way.

W.Section 10.504 Self-Storage Warehouses.

The following regulations shall apply to self-storage ~~warehouses~~facilities:

1. The minimum lot area for ~~mini-self storage warehouses~~facilities shall be two (2) acres, and the minimum lot width shall be two hundred (200) feet.
2. Such facilities shall be located on a paved primary road as classified by the master transportation plans of the Township, or county or state road authorities. Vehicle access to private, local or unpaved roads shall be prohibited.
3. A front yard setback of no less than fifty (50) feet shall be maintained ~~in-as~~ landscaped open space. Side yard setbacks shall be no less than twenty-five (25) feet and rear yard setbacks shall be no less than forty (40) feet.
4. The minimum distance between self-storage buildings shall be twenty-five (25) feet.
5. All areas intended for vehicular travel shall be paved with asphalt or concrete, as approved by the Planning Commission.
6. Exterior façade walls of all storage units shall be of decorative masonry construction or similar material approved by the Planning Commission.
7. Self-storage-warehouse establishments shall be limited to storage of household goods and non-hazardous commercial goods. Storage of recreational vehicles and recreational equipment may be permitted as an accessory use, subject to the following:
 - a. Such storage shall be incidental to the main use of enclosed storage.
 - b. Outdoor storage of such vehicles and equipment shall be located to the rear of the lot and completely screened from road rights-of-way and abutting properties per Section ~~_____12.03~~ (Landscaping, Screening and Land Use Buffers Methods of Screening).
 - c. All such recreational vehicles and equipment storage must be operable and licensed to operate on the highways of the State of Michigan.
8. Self-storage warehouses shall be visually screened from all road rights-of-way and abutting uses in accordance with Section ~~_____12.03~~ (Landscaping, Screening and Land Use Buffers Methods of Screening).

9. A caretaker's residence may be provided within the principal building as an accessory dwelling in accordance with Section ~~_____~~ 7.03 C. (Accessory Dwelling).

~~X.~~Section 10.411 Showroom For Display Or Sale Of Products.

Showrooms or sales and display areas for sales of products or services created by the principal business or operation shall be limited to a maximum of ten percent (10%) of the usable floor area occupied by the principal use.

~~Section 10.309-Y.~~ Therapeutic Massage.

All massage therapy clinics and massage therapists working in the Township shall be licensed where such licenses are available and shall be certified members of the American Massage and Therapy Association or International Myomassethics Federation. Proof of such licenses or certifications shall be provided to the Township. All activities that meet the definition of a controlled use or sexually oriented business shall be prohibited.

~~Z.~~ Section 10.604 Utility Transmission and Distribution Lines.

Electricity transmission and distribution lines, gas and oil pipelines, and other utility structures, lines, and pipelines shall be subject to the following:

1. Storage of materials, equipment, vehicles, or supplies shall be prohibited on the premises, except as required during periods of maintenance and servicing.
2. No personnel shall be quartered or employed on the premises.
3. Structures or buildings shall be located, designed, constructed, and landscaped in conformance to the character of the surrounding area and zoning district.

~~BBA~~ Wireless Communication Facilities.

1. The purpose of this Section is to carry out the will of the United States Congress by permitting facilities within the Township that are necessary for the operation of wireless communications systems and facilitating adequate and efficient provisions for wireless communications facility sites. It is the intent of this Section to:
 - a. Permit the location of wireless communication facilities within given geographical areas of the Township, while protecting the safety and character of nearby residential areas and the Township as a whole;
 - b. Require collocation of transmission and receiving apparatus and antennae on existing towers, unless it can be reasonably demonstrated that such collocation is not technically feasible;

- c. Require new and replacement wireless communication towers to include provisions for collocation wherever technically feasible;
- d. Limit adverse visual impacts through careful design, siting, landscaping and screening elements, and innovative camouflaging techniques;
- e. Prevent potential damage to adjacent properties from tower failure, and promote the timely removal of facilities upon the discontinuance of use;
- f. Require wireless communication towers and antennae to be configured in a way that minimizes adverse visual impacts, through careful design, siting, landscape screening, and innovative camouflaging techniques;
- g. Establish consistent review procedures and information requirements for construction, alteration, and enlargement of wireless communication facilities; and
- h. Permit administrative review and approval of certain types of projects that have a limited scope and impact, such as amateur radio antennae, satellite dish antennae, and collocation of additional antennae on an existing, approved wireless communications tower.

2. Type of Review Required.

Wireless communications facilities shall be subject to review and approval in accordance with the following table:

<u>Type of Wireless Communications Facility</u>	<u>Required Review and Approval</u>		
	<u>Conditiona l Use Approval</u>	<u>Certificate of Zoning Complianc e</u>	<u>Exempt</u>
<u>NEW TOWERS AND ANTENNAE</u>			
<u>Construction of a new wireless communication tower or ground equipment enclosure area for a tower.</u>	●		
<u>Antenna(e) installation on an existing principal building or accessory structure that includes use of a ground equipment enclosure area outside of the existing building or structure.</u>	●		
<u>Antenna(e) installation on an existing principal building or accessory structure where all accessory equipment is installed and maintained within the existing building or structure.</u>		●	
<u>COLLOCATION ON EXISTING TOWERS</u>			
<u>Alteration or enlargement of a wireless communication tower that would continue to conform to maximum height requirements with an increase in the overall tower height by more than twenty (20) feet or ten percent (10%) of its original height, whichever is greater. Also see Section 10.05 BB 3. d. (Special Provisions for Review of Certain Alterations and Collocations).</u>	●		

Type of Wireless Communications Facility	Required Review and Approval		
	Conditiona l Use Approval	Certificate of Zoning Complianc e	Exempt
<u>Alteration or enlargement of a wireless communication tower that would continue to conform to maximum height requirements without increasing the overall tower height by more than twenty (20) feet or ten percent (10%) of its original height, whichever is greater.</u>		●	
<u>Expansion of a previously approved ground equipment enclosure to a total area greater than 2,500 square feet. Also see Section . (Special Provisions for Review of Certain Alterations and Collocations).</u>	●		
<u>Expansion of a previously approved ground equipment enclosure area to a total area less than or equal to 2,500 square feet.</u>		●	
<u>Collocation of a new antenna on an existing tower that would continue to conform to maximum height requirements with an increase in the overall tower height by more than twenty (20) feet or ten percent (10%) of its original height, whichever is greater. Also see Section . (Special Provisions for Review of Certain Alterations and Collocations).</u>	●		
<u>Collocation of a new antenna on an existing tower that would continue to conform to maximum height requirements without increasing the overall tower height by more than twenty (20) feet or ten percent (10%) of its original height, whichever is greater.</u>		●	
<u>Construction or expansion of ground equipment building(s) within an approved ground equipment enclosure.</u>		●	
<u>Installation of new ground equipment within an approved ground equipment building or enclosure.</u>		●	
SATELLITE DISH ANTENNAE			
<u>Installation of a satellite dish antenna with a diameter one and one-half (1.5) meters or larger.</u>		●	
<u>Installation of a satellite dish antenna with a diameter less than one and one-half (1.5) meters.</u>			●
AMATEUR RADIO ANTENNAE			
<u>Installation of an amateur radio transmission and reception antenna or antenna structure.</u>		●	
<u>Installation of a citizen band radio base station antenna structure, contractor’s business antenna structure, television reception antenna or wireless Internet antenna for personal use, or similar facility exceeding fourteen (14) feet in height.</u>		●	

Type of Wireless Communications Facility	Required Review and Approval		
	Conditiona l Use Approval	Certificate of Zoning Complianc e	Exempt
<u>Installation of short-wave facilities, amateur radio reception-only antenna, television reception antenna or wireless Internet antenna for personal use, or similar facility up to a maximum height of fourteen (14) feet.</u>			●
<u>Installation of municipal and other facilities subject to federal or state preemption of local regulatory authority.</u>			●
OTHER PROJECTS			
<u>Repair or service of existing wireless communications facilities, provided that all work complies with applicable regulations and approved plans.</u>			●
<u>Telecommunication facilities as defined by the METRO Act (P.A. 48 of 2002, as amended).</u>			●

- a. **Exempt facilities.** Nothing in this Section shall be construed in such a manner to conflict with the regulatory process established for telecommunication facilities as defined and regulated by the METRO Act (P.A. 48 of 2002, as amended). Facilities exempt from review per Section (Type of Review Required) shall be permitted by right, subject to the applicable federal and state regulations.
- b. **Facilities subject to Zoning Inspector approval.** Facilities subject to certificate of zoning compliance approval shall require review and approval by the Zoning Inspector in accordance with the applicable standards of this Section and Section 3.02 (Certificates of Zoning Compliance).

3. Conditional Use Permit.

Wireless communications facilities subject to conditional use approval per Section 10.06 CC. 2. (Type of Review Required) shall require review and approval of a Conditional Use Permit by the Planning Commission, subject to the standards of this Section and Article 9 (Conditional Uses).

- a. **Limitation on review fees.** Per Section 3514 of the Michigan Zoning Enabling Act, fees required for a Conditional Use Permit application shall not exceed the Township’s actual, reasonable costs to review and process the application or \$1,000.00, whichever is less.
- b. **14-day time limit to determine eligibility and completeness.** Per Section 3514 of the Michigan Zoning Enabling Act, the Clerk shall immediately transmit a copy of any application materials and plans filed in accordance with this Section for a Conditional Use Permit to the Township Planner to determine whether the application is administratively complete.

- (1) The Township Planner shall transmit a written response to the Clerk and the applicant within fourteen (14) business days stating either that the application is administratively complete or listing the specific information needed for a complete application.
- (2) The application shall be deemed administratively complete if no written response is transmitted to the Clerk and applicant within the fourteen (14) business day period.
- c. 90-day time limit on Planning Commission action.** For any Conditional Use Permit application not subject to the additional requirements of Section 10.05 BB. 3.d (Special Provisions for Review of Certain Alterations and Collocations) below, the Planning Commission shall complete its review and take final action within ninety (90) calendar days after the date that the application is considered to be administratively complete. The application shall be deemed approved if the Planning Commission takes no final action within this ninety (90) calendar day period.
- d. Special provisions for review of certain alterations and collocations.** Per Section 3514 of the Michigan Zoning Enabling Act, Township review of proposed alterations to existing wireless communication towers or ground equipment enclosures subject to Conditional Use Permit approval and referencing this subsection shall be modified as follows:
- (1) 60-day time limit on Planning Commission action.** The Planning Commission shall complete its review and take final action on the application within sixty (60) calendar days after the date that the application is considered to be administratively complete. The application shall be deemed approved if the Planning Commission takes no final action within this time period.
- (2) Limitation on conditions of approval.** Planning Commission authority to impose conditions on any approval of an application subject to the additional requirements of this subsection shall be limited to conditions intended to:
- (a) Verify compliance with the applicable requirements of this Ordinance; or
- (b) Ensure that the wireless communication facility meets the requirements of federal and state laws and other Township ordinances before the facility begins operation [amended 12/16/2013, Ord. 174-14].
- e. Modifications to an approved Conditional Use Permit.** The following changes to an existing wireless communication facility for which a valid Conditional Use Permit was previously approved shall be subject to review and approval as a modification to the approved Permit:

(1) Alteration or enlargement of an existing wireless communication tower; or

(2) Expansion of an approved ground equipment enclosure area.

f. **New Conditional Use Permit required.** All other wireless communication facilities subject to Conditional Use Permit approval shall require review and approval of a new Permit by the Planning Commission.

g. **Information required.** In addition to any information required by Article _____ (Conditional Uses), applicants for a Conditional Use Permit for a wireless communication facility shall submit the following information:

(1) **Site inventory.** Each applicant shall provide an inventory of the existing towers, antennae, or sites approved for towers or antennae that are either within Superior Charter Township or within one (1) mile of the border thereof, including specific information about the location, height, and design of each tower, and the following:

(a) The separation distance between the proposed wireless communication facility and other structures shown on the site inventory. The applicant shall also identify the type of construction and owner(s)/operator(s) of existing towers, if known.

(b) A description of the feasible location(s) of future wireless communication facilities proposed or anticipated by the applicant within the Township, based on existing physical, engineering, technological, or geographical limitations in the event the proposed tower is erected.

(c) The Growth Management Plan classification of the site and all properties within the on the site inventory area.

Such information may be shared with other applicants applying for approvals under this Section or other organizations seeking to locate towers or antennae within Superior Charter Township. The sharing of such information shall not constitute a representation or warrant by the Township that such sites are available or suitable.

(2) **Site plan.** A preliminary and a final site plan shall be submitted that include the following minimum required information, and any other information deemed by the Planning Commission to be necessary to assess compliance with this Section:

(a) All applicable information required for preliminary and final site plan approval per Article 8 (Site Plan Review).

(b) The location, type and height of the proposed tower; on-site and abutting land uses and zoning, including across road rights-of-way; adjacent roadways and proposed means of

access; on-site topography and parking; setbacks from property lines; and elevation drawings of the proposed tower and any other structures.

- (c) A maintenance plan to ensure long term, continuous maintenance to a reasonably prudent standard, and any applicable maintenance agreement identifying who will be responsible for maintenance of the facility, including access, landscaping, screening, and security improvements.
- (d) Legal description of the parent tract and leased parcel (if applicable).
- (e) Setback distances between the proposed tower and the nearest residential unit, platted residentially zoned properties, and unplatted residentially zoned properties.
- (f) Fencing and screening details, proposed methods of camouflage where applicable, and details of any tower illumination.
- (g) A landscape plan showing the specific sizes, species, amounts, and planting details for proposed landscape materials.

(3) Removal agreement. The applicant shall submit a signed and notarized removal agreement for the future removal of the facility in accordance with Section 10.06 BB.10 (Cessation of Operation). The applicant shall submit an estimate for the cost of removal of the facility and restoration of the site, certified by a licensed professional engineer and verified by the Township Engineer.

(4) Tax-related information. The applicant shall supply to the Township Assessor all tax-related information as requested for appraisal purposes. Upon receipt of the requested information, the Assessor shall provide notice to the Planning Commission that this condition has been satisfied.

(5) Franchise information. Written documentation shall be provided to certify that all franchises required by law for the construction and operation of the wireless communication facility have been obtained. A copy of such franchises shall be filed with the Township.

(6) Collocation information. A notarized statement by the applicant indicating whether the proposed tower will accommodate collocation of additional antennae for future users.

(7) Additional required information.

- (a) Identification of the entities providing the backhaul network for the tower(s) described in the application and other sites owned or operated by the applicant in the Township.

- (b) A description of the suitability of the use of existing towers, other structures, or alternative technology not requiring the use of towers or structures to provide the proposed wireless communication services.
- (c) Technical analyses setting forth the minimum height necessary for reasonable communication by the applicant and evaluating alternative designs that may require fewer towers and/or lower tower heights.
- (d) An environmental impact statement disclosing any potential impact on local wetlands, flood plains, wilderness areas, wildlife preserves, endangered species, historical sites, or other environmental considerations.

(8) Conditions of approval. In granting a Conditional Use Permit, the Planning Commission may impose conditions to the extent that the Planning Commission determines are necessary to minimize any adverse impact of the facility on nearby properties, in addition to the conditions of approval specified in Article _____ (Conditional Uses). The Planning Commission may also require that a performance guarantee be posted with the Township as a condition of Conditional Use Permit approval, subject to the following:

- (a) The purpose of this guarantee is to ensure the facility's future removal and site restoration if the owner or operator fails to do so as required by Section 10.06 BB.10 (Cessation of Operation).
- (b) (b)The security shall be in the form of: cash, surety bond, or letter of credit, together with a written and notarized agreement in the form approved by the Township providing for the future removal of the facility.
- (c) The security shall be in an amount equal to the greater of \$5,000 or the cost estimate for removal of the facility and restoration of the site, as certified by a licensed professional engineer and verified by the Township Engineer.

(9) Factors to consider in granting a Conditional Use Permit. In addition to any standards for consideration of Conditional Use Permit applications contained in Article 9 (Conditional Uses), the Planning Commission shall consider the following factors in determining whether to issue a Conditional Use Permit. The Planning Commission may waive or reduce one (1) or more of these criteria upon determination that the purposes of this Section are better served thereby:

- (a) Height of the proposed tower.

- (b) Proximity of the tower to residential structures and residential district boundaries.
- (c) Nature of uses on adjacent and nearby properties.
- (d) Surrounding topography.
- (e) Surrounding tree coverage and foliage.
- (f) Design of the tower and ground equipment enclosure area, with particular reference to design characteristics that have the effect of reducing or eliminating visual obtrusiveness.
- (g) Proposed ingress and egress.
- (h) Availability of suitable existing towers, other structures, or alternative technologies not requiring the use of towers or structures.

(10) Availability of suitable existing towers, other structures, or alternative technology. No new tower shall be permitted unless the applicant demonstrates to the reasonable satisfaction of the Planning Commission that no existing tower, structure or alternative technology that does not require the use of towers or structures can accommodate the applicant's proposed antenna(e). An applicant shall submit information requested by the Planning Commission related to the availability of suitable existing towers, other structures or alternative technology.

The Township may employ specialized experts to review data submitted by the applicant. The applicant shall incur all costs associated with such review. Evidence submitted to demonstrate that no existing tower, structure or alternative technology can accommodate the applicant's proposed antenna(e) may consist of any of the following:

- (a) No existing towers or structures are located within the geographic area that meet the applicant's engineering requirements.
- (b) Existing towers or structures are not of sufficient height to meet applicant's engineering requirements.
- (c) Existing towers or structures do not have sufficient structural strength to support the applicant's proposed antenna and related equipment.
- (d) The applicant's proposed antenna(e) would cause electromagnetic interference with antennae on existing towers or structures, or the antennae on existing towers or structures would cause interference with the applicant's proposed antenna(e).

- (e) The fees, costs, or contractual provisions required by the owner in order to share an existing tower or structure or to adapt an existing tower or structure for sharing are unreasonable. Costs exceeding new tower development are presumed to be unreasonable.
- (f) The applicant demonstrates that there are other limiting factors that render existing towers and structures unsuitable.
- (g) The applicant demonstrates that an alternative technology that does not require the use of towers or structures, such as a cable microcell network using multiple low-powered transmitters/receivers attached to a wireline system, is unsuitable. Costs of alternative technology that exceed new tower or antenna development shall not be presumed to render the technology unsuitable.

3. General Regulations.

All wireless communication facilities shall be subject to the following regulations:

- a. **Grounded.** Antennae and metal structures shall be grounded for protection against a direct strike by lightning. The electrical wiring and connections on all structures shall comply with all applicable local, state, and federal statutes, regulations, and standards.
- b. **Wind load.** Structures with antennae shall be designed to withstand a uniform wind loading as prescribed in the State Construction Code.
- c. **State and federal regulations.** All wireless communication facilities shall meet or exceed applicable federal and state regulations and standards, subject to the following:
 - (1) If more restrictive federal or state regulations or standards are adopted in the future, then the facility owner or operator shall bring the facility into compliance with such revised standards and regulations within one hundred eighty (180) calendar days of their effective date, unless a different compliance schedule is mandated by the controlling state or federal agency.
 - (2) If, upon inspection, the Township determines that a facility constitutes a danger to persons or property, then the facility owner or operator shall have thirty (30) calendar days from the date of receipt of such notice from the Township to remove the facility or bring it into compliance with applicable standards.
 - (3) Failure to take such action as required shall be considered a violation of this Ordinance and shall constitute grounds for the facility's removal at the owner's expense. The facility owner and operator shall be responsible for all costs for testing and compliance verification.

- d. **Franchises.** Owners or operators of wireless communication facilities shall certify that all franchises required by law for the construction or operation of a wireless communication system have been obtained and shall file a copy of all required franchises with the Township.
- e. **Engineering certification.** Any civil, mechanical or structural engineering information supplied by the applicant shall be certified by a licensed professional engineer.
- f. **Not essential services.** Structures and antennae shall be regulated and permitted pursuant to this Section and shall not be regulated or permitted as essential services, public utilities, or private utilities.
- g. **Signage.** The wireless communication facility shall not be used for advertising purposes and shall contain no signs except a permitted nameplate and as otherwise required by the Federal Aviation Administration (FAA).
- h. **Climb prevention.** All wireless communication towers and antenna structures shall be protected by anti-climbing devices, such as security fences or anti-climbing devices. Anchor points for guy wires or anchoring points shall be enclosed by a fence or shall be located within the confines of a yard that is completely fenced.

4. Standards for Wireless Communication Towers.

Wireless communication towers shall be subject to the following:

- a. **Permitted zoning districts.** Wireless communications towers shall only be permitted on parcels in the A-1 (Agricultural), A-2 (Agricultural), R-1 (Single-Family Residential), R-2 (Single-Family Residential), PC (Planned Community), MS (Medical Services), PM (Planned Manufacturing), and PSP (Public/Semi-Public Services) Districts.
- b. **Collocation.** The applicant shall submit evidence that there are no reasonable and suitable alternatives for location of equipment on an existing tower within the service area of the proposed tower.
- c. **Location.** A tower shall have a minimum setback from all property boundaries equal to the height of the tower. Guys and accessory buildings shall satisfy minimum zoning district dimensional standards.
 - (1) No tower shall be located within two (2) miles of another commercial communication unless it can be demonstrated by the applicant that there is a need for an additional wireless communication tower.
 - (a) The Planning Commission shall make the determination of necessity based on the technical requirements of the tower, the service needs of the Township residents, and other factors as may be appropriate on a case-by-case basis.

- (b) The Planning Commission may employ specialized experts to review the data submitted by the applicant to support the location. The applicant shall incur all costs associated with such review.
- (c) Under no circumstance shall a wireless communication tower be permitted to be located less than one (1) mile from another wireless communication tower.
- (2) No tower shall be located closer than two hundred (200) feet from the boundary of any Rural, Rural Residential or Urban Residential Districts, including any Planned Community (PC) or other Special District incorporating residential uses.
- (3) A tower shall be set back from all lot boundaries and road rights-of-way a minimum distance equal to the height of the tower. Guys and accessory buildings shall satisfy the minimum zoning district dimensional standards.
- d. **Access.** Unobstructed access, constructed in accordance with all provisions of this Ordinance, shall be provided to the tower and ground equipment building and enclosure to ensure service by police, fire, and emergency vehicles.
- e. **Structural design and installation.** The plans for the tower construction shall be certified by a registered structural engineer, and the applicant shall submit verification that the installation is in compliance with all applicable codes. All structures must meet all applicable standards of the Federal Aviation Administration (FAA) and Federal Communications Commission (FCC).
- (1) To ensure its structural integrity, the owner of a tower shall ensure that it is maintained in compliance with the State Construction Code, other applicable building, fire, and electrical codes, and applicable standards for structures as published by the Electronic Industries Association.
- (2) All signal and remote-control conductors extending substantially horizontally above the ground between a tower or antennae and a structure, or between structures, shall be at least eight (8) feet above the ground at all points, unless buried underground.
- (3) The base of the tower shall occupy no more than five hundred (500) square feet.
- f. **Lighting.** Structures shall not be artificially illuminated, unless required by the FAA or other applicable authority. If lighting is required, the lighting alternatives and design chosen must cause the least disturbance to the surrounding views. The use of strobe lights on a tower shall be prohibited in the absence of a demonstrated need.

- g. **Height.** Structures shall not exceed one hundred-eighty (180) feet in height, as measured from the finished grade of the parcel to the highest point on the tower or other structure, including the base pad and any antennae.
- h. **Design.** The design of the tower, antennae, ground equipment building(s) and enclosure shall use, to the maximum extent possible, materials, textures, screening, and landscaping that will blend them into the natural setting and surrounding buildings.
- (1) The area of the proposed ground equipment enclosure shall be the minimum necessary to accommodate all proposed and planned future users of the facility.
 - (2) The antennae shall be painted to match the exterior treatment of the tower.
 - (3) The paint scheme of the tower and antennae shall be designed to minimize off-site visibility of the facility.
 - (4) Advertising, signs, and identification intended to be visible from the ground or other structures shall be prohibited, except as required for emergency purposes.
 - (5) Metal structures shall be constructed of or treated with corrosive-resistant material.
- i. **Fencing and screening.** The tower and ground equipment enclosure shall be secured by fencing a minimum of six (6) feet in height. The ground equipment enclosure area and fencing shall be screened with a dense evergreen screen per Section 12.03 (Landscaping, Screening and Land Use Buffers) along each side of such fencing and building.
- (1) The screening shall be maintained in good condition at all times so as to continue its effectiveness.
 - (2) Existing mature on-site vegetation and natural landforms shall be preserved to the maximum extent feasible.
 - (3) The Planning Commission may waive the screening requirements of this subsection where natural growth around the property perimeter may provide sufficient buffer, such as facilities sited on large, wooded lots.
- j. **Employees.** No employees shall be located on the site on a permanent basis to service or maintain the tower or antennae. Occasional or temporary repair and service activities are excluded from this restriction.

5. Standards for Antennae Located on Principal Buildings and Accessory Structures.

Antennae shall be permitted on principal buildings or accessory structures in any zoning district, subject to approval per Section 10.06 BB.2 (Type of Review Required) and the following standards:

- a. The antenna and support structure shall not extend into any required yard setback areas and shall not exceed the structure height by more than ten (10) feet.
- b. The antennae, supporting structure, and electrical and mechanical equipment shall be of a neutral color that is identical to, or closely compatible with, the color of the principal building or accessory structure, so as to make the antenna and related equipment as visually unobtrusive as possible.
- c. The antenna and support structure shall not be illuminated, unless required by the FAA or other agency with jurisdiction.
- d. Such antenna shall be securely attached and anchored to the structure. Structural improvements needed to support the added weight of the antenna and support structure shall conform to State Construction Code standards.
- e. All accessory ground equipment shall be located within the building or structure, except where otherwise permitted as part of a Conditional Use Permit approval.

6. Standards for Satellite Dish Antennae.

Satellite dish antennae shall be permitted in any zoning district, subject to approval per Section _____ (Type of Review Required) and the following standards:

- a. Such antennae shall be accessory to a principal building on the same lot and shall be located in the rear yard area.
- b. Satellite dish antennae shall be limited to lots with adequate lot area to accommodate the minimum requirements setback of this subsection.
- c. One (1) satellite dish antenna shall be permitted per lot. The antenna shall conform to the minimum yard setbacks of the zoning district where the antenna is located.
- d. Construction and placement of satellite dish antennae shall meet manufacturers' specifications and shall conform to the State Construction Code and all applicable electrical and fire codes.
- e. Satellite dish antennae with a diameter of one and one-half (1.5) meters or larger and located within one hundred (100) feet of a road right-of-way or the boundary of a lot occupied by a dwelling shall be screened by a wall, fence, berm, evergreen plantings, or combination of these elements so as not

to be visible from the neighboring residence or road. If the antenna is a mesh type, screening need not exceed six (6) feet in height.

7. Standards for Amateur Radio Antennae.

Amateur radio antennae shall be permitted in any zoning district, subject to approval per Section _____ (Type of Review Required) and the following standards:

- a. Such antennae shall be accessory to a principal building on the same lot and shall be located in the rear yard area.
- b. Amateur radio antennae shall be limited to lots with adequate lot area to accommodate the minimum requirements setback of this subsection.
- c. A maximum of one (1) amateur radio antenna shall be permitted per zoning lot, with a maximum height of sixty (60) feet and a minimum setback from all lot boundaries equal to one hundred percent (100%) of its height.
- d. For retractable, telescoping, or tilt-down antennae, the minimum required setback distance shall be equal to the height of the antenna structure in the "down" or retracted position. Such antennae shall be maintained in the "down" or retracted position when not in use.

8. Existing Wireless Communications Facilities.

Wireless communications facilities existing prior to the effective date of this Ordinance shall be allowed to continue, provided that such facilities are maintained in accordance with applicable federal, state, and county laws and regulations, and all approved plans, permits, and conditions of approval. Collocation of additional antennae on such existing towers shall be permitted in accordance with the requirements of this Section and Ordinance.

9. Rescinding Approval.

Failure of the owner, operator or leaseholder of an approved wireless communications facility to renew or replace any required performance guarantee or insurance certificates, provide information to the Township about the facility as required by this Section, or maintain and operate the facility in compliance with the provisions of this Section shall be grounds for the Township to rescind any previous approval to construct or operate the facility. Such action shall be subject to the following:

- a. **Public hearing.** Such action may be taken only after a public hearing has been held by the Planning Commission in accordance with Section _____ (Public Hearing Procedures), at which time the owner or operator of the wireless communications facility shall be given an opportunity to present evidence in opposition to rescission.

- b. **Determination.** Subsequent to the hearing, the decision of the Planning Commission with regard to the rescinding of approval shall be made and written notification provided to said owner, operator or designated agent.

10. Cessation of Operation.

The owner or operator shall remove a wireless communications facility for which approval has been rescinded, that has ceased operation for more than three hundred sixty-five (365) contiguous days, or that has been determined by the Township to be abandoned, subject to the following:

- a. Such facilities shall be removed within ninety (90) calendar days of receipt of notice from the Township requesting such removal. Failure of the owner or operator to respond within ninety (90) calendar days of such a request shall be grounds for the Township to rescind any previous approval to construct or operate the facility.
- b. Failure by the owner to remove such facilities in accordance with this Section or an approved removal agreement shall be grounds for the Township to remove the facility at the owner's expense, and to make use of any performance guarantee or other security provided for that purpose.
- c. Removal of the tower shall include removal of any structures in the ground, including concrete footings, support structures, or other appurtenances such as ground radial systems. In-ground structures and appurtenances shall be removed to a depth of forty-eight (48) inches, and the land re-graded and restored to the original grade prior to the removal.
- d. The Township reserves the right to require submittal of evidence of ongoing operation at any time after construction or installation of an approved wireless communication facility.
- e. If there are two (2) or more antennae on a single tower, this subsection shall not take effect until all users cease using the tower.

Any wireless communication facility that is not operated for a continuous period of three hundred sixty-five (365) calendar days shall be deemed abandoned.

BB. AGRICULTURAL PROCESSING AND FOOD STORAGE.

1. Application of regulations:

- a. Administrative review.

(1) Buildings and structures used, in whole or in part, for agricultural processing or food storage that meet the following area thresholds

shall be reviewed administratively. The thresholds qualifying these uses for administrative review include:

- i. Agricultural processing uses where the use occupies an area 2,000 square feet or less.
- ii. Agricultural food storage uses where the use occupies an area 5,000 square feet or less.

(2) The building/structure area applies whether the subject building is existing, new, and/or an addition to an existing building.

(3) Administrative review process. The administrative review process shall be conducted as follows:

- i. A property survey, drawn to scale with dimensions, and showing property lines and all structures and other improvements shall be submitted to the Township with an application for zoning compliance.
- ii. The Zoning Administrator shall review the application and supporting materials, using the standards of this section and other applicable provisions of this chapter. The Zoning Administrator shall provide approval or denial within 135 days from the date the complete application is submitted. If the application is denied, the Zoning Administrator shall notify the applicant in writing of such action and reasons for such rejection.

b. **Site plan review.** Buildings and structures used, in whole or in part, for agricultural processing or food storage that exceed the area thresholds for administrative review shall be subject to the provisions of Article 8, Site Plan Review, and reviewed by the Planning Commission.

2. Standards.

- a. **Locally/regionally grown materials.** Raw agricultural products processed and/or stored at such facility shall be locally/regionally grown and obtained from Michigan farms within a radius of no more than 100 miles from the facility.
- b. **Setbacks.** Facilities used for agricultural processing and/or food storage shall be set back a minimum of 100 feet from any adjacent residential structure.
- c. **Parking.** Parking areas and surfaces shall be adequate to accommodate anticipated traffic and vehicles on-site. No parking or maneuvering lanes shall be permitted within any road right-of-way.

- d. Hours of operation. The facility shall not create a nuisance to nearby property owners, and shall operate any time between the hours of 7:00 a.m. and 7:00 p.m.
- e. Other permits. All other required permits shall be obtained.

CC. FIREARM RETAIL SALES.

1. **Purpose.** The purpose and intent of this section is to regulate firearm retail sales, to promote the health, safety, morals, and general welfare of the citizens of the Township, and to establish reasonable and uniform regulations to prevent the concentration of firearm retail sales within the Township because of their disruptive and deleterious effect on adjacent properties, especially when constructed near residential zones.
 - a. Application of regulations.
 - i. It shall be unlawful to operate or cause to be operated a firearm retail sales establishment or firearm retail sales as an accessory use operation in any location in the Township, except as provided for in this section.
2. **Conditions of approval.** The Planning Commission may recommend that the Township Board impose such conditions or limitations upon the establishment, location, construction, maintenance or operation of firearm retail sales, as shall, in its judgment, considering the standards set forth in Article 9 of this chapter, be necessary for the protection of the public health, safety, welfare, and interest, except that any conditions imposed on any firearm retail sales as defined in this section shall be limited to those conditions necessary to assure compliance with the standards and requirements of Firearm Standards. Any evidence and guarantee may be required as proof that the conditions stipulated in connection with the establishment, maintenance and operation of a firearm retail sales business shall be fulfilled.
3. **Standards.**
 - a. It shall be unlawful to operate or cause to be operated a firearm retail sales establishment within 500 feet (measured from the nearest lot line to the nearest lot line on a straight-line basis) of any of the following:
 - i. A place of worship.

- ii. A school or child-care facility.
 - iii. A public park (not including public trails).
 - iv. Any residential zoning district or any parcel used for residential purposes.
- b. It shall be unlawful to cause or permit the operation of a firearm retail sales establishment within 1,000 feet of another firearm retail sales establishment. The distance between any such businesses shall be measured from the nearest lot line to the nearest lot line on a straight-line basis.
 - c. It shall be unlawful to cause or permit the operation or maintenance of more than one firearm retail sales establishment in the same building, structure, or portion thereof.
 - d. All off-street parking areas and entry door areas of firearm retail sales establishments shall be illuminated from dusk until the closing time of the business with a lighting system that provides an average maintained horizontal illumination of one footcandle of light on all parking surfaces and/or walkways. This requirement level is to help ensure the personal safety of patrons and employees and to reduce the incidence of vandalism and other criminal conduct.
 - e. Any firearm retail sales establishment shall be subject to all the applicable requirements of this chapter.
 - f. A firearm retail sales establishment lawfully operating is not rendered a nonconforming use by the subsequent location of a place of worship, school, child-care facility, public park, residential district, or a residential lot within 500 feet of the firearm retail sales establishment. However, if the firearm retail sales establishment ceases operation for a period of 180 days or more, regardless of any intent to resume operation, it may not recommence operation in that location except in conformity with the Superior Charter Township Ordinances.
 - g. No firearms or ammunition shall be displayed in window areas visible from a street or sidewalk.
 - h. A firearm retail sales establishment shall have appropriate measures to ensure the business can be secured at all times.

DD. OPEN AIR BUSINESS.

1. **Outdoor display and sales.** Outdoor display and sales are subject to the following standards and conditions:
 - a. Outdoor display and sales that is the principal use of the property is permitted as a conditional use in the C-2, General Commercial District, subject to the approval of the Planning Commission in accordance with Article 9.
 - b. An outdoor display and sales that is as an accessory use to the principal use conducted on the premises is permitted within the C-2, General Commercial District, obtaining a zoning compliance permit from the Zoning Administrator. In the administration of these provisions, the Zoning Administrator may refer a request to the Planning Commission for review and approval where site conditions may create difficulty in adherence to the standards contained herein.
 - c. The exterior of the premises shall be kept clean, orderly, and maintained.
 - d. The Township shall not be held liable or responsible for any type of damage, theft, or personal injury that may occur as a result of an outdoor display.
 - e. The location of the outdoor display shall meet all required setbacks, and shall be approved by the Zoning Administrator.
 - f. An outdoor display shall not occupy or obstruct the use of any fire lane, roadway, drive aisle, drive entrance, storage area, off-street parking, or landscaped area required to meet the standards of this chapter.
 - g. Outdoor sale and display areas that abut residentially zoned or used property shall be screened in accordance with Article 12.
 - h. Only those products that are sold or are similar to the products sold within the principal building on the same lot may be permitted to be sold or displayed outdoors.
2. **Seasonal sales.** The outside sale of seasonal items, such as Christmas trees, flowers and plants, pumpkins, and other such seasonal items that are grown shall require a permit from the Zoning Administrator subject to the following standards and conditions:

- a. Seasonal sales may be located within any required side or rear yard and shall be no closer to a public road right-of-way than the required front yard setback or existing building, whichever is less. Where outdoor displays abut residentially zoned property, landscape screening in accordance with Article 12 shall also be provided.
- b. Seasonal sales shall not occupy or obstruct the use of any fire lane, required off-street parking, or landscaped area required to meet the requirements of this chapter.
- c. Ingress and egress shall be provided in a manner so as not to create a traffic hazard or nuisance.
- d. Such sales shall be permitted for a period not to exceed 90 days.
- e. Upon discontinuance of the seasonal use, any temporary structure shall be removed.

EE. ARTISAN FOOD AND BEVERAGE PRODUCTION.

1. Retail sales. Retail sales of the product produced on-site are allowed. If to be consumed off-site, the product must be in the original packaging. The product may also be sold and served on-site, and accessory retail sales of related items are permitted.
2. Wholesale. No more than 50% of the product may be produced for sale to a wholesaler and at least 50% of the product must be sold for retail use, to be consumed either on- or off-site.
3. Enclosed buildings. All equipment used in the production and all products produced must be located within the principal building.
4. Nuisance. The production process shall not produce odors, dust, vibration, noise, or other external impacts that are detectable beyond the property lines of the subject property.

FF. EVENT BARNs.**1. Event Barns shall be subject to the following limitations:**

- (a) The site shall be a minimum of fifteen (15) acres.
- (b) The site shall have at least one (1) property line abutting a public road.
- (c) The site shall provide all public access directly to a public road.
- (d) Minimum front, side, and rear setbacks shall be one hundred (100) feet wide and shall be landscaped with trees, shrubs, and grass in accordance with Section 12.03. Landscape screening is required where adjacent to any residentially zoned or used property. All landscaping shall be maintained in a healthy condition.
- (e) Parking must be sufficient to handle the number of attendees plus staff in accordance with Article 11. All parking must be on the subject property. No parking or structures shall be permitted within the setback areas, except required entrance drives and any decorative screening walls as may be used to obscure the use from abutting residential districts.
- (f) All event barns shall have sanitary facilities as approved by the Washtenaw County Health Department if not on public sewer and water.
- (g) Portable toilets are permitted with the following limitations:
 - a. Must be serviced within twenty-four (24) hours of the completion of the event for which the toilets were used.
 - b. Must be located at least one hundred (100) feet from any adjacent residentially zoned or used property.
 - c. Must be located at least fifty (50) feet from the ordinary high-water elevation of any lake or stream.
 - d. Must be oriented in such a way that the opening or door faces away from any adjacent residentially zoned or used property.
 - e. Must include internal hand washing facilities with soap and running water.
- (h) All lighting must comply with the requirements set forth in Section 12.04.
- (i) No overnight guests are permitted.
- (j) All serving of alcohol shall have proper licensing per the Michigan Liquor Control Commission.
- (k) All serving of food shall have all permits as required by the Washtenaw County Health Department.
- (l) Hours of operation are limited as follows:
 - a. Outdoor events: 10 a.m. to 10 p.m. Monday through Thursday. 10 a.m. to 12:00 a.m. Friday through Sunday. All amplified music must end by 11 p.m.
 - b. Indoor events: 7 a.m. to 10 p.m. Monday through Thursday. 7 a.m. to 12:00 a.m. Friday through Sunday.

(m) Noise. Noise generated by events, including amplified music, shall not exceed 65 dBA as measured at the property line, consistent with Section (Noise Regulations).

All amplified music shall occur within enclosed buildings or under tents oriented away from residential properties.

Events to be allowed include weddings, birthdays, anniversaries, family reunions, graduation events, non-profit or fundraising events, holiday celebrations, or similar. No regularly recurring events are permitted.

(n) Maximum number of guests permitted shall not exceed the maximum occupancy of the building.

(o) Trash generated on site must be removed within twenty-four (24) hours of the event's completion.

(p) A representative of the owner must be available and onsite for contact during any event. Said person is responsible for ensuring compliance with all applicable Township ordinances and permits. The owner must maintain current contact information for the onsite responsible person on file with the Township. The owner shall make every effort to encourage patrons to drive slowly and respectfully on their way to and from the facility.

(q) Traffic Management

The applicant shall provide a traffic management plan, subject to review and approval by the Township, demonstrating safe ingress and egress, adequate on-site circulation, and sufficient sight distance at driveway approaches. The plan shall identify measures to mitigate traffic impacts on surrounding roads, including but not limited to use of signage, event scheduling, on-site attendants, and coordination with the Washtenaw County Road Commission when necessary. Traffic shall not be permitted to queue within any public right-of-way.

(r) Frequency

No more than twenty (20) events per calendar year shall be permitted, and no more than two (2) events shall occur within any seven (7) day period.

(s) Noise/Lighting/Screening Compliance Plan

A site plan shall include details of outdoor lighting, sound projection, screening, and parking layout. The Planning Commission may impose additional conditions to ensure compatibility with adjacent uses.

(s) Emergency Access / Fire Safety

All event barns shall comply with applicable fire and building codes, including emergency access drives, sprinklers, and occupancy ratings as required by the Fire Marshal and Building Official.

HH. SHORT-TERM RENTALS

1. Purpose and Intent. The Township has determined that regulation of short-term rentals is necessary to establish a community standard for the integration of short-term rental units in the Township to ensure health, safety, and welfare of visitors and residents by re-affirming police, fire, and building safety guidelines. The Township's location and amenities make it an appealing community for rental properties and Superior Township seeks to regulate the use of dwellings as short-term rentals. The intent of this regulation is to permit short-term rentals while maintaining the health, safety, and welfare of the general community and the residents of surrounding properties. This Ordinance seeks to ensure that all short-term rentals are registered with and permitted by the Township, that short-term rentals do not come to dominate any neighborhood or area, and that short-term rentals are maintained and managed in a manner that is not detrimental to nearby property owners.

2. Definitions

- a. Guest means persons renting lodging from a short-term rental host, or through a hosting platform on behalf of the short-term rental host, for less than thirty (30) consecutive days.
- b. Host means a person engaged in providing a short-term rental unit.
- c. Hosting platform means a marketplace in any form or format which facilitates short-term rental units, through advertising, matchmaking or any other means.
- d. Permanent resident means the person(s) occupying a property as their principal residence.
- e. Principal residence means the one place where an owner of the property has his or her true, fixed, and permanent home to which, whenever absent, he or she intends to return and that shall continue as a principal residence until another principal residence is established
- f. Short-term rental unit means any dwelling unit that is rented wholly or partly for compensation, for periods of thirty (30) consecutive days or less, by persons other than the permanent resident or owner including:

1. Non-principal residence short-term rental (or commercial rental) means an activity where the owner of a non-principal residence hosts visitors, for compensation, for periods of 30 consecutive days or less.
2. Principal residence homestay means an activity whereby the permanent resident(s) host visitors in their homes, for compensation, for periods of thirty (30) consecutive days or less, while at least one of the permanent residents lives on-site in the dwelling unit, throughout the visitors' stay.
3. Principal residence whole house means an activity whereby the permanent resident(s) host visitors in their homes, for compensation, for periods of thirty (30) consecutive days or less, while a residential dwelling unit is not occupied by the owner of record while the guest is present.

3. Short-term rental unit requirements

- a. Principal residence homestay and principal residence whole house short-term rental units are a Conditional Use in the Rural, Rural Residential, and Urban Residential Zoning Districts.
 1. Registration and license. Registration and license shall be required through the Township Building Department.
 2. Inspection. Principal residence homestay or principal residence whole house short-term rental units shall require an inspection as set forth in the Township's Adopted Rental Housing Inspection Ordinance.
- b. Non-principal residence short-term rental (or commercial rental) is prohibited.
- c. Short-term rental units are prohibited unless the Township has issued a short-term conditional use permit and rental license for the unit.
- d. The maximum occupancy of a dwelling unit rented as a short-term rental shall not exceed two (2) times the number of bedrooms intended to be rented. For example, a three-bedroom home shall not exceed six (6) total occupants.
- e. No host shall rent a short-term rental unit in a manner that requires a person to sleep in an area that is not habitable as set forth in Township's Property Maintenance Code.
- f. The short-term rental unit host shall be responsible for all nuisance and enforcement complaints on their premises.
- g. A permanent resident may not rent their property as a short term for more than a total of sixty (60) days per calendar year.
- h. Each short-term rental shall post, in a clearly visible location inside the premise the following notice and copies or summaries of all local ordinances referenced within:
 1. All renters of short-term rental units in Superior Township are advised of the following:

- i. This unit is subject to the Superior Township Short-term Rental Ordinance.
- ii. Name and contact information of local agent.
- iii. This unit is in a residential neighborhood.

II. TRADES CONTRACTOR OFFICE OR YARD.

1. No services may be performed on site except within a completely enclosed structure.
2. Repair or heavy mechanized work on vehicles, other than minor service, shall occur inside a completely enclosed building.
3. Any materials, vehicles, equipment, or supplies stored on site shall not be visible from any residential used or zoned properties and shall be screened in accordance with (Insert screening requirement section).
4. Hours of operation shall be restricted to 7 a.m. to 8 p.m.
5. Outdoor storage shall be limited to materials, supplies, and vehicles used in the contractor's operations.

~~SECTION 10.400~~

~~COMMERCIAL USES~~

~~Section 10.401 Accessory COMMERCIAL USES. [Note – moved to Sec. 7.03]~~

~~Where specific COMMERCIAL USES are permitted as an accessory use in a zoning district, such uses shall be subject to the following, in addition to any other applicable use standards:~~

- ~~1. Such businesses shall be located and designed so as to be clearly intended primarily for use by the occupants of the building or employees of the principal use(s), and not for the use of the general public.~~
- ~~2. No signs for such businesses shall be permitted that are visible from a road right-of-way or adjacent lot.~~
- ~~3. In the Planned Community (PC), Medical Services (MS), and Planned Manufacturing (PM) Special Districts, such uses shall be located either in a building containing the permitted principal use that will be served, or in a service center consisting of one (1) or more buildings designed with common drives, parking and loading areas, and landscaping.~~
- ~~4. In all other zoning districts where accessory COMMERCIAL USES are permitted, such uses shall be located in a building containing the permitted principal use that will be served.~~

~~Section 10.412 Temporary Outdoor Sales. [Note – moved to Sec. 7.04]~~

~~Such sales shall be accessory to the principal use and permanent business on the premises:~~

- ~~1. No part of such sales operation shall be located within any road right-of-way or corner clearance area.~~
- ~~2. Temporary outdoor sales shall not be located within a required yard setback, landscape strip or transition buffer, except as permitted within an existing parking lot or developed area of a nonconforming site with the approval of the Zoning Inspector.~~
- ~~3. The sales operation shall not impede or adversely affect vehicular or pedestrian traffic flow or parking maneuvers.~~
- ~~4. Merchandise, equipment, and materials used in or resulting from such sales shall be removed from the premises within three (3) days of termination of the sale.~~
- ~~5. Temporary outdoor sales accessory to a business operation shall not exceed a maximum of thirty (30) days per calendar year. Where multiple businesses occupy a single building or zoning lot (such as in a shopping center), such~~

~~sales shall not exceed a maximum total for all businesses of sixty (60) days per calendar year.~~

- ~~6. To inform the Township of specific sales dates during a particular calendar year, the property or business owner shall apply for administrative approval per Section ____ (Certificates of Zoning Compliance).~~
- ~~7. The Zoning Inspector may require a cash bond of two hundred fifty dollars (\$250) to be provided to the Township prior to the start of an approved sale to guarantee site clean-up.~~
- ~~8. Temporary outdoor sales shall comply with all applicable requirements of this Ordinance and other Township ordinances, such as noise restrictions, exterior lighting standards, etc. [amended 4/1/2011, Ord. 174-05].~~

SECTION 10.500

INDUSTRIAL, RESEARCH, AND LABORATORY USES

SECTION 10.600

OTHER USES

~~Section 10.605 — Volatile Farm-Based Bio-Fuel Production.~~ [Note – moved to Sec. 10.100]

~~In accordance with Section 3513 of the Michigan Zoning Enabling Act, limited, farm-based production of certain biofuels shall conform to the following requirements:~~

~~A. General Standards.~~

~~The following standards shall apply to all such facilities:~~

- ~~a. The biofuel production facility shall be accessory to and located on the same zoning lot as an active farm operation lawfully operating in the Township.~~
- ~~b. Biofuel production authorized by this Section shall be limited to a renewable fuel product, such as ethanol and biodiesel, derived from recently living organisms or their metabolic byproducts. Farm-based production of methane or any fuel product from an anaerobic digester shall be prohibited.~~
- ~~c. No part of a biofuel production facility, including driveways and other site improvements, shall be located within any required yard setback area per Article ____ (Dimensional Standards). In addition, such facilities and improvements shall be set back a minimum of one hundred (100) feet from all lot boundaries and road rights-of-way.~~

~~d. Structures, facilities, and equipment used in the production or storage of biofuel shall comply with this Ordinance, other ordinances, and applicable state and federal laws and regulations.~~

~~e. Prior to the start of operation and upon any written request from the Township, the owner or operator of the biofuel production facility shall provide to the Zoning Inspector documentation of all necessary permits and approvals from applicable federal, state, and local authorities with jurisdiction over any of the following:~~

~~(2) Air pollution emissions.~~

~~(3) Transportation of biofuel or another product or by-product of production.~~

~~(4) Use or reuse of additional products resulting from biofuel production.~~

~~(5) Storage of raw materials, fuel or additional products used in or resulting from biofuel production.~~

~~(6) Verification that the facility includes sufficient storage for raw materials, fuel, and additional products resulting from biofuel production; or the capacity to dispose of additional products through land application, livestock consumption, sale or other lawful means.~~

~~(7) Compliance with federal requirements associated with ethanol production of more than ten thousand (10,000) proof gallons annually.~~

~~f. The operator of the facility shall keep a written record of the source(s) of the feedstock for the biofuel production facility, and the end users of the biofuel or another product or by-product produced by the biofuel production facility.~~

~~g. The operator of a facility with an annual production capacity of not more than one hundred thousand (100,000) gallons of biofuel operating as a permitted use in the zoning district (without Conditional Use Permit approval) shall also provide an annual written report to the Zoning Inspector which demonstrates that:~~

~~(2) At least seventy five percent (75%) of the feedstock was produced on the farm where the biofuel production facility is located; and~~

~~(3) At least seventy five percent (75%) of the biofuel or another product or byproduct produced by the biofuel production facility is used on that farm.~~

~~Operation of a biofuel production facility with an annual production capacity of not more than one hundred thousand (100,000) gallons that does not conform to the percentage limitations of this subsection shall be subject to Conditional Use Permit approval in accordance with this Section and Ordinance.~~

~~B. Additional Standards For Certain Facilities.~~

~~In accordance with Section 3513 of the Michigan Zoning Enabling Act, the following additional standards shall apply only to biofuel production facilities with an annual production capacity of more than one hundred thousand (100,000) gallons of biofuel, and to any biofuel production facility subject to Conditional Use Permit approval in accordance with this Section or Ordinance:~~

- ~~a. Such facilities shall be limited to a maximum annual biofuel production capacity of not more than five hundred thousand (500,000) gallons.~~
- ~~b. Any application for approval of a such a facility shall include all of the following, in addition to the other applicable requirements of this Ordinance:
 - ~~(2) A detailed description of the process to be used to produce the biofuel.~~
 - ~~(3) The number of gallons of biofuel anticipated to be produced annually.~~
 - ~~(4) An emergency access and fire protection plan, subject to review and recommendation by emergency response agencies serving the Township.~~
 - ~~(5) Documentation of compliance with applicable requirements of this Ordinance, other ordinances, and state and federal laws and regulations.~~~~

~~C. Limitations On Special Use Permit Review.~~

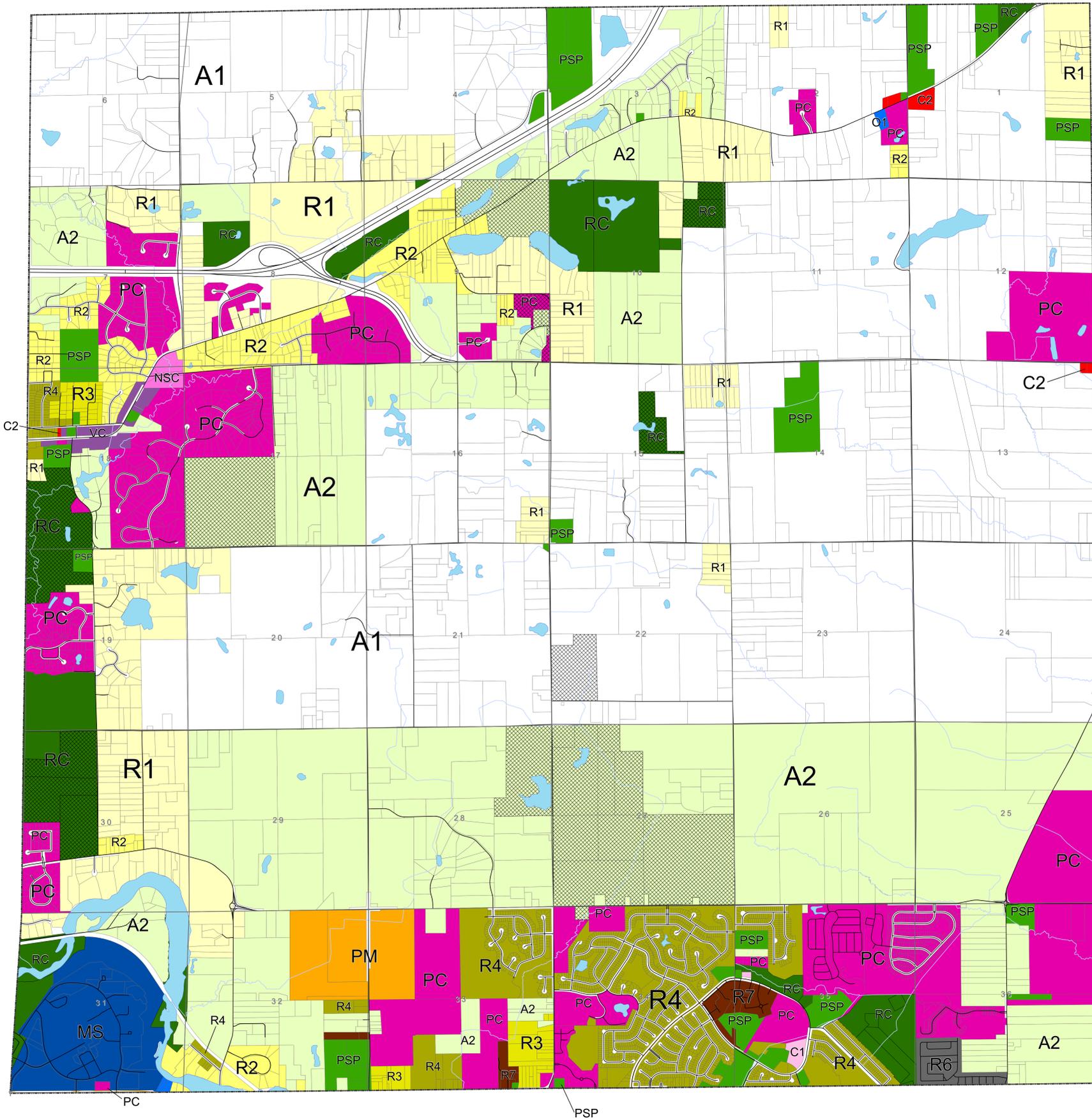
~~Per Section 3513 of the Michigan Zoning Enabling Act, Township review of a Conditional Use Permit application for a biofuel production facility shall be modified as follows:~~

- ~~1. **60-day time limit for a public hearing.** For any Conditional Use Permit application subject to the requirements of this Section, the Planning Commission shall hold a public hearing on the application in accordance with Section _____ (Public Hearing Procedures) within sixty (60) calendar days after the filing date of a complete and accurate application.~~

~~The application shall be deemed to have been rejected as incomplete if no public hearing is held within this sixty (60) calendar day period. An application deemed incomplete per this subsection may be resubmitted as a new application for the purpose of completing the review process. Such applications shall not be subject to the requirements of Section _____ (Re-Application).~~

~~**Limitation on conditions of approval.** The Planning Commission's authority to impose conditions on the approval of a biofuel production facility subject to this Section shall be limited to conditions necessary to verify that the facility conforms to all of the requirements of this Section [amended 12/16/2013, Ord. 174-14]~~

~~f. _____~~



Zoning Districts

- RC - Recreation-Conservation District
- A1 - Agricultural District
- A2 - Agricultural District
- R1 - Single-Family Residential District
- R2 - Single-Family Residential District
- R3 - Single-Family Residential District
- R4 - Single-Family Residential District
- R6 - Manufactured Housing Park District
- R7 - Multiple-Family Residential District
- C1 - Neighborhood Commercial
- C2 - General Commercial District
- O1 - Office District
- PSP - Public/ Semi Public Services District
- PC - Planned Community District
- NSC - Neighborhood Shopping Center District
- VC - Village Center District
- MS - Medical Services District
- PM - Planned Manufacturing District
- OSP - Open Space Preservation Overlay District

Zoning Map

Superior Charter Township

CERTIFICATION

This is to certify that this is the official Zoning Map referred to in the Zoning Ordinance of Superior Township, Washtenaw County, Michigan.

Township Supervisor *Wm. G. ...* Date: 1-21-20

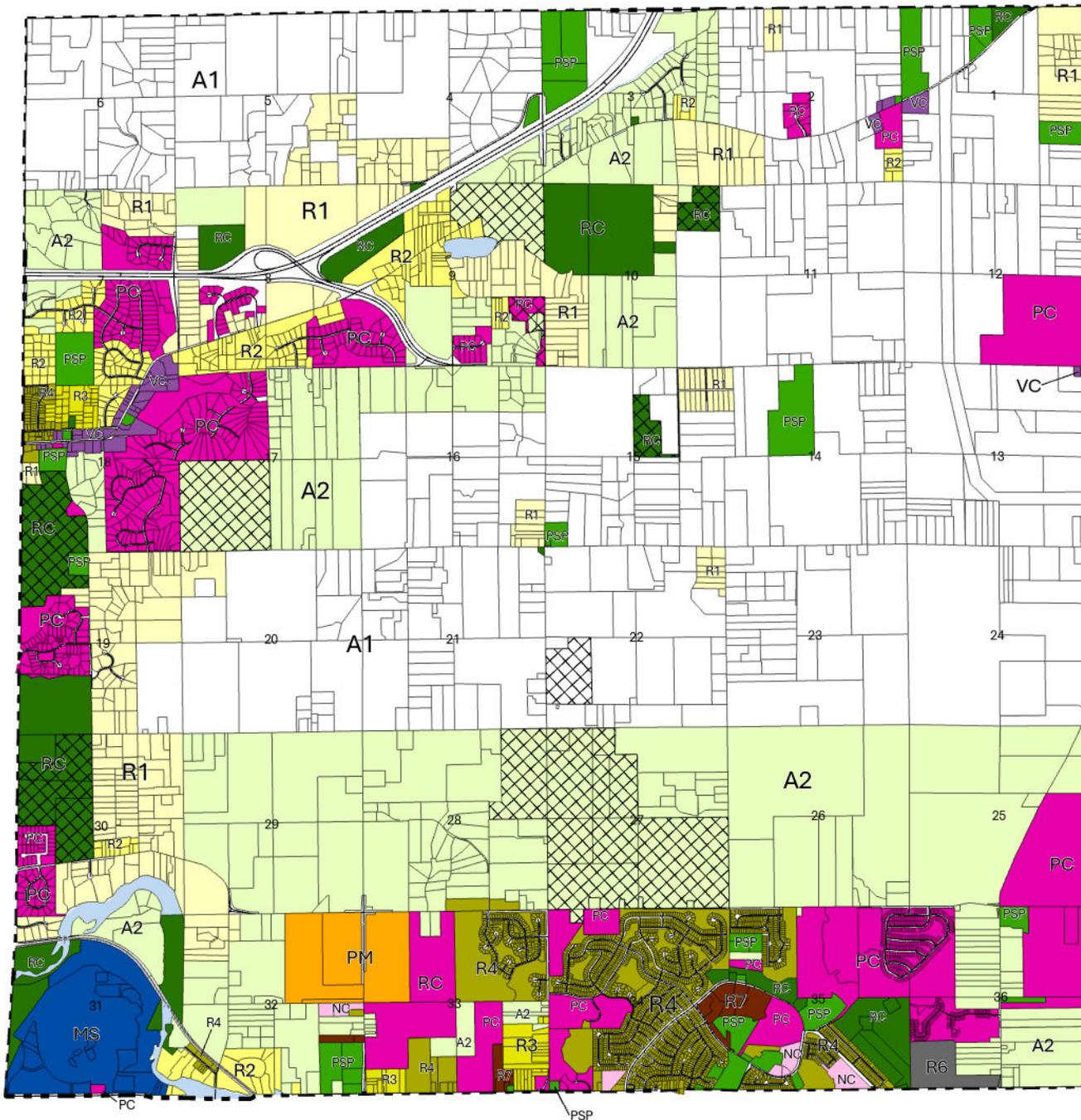
Township Clerk *...* Date: 1-21-20



January 21, 2020

Carlisle / Wortman Associates, Inc.





Zoning Districts

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 Township Clerk: [Signature] Date: 1-21-20

Proposed Zoning Map Superior Charter Township Washtenaw County, Michigan

