

**SUPERIOR CHARTER TOWNSHIP PLANNING COMMISSION
SUPERIOR TOWNSHIP HALL
3040 N. PROSPECT, SUPERIOR TOWNSHIP, MI 48198
AGENDA
SEPTEMBER 25, 2024 - 7:00 PM**

1. CALL TO ORDER
2. ROLL CALL
3. DETERMINATION OF QUORUM
4. ADOPTION OF AGENDA
5. APPROVAL OF MINUTES
 - A. Approval of the July 24, 2024 Regular Meeting Minutes
6. CITIZEN PARTICIPATION
7. CORRESPONDENCE
8. PUBLIC HEARINGS, DELIBERATIONS AND ACTIONS
9. REPORTS
 - A. Building Department Report
 - B. Zoning Administrator Report
10. OLD BUSINESS
11. NEW BUSINESS
 - A. STPC 2023-03 Garrett's Space Final Site Plan
 - B. Pre-Application Conference Majestic Oaks Concept Plan
12. POLICY DISCUSSION
 - A. Zoning Ordinance Rewrite Update
13. ADJOURNMENT

Thomas Brennan III, Commission Secretary
3040 N. Prospect, Ypsilanti, MI 48198, 734-482-6099

SUPERIOR CHARTER TOWNSHIP

Planning Commission

Regular Meeting Minutes - DRAFT

July 24, 2024, 7:00 PM

Township Hall - 3040 North Prospect

Superior Township, MI 48198

1. CALL TO ORDER

Chairman Gardner called the regular meeting to order at 7:00 p.m.

2. ROLL CALL

Present: Jay Gardner, Chair
Dr. Robert Steele, Vice Chair
Thomas Brennan, Secretary
Lynette Findley, Board Representative
Nahid Sanii-Yahkind
Patrick McGill
Emily Dabish

Absent: None

Also Present: Planning Consultants Ben Carlisle and Diane Mulville-Friel, Carlisle Wortman
Engineering Consultants Claire Martin, OHM

3. DETERMINATION OF QUORUM

A quorum was present.

4. ADOPTION OF AGENDA

MOTION by Gardner, support by Brennan, to adopt the agenda as presented.

Motion passed unanimously by voice vote.

5. APPROVAL OF MEETING MINUTES

A. May 22, 2024 - Regular Meeting

MOTION by Gardner, support by Brennan, to approve the May 22, 2024 meeting minutes as submitted.

Commissioner Sanii-Yahyai requested an amendment to the minutes. Regarding the Ordinance Officer report, Commissioner Sanii-Yahyai indicated that she was not “concerned about residents whose neighbors were neglecting to maintain their lawns” but “was approached by residents who wanted to know if the Township participates in the pollinator support programs that other communities are implementing which allows turf grass to grow taller in the spring in order to support native pollinator populations”. She also clarified that, “residents wanted to know if they would be penalized with ordinance citations if they let their turf grass grow beyond the maximum height allowed by the Township”. She requested the minutes be amended to reflect the correction.

The change was accepted without objection

MOTION was amended by Gardner and supported by Brennan to approve the May 22, 2024 meeting minutes as amended.

Motion passed unanimously by voice vote.

Note: The May 22, 2024, draft minutes were further amended to reflect comments provided by Brenda Baker during the Citizen Participation (see below)

6. CITIZEN PARTICIPATION

Brenda Baker, Ashton Ct., requested to clarify her citizen participation comments reflected in the May 22, 2024, draft meeting minutes. The draft minutes noted that Ms. Baker, “deemed it essential to apprise the members”. She asked that the minutes be amended to soften the term “deemed essential” because it implies she is an expert on these matters and that she is not an expert. She stated that her intent was to relay information she heard at recent hearing regarding mismatched culverts sizes associated with the Bazley Foster Drain that borders the Autumn Woods Community.

Ms. Baker’s requested change was accepted without objection.

MOTION by Gardner, supported by Brennan to further amend the May 22, 2024 meeting minutes to reflect Ms. Baker’s clarification.

Motion passed unanimously by voice vote.

7. CORRESPONDANCE

No correspondence received.

8. PUBLIC HEARINGS, DELIBERATIONS AND ACTIONS

No Public Hearings.

9. REPORTS

Ms. Mulville-Friel clarified that the reports are not included in the agenda packet. That CWA was working to understand what information is usually supplied to the Commission. Gardner stated that these reports could be included at the next Planning Commission meeting. Findley apprised that she would work with Ms. Mulville-Friel to obtain information needed for the reports to present at the next meeting.

A. Ordinance Officer Report

None.

B. Building Inspector Report

None.

C. Zoning Administrator Report

None.

10. OLD BUSINESS

None.

11. NEW BUSINESS

None.

12. POLICY DISCUSSION

A. PA 233 of 2023-Renewable Energy

Ms. Mulville-Friel and Mr. Carlisle recapped information that was provided in the memo regarding New Renewable Energy Legislation (dated July 15, 2024). Commission discussion pursued as follows:

Gardner asked what is the benefit and/or point of the Township adopting a Compatible Renewable Energy Ordinance (CREO) if the state has preemptive authority over siting and permitting of these large, utility-scale renewable energy facilities?

Mr. Carlisle explained that municipalities are not able to prohibit facilities that meet the minimum “nameplate capacity” threshold, but, if the Township had a CREO in place, they may have some control to mitigate secondary impacts and may require these facilities to go through the local Site Plan process. He explained that the State is still releasing rules on how these regulations will be applied and how local government may, if any, place additional regulations above what is set forth in PA 223.

Mr. Carlisle also explained that CWA is working with several other communities in Washtenaw County to establish CREOs and are bringing this to the attention of the Superior Township Planning Commission to consider adoption of a CREO as a preemptive measure. One advantage of a local government establishing a CREO is that it may be able to require these facilities go through conditional use or site plan review process and require more standards that are not addressed by PA233 (e.g., setbacks, landscaping, and screening); however, it is still unclear as to whether such standards would be considered more restrictive. Another potential benefit of a CREO is that the approval process and public hearings would be handled at the local level; whereas, if the State was reviewing the application, the local unit of government may not be aware of it until notified through the state’s public hearing process.

Mr. Carlisle again reiterated that PA233 implementation is still being formulated and that the Planning Commission has time to decide on whether to establish a CREO before the November 29,

2024, deadline. He said some communities are choosing not to adopt a CREO because they would rather have the State oversee siting and permitting of these facilities and to coordinate all the public hearings. Based on the PA233 law passed, Michigan Public Service Commission (MPSC) will formulate the rules and those rules will most likely be challenged and drag out in court.

The Commission was in general agreement to postpone the decision to establish a CREO, that Mr. Carlisle should keep them apprised of the situation, and that they should revisit the topic once the law was clearer.

B. Zoning Ordinance Update-Audit Memo

Ms. Mulville-Friel and Mr. Carlisle recapped information that was provided in the memo regarding Superior Township Zoning Ordinance Evaluation (dated July 17, 2024). Commission discussion pursued as follows:

Ms. Mulville-Friel relayed to the Planning Commission that the Township was still seeking to establish a Zoning Ordinance Rewrite Steering Committee made up of three Planning Commission members. Gardner, Brennan, and Findley were identified as potential Steering Committee members. Gardner said he was still contemplating the role and would like more clarification on the time commitments. Ms. Mulville-Friel explained that the Steering Committee would meet one hour before regularly scheduled Planning Commission meetings and that CWA would be leading the review discussion. In addition, the Planning Commission as a whole would be updated as to the progress and there would be public meetings held.

Gardner asked for clarification on the timeline of the Zoning Ordinance rewrite and whether the upcoming Township elections may influence who serves on the Steering Committee. Mr. Carlisle responded that the existing Zoning Ordinance language did not require extensive rewrite and that most of the changes would be reorganizing, updating procedures to conform with the Michigan Planning and Zoning Enabling Acts, updating definitions, consolidation of zoning districts, fixing glitches and inconsistencies between sections, and making sure policy and objectives included in the newly adopted Master Plan are reflected. Streamline and reorganization is most critical. CWA has framework in place and the rewrite should only take a year; however, the Steering Committee's involvement would be most critical in the first three (3) to six (6) months as the draft Zoning Ordinance is developed.

Gardner asked if more than three (3) Steering Committee members should be selected and Mr. Carlisle explained that if more than three (3) Planning Commissioners served on the Steering Committee, then it would constitute a quorum and the meetings would have to be publicly noticed which could slow down the process. The Commission asked whether Brannan could serve on the Planning Commission and Steering Committee if he were to be elected to Township Board. Findley stated that she is a Township Board member and serves on the Planning Commission so this should not be a problem if Brennan were to be elected. Discussion also pursued that Findley is not running for Township Clerk again and would not be on the Board past the November 2024 election. It was discussed that she could be replaced by another member is the Zoning Ordinance Rewrite Steering Committee needed to continue past the November date.

C. Other Policy Discussion

Sanii-Yahyai asked if other Commissioners supported the Township looking into creating a pollinator support program similar to ones that other communities have implemented. Brennan offered that staff could inquire if Township Board would consider discussing the pollinator support program at a future meeting.

Gardner clarified that Planning Commissioners are to be notified (via email) the Wednesday before a meeting that physical copies of meeting agendas and packets are available for pickup at Township Hall. Ms. Mulville-Friel and Commissioner Findley concurred that this procedure would be implemented for future meetings.

Dabish brought up the Meadows neighborhood safety and street lighting issues. Findley recommended that the neighborhood residents check with Supervisor Schwartz who can share the Township's process established to determine whether there is support for speed humps or other traffic calming and safety procedures.

13. ADJOURNMENT – next regularly scheduled meeting on August 28, 2024

MOTION by Gardner, supported by Findley to adjourn the meeting.

Motion passed unanimously by voice vote.

The meeting was adjourned at 8:03 pm.

Meeting Minutes Respectfully submitted,

Thomas Brennan III, Planning Commission Secretary
Diane Mulville-Friel, Recording Secretary

3040 N. Prospect, Ypsilanti, MI 48198, 734-482-6099

SUPERIOR TOWNSHIP BUILDING DEPARTMENT
MONTH-END REPORT
August 2024

Category	Estimated Cost	Permit Fee	Number of Permits
Electrical	<i>\$0.00</i>	<i>\$10,190.00</i>	<i>44</i>
Mechanical	<i>\$0.00</i>	<i>\$11,636.00</i>	<i>69</i>
Plumbing	<i>\$0.00</i>	<i>\$8,955.00</i>	<i>39</i>
Res-Additions (Inc. Garages)	<i>\$208,000.00</i>	<i>\$1,352.00</i>	<i>1</i>
Res-Manufactured/Modular	<i>\$270,000.00</i>	<i>\$2,250.00</i>	<i>15</i>
Res-New Building	<i>\$1,679,841.00</i>	<i>\$9,618.00</i>	<i>4</i>
Res-Other Building	<i>\$206,227.00</i>	<i>\$1,836.00</i>	<i>12</i>
Res-Other Non-Building	<i>\$11,000.00</i>	<i>\$100.00</i>	<i>1</i>
Res-Renovations	<i>\$142,000.00</i>	<i>\$923.00</i>	<i>2</i>
Totals	<i>\$2,517,068.00</i>	<i>\$46,860.00</i>	<i>187</i>

**SUPERIOR TOWNSHIP BUILDING DEPARTMENT
YEAR-TO-DATE REPORT**

January 2024 To Date

Category	Estimated Cost	Permit Fee	Number of Permits
Com/Multi-Family New Building	<i>\$3,050,000.00</i>	<i>\$19,825.00</i>	<i>2</i>
Com/Multi-Family Other Building	<i>\$28,541.00</i>	<i>\$0.00</i>	<i>1</i>
Com/Multi-Family Renovations	<i>\$5,418,952.00</i>	<i>\$35,223.00</i>	<i>5</i>
Electrical	<i>\$0.00</i>	<i>\$50,660.00</i>	<i>229</i>
Mechanical	<i>\$0.00</i>	<i>\$55,579.00</i>	<i>349</i>
Plumbing	<i>\$0.00</i>	<i>\$36,280.00</i>	<i>164</i>
Res-Additions (Inc. Garages)	<i>\$1,802,328.00</i>	<i>\$11,714.00</i>	<i>13</i>
Res-Manufactured/Modular	<i>\$525,000.00</i>	<i>\$3,750.00</i>	<i>25</i>
Res-New Building	<i>\$20,217,415.00</i>	<i>\$130,157.00</i>	<i>44</i>
Res-Other Building	<i>\$1,005,079.00</i>	<i>\$8,099.00</i>	<i>59</i>
Res-Other Non-Building	<i>\$283,176.00</i>	<i>\$2,253.00</i>	<i>18</i>
Res-Renovations	<i>\$1,765,347.00</i>	<i>\$11,704.00</i>	<i>25</i>
Totals	<i>\$34,095,838.00</i>	<i>\$365,244.00</i>	<i>934</i>

MEMO

TO: Superior Charter Township Planning Commission
FROM: Diane Mulville-Friel, Carlisle Wortman Associates
RE: Planning & Zoning Department Report
DATE: September 18, 2024

SITE PLAN REVIEWS

1. Prospect Pointe West

Prospect Pointe West is a four-phase single-family residential development project, on a 67.36 acre parcel of land zoned R-4 an Urban Residential District. The development is located on the southwest corner of Geddes Road and Prospect Road, west of Hunters Creek Drive in the northeast quarter of Section 33. The applicant is proposing to develop Prospect Pointe West as a 157-unit site condominium. The proposed lot dimensions are 66' x 130' with a minimum lot size of 8,580 sf. The homes will range in size from 2,000 to 3,200 sf with sales prices starting in the \$400,000s. The development has private roads with sidewalks on both sides and will be serviced by public sanitary sewer which will be designed as an extension off of the existing Prospect Pointe development. Public water will also be extended from the existing subdivision.

The Final Site Plan for Prospect Pointe West Phase 1 (STPC #22-03) was approved by action of the Superior Township Planning Commission on April 26, 2023, and includes 39 single-family lots. Building permits for individual homes are being issued and construction has commenced.

The Final Site Plan for Prospect Pointe West Phase 2 (STPC #24-01) was approved by action of the Superior Township Planning Commission on May 22, 2024, and includes 45 single-family lots. The Development Agreement for Phase 2 has been recorded and a preconstruction meeting was held on September 10, 2024.

Each of the remaining phases (Phase 3 and 4) will be required to go through the Final Site Plan process.

2. Brookwood

Brookwood is a Master Planned Community on an 84.5 acre parcel of land zoned Planned Community (PC) a Special District. The development is located on the east side of Leforge Road approximately 700 feet north of Clark Road in the southwest corner of Section 33. The applicant is proposing to develop Brookwood with 318 dwelling units divided into three (3) residential dwelling product types (i.e., stacked flats, duplex units, four-plex units, and attached townhomes). The development is designed for renters and owners plus a section

dedicated for people over 55 years of age. Stacked flats and duplexes are anticipated to rent from \$1.50 - \$2.50 per square foot. The townhomes will be for sale and priced per unit according to the market. The development will also include a clubhouse, amenity areas, paved parking areas, landscape improvement, and a continuous sidewalk network along private drives throughout the development and walking paths that connect amenities and with various areas of the development. Existing public water and sanitary sewer mains will be extended to serve the development.

The Brookwood Superior Area Plan Amendment was approved at second reading by the Township Board on May 20, 2024.

The Brookwood Superior Preliminary Site Plan (STPC #23-05) was approved by action of the Superior Township Planning Commission on May 22, 2024, with the following conditions:

1. Address all items in the Township Engineers May 9, 2024, review.
2. Provide additional details on Natural Feature Plan including how the 25% slopes will be protected, and their integrity remain intact.
3. Provide a more detailed landscape plan that meets all landscape, screening, and woodland preservation requirements.
4. Provide lighting and photometric plan.
5. Provide a detailed narrative of the architectural concept for the site including materials details.

The applicant provided a project update and indicated that they are currently developing the engineering plans to be used in obtaining the outside permits and approvals and plan to submit a Final Site Plan application to the Township before the first of the year

ZONING BOARD OF APPEALS

The Zoning Board of Appeals (ZBA) has not received any variance requests. The last ZBA meeting was held April 8, 2024.

SITE PLAN REVIEW APPLICATION

(This application must be typewritten or printed. All questions must be answered.)

APPLICANT NAME Garrett's Space (Attn: Scott Halpert)

NAME OF PROPOSED DEVELOPMENT Garrett's Space

APPLYING FOR

- PRELIMINARY SITE PLAN
- FINAL SITE PLAN
- COMBINED PRELIMINARY AND FINAL SITE PLAN
(Combination is at discretion of Planning Commission)
- MINOR SITE PLAN
- MAJOR/MINOR CHANGE DETERMINATION
- ADMINISTRATIVE REVIEW

WILL PROJECT BE PHASED? YES NO

IF PROJECT IS PHASED COMPLETE THE FOLLOWING:

- Total number of phases 2
- Phase number of current application 1
- Name and date of preliminary site plan approval

STPC23-03 Garrett's Space Preliminary Site Plan approved 01/24/2024

- Date of Previous Phase Approvals:
 - Phase # _____ Date _____
 - Phase # _____ Date _____
 - Phase # _____ Date _____
 - Phase # _____ Date _____

SEEKING ADDITIONAL APPROVAL FOR A CONDITIONAL USE YES NO

 Ben CARLSIE
Signature of the Clerk or Designee

6/6/24
Date of Receipt of Application

\$ 5,900.00 (\$900 FSP + \$5,000 Escrow) + \$ 737.50 Escrow overage from PSP
Amount of Fee

TOTAL DUE \$ 6,637.50

GENERAL INFORMATION

- Name of Proposed Development Garrett's Space
- Address of Property 3900 Dixboro Road, Ann Arbor, MI, 48105
- Current Zoning District Classification of Property PC: Planned Community

Is the zoning classification a Special District as defined by Article 7 ? YES NO

- Has this property been the subject of a rezoning request, Zoning Board of Appeals petition or other Township action with the past five (5) years? YES NO

Please explain The Area Plan and rezoning of the property from A-2 to PC were approved by the Superior Twp Board of Trustees on August 21, 2023.

- Tax ID Number(s) of property J -10-07-200-010, J -10-07-200-011, J -10-07-200-012, J -10-07-200-013, J -10-07-200-014, J -10-07-200-0115, J -10-07-200-016

- Site Location - Property is located on (circle one) N S(E)W side of Dixboro Road between M-14 and Warren Roads.

- Legal Description of Property (please attach a separate sheet)
Where a metes and bounds description is used, lot line angles or bearings shall be indicated on the plan. Lot line dimensions and angles or bearings shall be based upon a boundary survey prepared by a registered surveyor and shall correlate with the legal description.

Site Area (Acreage) and Dimensions

- Are there any existing structures on the property? YES NO
Please explain: One (1) existing single-family residential building with garage, and one (1) existing shed. All existing structures will remain.

PROPOSED LAND USE

- Residential Office Commercial Other

If other, please specify Residential Support Center, Administrative Office, Creativity Studio

- Number of units All existing structures will remain and two new structures will be added, with a total of 22 beds (2 of the beds will be for overnight staff). _____
- Total floor area of each unit Total combined floor area of all buildings (existing and proposed): 19,254 SF
- Give a complete description of the proposed development.
See attached Project Narrative.

ESTIMATED COSTS

- Buildings and other structures \$5,500,000
- Site improvements \$1,300,000
- Landscaping \$175,000
- Total \$6,975,000

ESTIMATED DATES OF CONSTRUCTION

- Initial construction Summer 2024
- Project completion Fall 2025
- Initial construction of phases (IF APPLICABLE) All proposed improvements shown on this final site plan, including the residential center and creativity studio with the associated drives, parking areas, and utility and landscaping improvements, will begin construction in Summer 2024. _____
- Completion of subsequent phases. (IF APPLICABLE) To be determined. Additional enrichment elements and outdoor recreation and gathering spaces will be constructed as funding allows.
- Estimated date of first occupancy Summer 2024

IDENTIFY EACH DRAWING SUBMITTED BY NAME OF PLAN OR DRAWING, DATE AND DRAWING NUMBER (ATTACH ADDITIONAL SHEET IF NECESSARY)

See attached Sheet Index.

APPLICANT INFORMATION

- APPLICANTS NAME Scott Halpert
Company Garrett's Space
Address 1400 Granger Avenue, Ann Arbor, MI, 48104
Telephone Number 734-709-7684 Email scott@garrettsspace.org
- PROPERTY OWNER'S NAME Scott Halpert
Company Garrett's Space
Address 1400 Granger Avenue, Ann Arbor, MI, 48104
Telephone Number 734-709-7684 Email scott@garrettsspace.org
- DEVELOPER'S NAME Scott Halpert
Company Garrett's Space
Address 1400 Granger Avenue, Ann Arbor, MI, 48104
Telephone Number 734-709-7684 Email scott@garrettsspace.org
- ENGINEER'S NAME Candice Briere / Tom Covert
Company Midwestern Consulting, LLC
Address 3815 Plaza Drive, Ann Arbor, MI, 48108
Telephone Number 734-995-0200 Email cmb@midwesternconsulting.com
- ARCHITECT/PLANNER'S NAME Alan Ricks / John Maher
Company MASS Design Group
Address 1 Chandler Street, Boston, MA, 02116
Telephone Number 857-233-5788 Email jmaher@mass-group.org

The applicant indicated on page 4 must sign this application. All correspondence regarding the application and plan will be directed to the applicant. If the applicant is not the property owner, the owner's signed consent must also be provided with this application.

APPLICANT'S DEPOSITION

I hereby depose and certify that all information contained in this application, all accompanying plans and all attachments are complete and accurate to the best of my knowledge.

APPLICANT'S PRINTED NAME: Scott Halpert, President - Garretto Space

APPLICANT'S SIGNATURE Scott Halpert DATE 4/4/24

PROPERTY OWNER'S PRINTED NAME Scott Halpert, President - Garretto Space

PROPERTY OWNER'S SIGNATURE Scott Halpert DATE 4/11/24

LEGAL DESCRIPTIONS

(PER AMERICAN TITLE COMPANY OF WASHTENAW, COMMITMENT NO. 115015, COMMITMENT DATE: 06/22/2022)

PARCEL I:

Commencing at the North 1/4 corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence North 88°09'28" East 481.15 feet along the centerline of Warren Road; thence South 01°59'49" East 652.00 feet; thence South 02°49'01" East 606.58 feet to the POINT OF BEGINNING; thence South 75°36'30" West 84.81 feet; thence North 63°37'02" West 446.72 feet; thence North 28°47'56" West 175.86 feet; thence South 88°24'25" West 142.52 feet; thence South 87°08'25" West 622.90 feet; thence South 66°56'16" West 141.74 feet; thence 170.86 feet along the arc of a curve to the left with a radius of 150.00 feet and a chord which bears South 08°09'09" West 161.77 feet; thence South 24°19'30" East 228.93 feet; thence South 79°37'36" East 1,432.71 feet; thence North 02°49'01" West 386.11 feet to the POINT OF BEGINNING.

Parcel I is together with and subject to a non-exclusive easement for ingress, egress and public utility purposes described as follows:

Commencing at the Northwest corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South 00°59'02" East 949.34 feet to the POINT OF BEGINNING; thence North 89°58'49" East 24.59 feet; thence 33.71 feet along the arc of a curve to the left with a radius of 167.00 feet and a chord which bears South 88°35'24" East 33.65 feet; thence North 78°25'36" East 51.94 feet; thence 155.05 feet along the arc of a curve to the right with a radius of 233.00 feet and a chord which bears South 82°30'33" East 152.21 feet; thence South 63°26'43" East 30.72 feet; thence 128.25 feet along the arc of curve to the right with a radius of 133.00 feet and a chord which bears South 35°49'14" East 123.34 feet; thence South 08°11'46" East 80.56 feet; thence 143.82 feet along the arc of a curve to the left with a radius of 117.00 feet and a chord which bears South 43°24'35" East 134.93 feet; thence South 78°37'25" East 38.59 feet; thence 65.32 feet along the arc of a curve to the right with a radius of 183.00 feet and a chord which bears South 68°23'53" East 64.97 feet; thence South 58°10'21" East 95.89 feet; thence 155.18 feet along the arc of a curve to the left with a radius of 117.00 feet and a chord which bears North 83°49'53" East 144.05 feet; thence North 45°50'07" East 45.53 feet; thence 40.95 feet along the arc of a curve to the right with a radius of 133.00 feet and a chord which bears North 54°39'18" East 40.78 feet; thence South 24°19'30" East 33.03 feet; thence South 79°37'36" East 70.33 feet; thence 36.88 feet along the arc of a curve to the right with a radius of 121.00 feet and a chord which bears South 73°43'20" West 36.74 feet; thence 39.71 feet along the arc of a curve to the left with a radius of 67.00 feet and a chord which bears South 62°48'52" West 39.13 feet; thence South 45°50'07" West 45.53 feet; thence 242.72 feet along the arc of a curve to the right with a radius of 183.00 feet and a chord which bears South 83°49'53" West 225.31 feet; thence North 58°10'21" West 95.89 feet; thence 41.76 feet along the arc of a curve to the left with a radius if 117.00 feet and a chord which bears North 68°23'53" West 41.54 feet; thence North 78°37'25" West 38.59 feet; thence 224.94 feet along the arc of a curve to the right with a radius of 183.00 feet and a chord which bears North 43°24'35" West 211.05 feet; thence North 08°11'46" West 80.56 feet; thence 64.61 feet along the arc of a curve to the left with a radius of 67.00 feet and a chord which bears North 35°49'14" West 62.13 feet; thence North 63°26'43" West 30.72 feet; thence 111.13 feet along the arc of a curve to the left with a radius of 167.00 feet and a chord which bears North 82°30'33" West 109.09 feet; thence South 78°25'36" West 55.75 feet; thence 47.02 feet along the arc of a curve to the right with a radius of 233.00 feet and a chord which bears North 89°41'48" West 46.94 feet; thence South 89°58'49" West 19.67 feet; thence North 00°59'02" West 66.00 feet to the POINT OF BEGINNING.

PARCEL II:

Commencing at the Northwest corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South $00^{\circ}59'02''$ East 449.29 feet; thence North $89^{\circ}40'15''$ East 575.11 feet to the POINT OF BEGINNING; thence South $25^{\circ}32'08''$ East 530.06 feet; thence North $66^{\circ}56'16''$ East 141.74 feet; thence North $87^{\circ}08'25''$ East 622.90 feet; thence North $09^{\circ}20'43''$ West 230.33 feet; thence South $89^{\circ}08'28''$ West 103.71 feet; thence North $22^{\circ}14'32''$ West 220.57 feet; thence North $42^{\circ}43'10''$ West 322.72 feet; thence North $89^{\circ}02'44''$ West 96.09 feet; thence South $47^{\circ}33'36''$ West 409.14 feet; thence South $89^{\circ}40'15''$ West 139.49 feet to the POINT OF BEGINNING.

PARCEL III:

Commencing at the Northwest corners of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South $00^{\circ}59'02''$ East 449.29 feet to the POINT OF BEGINNING; thence North $89^{\circ}40'15''$ East 575.11 feet; thence South $25^{\circ}32'08''$ East 530.06 feet; thence 170.86 feet along the arc of a curve to the left with a radius of 150.00 feet and a chord which bears South $08^{\circ}09'09''$ West 161.77 feet; thence South $24^{\circ}19'30''$ East 43.64 feet; thence North $85^{\circ}20'39''$ West 342.12 feet; thence South $00^{\circ}40'22''$ East 186.56 feet; thence 178.07 feet along the arc of a curve to the right with a radius of 150.00 feet and a chord which bears North $42^{\circ}12'18''$ West 167.80 feet; thence North $08^{\circ}11'46''$ West 80.56 feet; thence 96.43 feet along the arc of a curve to the left with a radius of 100.00 feet and a chord which bears North $35^{\circ}49'14''$ West 92.74 feet; thence North $63^{\circ}26'43''$ West 30.72 feet; thence 133.09 feet along the arc of a curve to the left with a radius of 200.00 feet and a chord which bears North $82^{\circ}30'33''$ West 130.65 feet; thence South $78^{\circ}25'36''$ West 53.92 feet; thence 41.87 feet along the arc of a curve to the right with a radius of 200.00 feet and a chord which bears North $89^{\circ}14'28''$ West 41.80 feet; thence South $89^{\circ}58'49''$ West 22.05 feet; thence North $00^{\circ}59'02''$ West 533.66 feet to the POINT OF BEGINNING

PARCEL IV:

Commencing at the Northwest corners of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South $00^{\circ}59'02''$ East 982.34 feet to the POINT OF BEGINNING; thence North $89^{\circ}58'49''$ East 22.05 feet; thence 41.87 feet along the arc of a curve to the left with a radius of 200.00 feet and a chord which bears South $89^{\circ}14'28''$ East 41.80 feet; thence North $78^{\circ}25'36''$ East 53.92 feet; thence 133.09 feet along the arc of a curve to the right with a radius of 200.00 feet and a chord which bears South $82^{\circ}30'33''$ East 130.65 feet; thence South $63^{\circ}26'43''$ East 30.72 feet; thence 96.43 feet along the arc of a curve to the right with a radius of 100.00 feet and a chord which bears South $35^{\circ}49'14''$ East 92.47 feet; thence South $08^{\circ}11'46''$ East 80.56 feet; thence 178.07 feet along the arc of a curve to the left with a radius of 150.00 feet and a chord which bears South $42^{\circ}12'18''$ East 167.80 feet; thence North $00^{\circ}40'22''$ West 186.56 feet; thence South $85^{\circ}20'39''$ East 342.12 feet; thence South $24^{\circ}19'30''$ East 185.29 feet; thence 29.52 feet along the arc of a curve to the left with a radius of 100.00 feet and a chord which bears South $54^{\circ}17'30''$ West 29.41 feet; thence South $45^{\circ}50'07''$ West 45.53 feet; thence 45.44 feet along the arc of a curve to the right with a radius of 150.00 feet and a chord which bears South $54^{\circ}30'48''$ West 45.27 feet; thence South $16^{\circ}42'39''$ West 559.67 feet; thence North $48^{\circ}59'02''$ West 360.35 feet; thence South $89^{\circ}00'58''$ West 110.00 feet; thence North $44^{\circ}00'48''$ West 319.99 feet; thence North $00^{\circ}59'02''$ West 456.39 feet to the POINT OF BEGINNING.

PARCEL V:

Commencing at the Northwest corners of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South $00^{\circ}59'02''$ East 1,438.73 feet to the POINT OF BEGINNING; thence South $44^{\circ}00'58''$ East 319.99 feet; thence North $89^{\circ}00'58''$ East 110.00 feet; thence South $48^{\circ}59'02''$ East 360.35 feet to the POINT OF BEGINNING; thence North $16^{\circ}42'39''$ East 559.67 feet; thence 45.44 feet along the arc of a curve to the left with a radius of 150.00 feet and a chord which bears North $54^{\circ}30'48''$ East 45.27 feet; thence North $45^{\circ}50'07''$ East 45.53 feet; thence 29.52 feet along the arc of a curve to the right with a radius 100.00 feet and a chord which bears North $54^{\circ}17'30''$ East 29.41 feet; thence South $79^{\circ}37'36''$ East 407.50 feet; thence South $04^{\circ}56'00''$ West 876.71 feet; thence North $70^{\circ}37'31''$ West 341.00 feet; thence North $48^{\circ}59'02''$ West 339.65 feet to the POINT OF BEGINNING.

PARCEL VI:

Commencing at the North $1/4$ corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence North $88^{\circ}09'28''$ East 481.15 feet along the centerline of Warren Road; thence South $01^{\circ}58'49''$ East 652.00 feet; thence South $02^{\circ}49'01''$ East 1,710.09 feet; thence South $88^{\circ}57'38''$ West 563.16 feet to the POINT OF BEGINNING; thence North $02^{\circ}49'01''$ West 831.70 feet; thence North $79^{\circ}37'36''$ West 448.29 feet; thence South $04^{\circ}56'00''$ West 876.71 feet; thence South $70^{\circ}37'31''$ East 137.31 feet; thence North $88^{\circ}57'38''$ East 427.78 feet to the POINT OF BEGINNING.

PARCEL VII:

Commencing at the North $1/4$ corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence North $88^{\circ}09'28''$ East 481.15 feet along the centerline of Warren Road; thence South $01^{\circ}59'49''$ East 652.00 feet; thence South $02^{\circ}49'01''$ East 992.69 feet to the POINT OF BEGINNING; thence North $79^{\circ}37'36''$ West 578.10 feet; thence South $02^{\circ}49'01''$ East 831.70 feet; thence North $88^{\circ}57'38''$ East 563.16 feet; thence North $02^{\circ}49'01''$ West 717.40 feet to the POINT OF BEGINNING.

PARCEL VII described for tax purposes as:

Commencing at the Northwest corner of Section 7; thence South $00^{\circ}59'02''$ East 1,438.73 feet; thence South $44^{\circ}00'58''$ East 319.99 feet; thence North $89^{\circ}00'58''$ East 110.00 feet; thence South $48^{\circ}59'02''$ East 700.00 feet; thence South $70^{\circ}37'31''$ East 478.31 feet; thence North $88^{\circ}57'38''$ East 427.78 feet to the POINT OF BEGINNING; thence continuing North $88^{\circ}57'38''$ East 563.16 feet; thence North $02^{\circ}49'01''$ West 717.40 feet; thence North $79^{\circ}37'36''$ West 578.10 feet; thence South $02^{\circ}49'01''$ East 831.70 feet to the POINT OF BEGINNING. Part of the Northwest $1/4$ of Section 7, Town 2 South, Range 7 East.

OVERALL LEGAL DESCRIPTION

Commencing at the N.W. corner of fractional Section 7, T2S, R7E, Superior Township, Washtenaw County, Michigan, thence S 00° 59' 02" E 448.68 feet along the west line of said Section 7 and the center line of Dixboro Road to the POINT OF BEGINNING,

thence N 89° 40' 15" E 714.60 feet,

thence N 47° 33' 36" E 409.14 feet,

thence S 89° 02' 44" E 96.09 feet,

thence S 42° 43' 10" E 322.72 feet,

thence S 22° 14' 32" E 220.57 feet,

thence N 89° 08' 28" E 103.71 feet,

thence S 9° 20' 43" E 230.33 feet,

thence N 88° 24' 25" E 142.52 feet,

thence S 28° 47' 56" E 175.86 feet,

thence S 63° 37' 02" E 446.72 feet,

thence N 75° 36' 30" E 84.41 feet,

thence S 2° 49' 01" E 1103.51 feet,

thence along the northerly right of way line of M-14 expressway in the following five (5)

courses:

S 88° 57' 38" W 990.94 feet,

N 70° 37' 31" W 478.31 feet,

N 48° 59' 02" W 700.00 feet,

S 89° 00' 58" W 110.00 feet,

N 44° 00' 58" W 320.00 feet,

thence N 00° 59' 02" W 990.05 feet along the west line of said Section 7 and the center line of Dixboro Road to the POINT OF BEGINNING, being a part of the N 1/2 of said Section 7, T2S, R7E, Superior Township, Washtenaw County, Michigan, containing 76.97 acre of land more or less, subject to the rights of the public over the west 33.00 feet thereof as occupied by Dixboro Road, subject to easements or restrictions of record, if any.



MEMORANDUM

RE: Garrett's Space, 3900 Dixboro Road – Project Narrative
DATE: May 7, 2024

Garrett's Space is requesting the necessary approvals and permits to allow for a Planned Community at 3900 Dixboro Road. The goal of Garrett's Space is to create a holistically focused residential center in the community for young adults struggling with depression and anxiety (referenced in this Memo as "guests"). The facility will have primarily a non-medical and non-institutional focus, and will offer support for families; support groups for guests with peers; other support and experiential activities for guests, such as fitness, mindfulness, yoga, cooking, dance, art, music, journaling, gardening, massage and poetry; social gatherings and activities; telehealth access to existing therapists; and possible individual and/or group therapy. Outdoor amenities will include active and passive recreation areas, a gathering area with fire pit, gardens and therapeutic animals, and walking trails.

The existing site is comprised of seven parcels that total 76.97 acres, and the parcels will be combined into one parcel at the conclusion of the site plan process for this project. The Area Plan and rezoning to PC: Planned Community for all seven parcels were approved by the Superior Township Board of Trustees on August 21, 2023, and the Preliminary Site Plan was approved by the Superior Township Planning Commission on January 24, 2024. The site currently includes a private residence with garage and an existing shed. All existing structures are to remain. The house and garage will be renovated as needed to accommodate administrative offices, family support, support groups with peers, and activities for guests, such as art, journaling, poetry, mindfulness, cooking, movement, and social gatherings and activities. Proposed improvements for this phase include construction of a new 10,078 SF residential center and 2,119 SF creativity studio, as well as areas for recreation, gardening, and other outdoor activities. New parking areas, storm water management system, septic fields, well, and landscaping improvements are also proposed. The great majority of the site, including the area surrounding the relatively small area described above on which improvements will be located, will be preserved as natural features/open space areas.

One new well will be added to provide water to the proposed buildings, and the existing well will continue to be utilized to provide water to the existing building. The existing septic field will be expanded to service the existing building as well as the proposed buildings. Access to the site will be provided via the existing curb cut on Dixboro Road, which will be upgraded to include acceleration/deceleration tapers as required by the Washtenaw County Road Commission.

A phased approach is planned for development of the overall facility. Phase one will include use of the existing house for administrative offices and day programming. No overnight guests will stay at the house as part of the initial phase. Phase two will include construction of the residential center and creativity studio with the associated drives, parking areas, and utility and landscaping improvements. Expanded day programming and opportunities for overnight guests will be offered as a part of this phase. Additional enrichment elements, including the barn for gardening and therapeutic animals, and outdoor recreation and gathering spaces, will be constructed in the final phase as funding allows. An approximate timeline for the proposed improvements is as follows: Use of the existing house will begin as soon as possible once the necessary approvals and modifications have been completed, approximately Summer 2024. Construction of the residential center, creativity studio, and related improvements will begin in Summer 2024 and take approximately a year and a half to complete. The facility will operate for approximately one year with day programming only before transitioning to the full residential program.

At full build-out, the facility will be able to accommodate 30 guests, 15-20 of whom will stay as residents for 2 to 4-week periods, with the remaining participating in day programming and support services. The facility is expected to employ 18 people, including 2 overnight employees.



MEMORANDUM

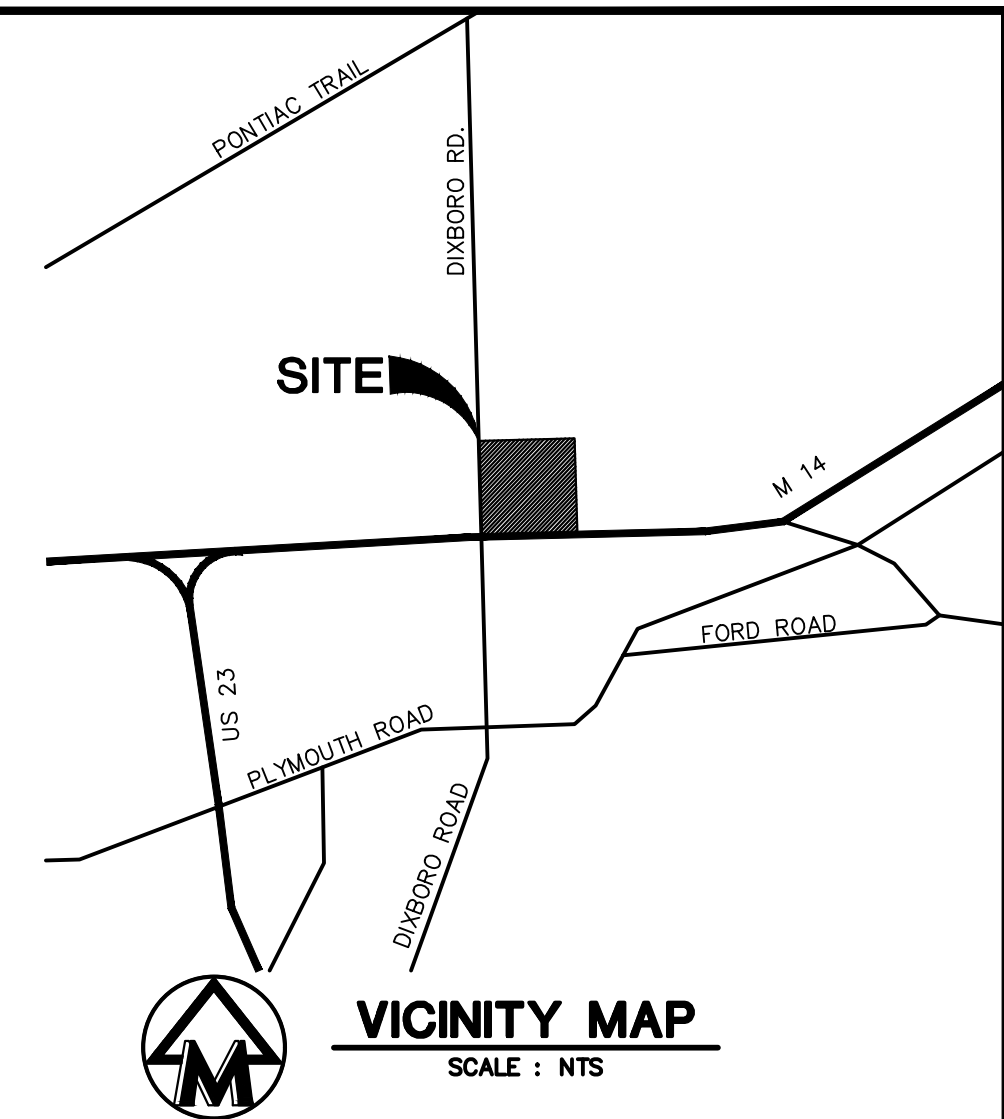
RE: Garrett's Space, 3900 Dixboro Road – Final Site Plan Sheet Index
DATE: May 7, 2024

<u>SHEET NUMBER</u>	<u>SHEET NAME</u>
01	Cover Sheet
02	Overall Existing Conditions Plan
03	Enlarged Existing Conditions Plan
04	Enlarged Existing Conditions Plan and Tree List
05	Legal Descriptions
06	Natural Features Plan
07	Overall Removals Plan
08	Enlarged Removals Plan
09	Dimensional Layout Plan
10	Enlarged Layout Plan
11	Proposed Conservation Easement Plan
12	Entrance Plan
13	Entrance Grading and Details
14	Overall Grading and Soil Erosion Plan
15	Enlarged Grading Plan
16	Overall Utility Plan
17	Sanitary Sewer Plan, Details & Calculations
18	Overall Storm Water Management Plan
19	Enlarged Storm Water Management Plan
20	Storm Water Details & Calculations
21	Storm Water Management Calculations
22	Site Details
23	Site Details
24	Photometric Plan
25	Fire Protection Plan
26	Test Pit Logs
L.103A	Planting Plan Overall Site Plan
L.103B	Planting Plan Close Up
L.500	Landscape Details
L.501	Landscape Details
L.502	Landscape Details Planting
G1.02	Gross Building Area
A2.01	Overall Elevations – Residential Building
A2.02	Overall Elevations – Residential Building
A2.03	Overall Elevations – Creativity Studio

GARRETT'S SPACE

SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MI

FINAL SITE PLAN



SITE MAP
SCALE : NTS

SHEET INDEX

#	SHEET TITLE
01	COVER SHEET
02	OVERALL EXISTING CONDITIONS PLAN
03	ENLARGED EXISTING CONDITIONS PLAN
04	ENLARGED EXISTING CONDITIONS PLAN AND TREE LIST
05	LEGAL DESCRIPTIONS
06	NATURAL FEATURES PLAN
07	OVERALL REMOVALS PLAN
08	ENLARGED REMOVALS PLAN
09	DIMENSIONAL LAYOUT PLAN
10	ENLARGED LAYOUT PLAN
11	PROPOSED CONSERVATION EASEMENT PLAN
12	ENTRANCE PLAN
13	ENTRANCE GRADING AND DETAILS
14	OVERALL GRADING AND SOIL EROSION PLAN
15	ENLARGED GRADING PLAN
16	OVERALL UTILITY PLAN
17	SANITARY SEWER PLAN, DETAILS & CALCULATIONS
18	OVERALL STORM WATER MANAGEMENT PLAN
19	ENLARGED STORM WATER MANAGEMENT PLAN
20	STORM WATER DETAILS & CALCULATIONS
21	STORM WATER MANAGEMENT CALCULATIONS
21A	STORM SEWER PLAN AND PROFILES
21B	STORM SEWER PLAN AND PROFILES 2
22	SITE DETAILS
23	SITE DETAILS
24	PHOTOMETRIC PLAN
25	FIRE PROTECTION PLAN
26	TEST PIT LOGS
L.103A	PLANTING PLAN OVERALL SITE PLAN
L.103B	PLANTING PLAN CLOSE UP
L.500	LANDSCAPE DETAILS
L.501	LANDSCAPE DETAILS
L.502	LANDSCAPE DETAILS PLANTING
G1.02	GROSS BUILDING AREA
A2.01	OVERALL ELEVATIONS-RESIDENTIAL BUILDING
A2.02	OVERALL ELEVATIONS-RESIDENTIAL BUILDING
A2.03	OVERALL ELEVATIONS-CREATIVITY STUDIO

OWNER/APPLICANT

GARRETT'S SPACE
1400 GRANGER AVENUE
ANN ARBOR, MI 48104
CONTACT: SCOTT HALPERT
734-709-7684

ENGINEER/SURVEYOR

MIDWESTERN CONSULTING, LLC
3815 PLAZA DRIVE
ANN ARBOR, MI 48108
CONTACT: TOM COVERT
734-995-0200

ARCHITECT/LANDSCAPE ARCHITECT

MASS DESIGN GROUP
1 CHANDLER STREET
BOSTON, MA 02116
CONTACT: ALAN RICKS
857-233-5788

SITE DATA

	Allowed / Required PC: Planned Community		Proposed PC: Planned Community	
Zoning	Residential Support Center, Administrative Office, Creativity Studio		Residential Support Center, Administrative Office, Creativity Studio	
Permitted Land Use	Rural Residential		Rural Residential	
Master Plan - Future Land Use	Rural Residential		Rural Residential	
Site Area (Gross)	NA	sf min	3,352,636	sf
	NA	ac min	76.97	ac
Site Area (Net)	NA	sf min	3,319,394	sf
	NA	ac min	76.20	ac
Lot Width	NA	ft min	990	ft
Building				
Floor Area	NA	sf	19,277	sf total
Existing House			5,169	sf
Existing Garage			928	sf
Existing Shed			960	sf
Proposed Residential Center			10,101	sf
Proposed Creativity Studio			2,119	sf
Ground Floor Area	NA	sf	14,385	sf total
Existing House			3,854	sf
Existing Garage			928	sf
Existing Shed			960	sf
Proposed Residential Center			6,724	sf
Proposed Creativity Studio			2,119	sf
Floor Area Ratio (FAR)	35	% max	0.58	%
Ground Floor Coverage (GFC)	25	% max	0.44	%
Building Height	2.5	stories max	2.5	stories
	35	ft max	28	ft
Guests	NA	people	10	people (daytime)
			20	people (overnight)
Employees	NA	people	18	people total
			2	people (overnight)
Setbacks (per Approved Zoning and Land Use Agreement)				
Front	200	ft min (west)	669	ft (west)
Perimeter (Side / Rear)	200	ft min (north)	372	ft (north)
	200	ft min (east)	517	ft (east)
	200	ft min (southwest)	541	ft (southwest)
	50	ft min (south)	805	ft (south)
Open Space				
	NA	sf	3,236,831	sf
			99	%
Conservation Area			47-58	ac
Vehicular Parking				
Parking Space Dimensions	Width: 9 ft min; Length: 20 ft min		Width: 9 ft; Length: 20 ft	
Aisle Width	20	ft min	20	ft
Parking	37	spaces min	39	spaces
	48	spaces max		
	1 space per resident sleeping room plus 1 space per employee			
Similar Use: Managed Residential Facility	17 BR + 20 employees = 37 spaces			
Similar Use: Dormitory Living Units	1 space per 2 dwelling units or 4 beds 22 beds / 4 = 6 spaces			

PERMIT REQUIRED	STATUS
SUPERIOR TWP FINAL SITE PLAN	UNDER REVIEW
WCHEHD SEPTIC/DRAINFIELD PERMIT	APPROVED, PERMIT READY
WCHEHD WELL PERMIT	APPROVED, PERMIT READY
WCRC RIGHT-OF-WAY PERMIT	APPROVED, PERMIT READY
WCRC STORM WATER APPROVAL	APPROVED
WCRC SESC PERMIT	UNDER REVIEW
EGLW WETLAND IMPACT PERMIT	UNDER REVIEW

PROJECT NARRATIVE

GARRETT'S SPACE IS REQUESTING THE NECESSARY APPROVALS AND PERMITS TO ALLOW FOR A PLANNED COMMUNITY AT 3900 DIXBORO ROAD. THE GOAL OF GARRETT'S SPACE IS TO CREATE A HOLISTICALLY FOCUSED RESIDENTIAL CENTER IN THE COMMUNITY FOR YOUNG ADULTS STRUGGLING WITH DEPRESSION AND ANXIETY (REFERENCED IN THIS PLAN SET AS "GUESTS"). THE FACILITY WILL HAVE PRIMARILY A NON-MEDICAL AND NON-INSTITUTIONAL FOCUS, AND WILL OFFER SUPPORT FOR FAMILIES, SUPPORT GROUPS FOR GUESTS WITH PEERS, OTHER SUPPORT AND EXPERIENTIAL ACTIVITIES FOR GUESTS, SUCH AS FITNESS, MINDFULNESS, YOGA, COOKING, DANCE, ART, MUSIC, JOURNALING, GARDENING, MASSAGE AND POETRY; SOCIAL GATHERINGS AND ACTIVITIES; TELEHEALTH ACCESS TO EXISTING THERAPISTS; AND POSSIBLE INDIVIDUAL AND/OR GROUP THERAPY. OUTDOOR AMENITIES WILL INCLUDE ACTIVE AND PASSIVE RECREATION AREAS, A GATHERING AREA WITH FIRE PIT, GARDENS AND THERAPEUTIC ANIMALS, AND WALKING TRAILS.

THE EXISTING SITE IS COMPRISED OF SEVEN PARCELS THAT TOTAL 76.97 ACRES, AND THE PARCELS WILL BE COMBINED INTO ONE PARCEL AT THE CONCLUSION OF THE SITE PLAN PROCESS FOR THIS PROJECT. THE AREA PLAN AND REZONING TO PC: PLANNED COMMUNITY FOR ALL SEVEN PARCELS WERE APPROVED BY THE SUPERIOR TOWNSHIP BOARD OF TRUSTEES ON AUGUST 21, 2023, AND THE PRELIMINARY SITE PLAN WAS APPROVED BY THE SUPERIOR TOWNSHIP PLANNING COMMISSION ON JANUARY 24, 2024. THE SITE CURRENTLY INCLUDES A PRIVATE RESIDENCE WITH GARAGE AND AN EXISTING SHED. ALL EXISTING STRUCTURES ARE TO REMAIN. THE HOUSE AND GARAGE WILL BE RENOVATED AS NEEDED TO ACCOMMODATE ADMINISTRATIVE OFFICES, FAMILY SUPPORT, SUPPORT GROUPS WITH PEERS, AND ACTIVITIES FOR GUESTS, SUCH AS ART, JOURNALING, POETRY, MINDFULNESS, COOKING, MOVEMENT, AND SOCIAL GATHERINGS AND ACTIVITIES. PROPOSED IMPROVEMENTS FOR THIS PHASE INCLUDE CONSTRUCTION OF A NEW 10,078 SF RESIDENTIAL CENTER AND 2,119 SF CREATIVITY STUDIO, AS WELL AS AREAS FOR RECREATION, GARDENING, AND OTHER OUTDOOR ACTIVITIES. NEW PARKING AREAS, STORM WATER MANAGEMENT SYSTEM, SEPTIC FIELDS, WELL, AND LANDSCAPING IMPROVEMENTS ARE ALSO PROPOSED. THE GREAT MAJORITY OF THE SITE, INCLUDING THE AREA SURROUNDING THE RELATIVELY SMALL AREA DESCRIBED ABOVE ON WHICH IMPROVEMENTS WILL BE LOCATED, WILL BE PRESERVED AS NATURAL FEATURES/OPEN SPACE AREAS.

ONE NEW WELL WILL BE ADDED TO PROVIDE WATER TO THE EXISTING BUILDING AND THE PROPOSED BUILDINGS, AND THE EXISTING WELL WILL BE UTILIZED FOR FIRE SUPPRESSION. THE EXISTING SEPTIC FIELD WILL BE EXPANDED TO SERVICE THE EXISTING BUILDING AS WELL AS THE PROPOSED BUILDINGS. ACCESS TO THE SITE WILL BE PROVIDED VIA THE EXISTING CURB CUT ON DIXBORO ROAD, WHICH WILL BE UPGRADED TO INCLUDE ACCELERATION/DECELERATION TAPERS AS REQUIRED BY THE WASHTENAW COUNTY ROAD COMMISSION.

A PHASED APPROACH IS PLANNED FOR DEVELOPMENT OF THE OVERALL FACILITY. PHASE ONE WILL INCLUDE USE OF THE EXISTING HOUSE FOR ADMINISTRATIVE OFFICES AND DAY PROGRAMMING. NO OVERNIGHT GUESTS WILL STAY AT THE HOUSE AS PART OF THE INITIAL PHASE. PHASE TWO WILL INCLUDE CONSTRUCTION OF THE RESIDENTIAL CENTER AND CREATIVITY STUDIO WITH THE ASSOCIATED DRIVES, PARKING AREAS, AND UTILITY AND LANDSCAPING IMPROVEMENTS. EXPANDED DAY PROGRAMMING AND OPPORTUNITIES FOR OVERNIGHT GUESTS WILL BE OFFERED AS A PART OF THIS PHASE. ADDITIONAL ENRICHMENT ELEMENTS, INCLUDING THE BARN FOR GARDENING AND THERAPEUTIC ANIMALS, AND OUTDOOR RECREATION AND GATHERING SPACES, WILL BE CONSTRUCTED IN THE FINAL PHASE AS FUNDING ALLOWS. AN APPROXIMATE TIMELINE FOR THE PROPOSED IMPROVEMENTS IS AS FOLLOWS: USE OF THE EXISTING HOUSE WILL BEGIN AS SOON AS POSSIBLE ONCE THE NECESSARY APPROVALS AND MODIFICATIONS HAVE BEEN COMPLETED, APPROXIMATELY SUMMER 2024. CONSTRUCTION OF THE RESIDENTIAL CENTER, CREATIVITY STUDIO, AND RELATED IMPROVEMENTS WILL BEGIN IN SUMMER 2024 AND TAKE APPROXIMATELY A YEAR AND A HALF TO COMPLETE. THE FACILITY WILL OPERATE FOR APPROXIMATELY ONE YEAR WITH DAY PROGRAMMING ONLY BEFORE TRANSITIONING TO THE FULL RESIDENTIAL PROGRAM.

AT FULL BUILD-OUT, THE FACILITY WILL BE ABLE TO ACCOMMODATE 30 GUESTS, 15-20 OF WHOM WILL STAY AS RESIDENTS FOR 2 TO 4-WEEK PERIODS, WITH THE REMAINING PARTICIPATING IN DAY PROGRAMMING AND SUPPORT SERVICES. THE FACILITY IS EXPECTED TO EMPLOY 18 PEOPLE, INCLUDING 2 OVERNIGHT EMPLOYEES.

GARRETT'S SPACE

JOB No. 22265

DATE: 05/07/24

SHEET 01 OF 35

REVISIONS:

REV.	DATE	DESCRIPTION
PER WCWRC REVIEW	08/01/24	CADD: CAR
PER MUNICIPAL REVIEW	08/15/24	ENG: HTH
PER MUNICIPAL REVIEW	08/30/24	PM: CMB

01

MIDWESTERN CONSULTING

3815 Plaza Drive Ann Arbor, Michigan 48108
(734) 995-0200 • www.midwesternconsulting.com
Land Development • Land Survey • Institutional • Municipal
Wireless Communications • Transportation • Landfill Services

RELEASED FOR	DATE
FINAL SITE PLAN SUBMITTAL	05/07/2024

HEATH HARTT
ENGINEER
No. 56247
STATE OF MICHIGAN
LICENSED PROFESSIONAL ENGINEER

P.E. #56247

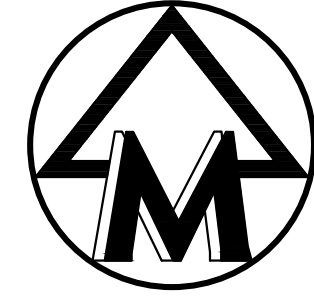
M:\Civ\134_P\134_P\134_P\134_P\Final Site Plan\22265\Final Site Plan\22265.dwg, 8/30/2024 9:41 AM, Cheryl A. Richter, COVER SHEET, MCLC PDF.ppt3
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TREE LIST

Table with columns: TAG#, DBH, COMMON NAME, GENUS/SPECIES, STEMS, SCORE, LM, INV, REM. Contains tree inventory data for the first section of the site.

Table with columns: TAG#, DBH, COMMON NAME, GENUS/SPECIES, STEMS, SCORE, LM, INV, REM. Contains tree inventory data for the second section of the site.

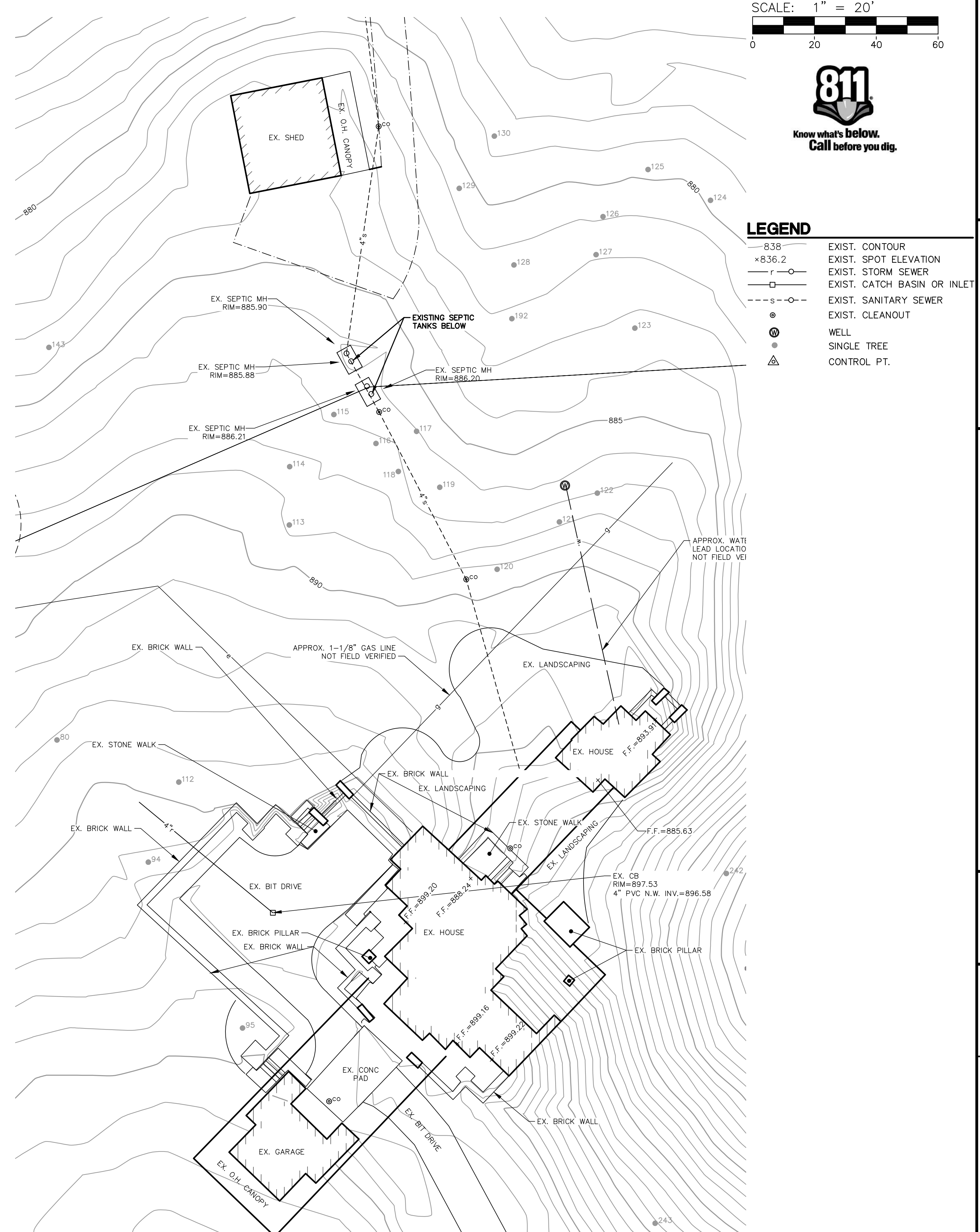
Table with columns: TAG#, DBH, COMMON NAME, GENUS/SPECIES, STEMS, SCORE, LM, INV, REM. Contains tree inventory data for the third section of the site.



SCALE: 1" = 20'



LEGEND: 838 EXIST. CONTOUR, x836.2 EXIST. SPOT ELEVATION, etc.



MIDWESTERN CONSULTING
3845 Plaza Drive Ann Arbor, Michigan 48108
(734) 995-0200



CLIENT: GARRETT'S SPACE
1400 GRANGER AVENUE
ANN ARBOR, MI 48104

GARRETT'S SPACE
FINAL SITE PLAN
ENLARGED EXISTING CONDITIONS PLAN AND TREE LIST

04

Table with columns: DATE, SHEET, REV. DATE, REV. BY, etc. Contains revision and project information.

Vertical text on the left edge of the page.

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned.

LEGAL DESCRIPTION

(PER AMERICAN TITLE COMPANY OF WASHTENAW, COMMITMENT NO. 115015,
COMMITMENT DATE: 06/22/2022)

PARCEL I:
Commencing at the North 1/4 corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence North 88°09'28" East 481.15 feet along the centerline of Warren Road; thence South 01°59'49" East 652.00 feet; thence South 02°49'01" East 606.58 feet to the POINT OF BEGINNING; thence South 75°36'30" West 84.81 feet; thence North 63°37'02" West 44.72 feet; thence North 28°47'56" West 175.86 feet; thence North 88°24'25" West 142.52 feet; thence South 87°08'25" West 622.90 feet; thence South 66°56'16" West 141.74 feet; thence 170.86 feet along the arc of a curve to the left with a radius of 150.00 feet and a chord which bears South 08°09'09" West 161.77 feet; thence South 24°19'30" East 228.93 feet; thence South 79°37'36" East 1,432.71 feet; thence North 02°49'01" West 386.11 feet to the POINT OF BEGINNING.

Parcel I is together with and subject to a non-exclusive easement for ingress, egress and public utility purposes described as follows:
Commencing at the Northwest corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South 00°59'02" East 949.34 feet to the POINT OF BEGINNING; thence North 89°58'49" East 24.59 feet; thence 33.71 feet along the arc of a curve to the left with a radius of 167.00 feet and a chord which bears South 88°35'24" East 33.65 feet; thence North 78°25'36" East 51.94 feet; thence 155.05 feet along the arc of a curve to the right with a radius of 233.00 feet and a chord which bears South 82°30'33" East 152.21 feet; thence South 63°26'43" East 30.72 feet; thence 128.25 feet along the arc of curve to the right with a radius of 133.00 feet and a chord which bears South 35°49'14" East 123.34 feet; thence South 08°11'46" East 80.56 feet; thence 143.82 feet along the arc of a curve to the left with a radius of 117.00 feet and a chord which bears South 43°24'35" East 134.93 feet; thence South 78°37'25" East 38.59 feet; thence 65.32 feet along the arc of a curve to the right with a radius of 183.00 feet and a chord which bears South 68°23'53" East 64.97 feet; thence South 58°10'21" East 95.89 feet; thence 155.18 feet along the arc of a curve to the left with a radius of 117.00 feet and a chord which bears North 83°49'53" East 144.05 feet; thence North 45°50'07" East 45.53 feet; thence 40.95 feet along the arc of a curve to the right with a radius of 133.00 feet and a chord which bears North 54°39'18" East 40.78 feet; thence South 24°19'30" East 33.03 feet; thence South 79°37'36" East 70.33 feet; thence 36.88 feet along the arc of a curve to the right with a radius of 121.00 feet and a chord which bears South 73°43'20" West 36.74 feet; thence 39.71 feet along the arc of a curve to the left with a radius of 67.00 feet and a chord which bears South 62°48'52" West 39.13 feet; thence South 45°50'07" West 45.53 feet; thence 242.72 feet along the arc of a curve to the right with a radius of 183.00 feet and a chord which bears South 83°49'53" West 225.31 feet; thence North 58°10'21" West 95.89 feet; thence 41.76 feet along the arc of a curve to the left with a radius if 117.00 feet and a chord which bears North 68°23'53" West 41.54 feet; thence North 78°37'25" West 38.59 feet; thence 224.94 feet along the arc of a curve to the right with a radius of 183.00 feet and a chord which bears North 43°24'35" West 211.05 feet; thence North 08°11'46" West 80.56 feet; thence 84.61 feet along the arc of a curve to the left with a radius of 67.00 feet and a chord which bears North 35°49'14" West 62.13 feet; thence North 63°26'43" West 30.72 feet; thence 111.13 feet along the arc of a curve to the left with a radius of 167.00 feet and a chord which bears North 82°30'33" West 109.09 feet; thence South 78°25'36" West 55.75 feet; thence 47.02 feet along the arc of a curve to the right with a radius of 233.00 feet and a chord which bears North 89°41'48" West 46.94 feet; thence South 89°58'49" West 19.67 feet; thence North 00°59'02" West 66.00 feet to the POINT OF BEGINNING.

PARCEL II:
Commencing at the Northwest corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South 00°59'02" East 449.29 feet; thence North 89°40'15" East 575.11 feet to the POINT OF BEGINNING; thence South 25°32'08" East 530.06 feet; thence North 66°56'16" East 141.74 feet; thence North 87°08'25" East 622.90 feet; thence North 09°20'43" West 230.33 feet; thence South 89°08'28" West 103.71 feet; thence North 22°14'32" West 220.57 feet; thence North 42°43'10" West 322.72 feet; thence North 89°02'44" West 96.09 feet; thence South 47°33'36" West 409.14 feet; thence South 89°40'15" West 139.49 feet to the POINT OF BEGINNING.

PARCEL III:
Commencing at the Northwest corners of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South 00°59'02" East 449.29 feet to the POINT OF BEGINNING; thence North 89°40'15" East 575.11 feet; thence South 25°32'08" East 530.06 feet; thence 170.86 feet along the arc of a curve to the left with a radius of 150.00 feet and a chord which bears South 08°09'09" West 161.77 feet; thence South 24°19'30" East 43.64 feet; thence North 85°20'39" West 342.12 feet; thence South 00°40'22" East 186.56 feet; thence 178.07 feet along the arc of a curve to the right with a radius of 150.00 feet and a chord which bears North 42°12'18" West 167.80 feet; thence North 08°11'46" West 80.56 feet; thence 96.43 feet along the arc of a curve to the left with a radius of 100.00 feet and a chord which bears North 35°49'14" West 92.74 feet; thence North 63°26'43" West 30.72 feet; thence 133.09 feet along the arc of a curve to the left with a radius of 200.00 feet and a chord which bears North 82°30'33" West 130.65 feet; thence South 78°25'36" West 53.92 feet; thence 41.87 feet along the arc of a curve to the right with a radius of 200.00 feet and a chord which bears North 89°14'28" West 41.80 feet; thence South 89°58'49" West 22.05 feet; thence North 00°59'02" West 533.66 feet to the POINT OF BEGINNING

PARCEL IV:
Commencing at the Northwest corners of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South 00°59'02" East 982.34 feet to the POINT OF BEGINNING; thence North 89°58'49" East 22.05 feet; thence 41.87 feet along the arc of a curve to the left with a radius of 200.00 feet and a chord which bears South 89°14'28" East 41.80 feet; thence North 78°25'36" East 53.92 feet; thence 133.09 feet along the arc of a curve to the right with a radius of 200.00 feet and a chord which bears South 82°30'33" East 130.65 feet; thence South 63°26'43" East 30.72 feet; thence 96.43 feet along the arc of a curve to the right with a radius of 100.00 feet and a chord which bears South 35°49'14" East 92.47 feet; thence South 08°11'46" East 80.56 feet; thence 178.07 feet along the arc of a curve to the left with a radius of 150.00 feet and a chord which bears South 42°12'18" East 167.80 feet; thence North 00°40'22" West 186.56 feet; thence South 85°20'39" East 342.12 feet; thence South 24°19'30" East 185.29 feet; thence 29.52 feet along the arc of a curve to the left with a radius of 100.00 feet and a chord which bears South 54°17'30" West 29.41 feet; thence South 45°50'07" West 45.53 feet; thence 45.44 feet along the arc of a curve to the right with a radius of 150.00 feet and a chord which bears South 54°30'48" West 45.27 feet; thence South 16°42'39" West 559.67 feet; thence North 48°59'02" West 360.35 feet; thence South 89°00'58" West 110.00 feet; thence North 44°00'48" West 319.99 feet; thence North 00°59'02" West 456.39 feet to the POINT OF BEGINNING.

PARCEL V:
Commencing at the Northwest corners of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South 00°59'02" East 1,438.73 feet to the POINT OF BEGINNING; thence South 44°00'58" East 319.99 feet; thence North 89°00'58" East 110.00 feet; thence South 48°59'02" East 360.35 feet to the POINT OF BEGINNING; thence North 16°42'39" East 559.67 feet; thence 45.44 feet along the arc of a curve to the left with a radius of 150.00 feet and a chord which bears North 54°30'48" East 45.27 feet; thence North 45°50'07" East 45.53 feet; thence 29.52 feet along the arc of a curve to the right with a radius 100.00 feet and a chord which bears North 54°17'30" East 29.41 feet; thence South 79°37'36" East 407.50 feet; thence South 04°56'00" West 876.71 feet; thence North 70°37'31" West 341.00 feet; thence North 48°59'02" West 339.65 feet to the POINT OF BEGINNING.

PARCEL VI:
Commencing at the North 1/4 corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence North 88°09'28" East 481.15 feet along the centerline of Warren Road; thence South 01°58'49" East 652.00 feet; thence South 02°49'01" East 1,710.09 feet; thence South 88°57'38" West 563.16 feet to the POINT OF BEGINNING; thence North 02°49'01" West 831.70 feet; thence North 79°37'36" West 448.29 feet; thence South 04°56'00" West 876.71 feet; thence North 70°37'31" East 137.31 feet; thence North 88°57'38" East 427.78 feet to the POINT OF BEGINNING.

PARCEL VII:
Commencing at the North 1/4 corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence North 88°09'28" East 481.15 feet along the centerline of Warren Road; thence South 01°59'49" East 652.00 feet; thence South 02°49'01" East 992.69 feet to the POINT OF BEGINNING; thence North 79°37'36" West 578.10 feet; thence South 02°49'01" East 831.70 feet; thence North 88°57'38" East 563.16 feet; thence North 02°49'01" West 717.40 feet to the POINT OF BEGINNING.

PARCEL VII described for tax purposes as:
Commencing at the Northwest corner of Section 7; thence South 00°59'02" East 1,438.73 feet; thence South 44°00'58" East 319.99 feet; thence North 89°00'58" East 110.00 feet; thence South 48°59'02" East 700.00 feet; thence South 70°37'31" East 478.31 feet; thence North 88°57'38" East 427.78 feet to the POINT OF BEGINNING; thence continuing North 88°57'38" East 563.16 feet; thence North 02°49'01" West 717.40 feet; thence North 79°37'36" West 578.10 feet; thence South 02°49'01" East 831.70 feet to the POINT OF BEGINNING. Part of the Northwest 1/4 of Section 7, Town 2 South, Range 7 East.

OVERALL LEGAL DESCRIPTION

Commencing at the N.W. corner of fractional Section 7, T2S, R7E, Superior Township, Washtenaw County, Michigan, thence S 00° 59' 02" E 448.68 feet along the west line of said Section 7 and the center line of Dixboro Road to the POINT OF BEGINNING,
thence N 89° 40' 15" E 714.60 feet,
thence N 47° 33' 36" E 409.14 feet,
thence S 89° 02' 44" E 96.09 feet,
thence S 42° 43' 10" E 322.72 feet,
thence S 22° 14' 32" E 220.57 feet,
thence N 89° 08' 28" E 103.71 feet,
thence S 9° 20' 43" E 230.33 feet,
thence N 88° 24' 25" E 142.52 feet,
thence S 28° 47' 56" E 175.86 feet,
thence S 63° 37' 02" E 446.72 feet,
thence N 75° 36' 30" E 84.41 feet,
thence S 2° 49' 01" E 1103.51 feet,
thence along the northerly right of way line of M-14 expressway in the following five (5) courses:
S 88° 57' 38" W 990.94 feet,
N 70° 37' 31" W 478.31 feet,
N 48° 57' 02" W 700.00 feet,
S 89° 00' 58" W 110.00 feet,
N 44° 00' 58" W 320.00 feet,
thence N 00° 59' 02" W 990.05 feet along the west line of said Section 7 and the center line of Dixboro Road to the POINT OF BEGINNING, being a part of the N 1/2 if said Section 7, T2S, R7E, Superior Township, Washtenaw County, Michigan, containing 76.97 acre of land more or less, subject to the rights of the public over the west 33.00 feet thereof as occupied by Dixboro Road, subject to easements or restrictions of record, if any.

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.



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ANN ARBOR, MI 48104
SCOTT HALPERT
734-709-7684

GARRETT'S SPACE
FINAL SITE PLAN
LEGAL DESCRIPTIONS

05

DATE: 05/07/24	SHEET 05 OF 35
REV. DATE: 05/07/24	CADD: CAR
REV. DATE: 05/07/24	ENG: HTH
REV. DATE: 05/07/24	PM: CMB
REV. DATE: 05/07/24	TECH: RML
REV. DATE: 05/07/24	DESIGN: dwg
REV. DATE: 05/07/24	FILE:

JOB No. **22265**

M:\CIVIL\134_P\01\22265\Final Site Plan\22265.nat. 9/13/2024 9:41 AM. Cheryl A. Richter.dwg. NATURAL FEATURES PLAN, MLLC PDF ps3
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Know what's below.
Call before you dig.

SCALE: 1" = 100'

NATURAL FEATURES SUMMARY

SECTION 14.05: NATURAL FEATURES PROTECTION

B. WATERCOURSES AND WETLANDS:

- FLEMING CREEK IS LOCATED ALONG THE NORTHERN AND EASTERN PROPERTY LINES OF THE SITE. NO IMPACTS TO FLEMING CREEK ARE ANTICIPATED AS PART OF THE PROPOSED SITE IMPROVEMENTS.
- A WETLAND DETERMINATION WAS COMPLETED BY MARK WETLANDS LLC ON JUNE 8 AND 9, 2023, WHICH IDENTIFIED SIX EXISTING WETLANDS ON THE SITE.
 - WETLAND A IS PRIMARILY AN EMERGENT AND FORESTED WETLAND LOCATED ALONG THE FLEMING CREEK. WETLAND A EXTENDS BEYOND THE SITE BOUNDARIES, WITH APPROXIMATELY 19.95 ACRES LOCATED ON-SITE. NO IMPACTS TO WETLAND A ARE ANTICIPATED AS PART OF THE PROPOSED SITE IMPROVEMENTS.
 - WETLAND B IS A SMALL DEPRESSION NEAR THE SOUTHEAST CORNER OF THE SITE THAT IS APPROXIMATELY 0.04 ACRES IN SIZE. NO IMPACTS TO WETLAND B ARE ANTICIPATED AS PART OF THE PROPOSED SITE IMPROVEMENTS.
 - WETLAND C IS AN EMERGENT WETLAND LOCATED IN THE NORTHWEST QUADRANT OF THE SITE AND IS APPROXIMATELY 0.45 ACRES IN SIZE. NO IMPACTS TO WETLAND C ARE ANTICIPATED AS PART OF THE PROPOSED SITE IMPROVEMENTS.
 - WETLAND D IS A FORESTED WETLAND LOCATED DIRECTLY SOUTHWEST OF THE EXISTING DRIVEWAY AND IS APPROXIMATELY 0.18 ACRES IN SIZE. WETLAND D HAS AN EXISTING 18-INCH CULVERT NEAR ITS WEST END THAT APPEARS TO OUTLET TO THE WEST SIDE OF DIXBORO ROAD. WETLAND D WILL BE PARTIALLY IMPACTED BY CONSTRUCTION OF THE DECELERATION LANE AND SHOULDER REQUIRED BY THE WASHTEENAW COUNTY ROAD COMMISSION (WCRC).
 - WETLAND E IS PRIMARILY AN EMERGENT AND FORESTED WETLAND LOCATED IN THE SOUTHWEST QUADRANT OF THE SITE, NEAR AN EXISTING POND. WETLAND E EXTENDS BEYOND THE SITE BOUNDARIES, WITH APPROXIMATELY 2.12 ACRES LOCATED ON-SITE. NO IMPACTS TO WETLAND E ARE ANTICIPATED AS PART OF THE PROPOSED SITE IMPROVEMENTS.
 - WETLAND F IS A SMALL DEPRESSION LOCATED DIRECTLY NORTHWEST OF THE EXISTING HOUSE AND IS APPROXIMATELY 0.02 ACRES IN SIZE. NO IMPACTS TO WETLAND F ARE ANTICIPATED AS PART OF THE PROPOSED SITE IMPROVEMENTS.
- A MINIMUM SETBACK OF 50 FEET WILL BE MAINTAINED FROM THE ORDINARY HIGH WATER MARK OF THE FLEMING CREEK.
- A MINIMUM SETBACK OF 25 FEET WILL BE MAINTAINED FROM THE BOUNDARY OF ANY WETLAND, SUBJECT TO THE FOLLOWING:
 - RETENTION BASINS AND SIMILAR STORM WATER MANAGEMENT FACILITIES MAY BE CONSTRUCTED WITHIN THE REQUIRED SETBACK.
 - TRAILS, PATHS, BOARDWALKS, AND SIMILAR PASSIVE RECREATIONAL IMPROVEMENTS MAY BE CONSTRUCTED WITHIN THE REQUIRED SETBACK.
 - ROADS, DRIVEWAYS, SIDEWALKS, AND SIMILAR IMPROVEMENTS MAY CROSS THE REQUIRED SETBACK FOR THE PURPOSE OF PROVIDING ACCESS TO THE PROPERTY. THE EXISTING DRIVEWAY IS LOCATED WITHIN THE REQUIRED 25-FOOT SETBACK OF WETLAND C. THE PROPOSED DRIVEWAY MATCHES THE LOCATION OF THE EXISTING DRIVEWAY, THUS THE SETBACK AROUND WETLAND C WILL CONTINUE TO BE IMPACTED BY THE DRIVEWAY. THE SETBACK AROUND WETLAND F WILL BE IMPACTED BY THE PROPOSED PARKING LOT.

C. SLOPES:

- BASED ON THE SOIL SURVEY OF WASHTEENAW COUNTY, THE GENERAL SOIL TYPES ON-SITE ARE BROOKSTON LOAM, CONOVER LOAM, CONOVER-BROOKSTON LOAMS, GILFORD SANDY LOAM, AND WAWASEE LOAM.
- AREAS OF STEEP SLOPES (25% OR GREATER) CAN BE FOUND ON THE SITE, PRIMARILY ALONG THE NORTH SIDE OF THE PARCEL, ADJACENT TO FLEMING CREEK, AND TO THE EAST OF THE EXISTING HOUSE.
- EXISTING SLOPES WITHIN THE PROPOSED DEVELOPMENT AREA GENERALLY RANGE FROM 10% TO 12%.
- EXISTING STEEP SLOPES WITHIN THE DIXBORO ROAD PUBLIC ROAD RIGHT-OF-WAY WILL BE IMPACTED BY CONSTRUCTION OF THE DECELERATION LANE AND DITCH REQUIRED BY THE WASHTEENAW COUNTY ROAD COMMISSION (WCRC).
- GRADING ACTIVITIES FOR THE PROPOSED SITE IMPROVEMENTS (BUILDINGS, ACCESS DRIVE, PARKING, DETENTION BASINS, SEPTIC/DRAINFIELD) WILL BE MINIMIZED TO REDUCE DISTURBANCE TO THE SITE, AND THE INTEGRITY AND PROFILE OF EXISTING STEEP SLOPES ON-SITE WILL BE MAINTAINED AS PART OF THE PROPOSED DEVELOPMENT.

D. FLOODPLAINS:

- THIS SITE IS LOCATED IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X) PER FEMA FLOOD INSURANCE RATE MAP PANELS 26161C0258 AND 26161C0259 DATED APRIL 3, 2012.
- NO IMPACTS TO THE 100-YEAR FLOODPLAIN OR FLOODWAY ARE ANTICIPATED AS PART OF THIS PROJECT.

E. GROUNDWATER RECHARGE AREAS:

- NO KNOWN CONTAMINATION AREAS EXIST ON-SITE.
- INFILTRATION TESTING WAS COMPLETED ON THE SITE IN ACCORDANCE WITH CURRENT WASHTEENAW COUNTY WATER RESOURCES COMMISSIONER (WCRC) STANDARDS AND REQUIREMENTS. IT WAS FOUND THAT EXISTING SOILS ON-SITE ARE PRIMARILY CLAY AND ARE NOT SUITABLE FOR INFILTRATION.
- TWO NEW DETENTION BASINS WILL BE PROVIDED AS PART OF THE PROPOSED SITE IMPROVEMENTS TO MANAGE AND TREAT THE ANTICIPATED STORM WATER RUN-OFF FROM THE PROPOSED DEVELOPMENT.
- NO NEGATIVE IMPACTS TO GROUNDWATER RECHARGE AREAS ARE ANTICIPATED AS A RESULT OF THE PROPOSED SITE IMPROVEMENTS.

F. WOODLANDS AND TREE PROTECTION:

- THE EXISTING SITE IS HEAVILY WOODED.
- A TREE SURVEY WAS COMPLETED BY MIDWESTERN CONSULTING, LLC IN OCTOBER 2022 TO LOCATE AND IDENTIFY ALL EXISTING TREES 8-INCH DBH AND LARGER. THE TREE SURVEY WAS LIMITED TO THE AREAS OF THE SITE THAT WILL BE IMPACTED BY THE PROPOSED IMPROVEMENTS.
- THE LIMITED TREE SURVEY IDENTIFIED 383 EXISTING TREES IN THE AREAS OF THE PROPOSED SITE IMPROVEMENTS, INCLUDING 28 LANDMARK TREES AND ONE SOVEREIGN TREE (66-INCH WHITE OAK).
- A VARIETY OF TREE SPECIES EXIST THROUGHOUT THE SITE, WITH THE DOMINANT SPECIES BEING WHITE PINE, BLACK CHERRY, SHAGBARK HICKORY, AND AMERICAN ELM.
- 77 EXISTING TREES, INCLUDING 4 LANDMARK TREES, WILL BE REMOVED AS PART OF THE PROPOSED PROJECT. ALL OTHER EXISTING TREES ON-SITE WILL REMAIN.
- EIGHT (8) OF THE TREES TO BE REMOVED ARE IDENTIFIED AS INVASIVE SPECIES (BLACK LOCUST, TREE-OF-HEAVEN, SIBERIAN ELM, WHITE MULBERRY), AND 6 ADDITIONAL TREES ARE DYING OR ARE BOX ELDER OR COTTONWOOD AND DO NOT REQUIRE REPLACEMENT.
- A TOTAL OF 166 REPLACEMENT TREES WILL BE REQUIRED TO MITIGATE FOR THE ANTICIPATED TREE REMOVALS. REPLACEMENT TREES WILL BE INCORPORATED INTO THE PROPOSED SITE LANDSCAPING.
- CONSTRUCTION FENCE INSTALLED AT THE LIMITS OF THE CRITICAL ROOT ZONES, OR OTHER SUITABLE TREE PROTECTION MEASURE, WILL BE UTILIZED TO PROTECT EXISTING TREES THROUGHOUT CONSTRUCTION.

LEGEND

	EXIST. CONTOUR
	SINGLE TREE
	LANDMARK TREE
	EXISTING SLOPES
	EXISTING SLOPES OVER 25%
	TREE SURVEY LIMITS
	CREEK CENTERLINE
	EXIST. WETLAND LIMITS
	EXIST. WETLAND BUFFER
	GRADING LIMITS

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

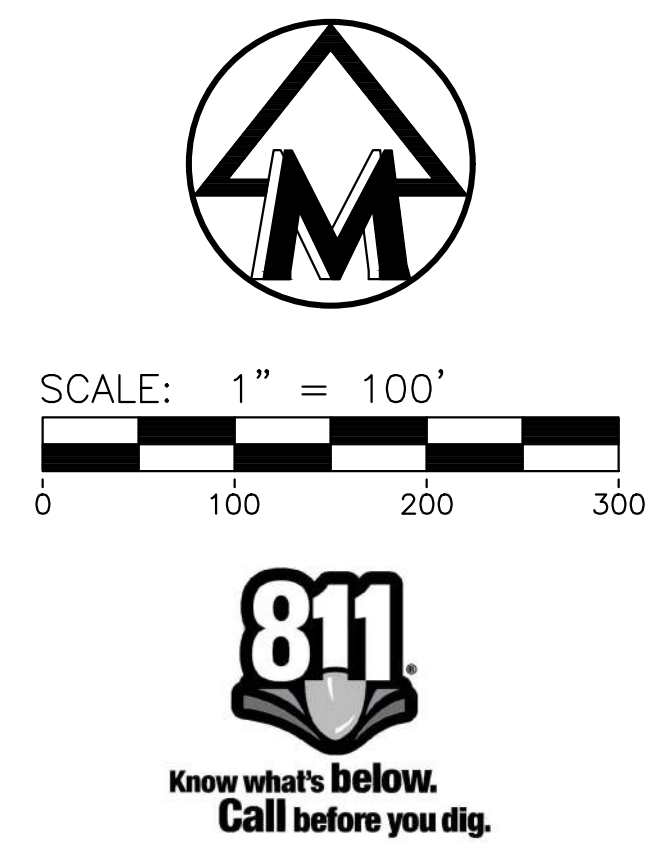
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GARRETT'S SPACE
FINAL SITE PLAN
NATURAL FEATURES PLAN

06

JOB No. 22265	DATE: 05/07/24	SHEET 06 OF 35
REVISIONS:	REV. DATE: 05/07/24	CADD: CAR
PER MUNICIPAL REVIEW	05/15/24	ENG: HTH
		PKG: CMB
		TECH: RML
		DATEPLOT: dwg
		YFB



LEGEND

838	EXIST. CONTOUR
x836.2	EXIST. SPOT ELEVATION
-o- U.P.	EXIST. UTILITY POLE
—	GUY WIRE
OH	EXIST. OVERHEAD UTILITY LINE
—	EXIST. STORM SEWER
—	EXIST. CATCH BASIN OR INLET CULVERT
—s—	EXIST. SANITARY SEWER
o	EXIST. CLEANOUT
o-catv	CABLE TELEVISION RISER
o	SINGLE TREE
o	WELL
[Cross-hatched box]	STRUCTURE TO BE REMOVED
[Diagonal hatched box]	BITUMINOUS TO BE REMOVED
[Solid black box]	LANDSCAPE TO BE REMOVED
[Dotted box]	WETLAND TO BE REMOVED
////	UTILITY TO BE REMOVED
xxxxxx	SITE FEATURE TO BE REMOVED
x	TREE TO BE REMOVED
(REM)	ITEM TO BE REMOVED

- NOTES**
- ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLISHING OR RELOCATING ANY SITE FEATURES ACCORDING TO PLAN OR AS APPROPRIATE TO FACILITATE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
 - ANY ITEM NOT INDICATED FOR REMOVAL SHALL REMAIN AND BE PROTECTED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION. ANY SUCH ITEM THAT IS REMOVED AND/OR DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE REQUIRED STANDARD AT THE CONTRACTOR'S EXPENSE.
 - ALL CONCRETE AND ASPHALT PAVEMENT TO BE REMOVED SHALL BE SAW CUT TO THE FULL DEPTH OF PAVEMENT. THE CONTRACTOR SHALL TAKE CARE TO MAINTAIN A CLEAN EDGE OF PAVEMENT.
 - PRIOR TO REMOVING, RELOCATING, OR PERFORMING ANY WORK ON A UTILITY, THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY OWNER.
 - REMOVAL OF EXISTING LANDSCAPING SHALL INCLUDE STUMPS.
 - ALL DEMOLISHED MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN LEGALLY DESIGNATED DISPOSAL AREA.
 - ALL WORK SHALL COMPLY WITH CURRENT SUPERIOR TOWNSHIP STANDARDS.

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

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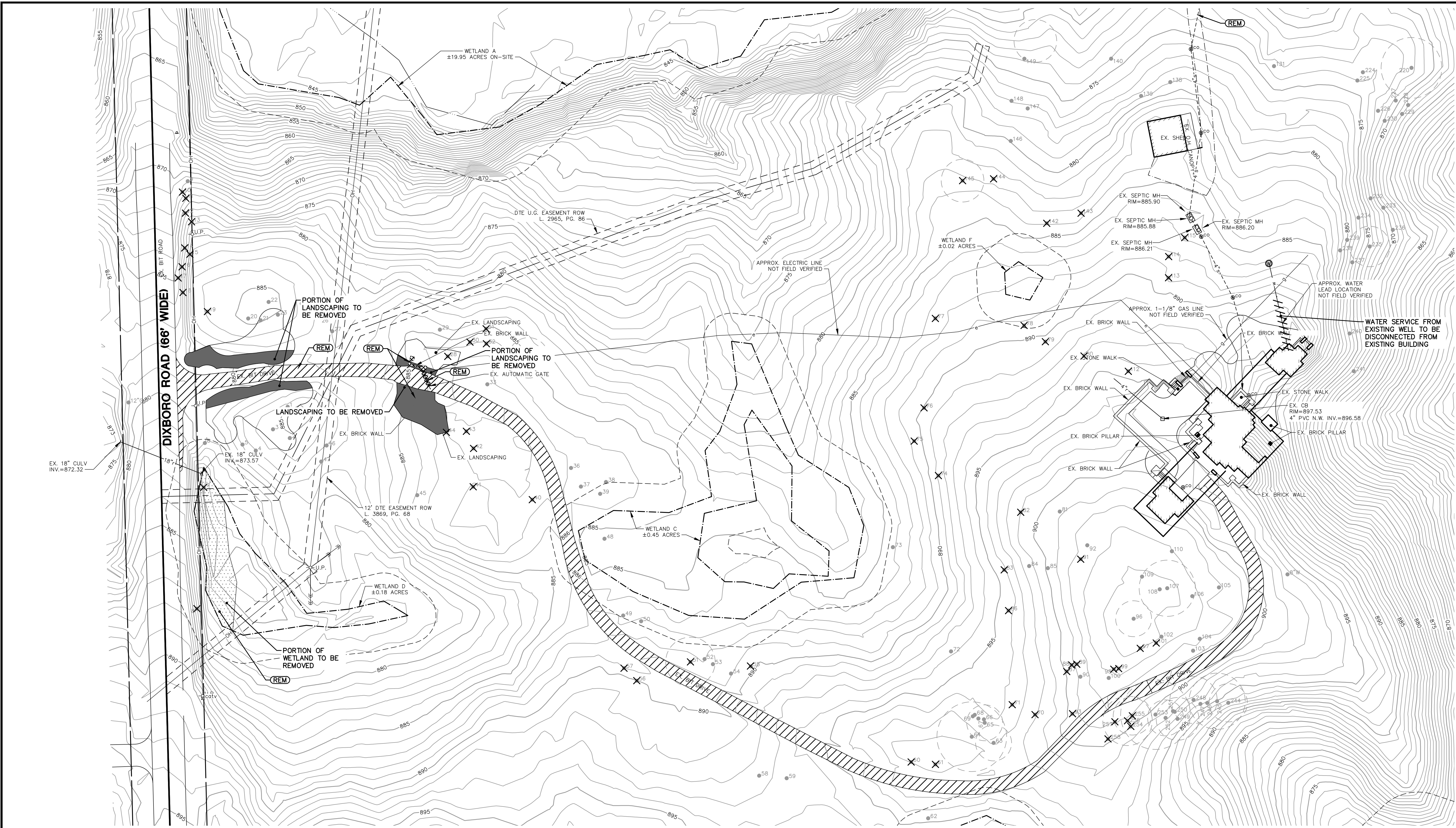
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GARRETT'S SPACE
 FINAL SITE PLAN
 OVERALL REMOVALS PLAN

07

JOB No.	22265
DATE	05/07/24
REV. DATE	05/07/24
PER MUNICIPAL REVIEW	05/15/24
PER WORK REVIEW	05/07/24
ENG. HTH	
INC. CHB	
TECH. RML	
PLT. TBS/SMV.dwg	
FIG.	

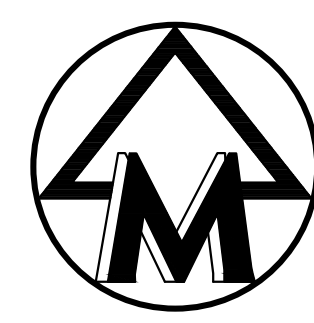
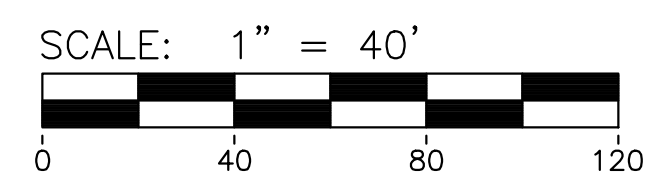
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LEGEND

8.38	EXIST. CONTOUR		STRUCTURE TO BE REMOVED
x836.2	EXIST. SPOT ELEVATION		BITUMINOUS TO BE REMOVED
U.P.	EXIST. UTILITY POLE		LANDSCAPE TO BE REMOVED
OH	EXIST. OVERHEAD UTILITY LINE		WETLAND TO BE REMOVED
r	EXIST. STORM SEWER		UTILITY TO BE ABANDONED
—	EXIST. CATCH BASIN OR INLET CULVERT		SITE FEATURE TO BE REMOVED
—	EXIST. SANITARY SEWER		TREE TO BE REMOVED
⊙	EXIST. CLEANOUT		ITEM TO BE REMOVED
⊙	SIGN		
⊙	CABLE TELEVISION RISER		
⊙	WELL		
⊙	SINGLE TREE		
⊙	CONTROL PT.		



JOB No. **22265**
 REVISIONS:
 PER WORK REVIEW
 PER MUNICIPAL REVIEW

DATE: 05/07/24
 SHEET 08 OF 35
 REV. DATE: 05/07/24
 CADD: CAR
 ENG: HTH
 PLOT: CMB
 TECH: RML
 DESIGNED: JWG
 PLOT:

08

GARRETT'S SPACE
 FINAL SITE PLAN
 ENLARGED REMOVALS PLAN

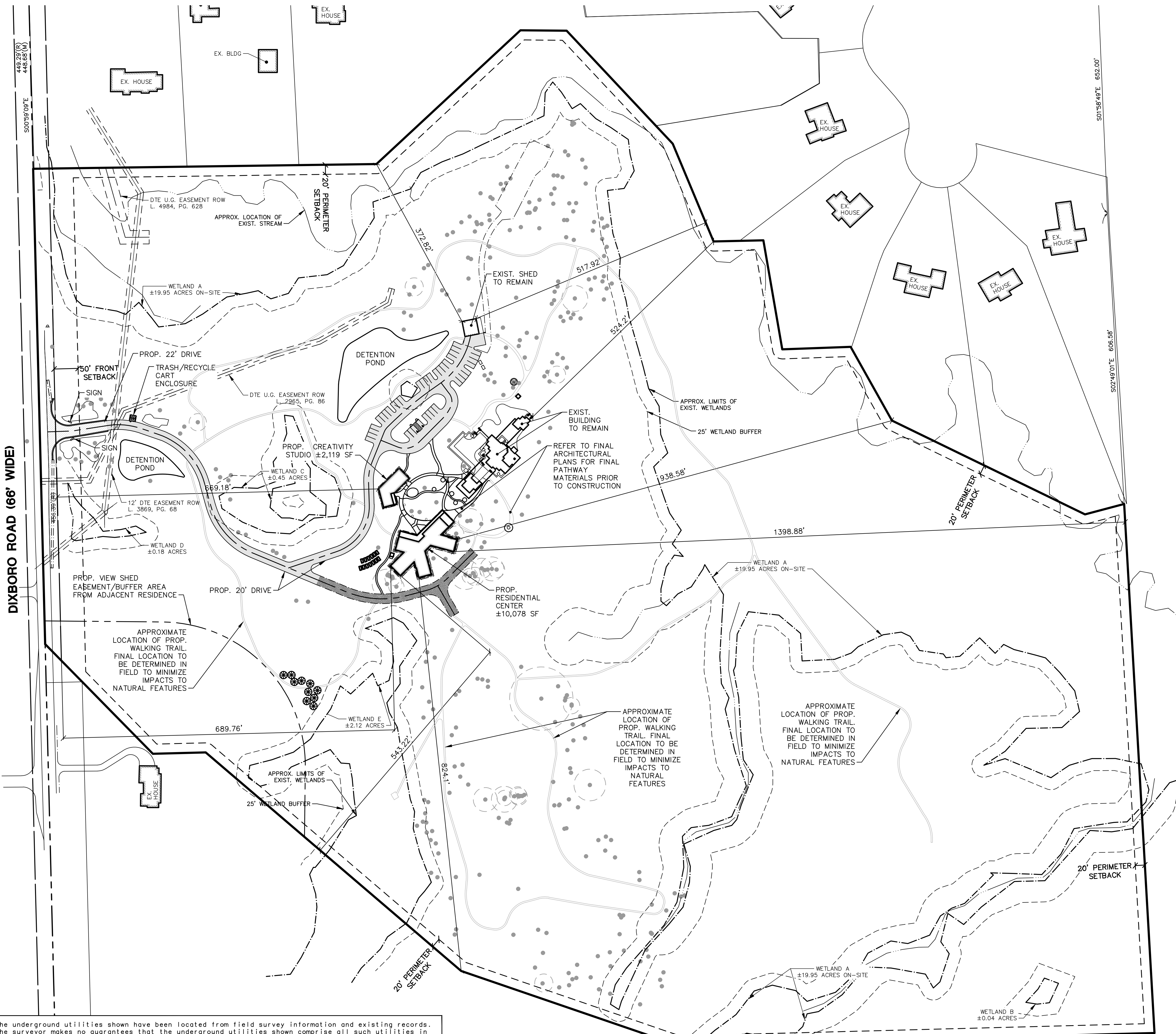
CLIENT
 GARRETT'S SPACE
 1400 GRANGER AVENUE
 ANN ARBOR, MI 48104
 SCOTT HALPERT
 734-709-7684



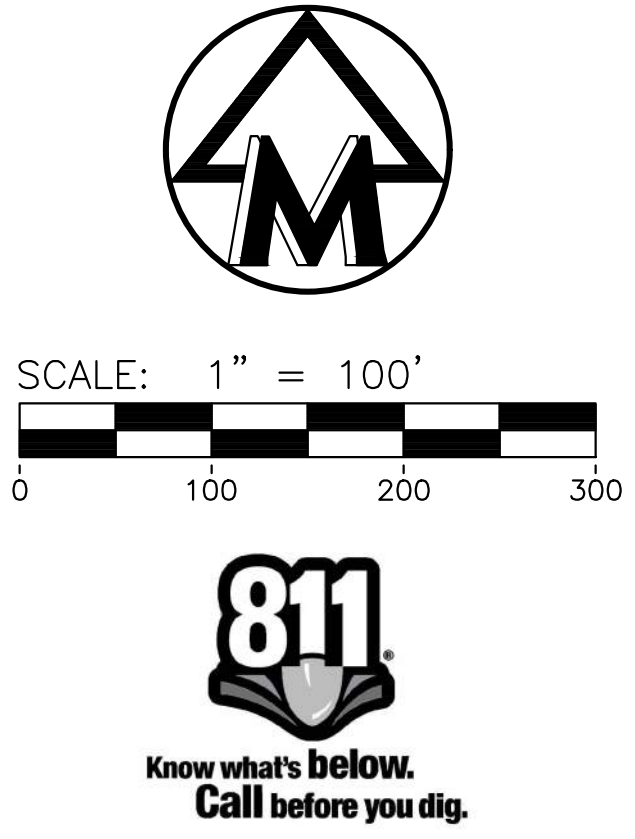
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M:\CIVIL\134_Proj\132265\Final Site Plan\2226591.dwg, 9/20/2024 9:41 AM, Cheryl A. Richter, DIMENSIONAL LAYOUT PLAN, MCLLC PDF, pg.3
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DIXBORO ROAD (66' WIDE)



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NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH CURRENT STANDARDS, SPECIFICATIONS, AND GENERAL CONDITIONS OF THE AUTHORITY HAVING JURISDICTION.
2. REFER TO THE ARCHITECTURAL PLANS FOR DETAILS REGARDING THE SCOPE OF WORK FOR THE BUILDING ELEVATIONS, INTERIORS, AND APPURTENANCES.
3. ALL DIMENSIONS ARE MEASURED TO THE PAINT LINE OR FACE OF CURB UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR ENGINEER PRIOR TO COMMENCING WORK SHOULD THERE BE ANY FIELD CONFLICTS WITH THE DESIGN INTENT.

LEGEND

	BARRIER FREE PARKING SIGN
	PROP. CURB & GUTTER
	PROP. 3.5" BITUMINOUS PAVEMENT
	PROP. 6" BITUMINOUS PAVEMENT
	PROP. GRAVEL
	SIGN
	PROP. SINGLE LIGHT
	PROP. WALKING TRAIL
	SETBACK LINE
	PROP. VIEW SHED EASEMENT/BUFFER AREA LIMITS
	PROP. EVERGREEN TREES
	PROP. HANDRAIL

JOB No. **22265**

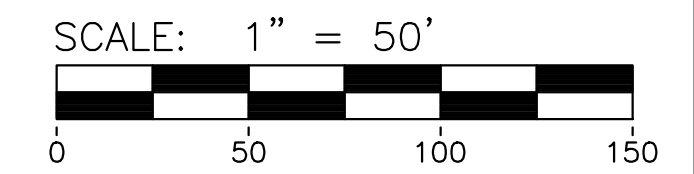
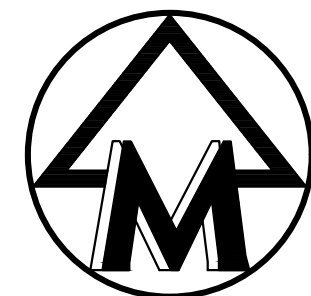
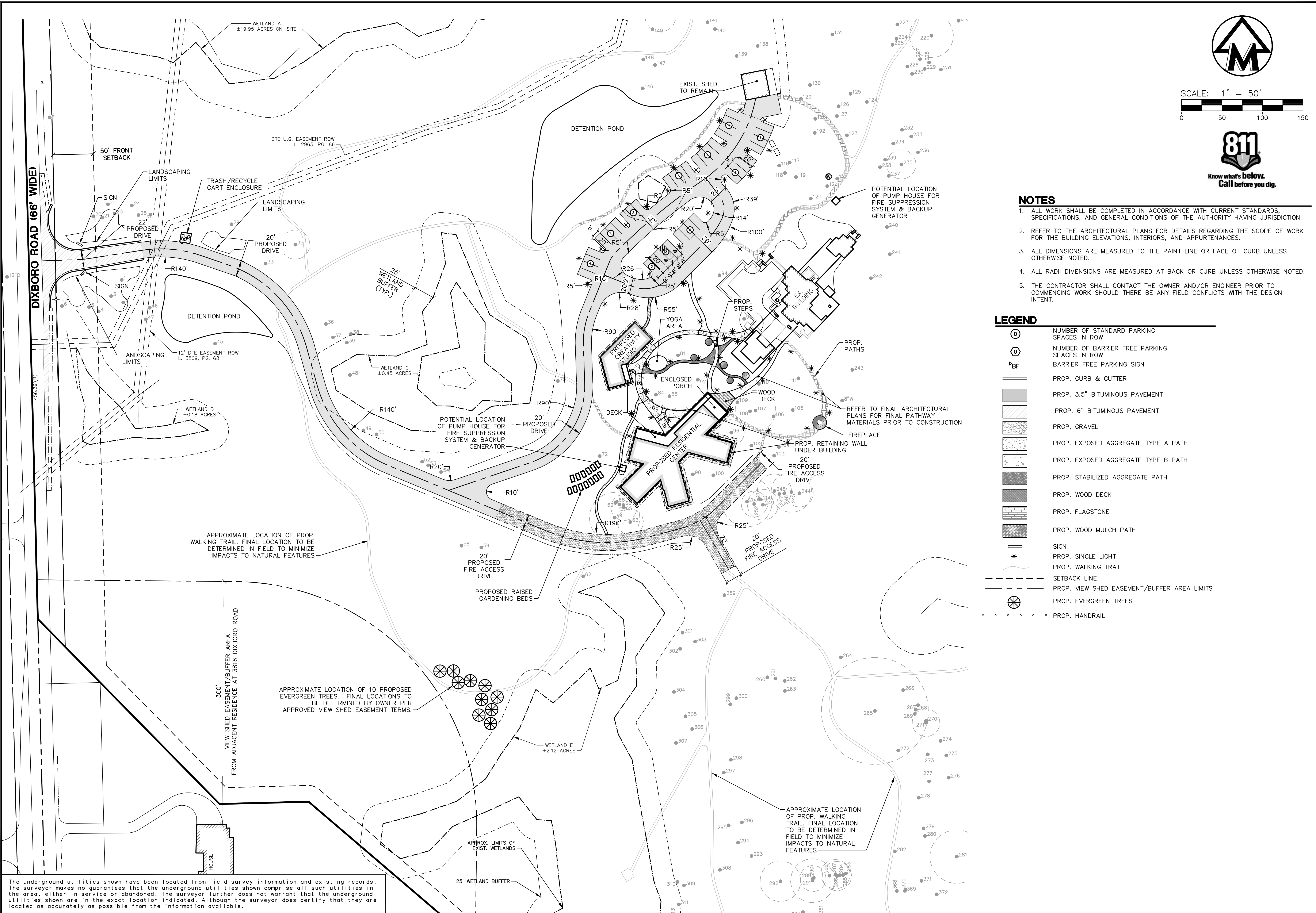
DATE: 05/07/24	SHEET 09 OF 35
REV. DATE: 05/07/24	CADD: CAR
PER WORK REVIEW: 05/07/24	ENG: HTH
PER MUNICIPAL REVIEW: 05/15/24	PM: CMB
	TECH: RML
	FILE: 22265SP.dwg
	FR

09

GARRETT'S SPACE
FINAL SITE PLAN
DIMENSIONAL LAYOUT PLAN

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NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH CURRENT STANDARDS, SPECIFICATIONS, AND GENERAL CONDITIONS OF THE AUTHORITY HAVING JURISDICTION.
2. REFER TO THE ARCHITECTURAL PLANS FOR DETAILS REGARDING THE SCOPE OF WORK FOR THE BUILDING ELEVATIONS, INTERIORS, AND APPURTENANCES.
3. ALL DIMENSIONS ARE MEASURED TO THE PAINT LINE OR FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL RADII DIMENSIONS ARE MEASURED AT BACK OR CURB UNLESS OTHERWISE NOTED.
5. THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR ENGINEER PRIOR TO COMMENCING WORK SHOULD THERE BE ANY FIELD CONFLICTS WITH THE DESIGN INTENT.

LEGEND

- NUMBER OF STANDARD PARKING SPACES IN ROW
- NUMBER OF BARRIER FREE PARKING SPACES IN ROW
- BARRIER FREE PARKING SIGN
- PROP. CURB & GUTTER
- PROP. 3.5" BITUMINOUS PAVEMENT
- PROP. 6" BITUMINOUS PAVEMENT
- PROP. GRAVEL
- PROP. EXPOSED AGGREGATE TYPE A PATH
- PROP. EXPOSED AGGREGATE TYPE B PATH
- PROP. STABILIZED AGGREGATE PATH
- PROP. WOOD DECK
- PROP. FLAGSTONE
- PROP. WOOD MULCH PATH
- SIGN
- PROP. SINGLE LIGHT
- PROP. WALKING TRAIL
- SETBACK LINE
- PROP. VIEW SHED EASEMENT/BUFFER AREA LIMITS
- PROP. EVERGREEN TREES
- PROP. HANDRAIL

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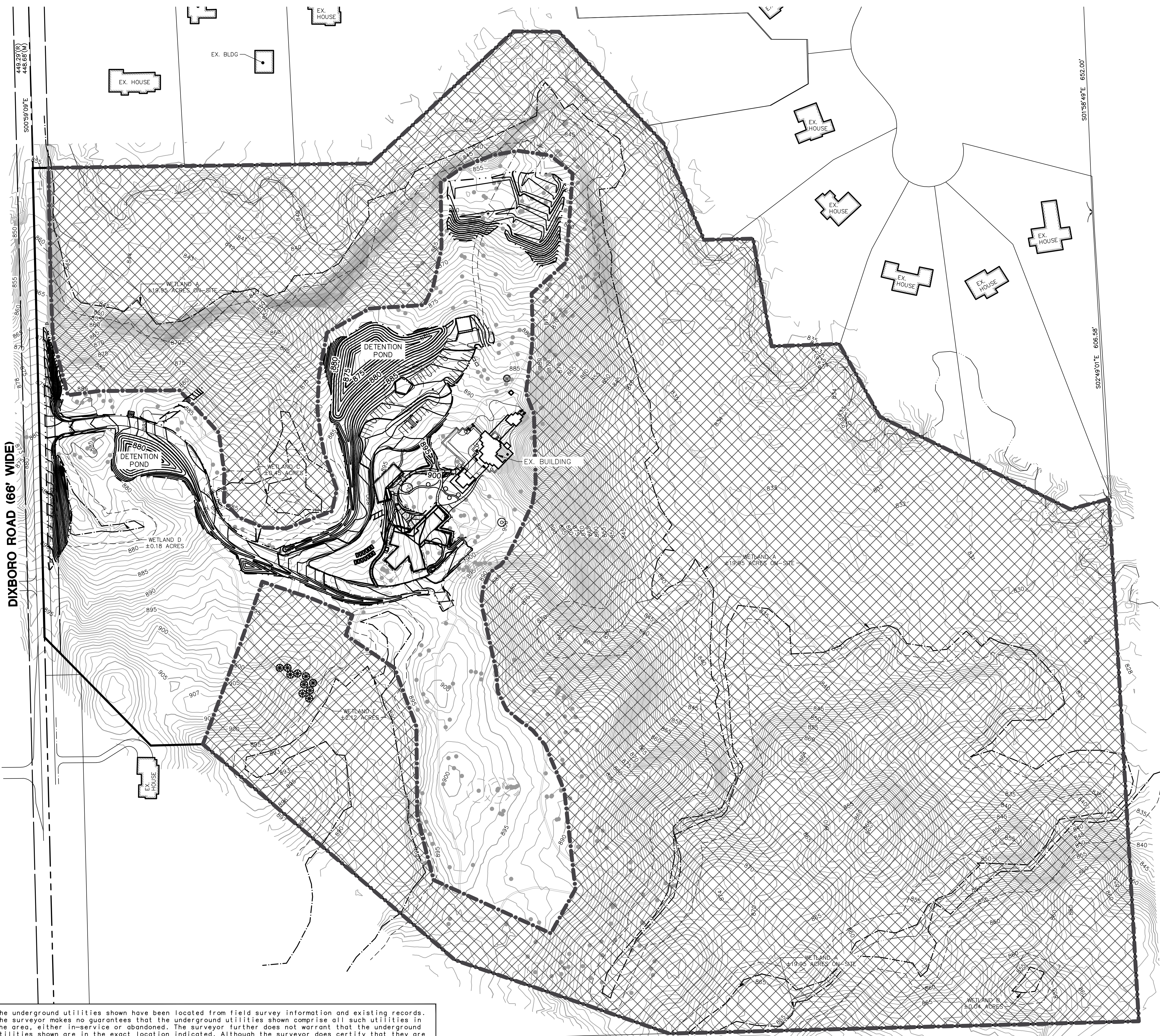
GARRETT'S SPACE
FINAL SITE PLAN
ENLARGED LAYOUT PLAN

10

JOB No. **22265**
DATE: 05/07/24
SHEET 10 OF 35
REV. DATE: 05/07/24
CADD: CAR
ENG: HTH
PER MUNICIPAL REVIEW: 05/15/24
P.M.: CMB
TECH: RML
SCALE: AS SHOWN

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DIXBORO ROAD (66' WIDE)



LEGEND

	EXIST. CONTOUR
	PROP. CONTOUR
	SINGLE TREE
	LANDMARK TREE
	CREEK CENTERLINE
	EXIST. WETLAND LIMITS
	EXIST. WETLAND BUFFER
	PROP. CONSERVATION EASEMENT
	PROP. WALKING TRAIL

811
 Know what's below.
 Call before you dig.

SCALE: 1" = 100'

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JOB No. **22265**

DATE: 05/07/24	SHEET 11 OF 35
REV. DATE: 05/07/24	CADD: CAR
REV. DATE: 05/15/24	ENG: RTH
PER MUNICIPAL REVIEW	PM: CMB
	TECH: RML
	DATE PLOTTED: 08/28/24
	FILE: 22265E1.dwg
	USER: CMB

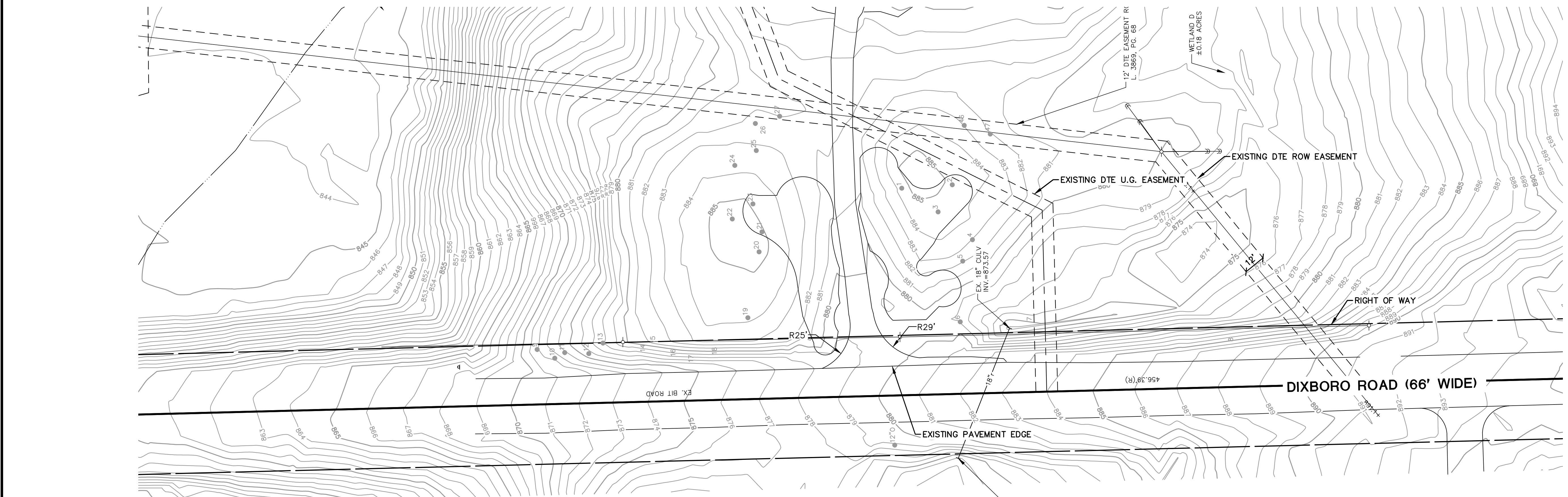
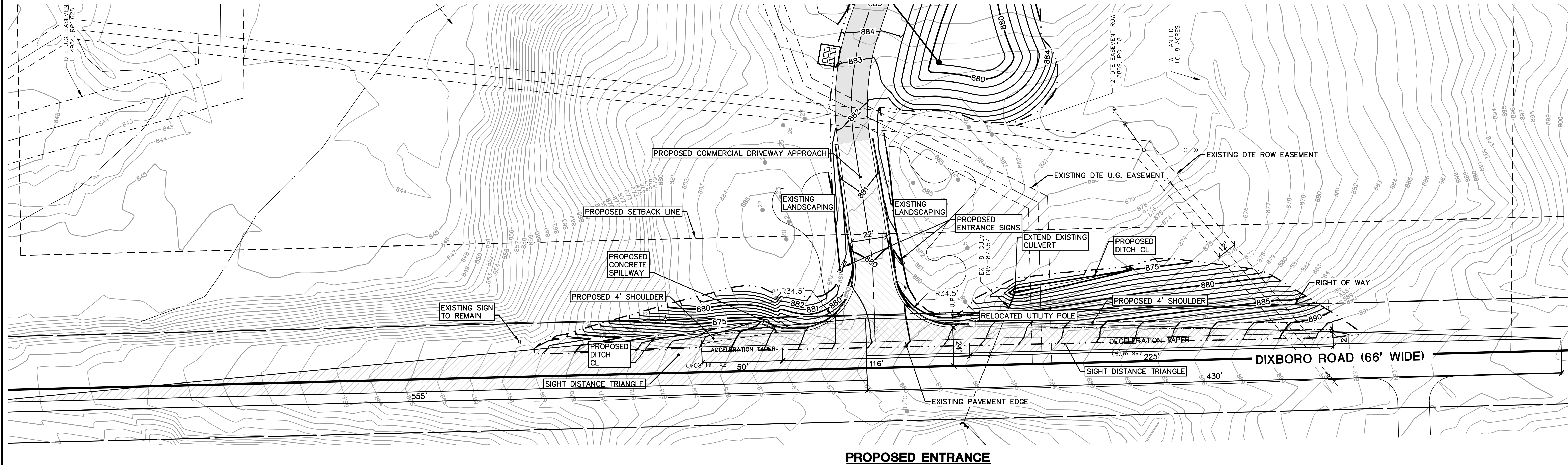
GARRETT'S SPACE
 FINAL SITE PLAN
 PROPOSED CONSERVATION EASEMENT PLAN

11

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M:\Civil\134_Proj\12265\Final Site Plan\1226592.dwg, 9/30/2024 9:42 AM, Cheryl A. Richter.dwg, ENTRANCE PLAN, MLLC PDF ps3
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North arrow pointing up and slightly right.

SCALE: 1" = 30'

Graphic scale bar showing 0, 30, 60, and 90 feet.

811
 Know what's below.
 Call before you dig.

JOB No. 22265

REV. DATE	REV. DATE	ADD. CAR
05/07/24	05/07/24	
PER WORK REVIEW	PER MUNICIPAL REVIEW	
ENG. HTH	ENG. HTH	
PM. CMB	TECH. RML	
DATE: 05/07/24	SHEET 12 OF 35	

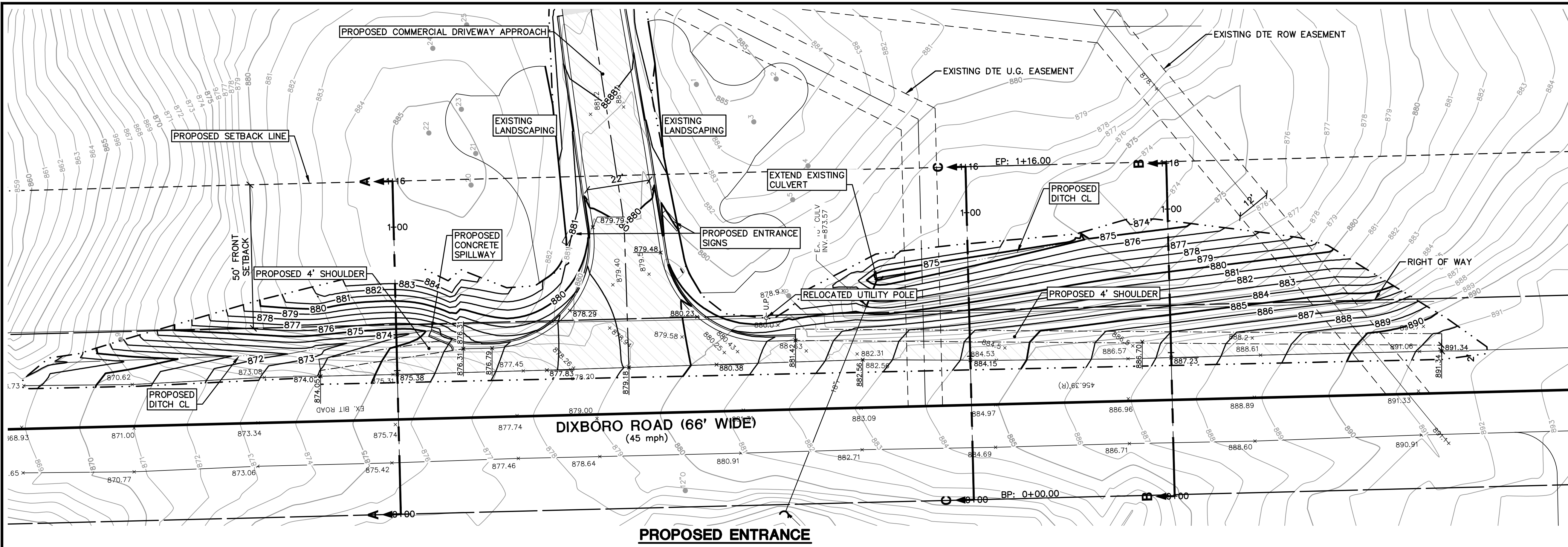
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GARRETT'S SPACE
 FINAL SITE PLAN
 ENTRANCE PLAN

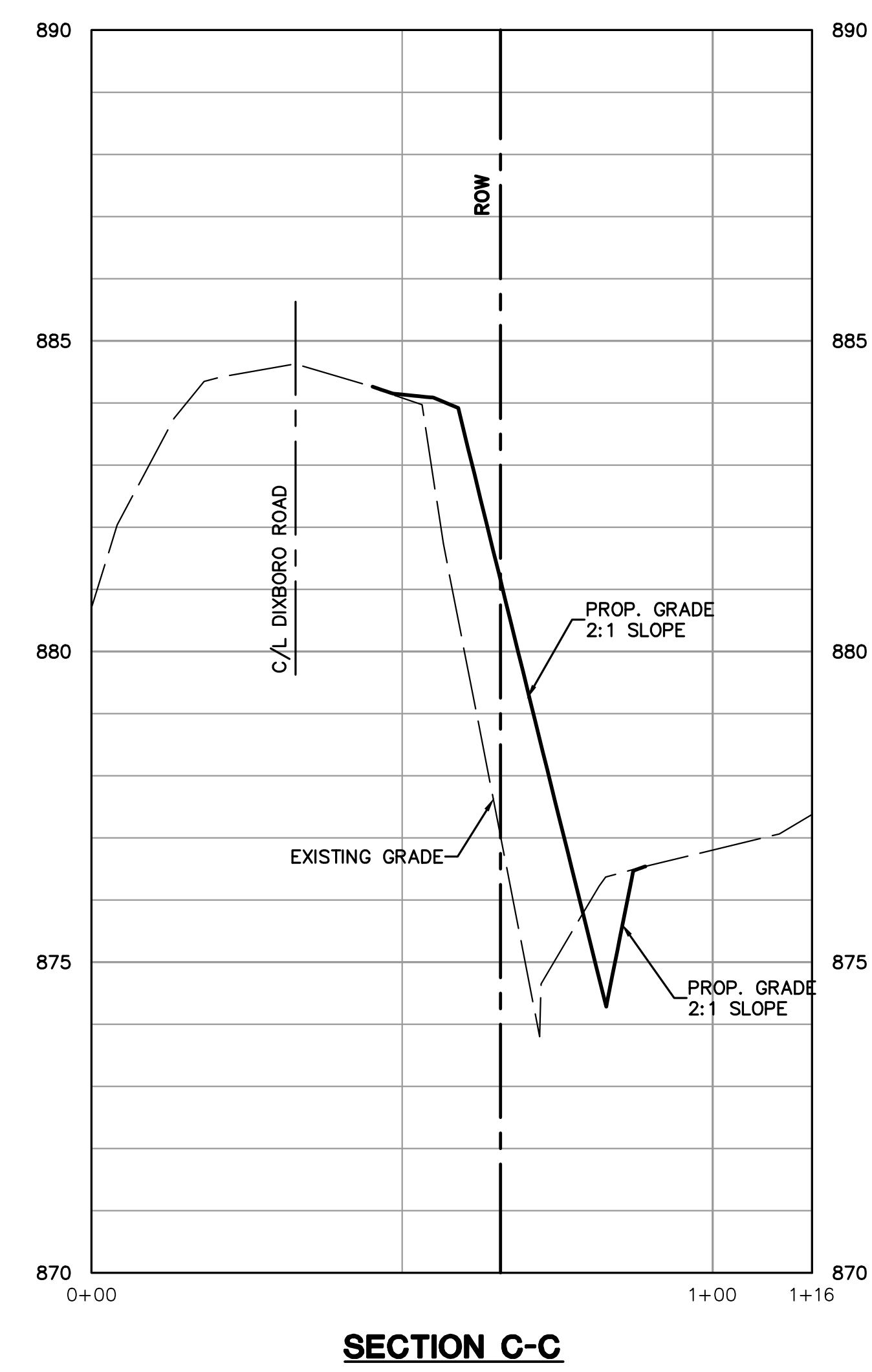
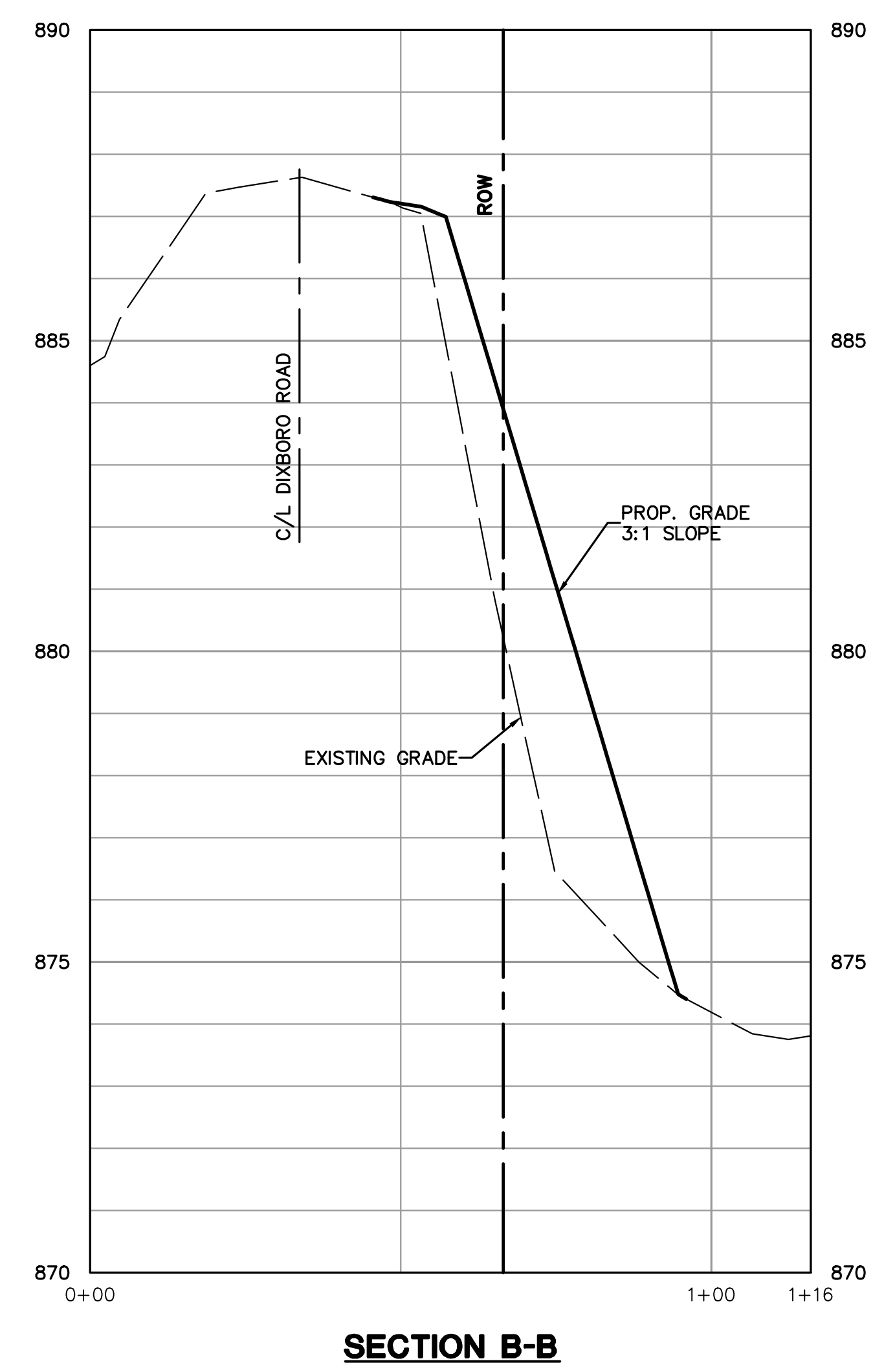
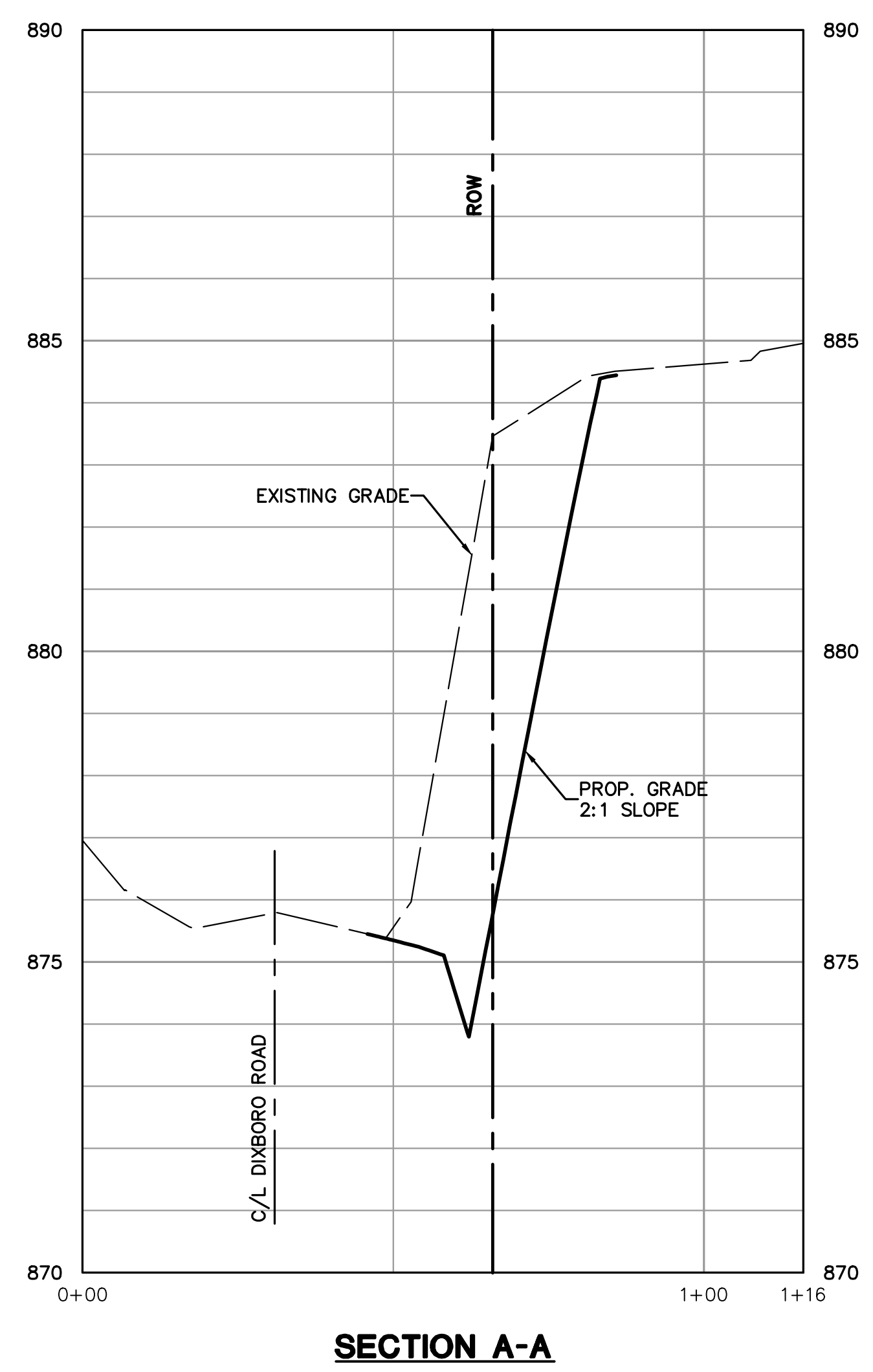
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M:\Civ\13\2265\Final Site Plan\226592.dwg, 8/30/2024 9:42 AM, Cheryl A. Richter.dwg, ENTRANCE GRADING AND DETAILS, MCLLC PDF, .pc3
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SCALE: 1" = 20'
 0 20 40 60
811
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JOB No. 22265
 DATE: 05/07/24
 SHEET 13 OF 35
 REV. DATE: 05/07/24
 CADD: CAR
 PER MUNICIPAL REVIEW: 05/15/24
 ENG: HTH
 P.M.: CMB
 TECH: RML
 FILE: 22265P2.dwg
 F34

GARRETT'S SPACE
 FINAL SITE PLAN
 ENTRANCE GRADING AND DETAILS

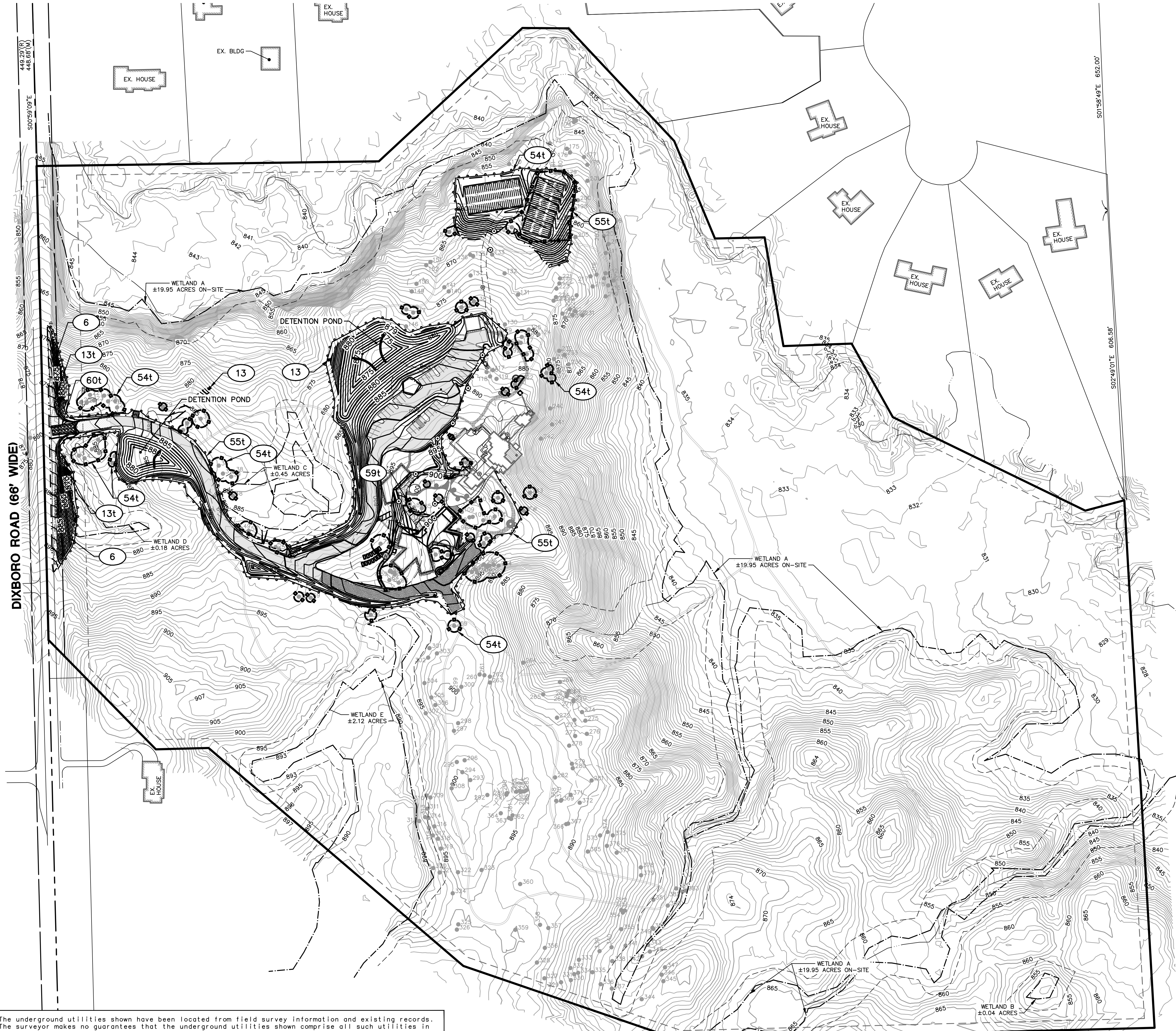
13

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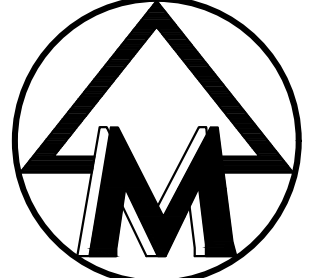
M:\Civ\132_P\1322265\Final Site Plan\2226501.dwg, 9/20/2024 9:42 AM, Cheryl A. Richter.dwg, OVERALL GRADING AND SOIL EROSION PLAN, MLLC PDF.pc3
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DIXBORO ROAD (66' WIDE)

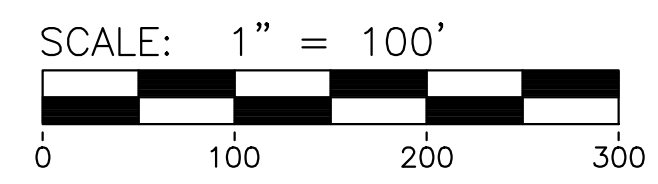



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- 6 SEEDING WITH MULCH AND/OR MATING
- 13 RIPRAP, RUBBLE, GABIONS
- 54 CONSTRUCTION FENCE OR SNOW FENCE
- 55 GEOTEXTILE SILT FENCE
- 59 C.B./INLET FILTER
- 60 MUD TRACKING MAT



SCALE: 1" = 100'

Know what's below.
Call before you dig.

- NOTES**
- GRADES AT ADA ACCESS AISLES AND BARRIER FREE PARKING STALLS SHALL NOT EXCEED 2.0% SLOPE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE DURING AND AFTER CONSTRUCTION, AND NO ADVERSE IMPACTS WILL OCCUR TO NEIGHBORING PROPERTIES DURING OR AFTER COMPLETION OF CONSTRUCTION.
 - ALL STORM SEWER AND UTILITY STRUCTURE RIMS SHALL BE FLUSH WITH PAVEMENT OR FINISHED GRADE.
 - ALL DISTURBED AREAS TO BE RESTORED AS NOTED ON PLAN.

LEGEND

838	EXIST. CONTOUR
838	PROP. CONTOUR
×836.2	EXIST. SPOT ELEVATION
×36.60	PROP. SPOT ELEVATION
—○—	EXIST. UTILITY POLE
—○—	EXIST. UTILITY POLE W/ TRANS.
—	GUY WIRE
⊠	ELEC. TRANSFORMER
⊠	EXIST. AC UNIT
⊠	EXIST. GENERATOR
—	EXIST. OVERHEAD UTILITY LINE
*	EXIST. LIGHT POLE
*	PROP. LIGHT POLE
t	EXIST. TELEPHONE LINE
e	EXIST. ELECTRIC LINE
g	EXIST. GAS LINE
g	EXIST. GAS VALVE
f.o.	EXIST. FIBER OPTIC LINE
w	EXIST. WATER MAIN
w	PROP. WATER MAIN
⊙	EXIST. HYDRANT
⊙	PROP. HYDRANT
⊙	EXIST. GATE VALVE IN BOX
⊙	PROP. GATE VALVE IN BOX
⊙	EXIST. GATE VALVE IN WELL
⊙	PROP. GATE VALVE IN WELL
x	EXIST. CURB STOP & BOX
x	PROP. CURB STOP & BOX
⊙	REDUCER
⊙	EXIST. BLOW-OFF
⊙	PROP. BLOW-OFF
⊙	POST INDICATOR VALVE
⊙	POST INDICATOR VALVE
⊙	THRUST BLOCK
⊙	PROP. KNOXBOX
⊙	EXIST. FIRE DEPARTMENT CONNECTION
⊙	PROP. FIRE DEPARTMENT CONNECTION
⊙	EXIST. STORM SEWER
⊙	PROP. STORM SEWER
⊙	EXIST. CATCH BASIN OR INLET
⊙	PROP. CATCH BASIN OR INLET
⊙	EXIST. BEEHIVE INLET
⊙	PROP. BEEHIVE INLET
⊙	PROP. FLOOR DRAIN
⊙	END SECTION
⊙	HEAD WALL
⊙	CULVERT
⊙	EXIST. DOWNSPOUT
⊙	PROP. DOWNSPOUT
⊙	EXIST. SANITARY SEWER
⊙	PROP. SANITARY SEWER
⊙	EXIST. CLEANOUT
⊙	PROP. CLEANOUT
⊙	C/L OF DITCH
⊙	DRAINAGE DIRECTION
⊙	SIGN
⊙	SINGLE TREE
⊙	TREE OR BRUSH LIMIT
⊙	FENCE
⊙	SILTFENCE
⊙	LIMITS OF DISTURBANCE

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JOB No. 22265

DATE: 05/07/24

SHEET 14 OF 35

REV. DATE
05/07/24
05/15/24

REV. BY
CADD: CAR
ENG: RTH
P.M.: CMB
TECH: RML
DESIGNER: LMG
FSA

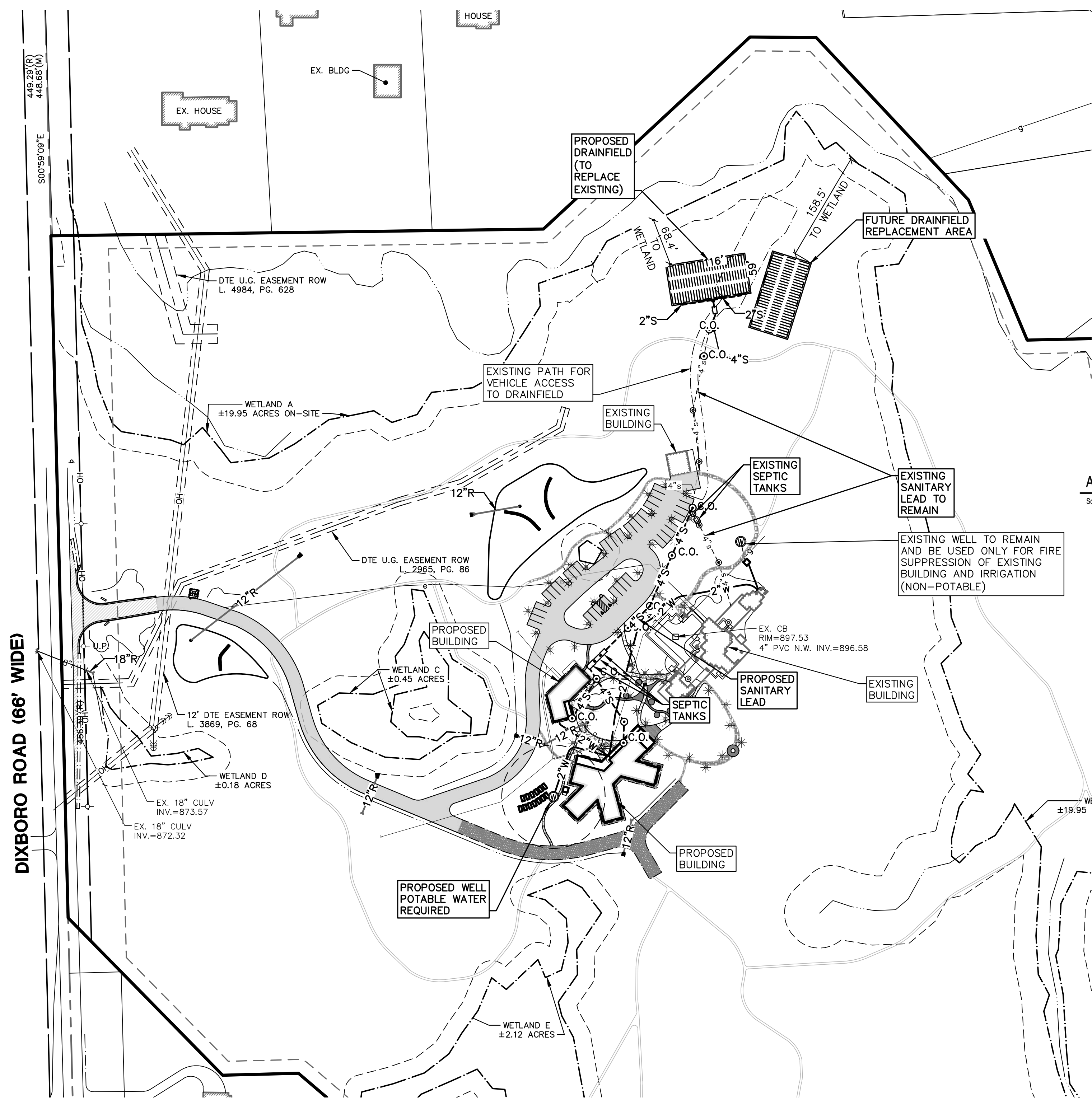
PER MUNICIPAL REVIEW

GARRETT'S SPACE
FINAL SITE PLAN
OVERALL GRADING AND SOIL EROSION PLAN

14

M:\CIVIL\132_P\1322265\Final Site Plan\22265.dwg, 8/20/2024 9:42 AM, Cheryl A. Richter, OVERALL UTILITY PLAN, MCLLC PDF, .pc3
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DIXBORO ROAD (66' WIDE)



LEGAL DESCRIPTION

OVERALL LEGAL DESCRIPTION
 Commencing at the N.W. corner of fractional Section 7, T2S, R7E, Superior Township, Washtenaw County, Michigan, thence S 00° 59' 02" E 448.68 feet along the west line of said Section 7 and the center line of Dixboro Road to the POINT OF BEGINNING,
 thence N 89° 40' 15" E 714.60 feet,
 thence N 47° 33' 36" E 409.14 feet,
 thence S 89° 02' 44" E 56.09 feet,
 thence S 42° 43' 30" E 322.72 feet,
 thence S 22° 44' 32" E 220.57 feet,
 thence N 89° 08' 28" E 203.71 feet,
 thence S 9° 20' 43" E 230.33 feet,
 thence N 88° 24' 25" E 142.52 feet,
 thence S 28° 47' 56" E 175.86 feet,
 thence S 63° 37' 02" E 445.72 feet,
 thence N 95° 35' 09" E 84.44 feet,
 thence S 2° 49' 01" E 1103.51 feet,
 thence along the northerly right of way line of M-14, expressway in the following five (5) courses:
 S 88° 57' 38" W 990.94 feet,
 N 70° 37' 31" W 478.31 feet,
 N 48° 59' 02" W 700.00 feet,
 S 89° 00' 58" W 110.00 feet,
 N 44° 00' 58" W 320.00 feet,
 thence N 00° 59' 02" W 990.05 feet along the west line of said Section 7 and the center line of Dixboro Road to the POINT OF BEGINNING, being a part of the N 1/2 of said Section 7, T2S, R7E, Superior Township, Washtenaw County, Michigan, containing 76.97 acre of land more or less, subject to the rights of the public over the west 33.00 feet thereof as occupied by Dixboro Road, subject to easements or restrictions of record, if any.

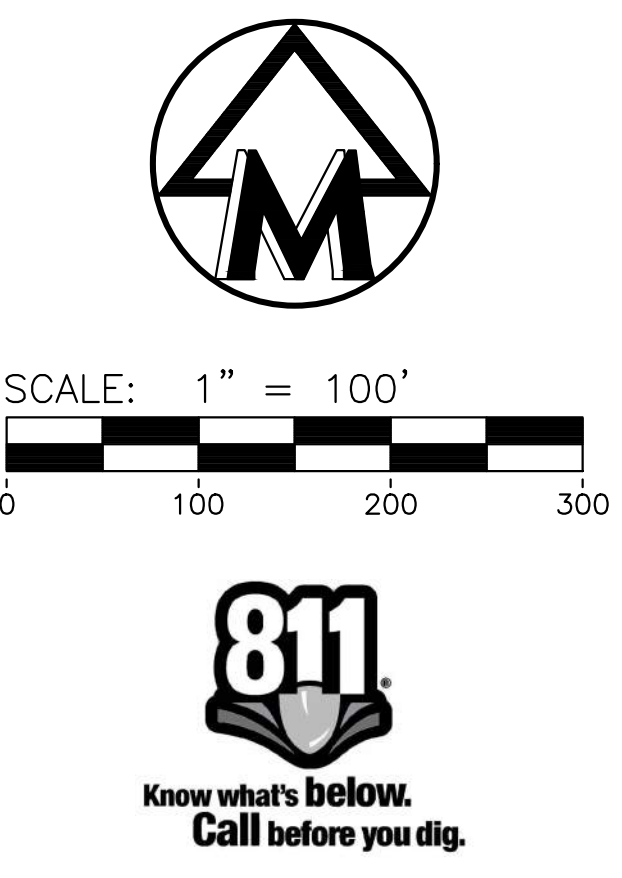
NOTES

1. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWNSHIP OF SUPERIOR STANDARD DETAILS AND SPECIFICATIONS.
2. NO FIRE WALLS ARE PROPOSED WITHIN THE BUILDING
3. ALL STORM SEWER TO BE C-76 CL. IV RCP UNLESS OTHERWISE NOTED
4. ALL SANITARY SEWER TO BE SDR 26 PVC UNLESS OTHERWISE NOTED
5. 4" AND LARGER PROPOSED WATER SERVICE PIPE MATERIAL SHALL BE CL54, UNLESS OTHERWISE SPECIFIED.
6. ALL WATER MAIN 2" AND SMALLER TO BE TYPE K COPPER
7. FINAL FRANCHISE UTILITY ROUTING SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY AGENCY BY THE OWNER/CONTRACTOR PRIOR TO CONSTRUCTION

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LEGEND

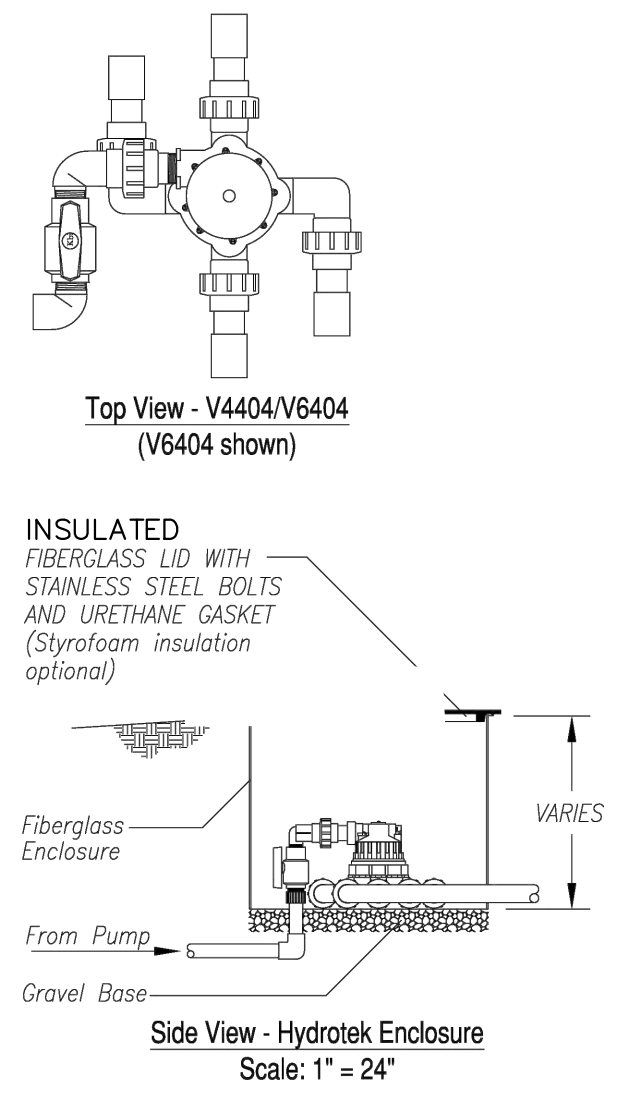
8.3B	EXIST. CONTOUR	—○—	EXIST. BLOW-OFF
—○—	EXIST. UTILITY POLE	—●—	PROP. BLOW-OFF
—○—	EXIST. UTILITY POLE W/ TRANS.	—○—	POST INDICATOR VALVE
—○—	GUY WIRE	—○—	POST INDICATOR VALVE
—○—	ELEC. TRANSFORMER	—○—	THRUST BLOCK
—○—	EXIST. AC UNIT	—○—	PROP. KNOXBOX
—○—	EXIST. GENERATOR	—○—	EXIST. FIRE DEPARTMENT CONNECTION
—○—	EXIST. OVERHEAD UTILITY LINE	—○—	PROP. FIRE DEPARTMENT CONNECTION
—○—	EXIST. LIGHT POLE	—○—	EXIST. STORM SEWER
—○—	PROP. LIGHT POLE	—○—	PROP. STORM SEWER
—○—	EXIST. TELEPHONE LINE	—○—	EXIST. CATCH BASIN OR INLET
—○—	EXIST. ELECTRIC LINE	—○—	PROP. CATCH BASIN OR INLET
—○—	EXIST. GAS LINE	—○—	EXIST. BEEHIVE INLET
—○—	EXIST. GAS VALVE	—○—	PROP. BEEHIVE INLET
—○—	EXIST. FIBER OPTIC LINE	—○—	PROP. ROOF DRAIN
—○—	EXIST. WATER MAIN	—○—	END SECTION
—○—	PROP. WATER MAIN	—○—	HEAD WALL
—○—	EXIST. HYDRANT	—○—	CULVERT
—○—	PROP. HYDRANT	—○—	EXIST. DOWNSPOUT
—○—	EXIST. GATE VALVE IN BOX	—○—	PROP. DOWNSPOUT
—○—	PROP. GATE VALVE IN BOX	—○—	EXIST. SANITARY SEWER
—○—	EXIST. GATE VALVE IN WELL	—○—	PROP. SANITARY SEWER
—○—	PROP. GATE VALVE IN WELL	—○—	EXIST. CLEANOUT
—○—	EXIST. CURB STOP & BOX	—○—	PROP. CLEANOUT
—○—	PROP. CURB STOP & BOX	—○—	C/L OF DITCH
—○—	REDUCER	—○—	WELL ISOLATION RADIUS



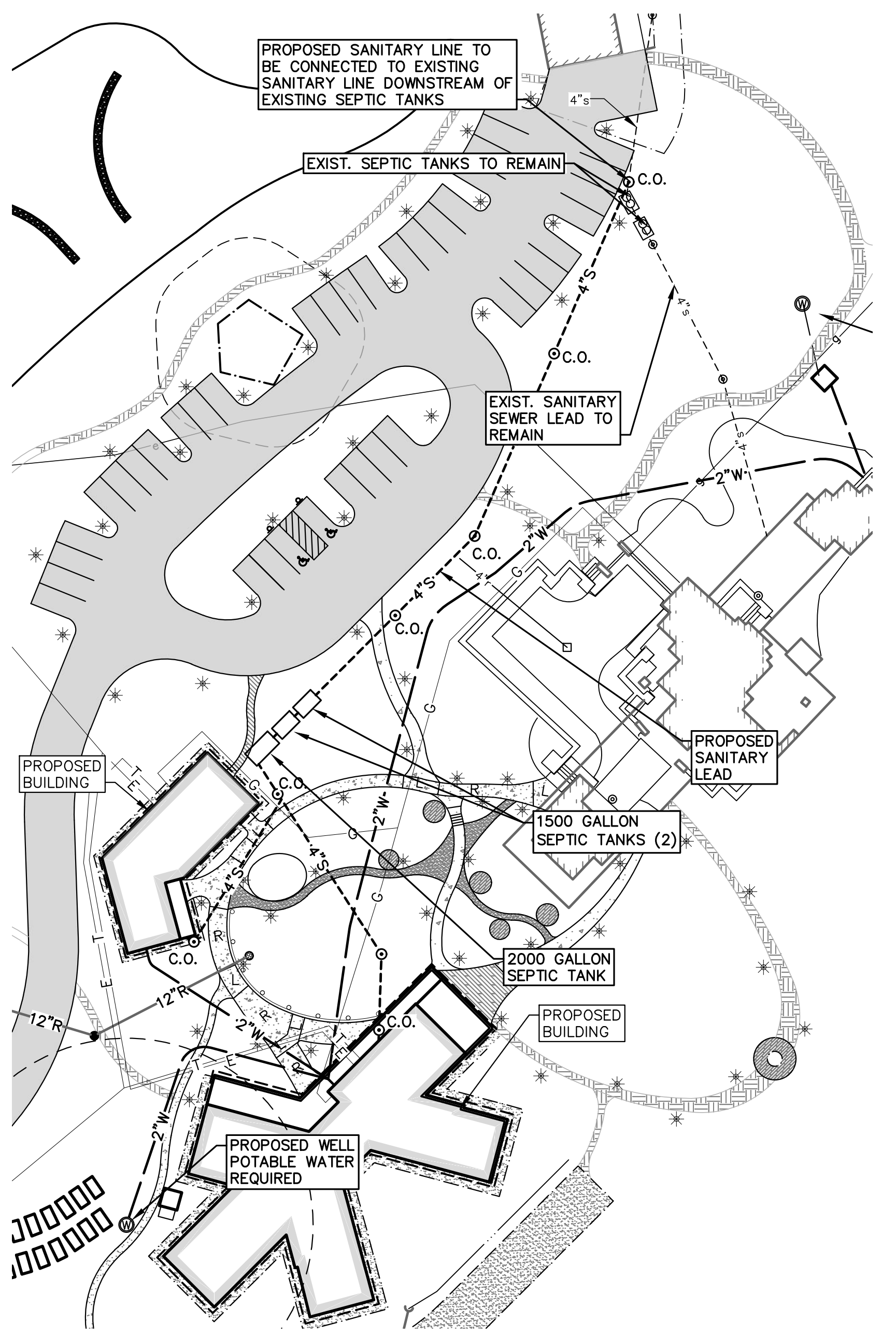
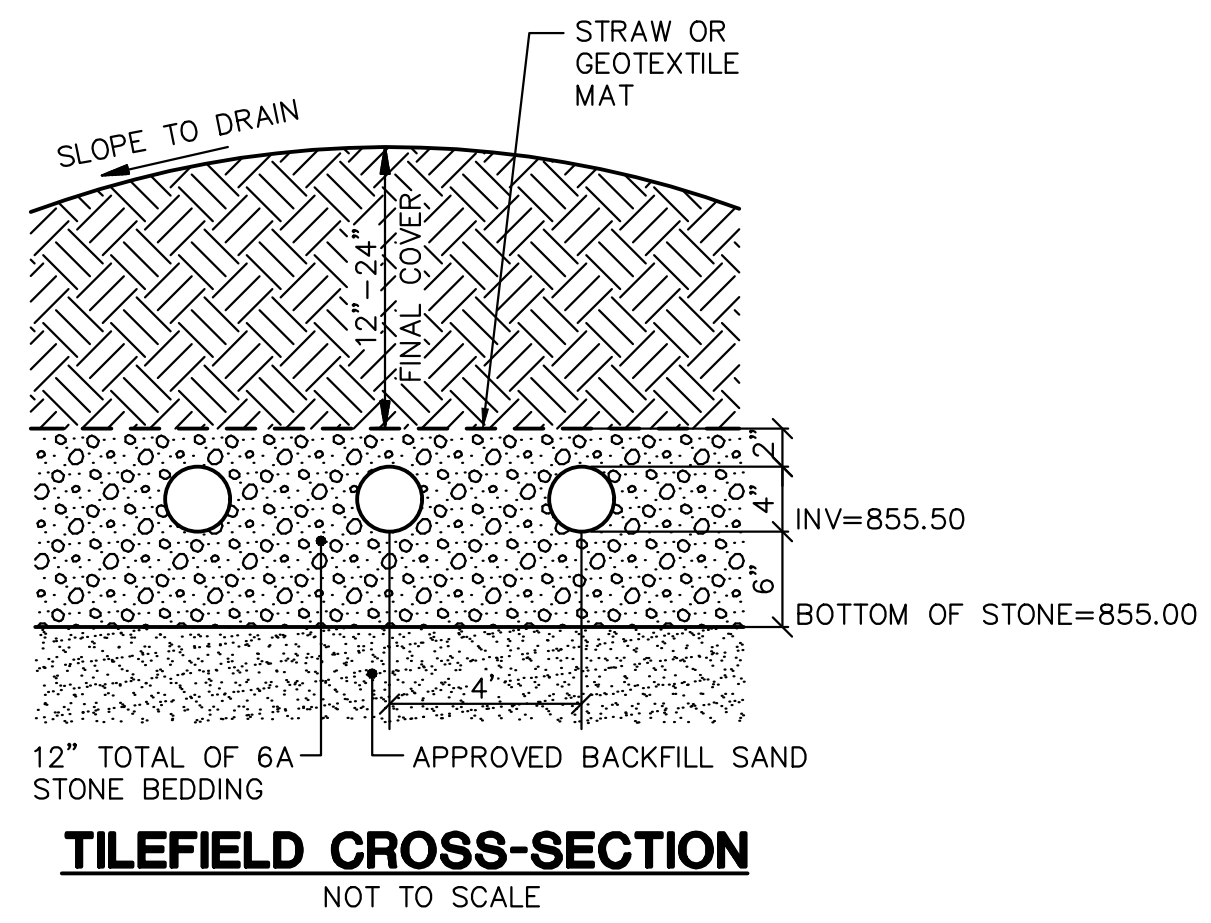
Automatic Distributing Valve Assemblies



Scale: 1" = 12" Note: Inlet orientation not as shown



NDW-TD-V-1 Rev. 4.0 (05/21)



SANITARY PLAN VIEW DETAIL

1"=40'

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GARRETT'S SPACE
 FINAL SITE PLAN
 OVERALL UTILITY PLAN

16

JOB No.	22265
DATE	05/07/24
SHEET	16 OF 35
REV. DATE	05-01-24
REV. DESCRIPTION	CADD CAR
PER. WCHD REVIEW	05-10-24
PER. WCHRC REVIEW	05-07-24
PER. MUNICIPAL REVIEW	05/15/24
PER. APPROVAL	05/15/24

I. DESIGN ANALYSIS

- A. Multi-use Facility - See Basis of design
- B. Tile Field Design:
 Required Field Size = 6827 SF
 Proposed Field Size = 6844 SF = 116 ft x 59 ft
 No. of Tiles = 29
 Tile Length = 55 LF
 4' c-c with 2' 6A stone border on all sides.
- C. Dosing volume shall be as follows:
 Total Distribution Tile Length = 1819 LF
 Volume in Distribution Tile = (0.654 gal/LF) 1819 LF = 1190 gallons
 Recommended Dosing Volume = (0.81) x 1190 = 968 gallons
 Volume of Forcemain = (54) x 0.163 = 9 gallons
 Total Dose Volume = 977 gallons
 Dose 1/4 Drainfield at a time = 244
- D. Daily loading rate shall be as follows:
 See Basis of Design
- E. Duel pumps shall be utilized for so standard emergency storage is not required.
- F. Proposed 1st septic tank = 2000 gal pre-cast
 Proposed 2nd septic tank = 1500 gal pre-cast
 Proposed 3rd septic tank = 1500 gal pre-cast
 Existing 1st septic tank = 1000 gal pre-cast
 Existing 2nd septic tank = 1000 gal pre-cast
- G. Proposed Pump tank = 1500 gal pre-cast with automatic pump.

II. PUMP DESIGN

- A. Elevation Head
 Pump Elevation = 853.69
 Highest Elevation of Forcemain = 856.75
 Total Elevation Head = 3.06 feet (lift)
- B. Friction Head
 Assumptions: 54 LF - 2" SCH-40 PVC forcemain
 Pumping rate = 48 gpm

 1. Friction loss in per 100 lineal feet
 54 LF of straight pipe @ 48 gpm = 4.9 feet of head
 2. Equivalent length through fittings
 5 - 2" 90° bend (5) (5.55) = 27.75
 Total = 27.75 feet
 3. Total headloss due to friction
 4.9 / 100 (27.75 + 54) = 4.01 feet
 4. Indexing Valve Friction = 10 feet
 5. Total design Head = 3.06
 Elevation Head = 10.00
 Indexing valve Head = 4.01
 Friction Head = 17.07 say 18 feet

III. PUMP SELECTION & PUMP CONTROLS

Proposed Twin Pumps are Champion CPE4, 0.4 HP, 115V, Single Phase Pump
 Delivery Head = 18 feet of head
 Delivery Flow = 48 gpm
 Approx. Dosing Time = 5.1 minutes (1/4 of entire drainfield)
Throttle back pump to 30 gpm for better pump efficiency.
 Adjusted dose time is 244.3 / 30 = 8.1 minutes.
 The pump controls shall have three mechanical float switches as follows:
 - high level alarm
 - high level on float
 - low level off float
 The control panel shall include an event counter and an audible & visual alarm. The pump control panel and audio/visual alarm shall be on a separate circuit from the pump. A suitable control system is an SJE Rhombus panel model 1221W114H6A8AC10E17E19B. The panel will be located outside at the pump chamber with an auxiliary alarm located in the building in a location approved by the owner.

IV. EMERGENCY STORAGE

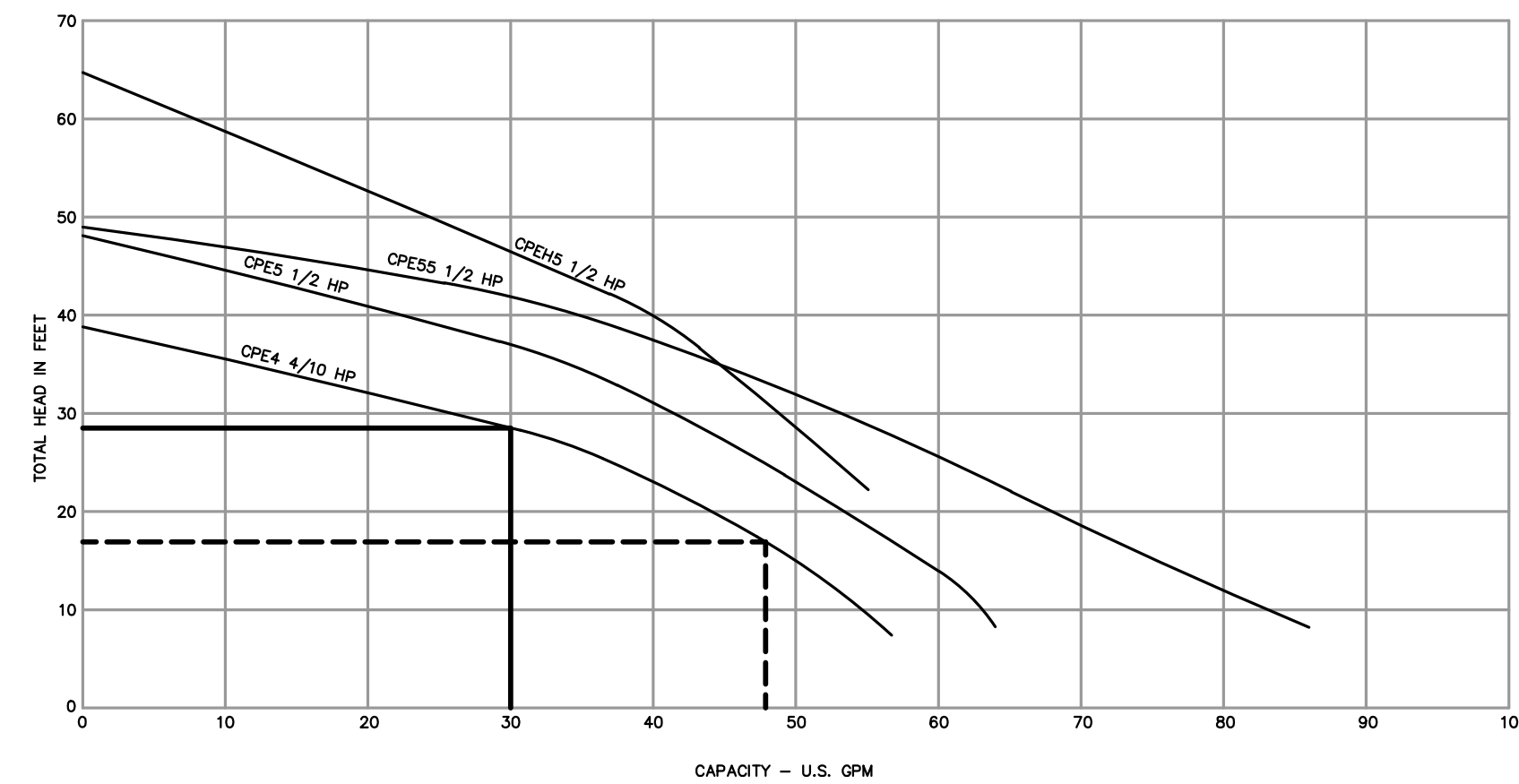
Emergency storage has been provided inside the pump chamber.

2000 gal. ->	536 gal.
1500 gal. ->	275 gal.
1500 gal. ->	275 gal.
1000 gal. ->	190 gal.
1000 gal. ->	190 gal.
1500 Pump gal. ->	961 gal.
2427 gallons in reserve	

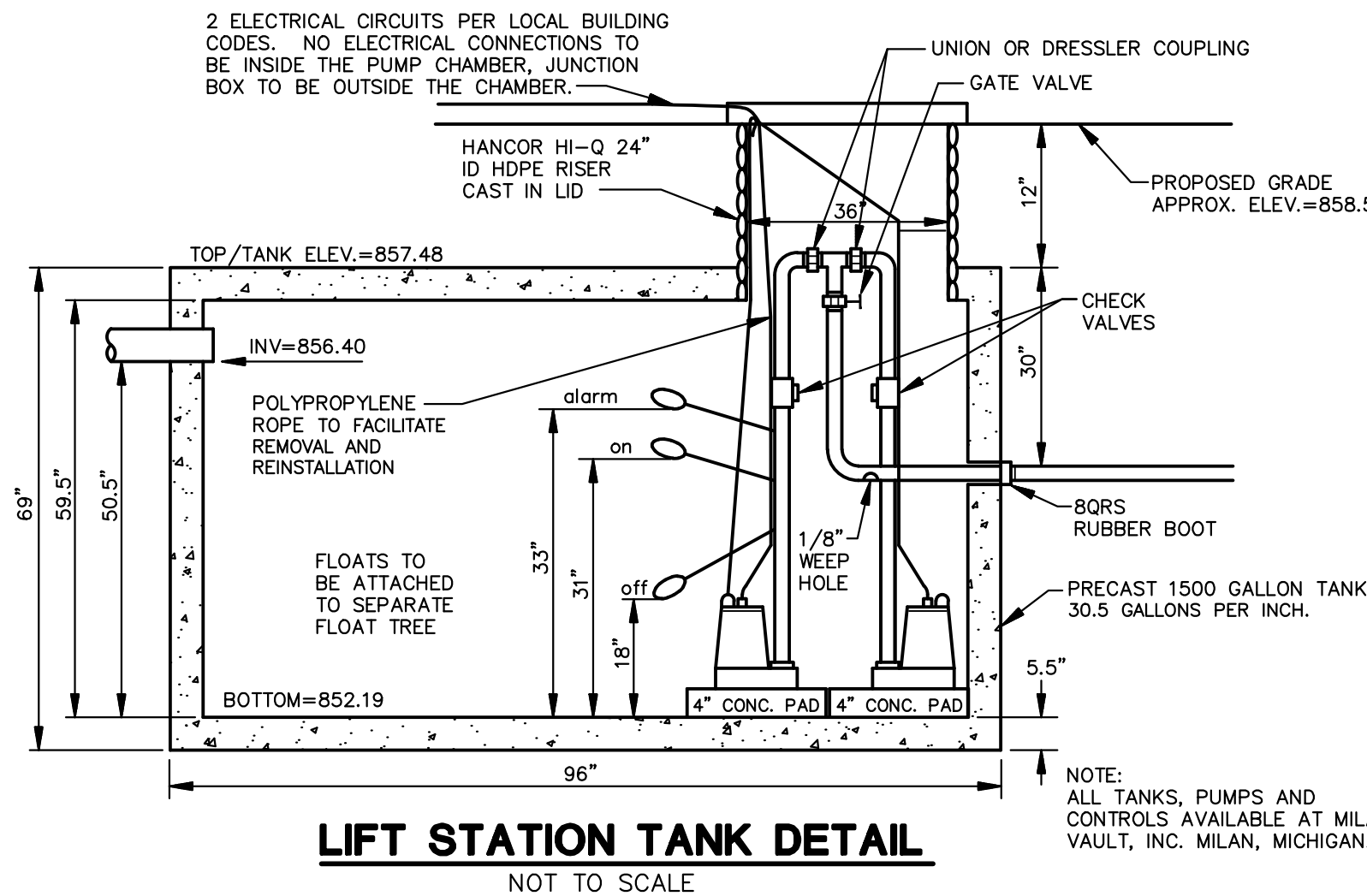
Garrett's Space Drainfield Sizing - Basis of Design

Existing	3 bedroom home w/ 32'x46' Drainfield 1472 SF Well		
Proposed	Quantity	GPD/PU	Total GPD
Ex Home	Staff 16 x 35		560
Day Programming	Students 10 x 35		350
Future Home (Boarding School - for sizing)	Per Student 20 x 75		1500
	Staff 2 x 75		150
Total GPD	48		2560 Gallons
Application Rate = 0.375 G/SF	2560 @ 0.375		6827 SF Drain Field Required
Reserved Field Area (1x Drain Field Size)			13653 SF Drain Field and Reserve Area
Assumed Events are 1 or 2 a year and not a factor for this calculation			
Septic Tank Capacity	Ex Home 1650 x 3		1500 Gallons
	Future Home		4950 Gallons

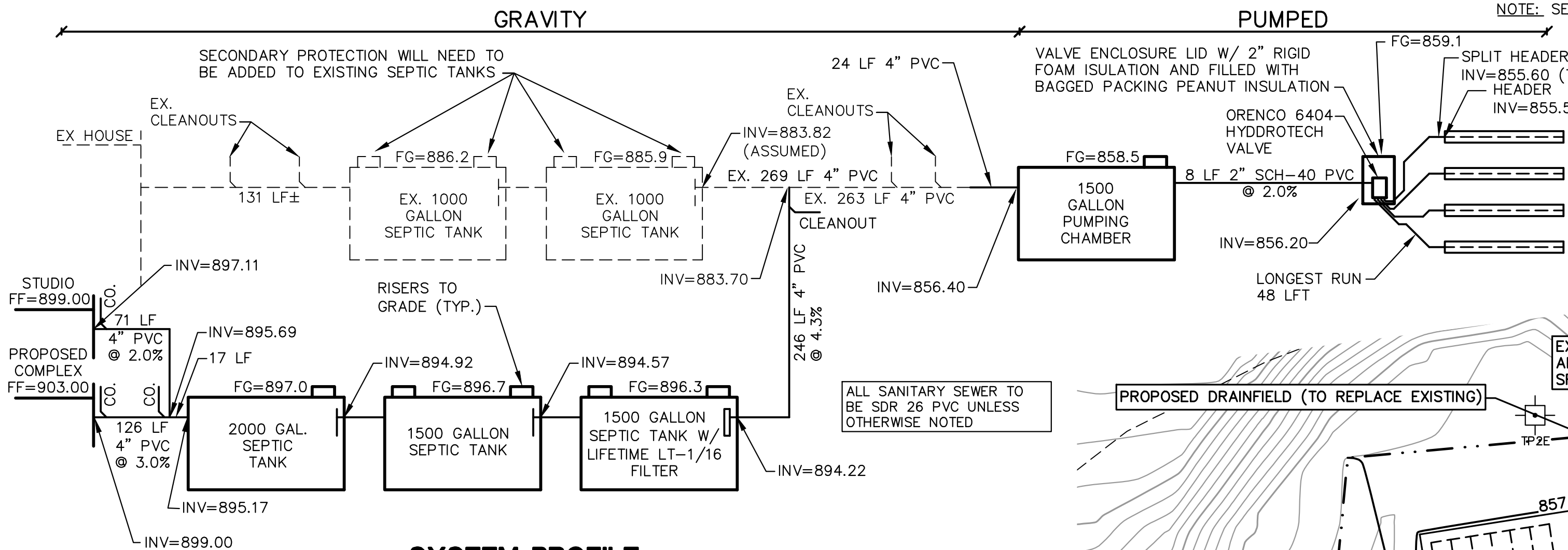
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DISPOSAL FIELD PUMP CURVE
CHAMPION EFFLUENT PUMPS



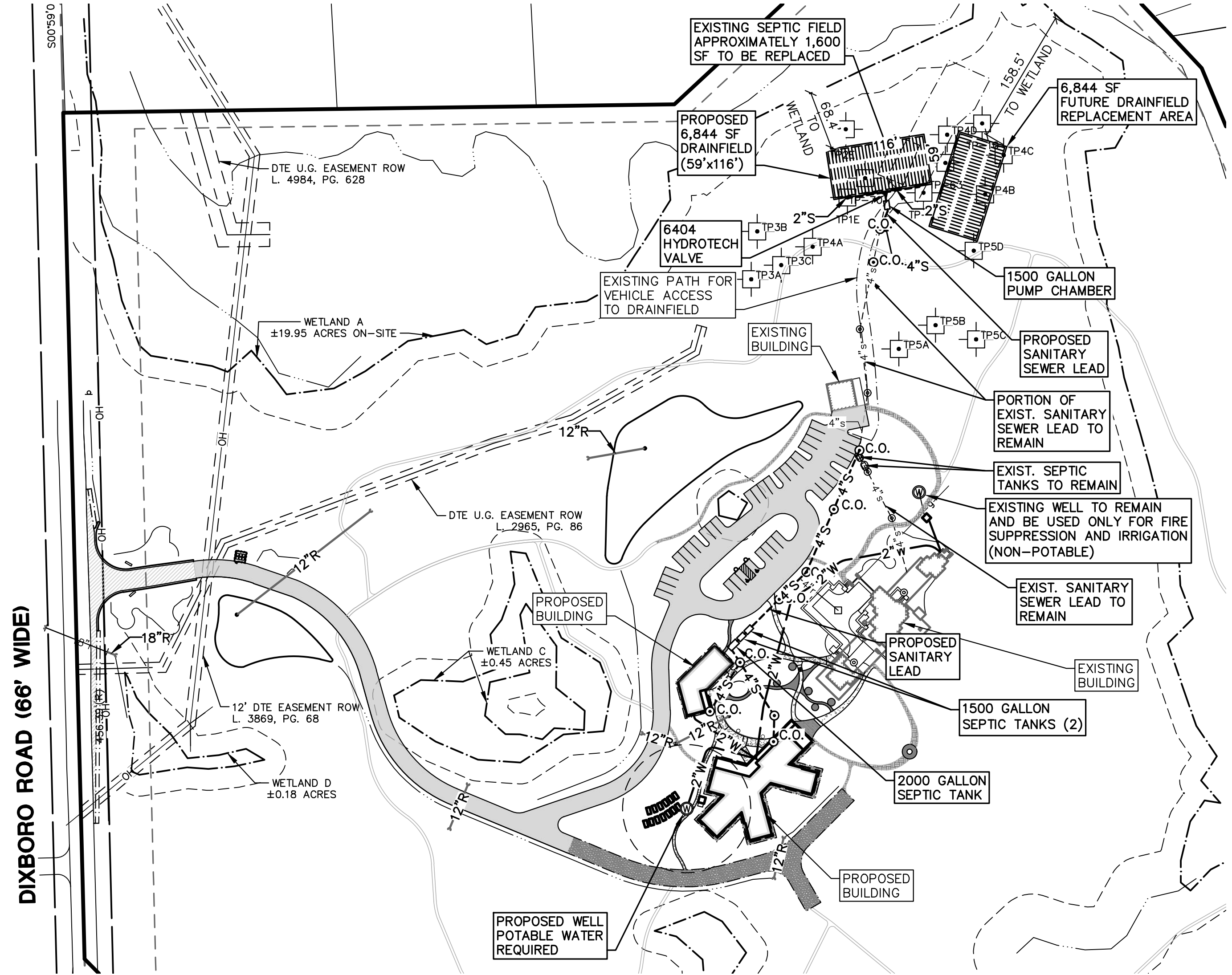
LIFT STATION TANK DETAIL
NOT TO SCALE



SYSTEM PROFILE
NOT TO SCALE

LEGEND

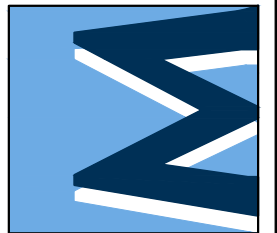
- 838 --- EXIST. CONTOUR
- 838 --- PROP. CONTOUR
- U.P. --- EXIST. UTILITY POLE
- GUY WIRE
- OH --- EXIST. OVERHEAD UTILITY LINE
- w --- EXIST. WATER MAIN
- W --- PROP. WATER MAIN
- R --- EXIST. STORM SEWER
- R --- PROP. STORM SEWER
- EXIST. CATCH BASIN OR INLET
- PROP. CATCH BASIN OR INLET
- EXIST. BEEHIVE INLET
- PROP. BEEHIVE INLET
- EXIST. ROOF DRAIN
- PROP. ROOF DRAIN
- END SECTION
- HEAD WALL
- CULVERT
- ds --- EXIST. DOWNSPOUT
- ps --- PROP. DOWNSPOUT
- EXIST. SANITARY SEWER
- PROP. SANITARY SEWER
- EXIST. CLEANOUT
- PROP. CLEANOUT
- WELL
- C/L OF DITCH
- SINGLE TREE
- LIMITS OF DISTURBANCE
- TP-1 --- SOIL BORING
- WELL ISOLATION RADIUS



ENLARGED SEPTIC FIELD PLAN
SCALE: 1"=20'

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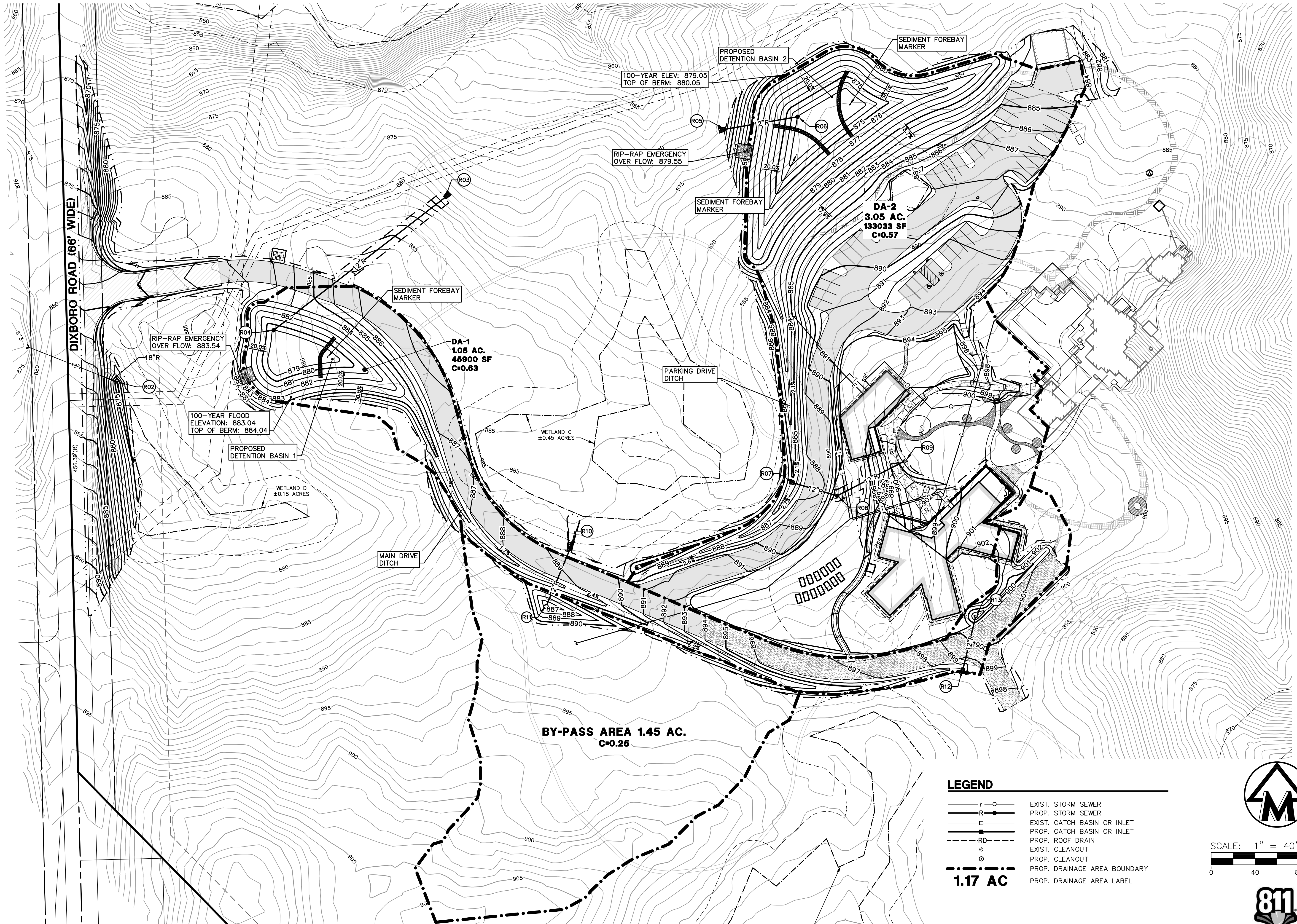
GARRETT'S SPACE
 FINAL SITE PLAN
 SANITARY SEWER PLAN, DETAILS & CALCULATIONS

17

JOB No. **22265**

DATE: 05/07/24	SHEET 17 OF 35
REV. DATE	ADD: CAR
05-07-24	ENG. RTH
05-10-24	PM. CMB
07-25-24	TECH. RML
08/07/24	REV. MJC
08/20/24	REV. MJC
08/20/24	REV. MJC

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GARRETT'S SPACE
 FINAL SITE PLAN
 ENLARGED STORM WATER MANAGEMENT PLAN

19

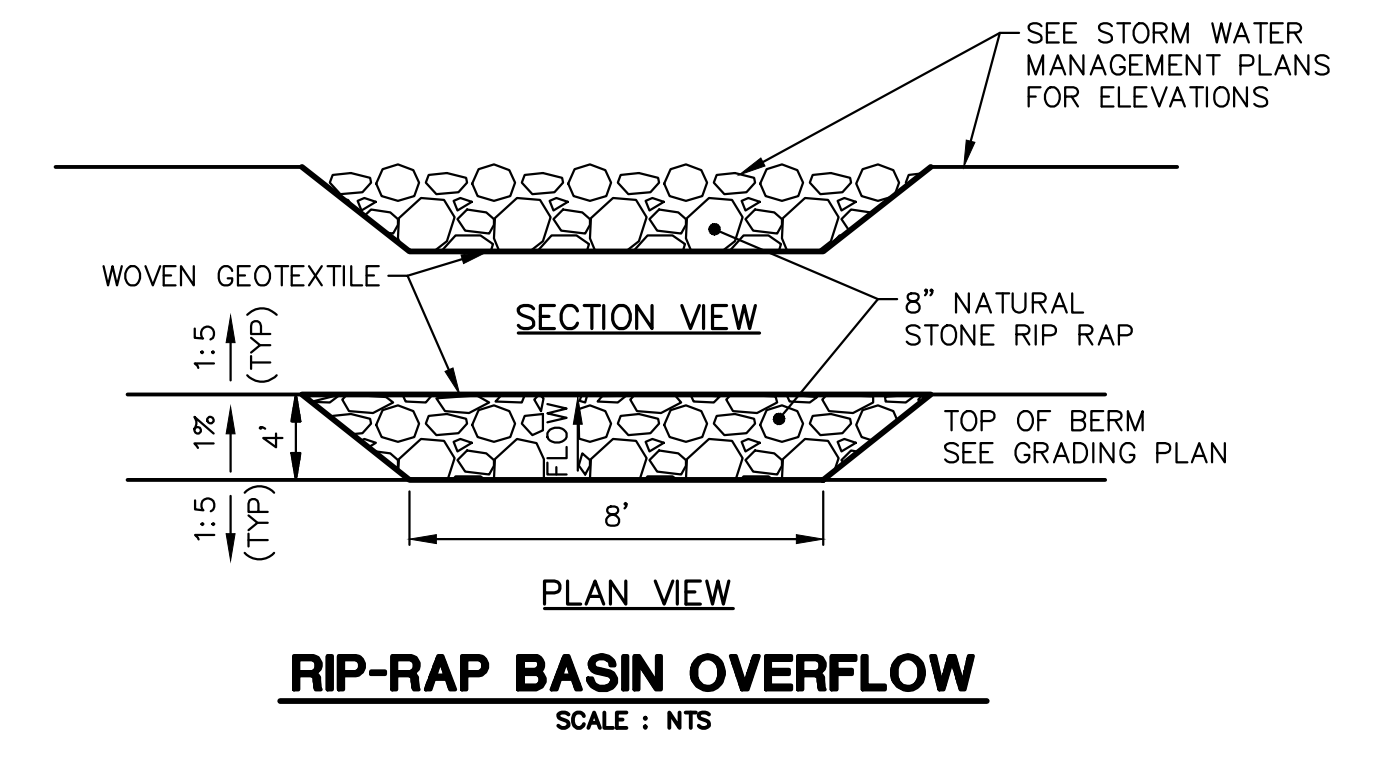
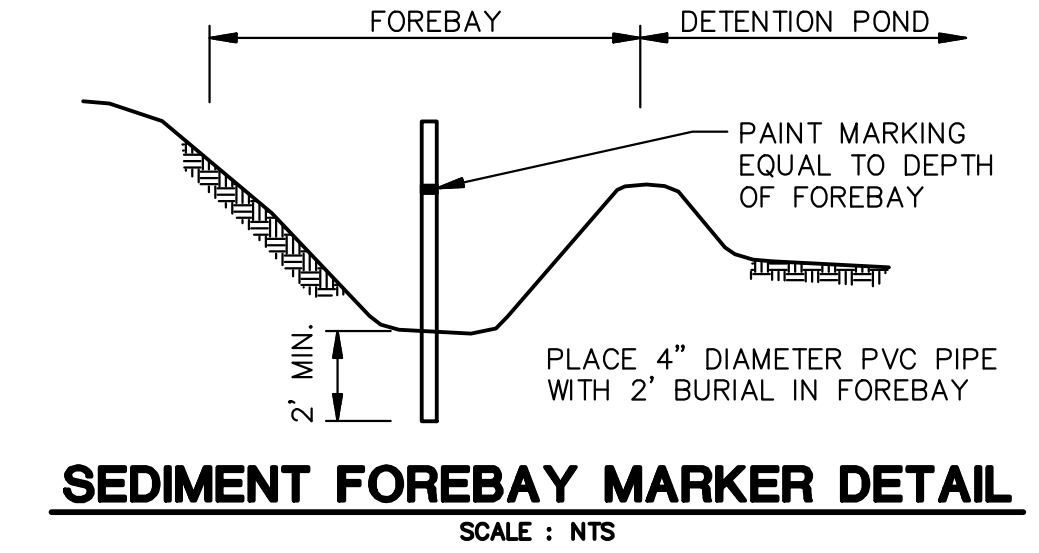
DATE: 05/07/24	REV. DATE: 05/15/24	REV. DATE: 05/15/24	REV. DATE: 05/15/24
SHEET 19 OF 35	CADD: CAR	ENG: HTH	PER MUNICIPAL REVIEW
	PM: CMB	TECH: RML	
	FILE: 22265.dwg	FILE:	

JOB No. **22265**

DATE: 05/07/24
 SHEET 19 OF 35
 SCALE: 1" = 40'

STORM DRAINAGE CALCULATION SHEET																							
MIDWESTERN CONSULTING, L.L.C. 3815 Plaza Drive Ann Arbor, MI 48108 (734) 995-0200, Fax (734) 995-0599										Runoff Formula: $Q = CIA$ $I = x/T + y$ Type of Pipe = rcp $n = 0.013$ $T = 15.00$ $x = 175.00$ $y = 25$ (10 Year Storm Event)					PROJECT/CLIENT: Garrett's Space Job No.: 22265 Date: 05/06/24 By: RMLII Revised:								
Structure No.	Drainage Area A (Acres)	Runoff Coeff. C	CxA	ADD. CxA	ΣCxA	Time T (min.)	Rainfall I (in./hr.)	Q (cfs)	Pipe Dia. (in.)	Pipe Length (ft.)	Slope %	H.G. Slope %	Avg. Depth of Flow (ft.)	Velocity Flowing Full (ft./sec.)	Travel Time (min.)	Sewer Capacity (cfs)	Surface Elev. Upstr.	H.G. Upstr.	H.G. Dwnstr.	Invert Elev. Upstr.	Invert Elev. Dwnstr.		
R13	R12	0.16	0.76	0.12	0.00	0.12	15.00	4.38	0.53	12	47	1.48	0.02	0.28	5.53	0.14	4.34	899.00	898.28	897.58	898.00	897.30	
R11	R10	1.45	0.25	0.36	0.00	0.36	15.00	4.38	1.59	12	55	0.44	0.20	0.65	3.02	0.30	2.37	887.01	886.66	886.42	886.01	885.77	
R09	R08	0.25	0.76	0.25	0.00	0.25	15.00	4.38	1.09	12	70	4.50	0.09	0.30	9.65	0.12	7.58	897.83	889.67	886.52	889.37	886.22	
R08	R07	0.00	0.76	0.00	0.25	0.50	15.12	4.36	2.18	12	40	1.50	0.37	0.55	5.57	0.12	4.38	890.59	886.27	885.66	885.72	885.11	
R06	R05	Discharge from Detention Pond 2								0.31	12	67	0.75	0.01	0.25	3.94	0.28	3.09	890.59	873.25	872.75	873.00	872.50
R04	R03	Discharge from Detention Pond 1								0.16	12	197	0.44	0.00	0.23	3.00	1.09	2.36	890.59	879.23	878.37	879.00	878.15

STRUCTURE NO.	TYPE	RIM ELEV.	INV.	SUMP	TYPE OF CASTING
r01	EXISTING 18" ES	N/A	18" E 872.32	N/A	N/A
R02	18" ES	N/A	18" W 873.74	N/A	N/A
R03	12" ES	N/A	12" SW 878.15	N/A	N/A
R04	4" OUTLET CONTROL STRUCTURE	883.04	12" NE 879.00	2'	BAR GRATE
R05	12" ES	N/A	12" E 872.50	N/A	N/A
R06	4" OUTLET CONTROL STRUCTURE	879.05	12" W 873.00	2'	BAR GRATE
R07	12" ES	N/A	12" E 885.11	N/A	N/A
R08	4" MH	890.31	12" NE 886.01 12" W 885.72	2'	EJW 1040 Type B
R09	4" BEE HIVE	898.40	12" SW 889.16	2'	EJW 1040 Dome Grate
R10	12" ES	N/A	12" SW 885.77	N/A	N/A
R11	12" ES	N/A	12" NE 886.01	N/A	N/A
R12	12" ES	N/A	12" N 897.30	N/A	N/A
R13	12" ES	N/A	12" S 898.00	N/A	N/A



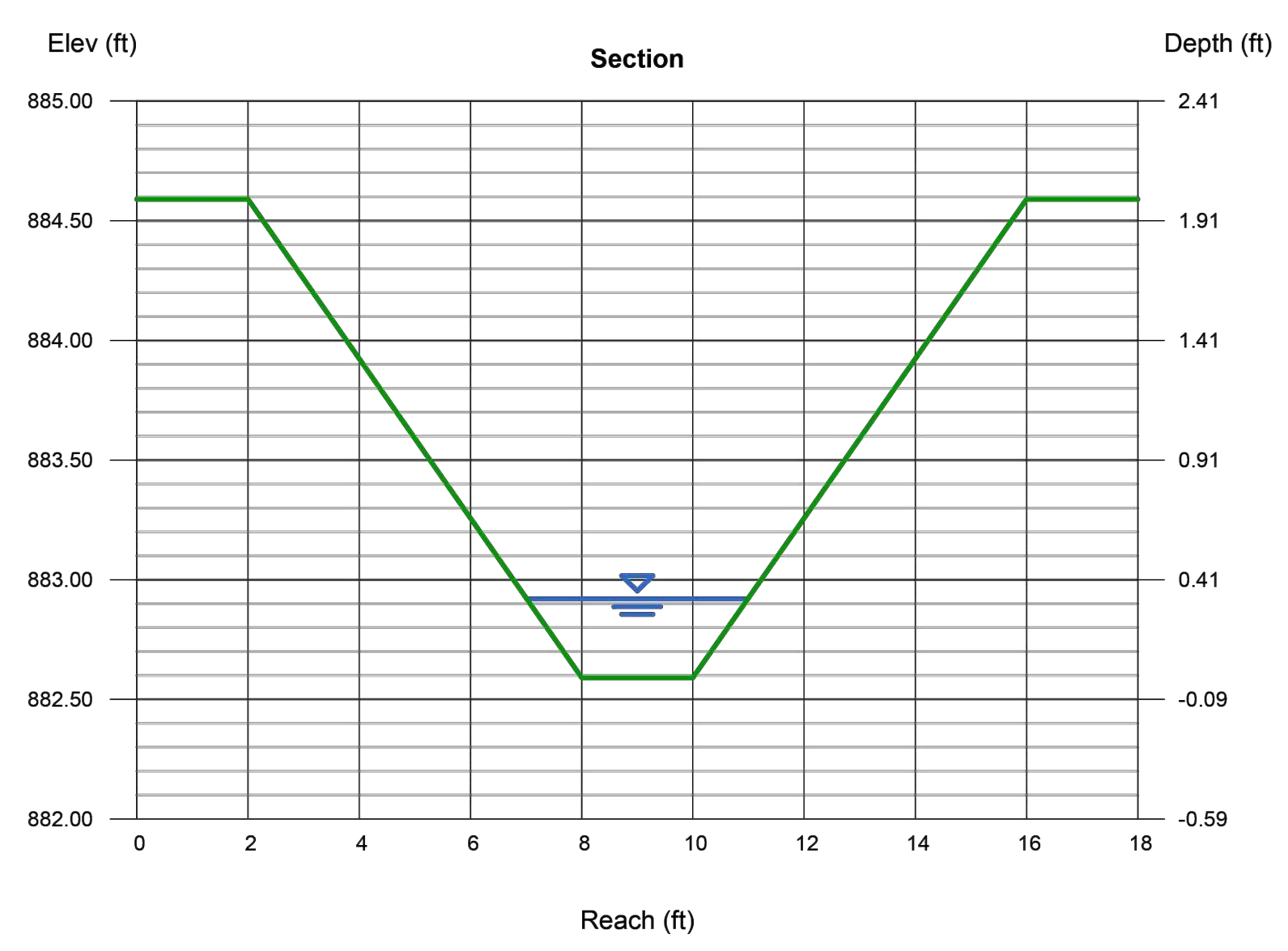
Channel Report

Hydrowflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Monday, Jun 10 2024

Parking Drive Ditch

Trapezoidal		Highlighted	
Bottom Width (ft)	= 2.00	Depth (ft)	= 0.33
Side Slopes (z:1)	= 3.00, 3.00	Q (cfs)	= 3.200
Total Depth (ft)	= 2.00	Area (sqft)	= 0.99
Invert Elev (ft)	= 882.59	Velocity (ft/s)	= 3.24
Slope (%)	= 2.00	Wetted Perim (ft)	= 4.09
N-Value	= 0.025	Crit Depth, Yc (ft)	= 0.36
		Top Width (ft)	= 3.98
		EGL (ft)	= 0.49

Calculations
Compute by: Known Q
Known Q (cfs) = 3.20



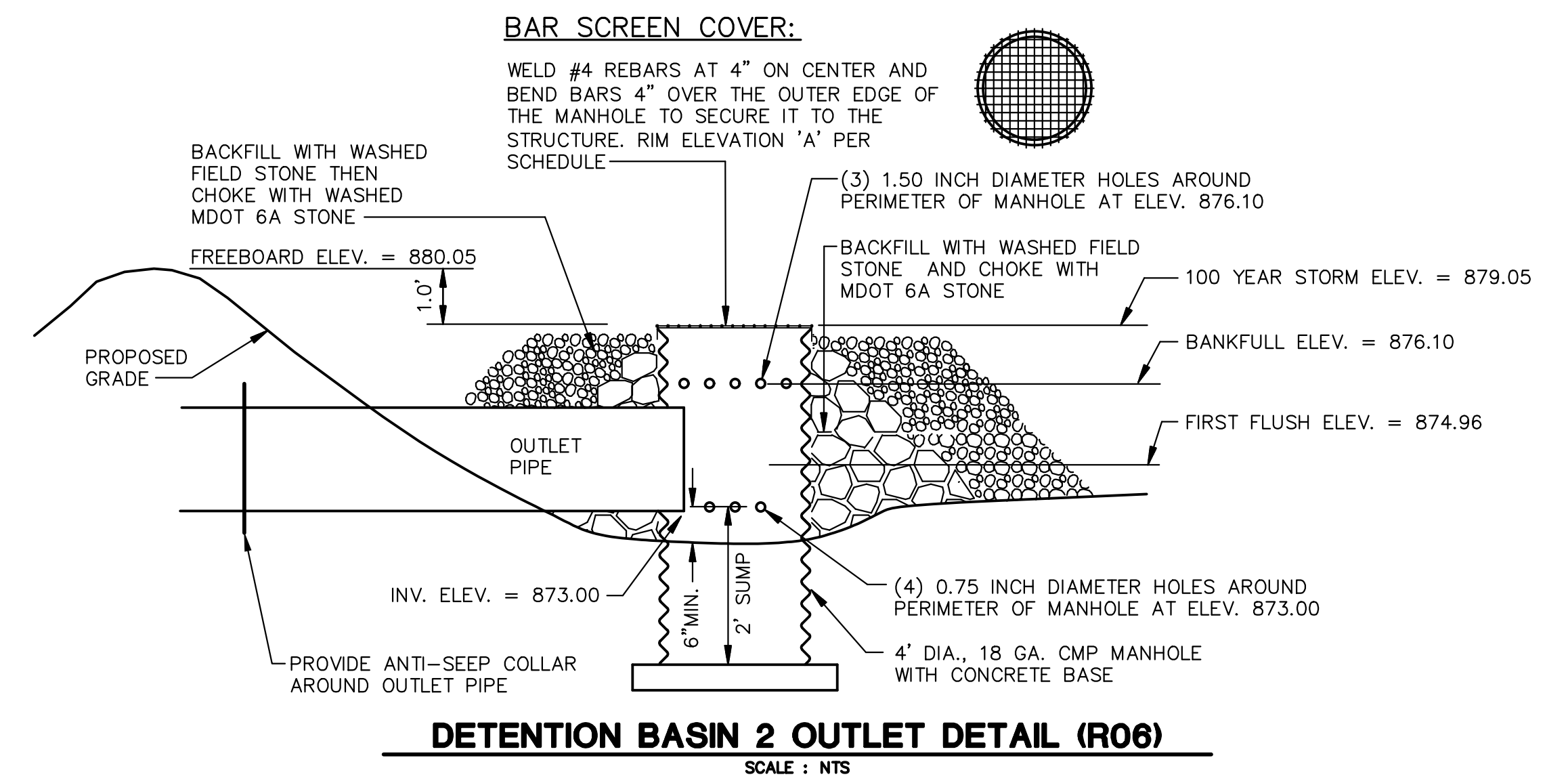
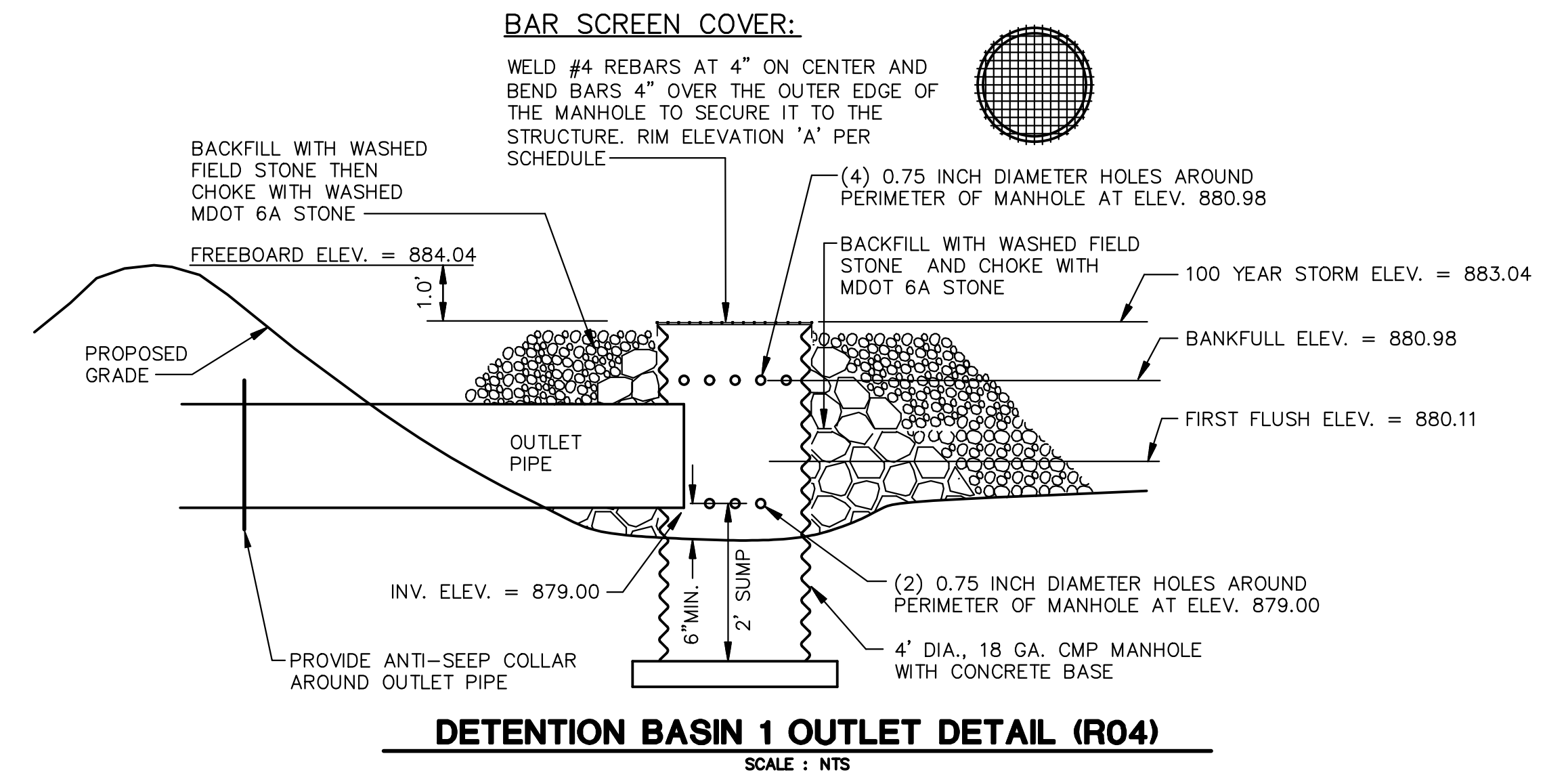
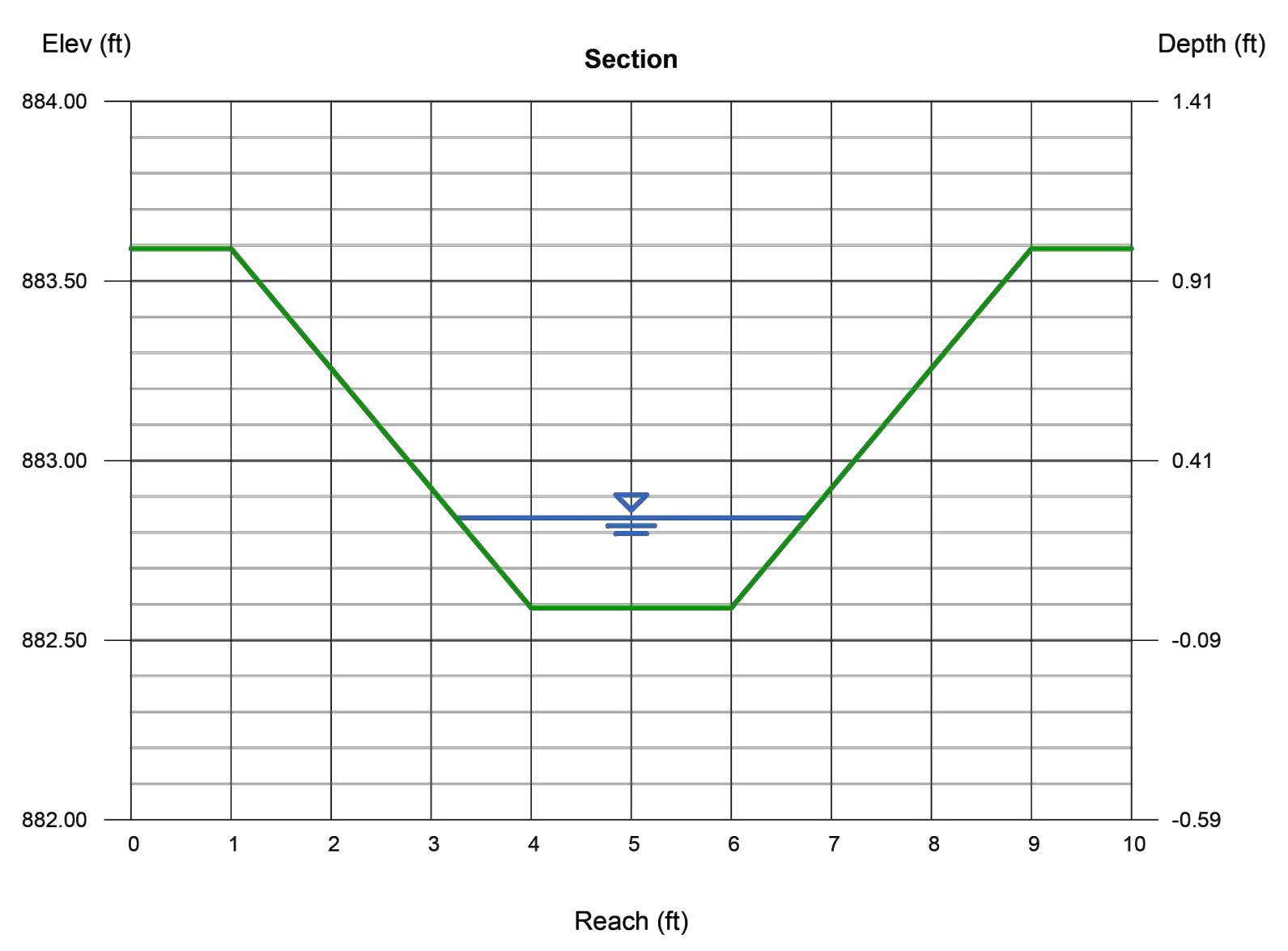
Channel Report

Hydrowflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc. Tuesday, Jul 30 2024

Main Drive Ditch

Trapezoidal		Highlighted	
Bottom Width (ft)	= 2.00	Depth (ft)	= 0.25
Side Slopes (z:1)	= 3.00, 3.00	Q (cfs)	= 2.040
Total Depth (ft)	= 1.00	Area (sqft)	= 0.69
Invert Elev (ft)	= 882.59	Velocity (ft/s)	= 2.97
Slope (%)	= 2.43	Wetted Perim (ft)	= 3.58
N-Value	= 0.025	Crit Depth, Yc (ft)	= 0.28
		Top Width (ft)	= 3.50
		EGL (ft)	= 0.39

Calculations
Compute by: Known Q
Known Q (cfs) = 2.04



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GARRETT'S SPACE

FINAL SITE PLAN

STORM WATER DETAILS & CALCULATIONS

20

JOB No. 22265

DATE: 05/07/24

SHEET 20 OF 35

REV. DATE: 05/07/24

REV. DATE: 05/15/24

REV. DATE: 05/20/24

DESIGNED BY: RMLII

CHECKED BY: RMLII

APPROVED BY: RMLII

STORM WATER CALCULATIONS - BASIN 1

Stormwater Calculations 4/22/2024
W1 - Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients
W2 - W2 - First Flush Runoff Calculations (Vf)
W3 - W3 - Pre-Development Bankfull Runoff Calculations (Vf-pre)
W4 - Pervious Cover Post-Development Bankfull Runoff Calculations (Vf-per-post)
W5 - W5 - Impervious Cover Post-Development Bankfull Runoff Calculations (Vf-imp-post)
W6 - W6 - Pervious Cover Post-Development 100-Year Runoff Calculations (V100-per-post)
W7 - W7 - Impervious Cover Post-Development 100-Year Runoff Calculations (V100-imp-post)
W8 - Time of Concentration (Tc-hrs)
W9 - Runoff Summary & On-Site Infiltration Requirement
W10 - Detention/Retention Requirement

STORM WATER CALCULATIONS - BASIN 2

Stormwater Calculations 4/22/2024
W1 - Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients
W2 - W2 - First Flush Runoff Calculations (Vf)
W3 - W3 - Pre-Development Bankfull Runoff Calculations (Vf-pre)
W4 - Pervious Cover Post-Development Bankfull Runoff Calculations (Vf-per-post)
W5 - W5 - Impervious Cover Post-Development Bankfull Runoff Calculations (Vf-imp-post)
W6 - W6 - Pervious Cover Post-Development 100-Year Runoff Calculations (V100-per-post)
W7 - W7 - Impervious Cover Post-Development 100-Year Runoff Calculations (V100-imp-post)
W8 - Time of Concentration (Tc-hrs)
W9 - Runoff Summary & On-Site Infiltration Requirement
W10 - Detention/Retention Requirement

Stormwater Calculations 4/22/2024
W1 - Determine Applicable BMPs and Associated Volume Credits
W2 - Natural Features Inventory
W3 - Site Summary of Infiltration & Detention
A. Stormwater Management Summary
B. Detention Volume Increase for sites where the required infiltration volume cannot be achieved.
Detention Outlet Calculations
A. Required Detention Volumes (Reduced by 6-hour infiltration)
B. Detention Volumes Provided
Storage Elevation Calculation
C. Two-Stage Outlet Design

PERMANENT STORMWATER MAINTENANCE SCHEDULE

Table with 7 columns: Components, Ditches and Swales, Outflow Control Structure, Rip-Rap, Storm Detention Areas, Wetlands, Emergency Overflow, Schedule. Rows include sediment accumulation, floatables and debris, erosion, and vegetation inspection.

TEMPORARY (DURING CONSTRUCTION) STORMWATER MAINTENANCE SCHEDULE

Table with 7 columns: Components, Storm Sewer System, Ditches and Swales, Outflow Control Structure, Rip-Rap, Storm Detention Areas, Wetlands, Emergency Overflow, Schedule. Rows include sediment accumulation, floatables and debris, erosion, and vegetation inspection.

CERTIFICATE OF OUTLET

Outlet Capacity Analysis
Garrett's Space
MCLLC Proj# 22265
Existing Conditions
Q = C x I x A
A = 4.1
I = 275 / (Tc + 25) = 6.11 in/hr
Where Tc = 20 min
For a 100-year Storm
Exist. Runoff Coeff. Calc
Building Paved Surface = 0.64 ac @ 0.95
Lawn/Landscape = 3.46 ac @ 0.25
Water Surface = 0.00 ac @ 1
C Composite = 0.36
Q = 0.36 x 4.1 x 6.11 x 41 = 9.00 cfs
Proposed Conditions
Under the proposed site conditions the site drainage is routed through the proposed.
The tributary area to the pond is 4.10 acres with an allowable outflow of 0.15 cfs per acre.
The peak discharge from the detention pond is:
4.10 ac x 0.15 cfs/acre = 0.62 cfs
Total Post Development Flow (Q) = 0.62 cfs
The discharge under the proposed site condition is reduced and will not have a negative impact on the outlet.

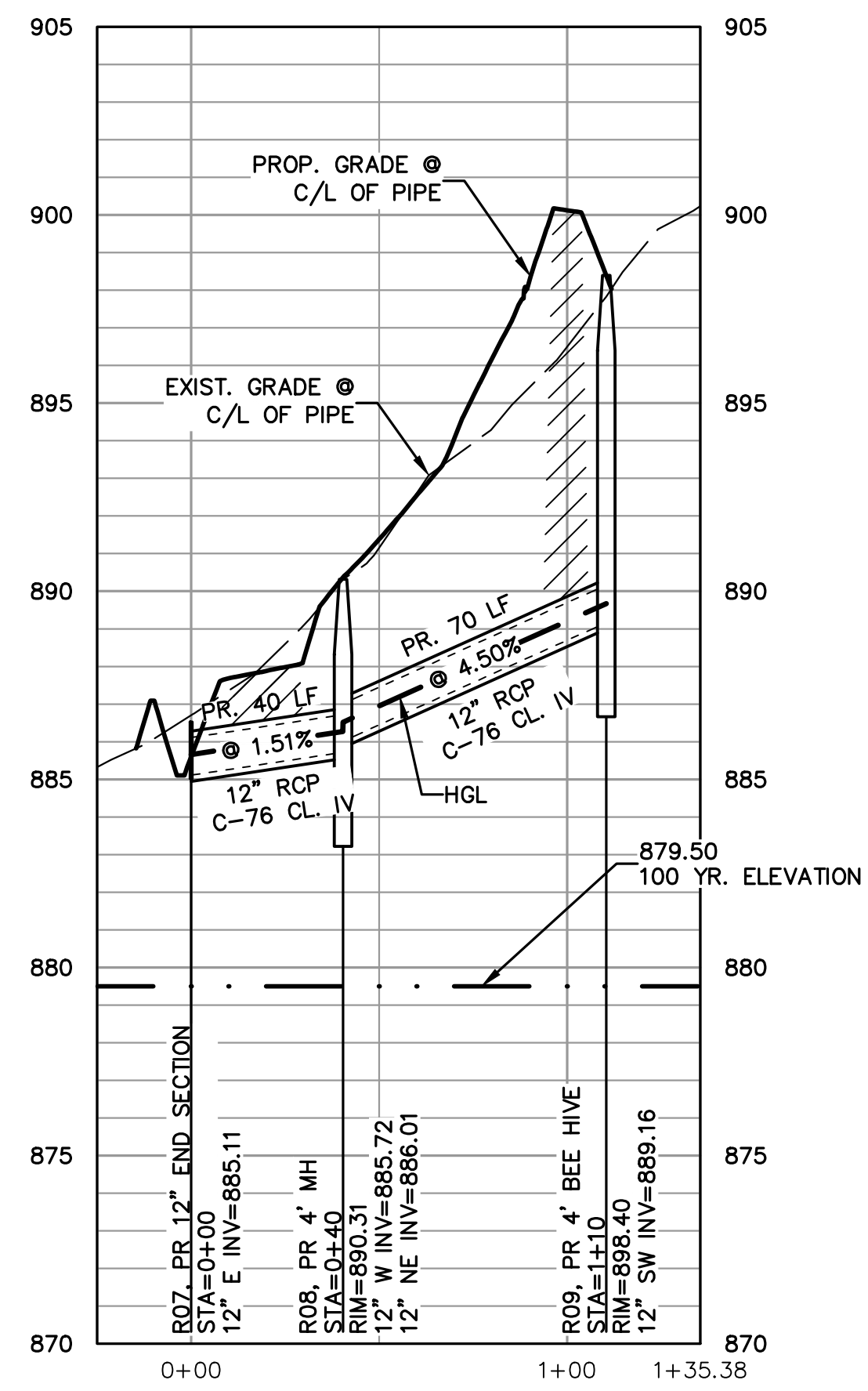
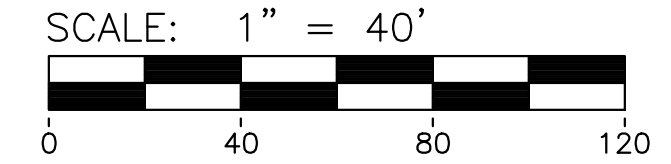
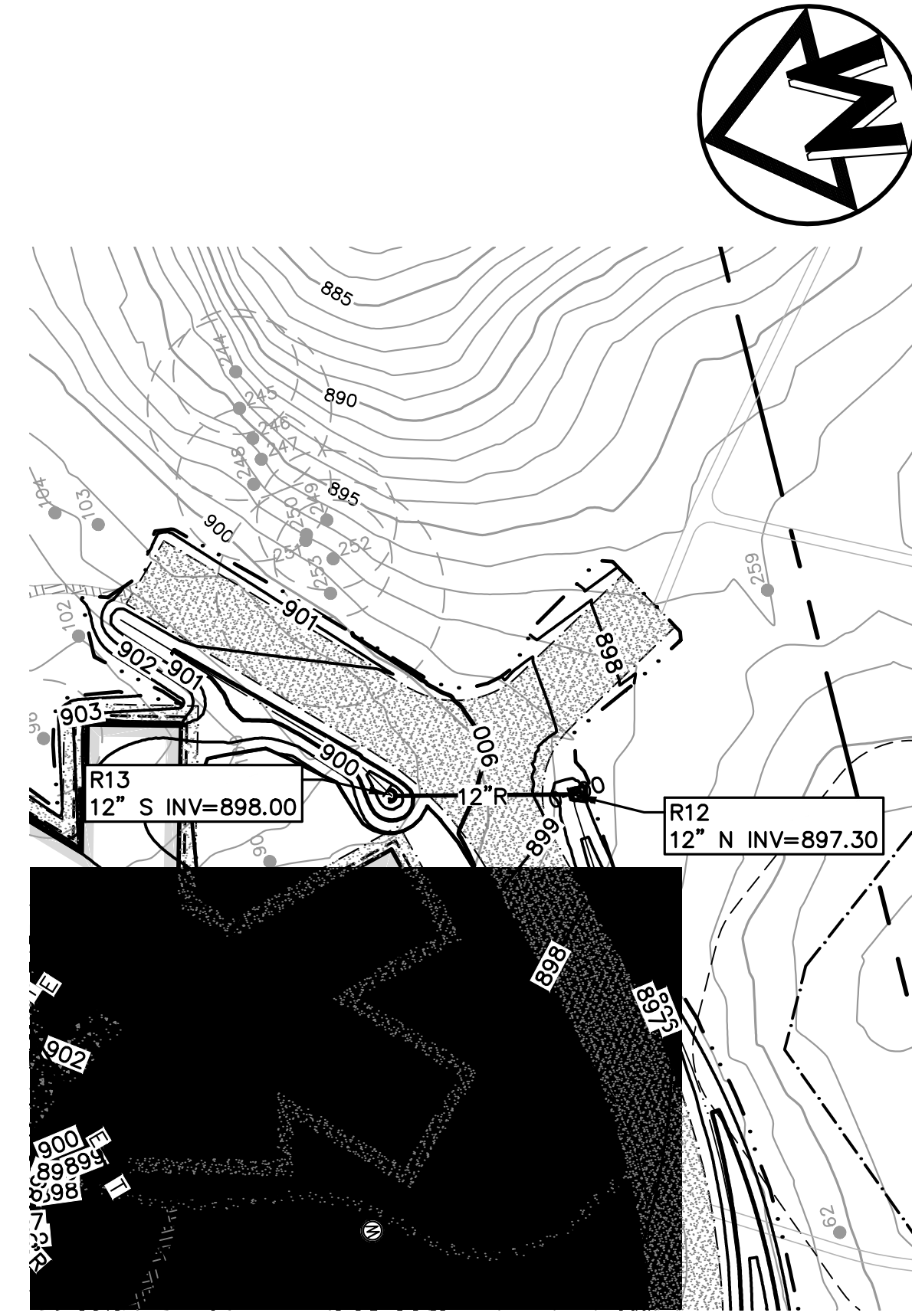
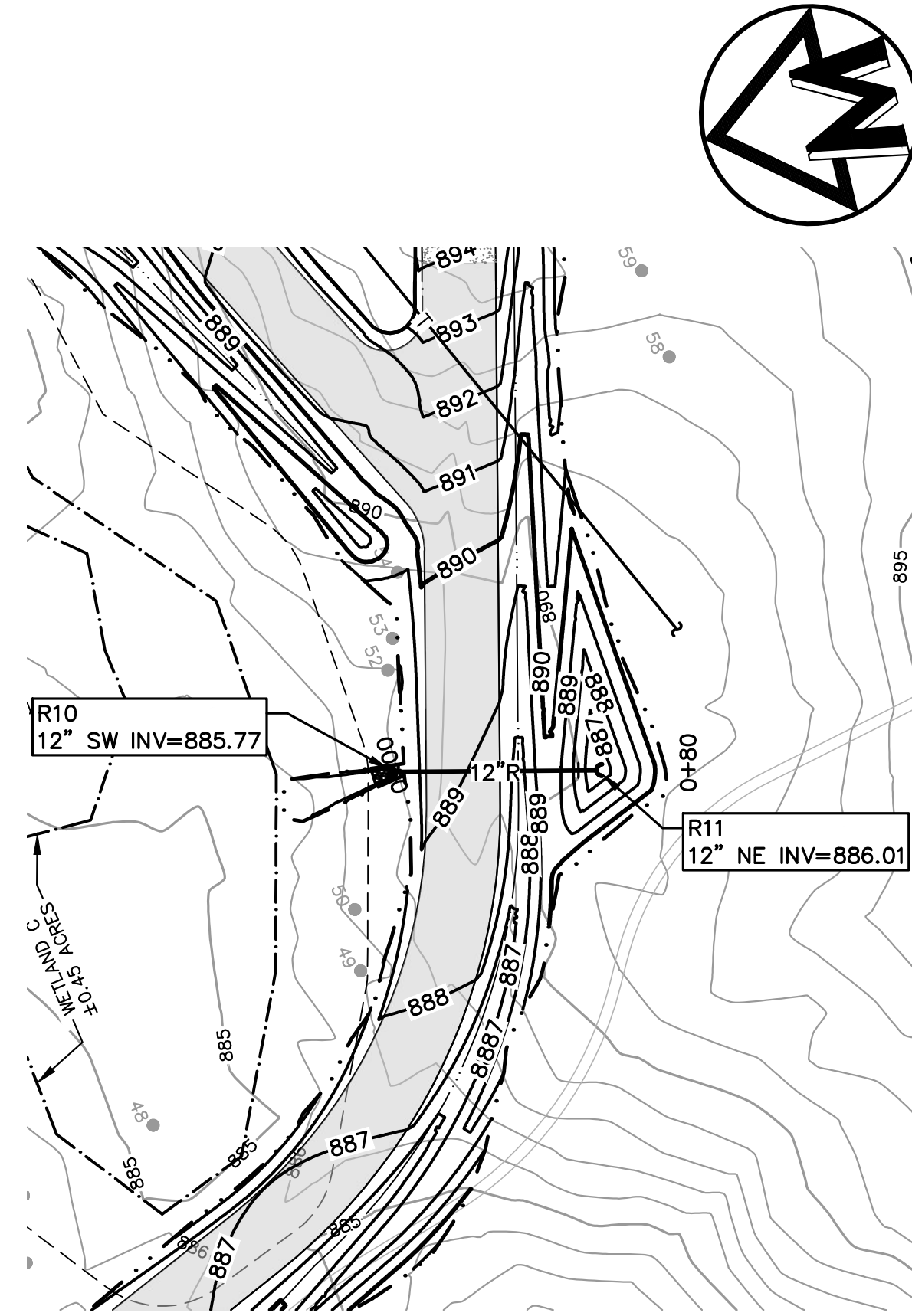
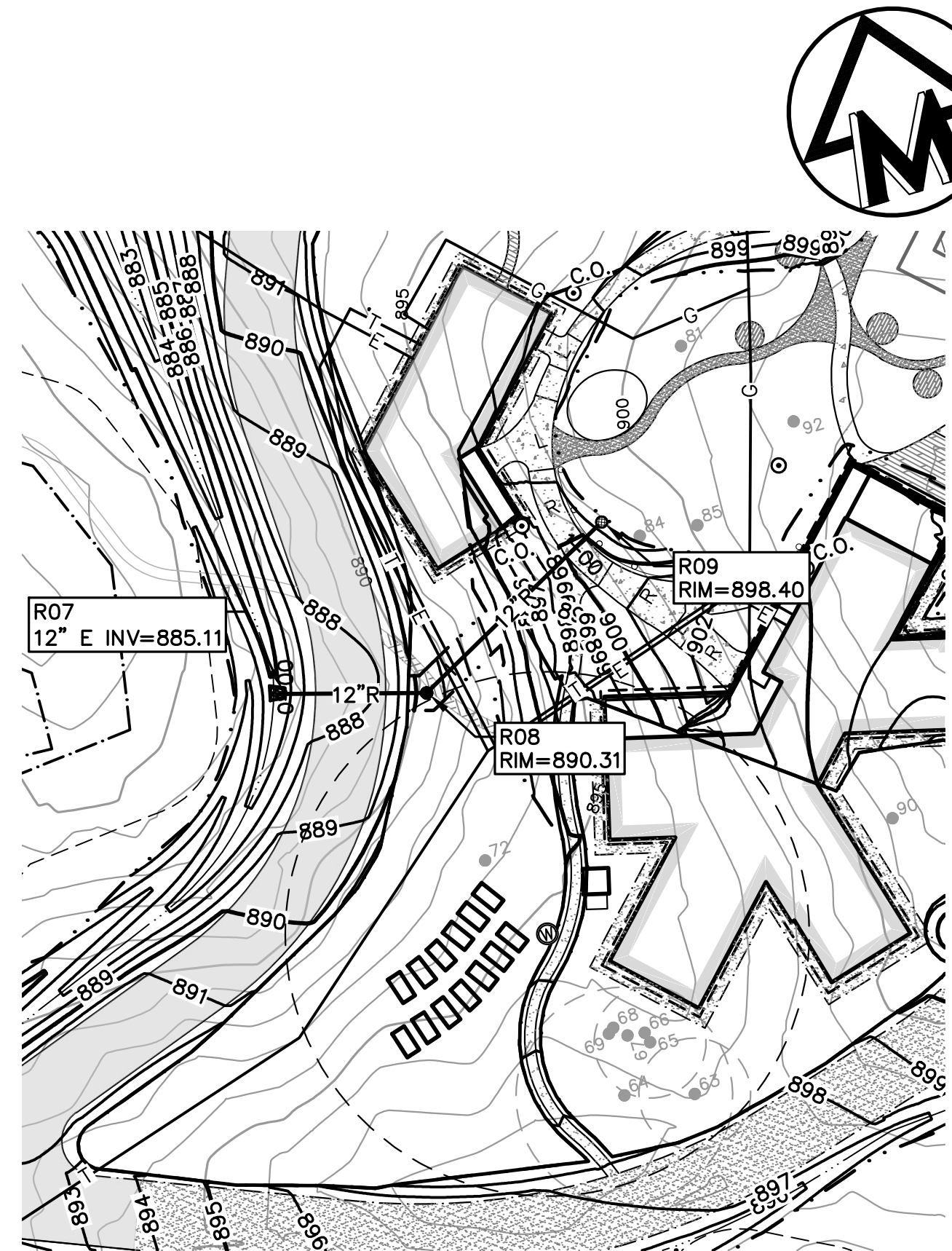
STORMWATER MAINTENANCE PLAN

- 1. Responsibility for Maintenance:
a. During construction, it is the contractor's responsibility to perform maintenance.
b. Following construction, it will be the responsibility of the owner to perform maintenance.
2. Maintenance Tasks and Schedule:
a. See the chart on this sheet. One chart describes maintenance tasks during construction to be performed by the contractor and the other describes maintenance tasks by the owner post-construction.
b. Immediately following construction, the owner will have the stormwater management system inspected by an engineer to verify grades of the detention basin and make recommendations for any necessary sediment removal.

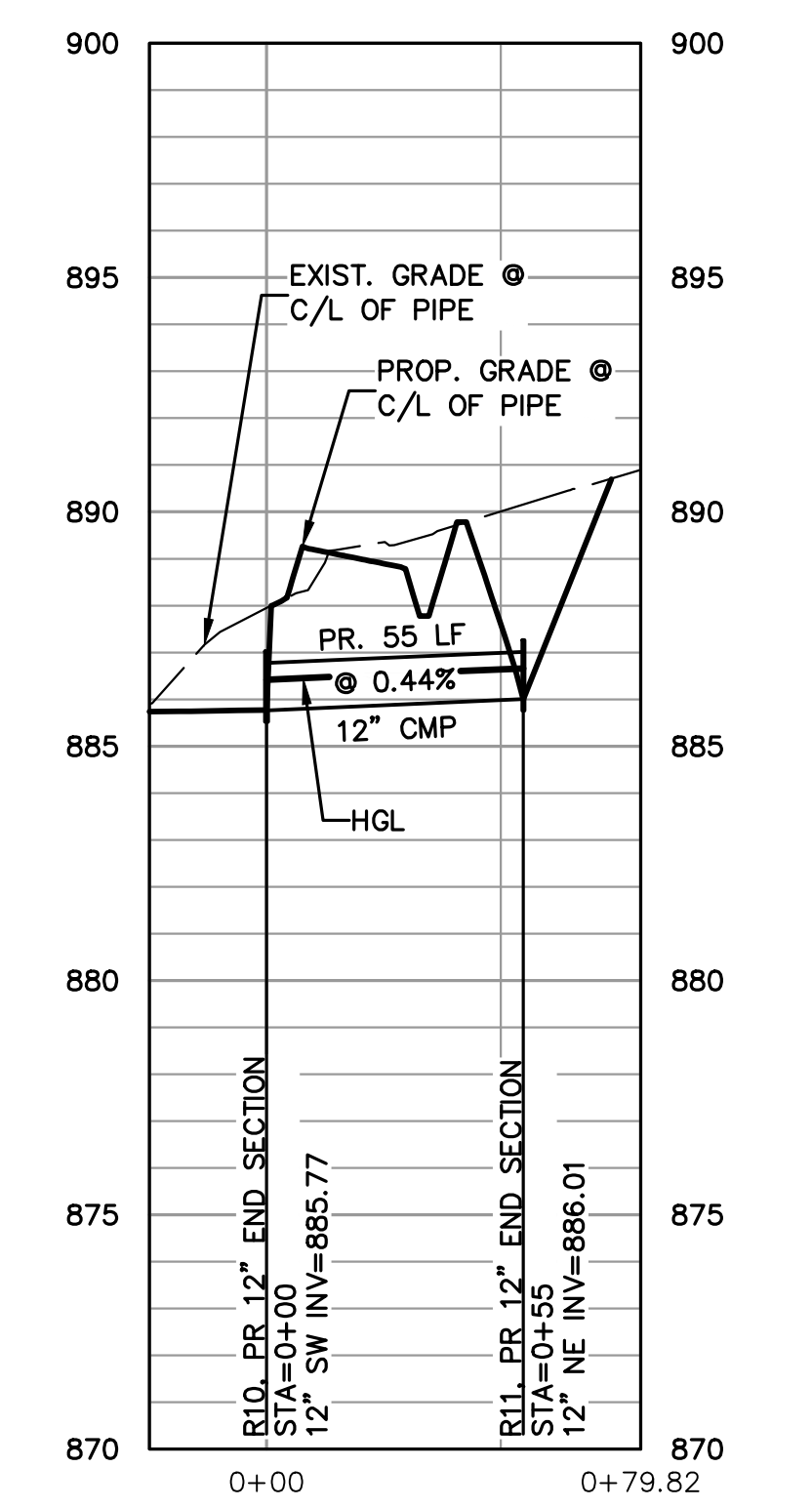
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FINAL SITE PLAN
STORM WATER MANAGEMENT CALCULATIONS
ENGINEER'S CERTIFICATE OF OUTLET
DATE: 05/07/24
SHEET 21 OF 35
REV. DATE 05/07/24
REV. DATE 05/15/24

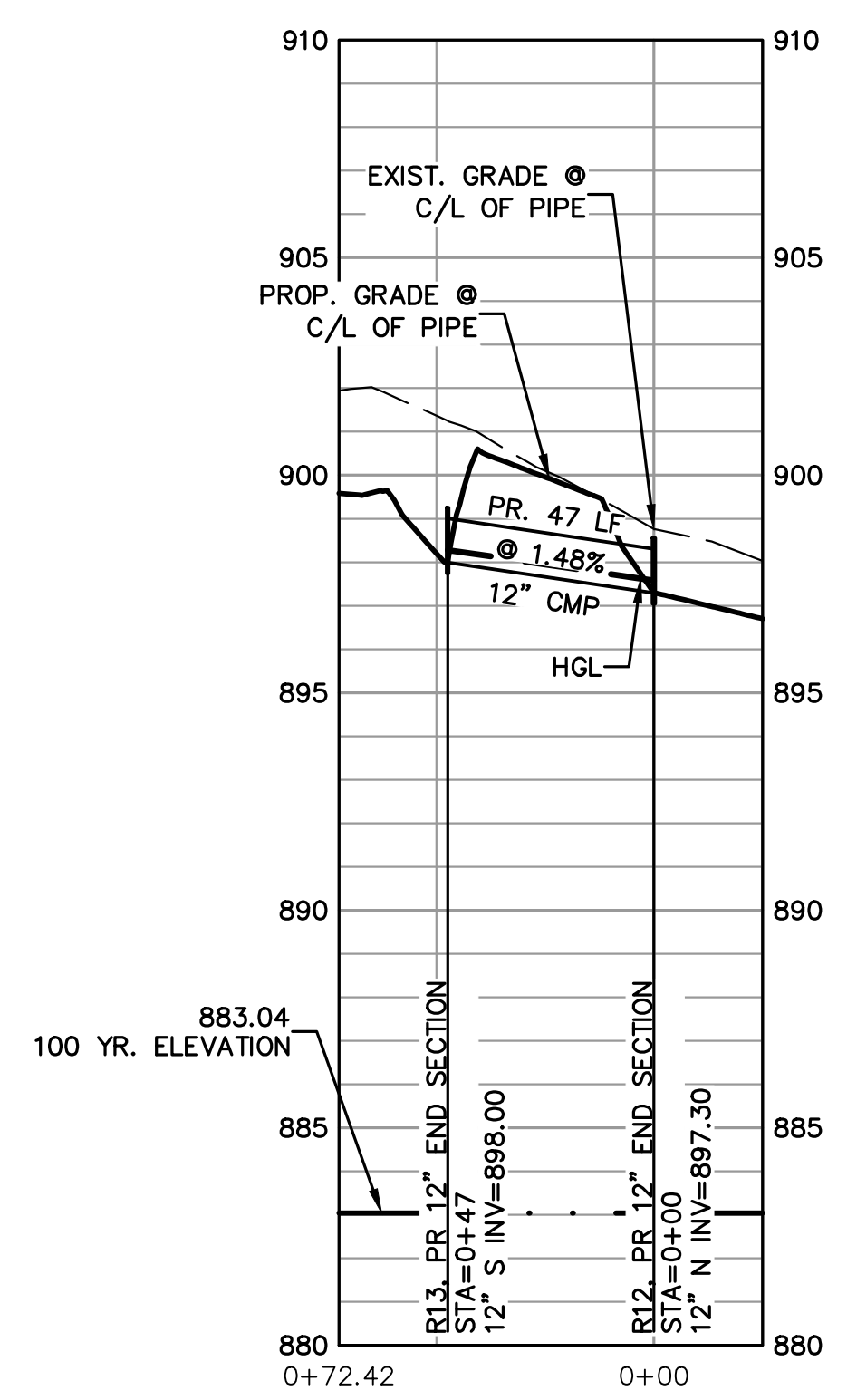
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PROPOSED STORM SEWER R07 - R09



PROPOSED STORM SEWER R10 - R11



PROPOSED STORM SEWER R12 - R13

LEGEND	
838	EXIST. CONTOUR
838	PROP. CONTOUR
x836.2	EXIST. SPOT ELEVATION
36.60x	PROP. SPOT ELEVATION
o-u.p.	EXIST. UTILITY POLE
o-u.p.	EXIST. UTILITY POLE W/ TRANS.
guy	GUY WIRE
⊠	ELEC. TRANSFORMER
⊠	EXIST. AC UNIT
⊠	EXIST. GENERATOR
OH	EXIST. OVERHEAD UTILITY LINE
*	EXIST. LIGHT POLE
*	PROP. LIGHT POLE
t	EXIST. TELEPHONE LINE
e	EXIST. ELECTRIC LINE
g	EXIST. GAS LINE
g	EXIST. GAS VALVE
f.o.	EXIST. FIBER OPTIC LINE
w	EXIST. WATER MAIN
w	PROP. WATER MAIN
h	EXIST. HYDRANT
h	PROP. HYDRANT
g	EXIST. GATE VALVE IN BOX
g	PROP. GATE VALVE IN BOX
g	EXIST. GATE VALVE IN WELL
g	PROP. GATE VALVE IN WELL
x	EXIST. CURB STOP & BOX
x	PROP. CURB STOP & BOX
△	REDUCER
o	EXIST. BLOW-OFF
o	PROP. BLOW-OFF
o	POST INDICATOR VALVE
o	POST INDICATOR VALVE
o	THRUST BLOCK
o	PROP. KNOXBOX
o	EXIST. FIRE DEPARTMENT CONNECTION
o	PROP. FIRE DEPARTMENT CONNECTION
r	EXIST. STORM SEWER
r	PROP. STORM SEWER
□	EXIST. CATCH BASIN OR INLET
□	PROP. CATCH BASIN OR INLET
o	EXIST. BEEHIVE INLET
o	PROP. BEEHIVE INLET
o	PROP. ROOF DRAIN
o	END SECTION
o	HEAD WALL
o	CULVERT
o	EXIST. DOWNSPOUT
o	PROP. DOWNSPOUT
o	EXIST. SANITARY SEWER
o	PROP. SANITARY SEWER
o	EXIST. CLEANOUT
o	PROP. CLEANOUT
o	C/L OF DITCH
o	DRAINAGE DIRECTION
o	SIGN
o	SINGLE TREE
o	TREE OR BRUSH LIMIT
o	FENCE
o	SILT FENCE
o	LIMITS OF DISTURBANCE

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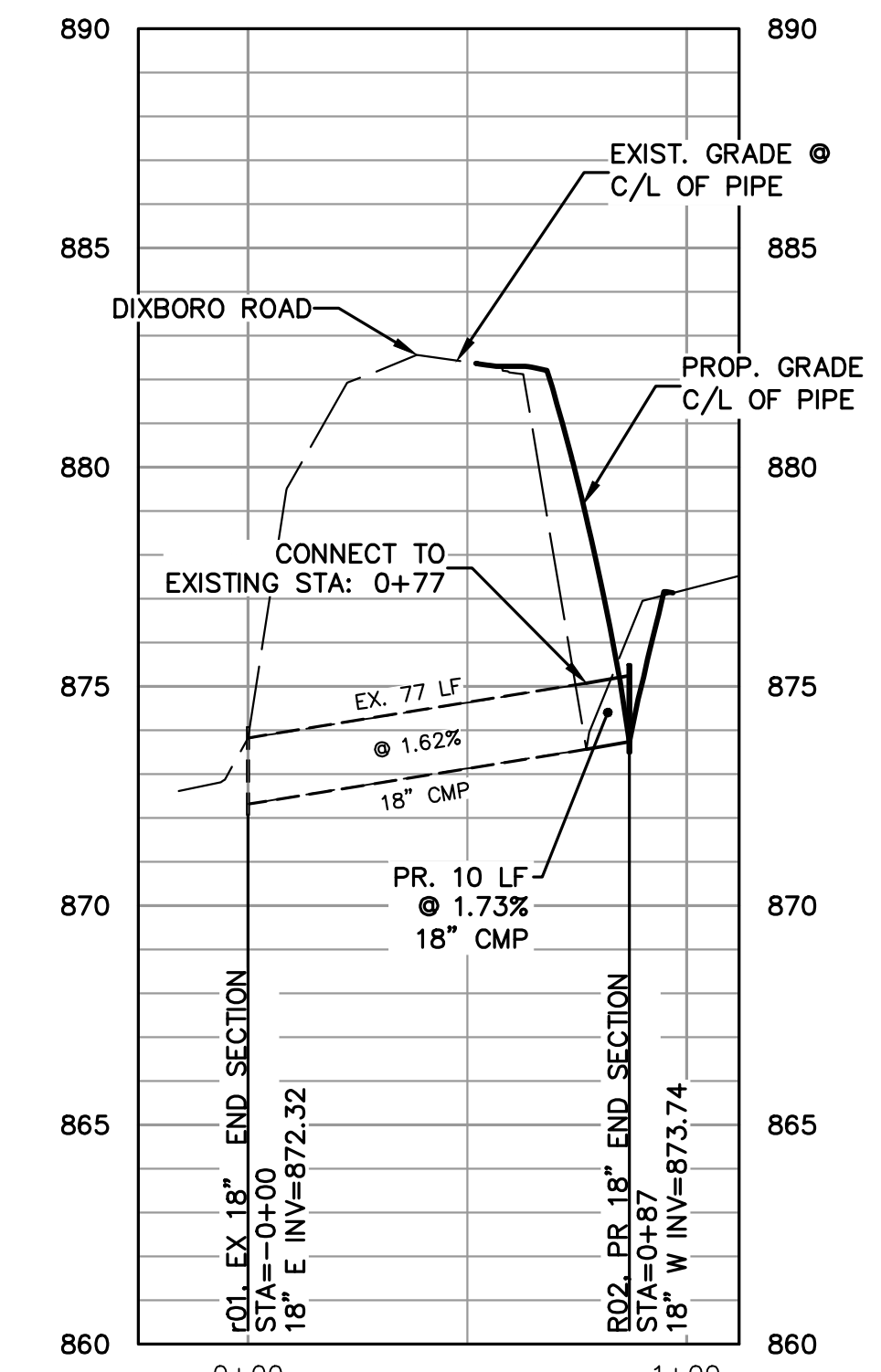
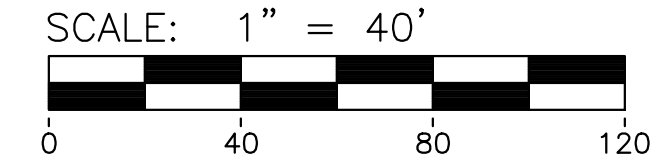
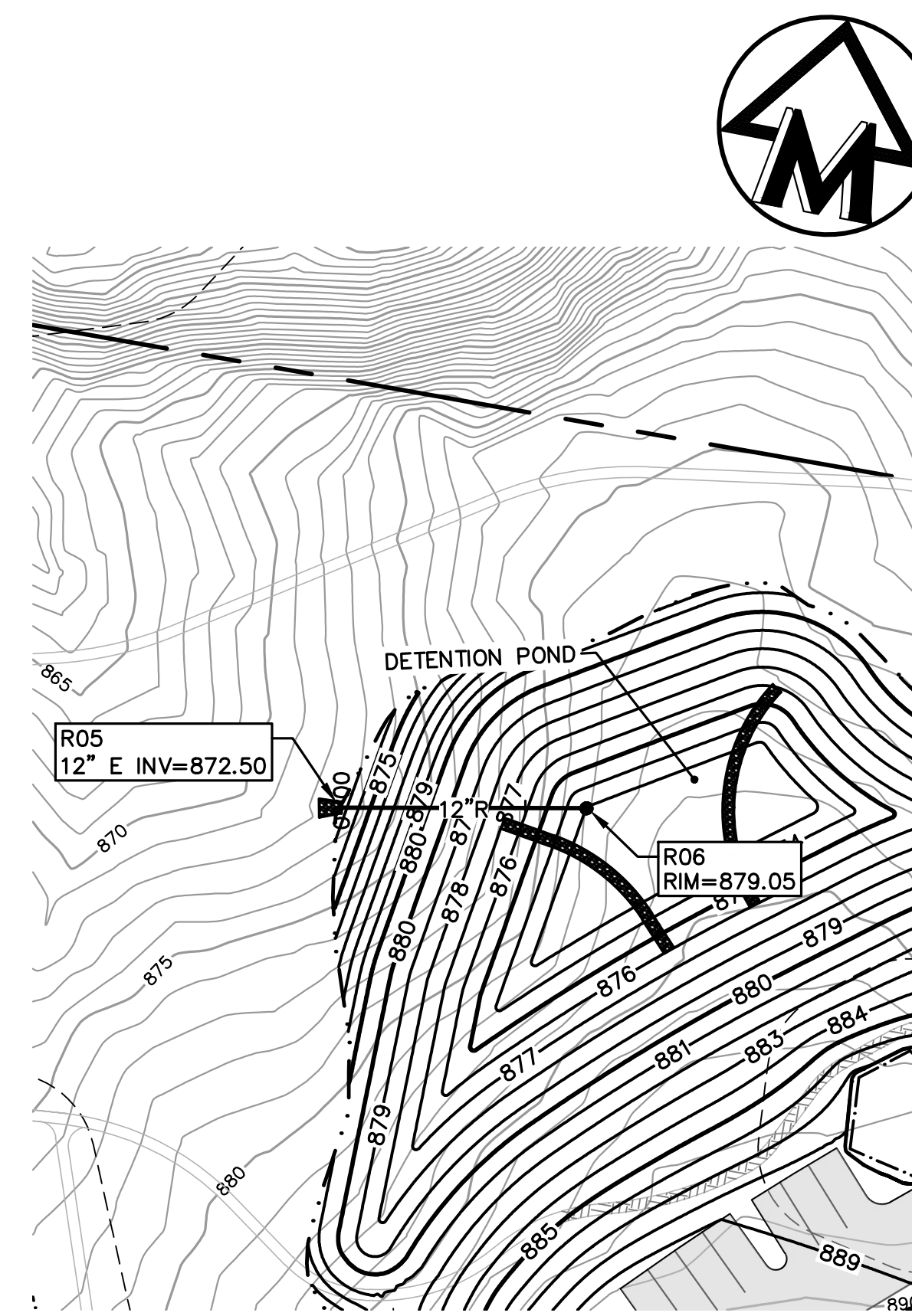
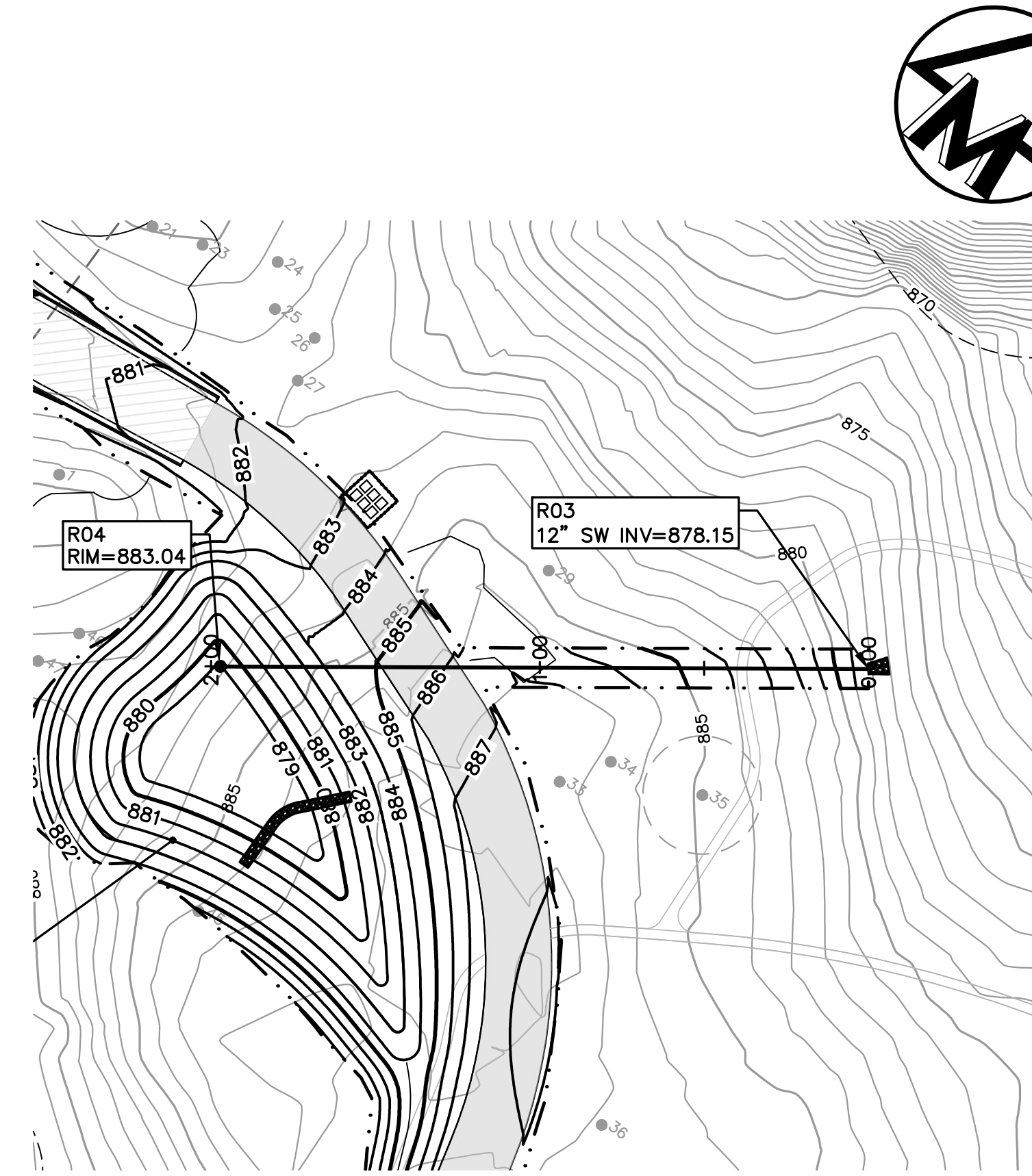
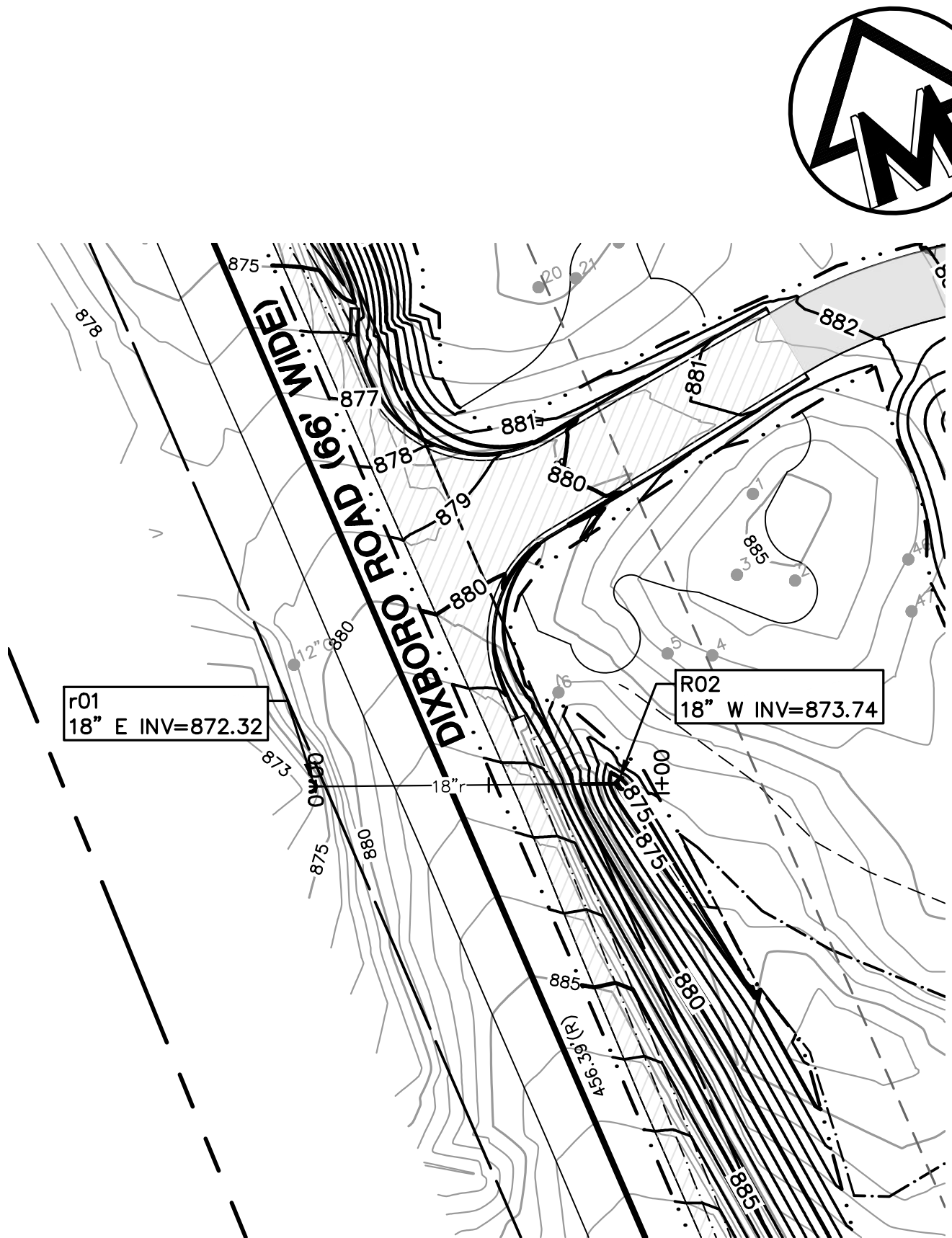
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22265
 JOB No.
 REV. DATE
 SHEET 21A OF 35
 PER MUNICIPAL REVIEW
 PER MUNICIPAL REVIEW
 PER MUNICIPAL REVIEW
 DATE: 05/07/24
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 DATE: 05/07/24
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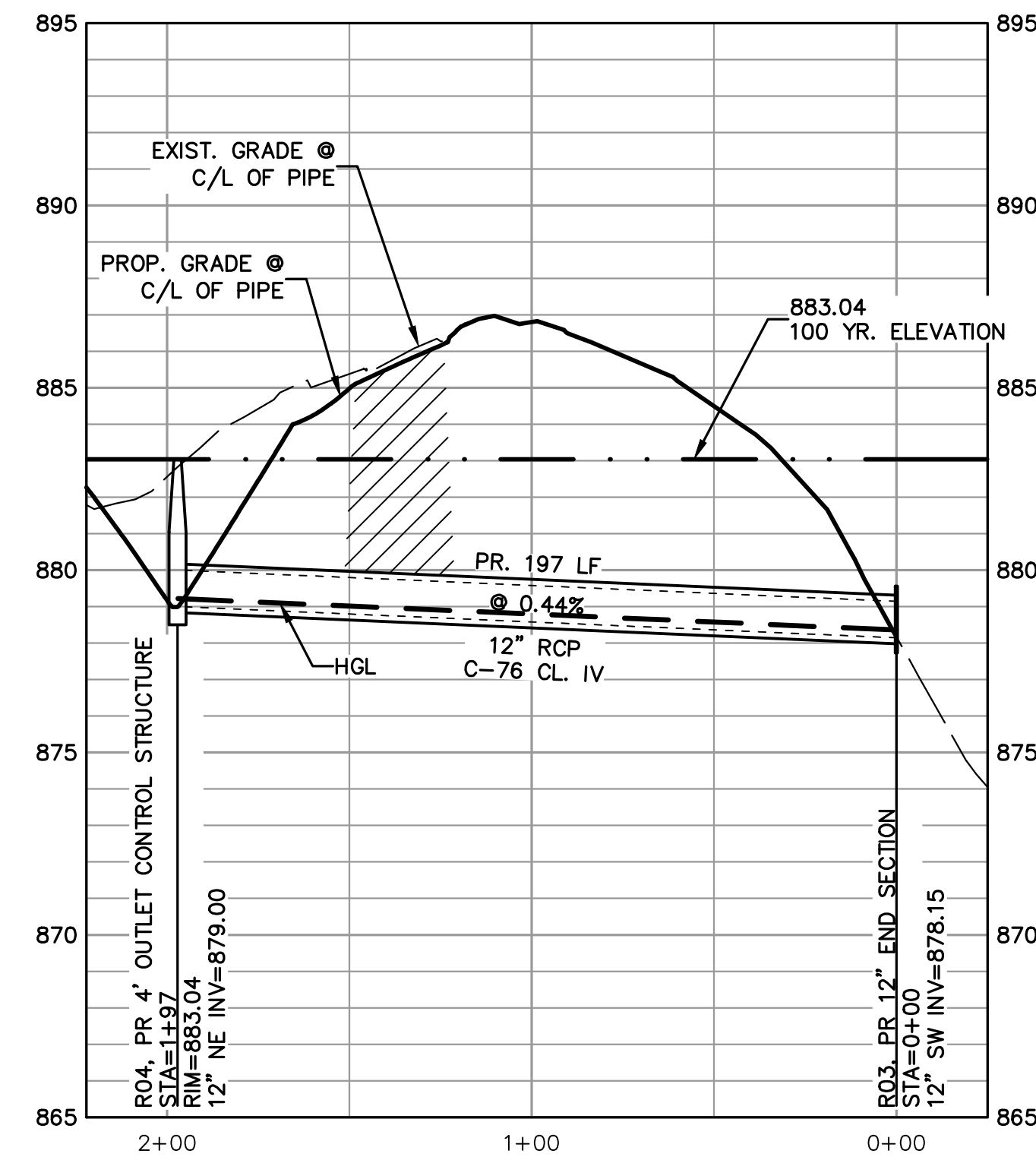
GARRETT'S SPACE
 FINAL SITE PLAN
 STORM SEWER PLAN AND PROFILES

21A

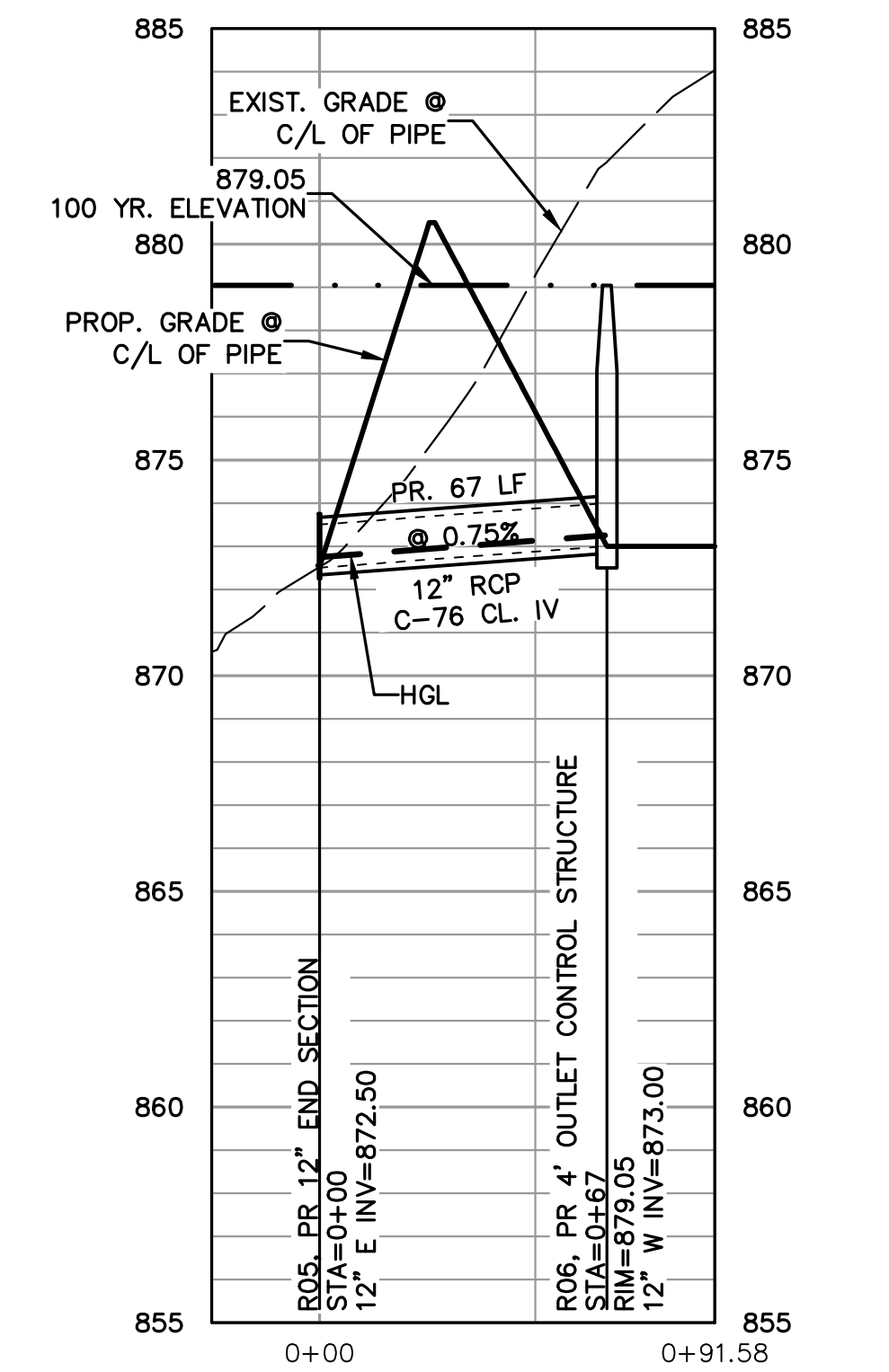
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PROPOSED STORM SEWER R01 - R02



PROPOSED STORM SEWER R03 - R04



PROPOSED STORM SEWER R05 - R06

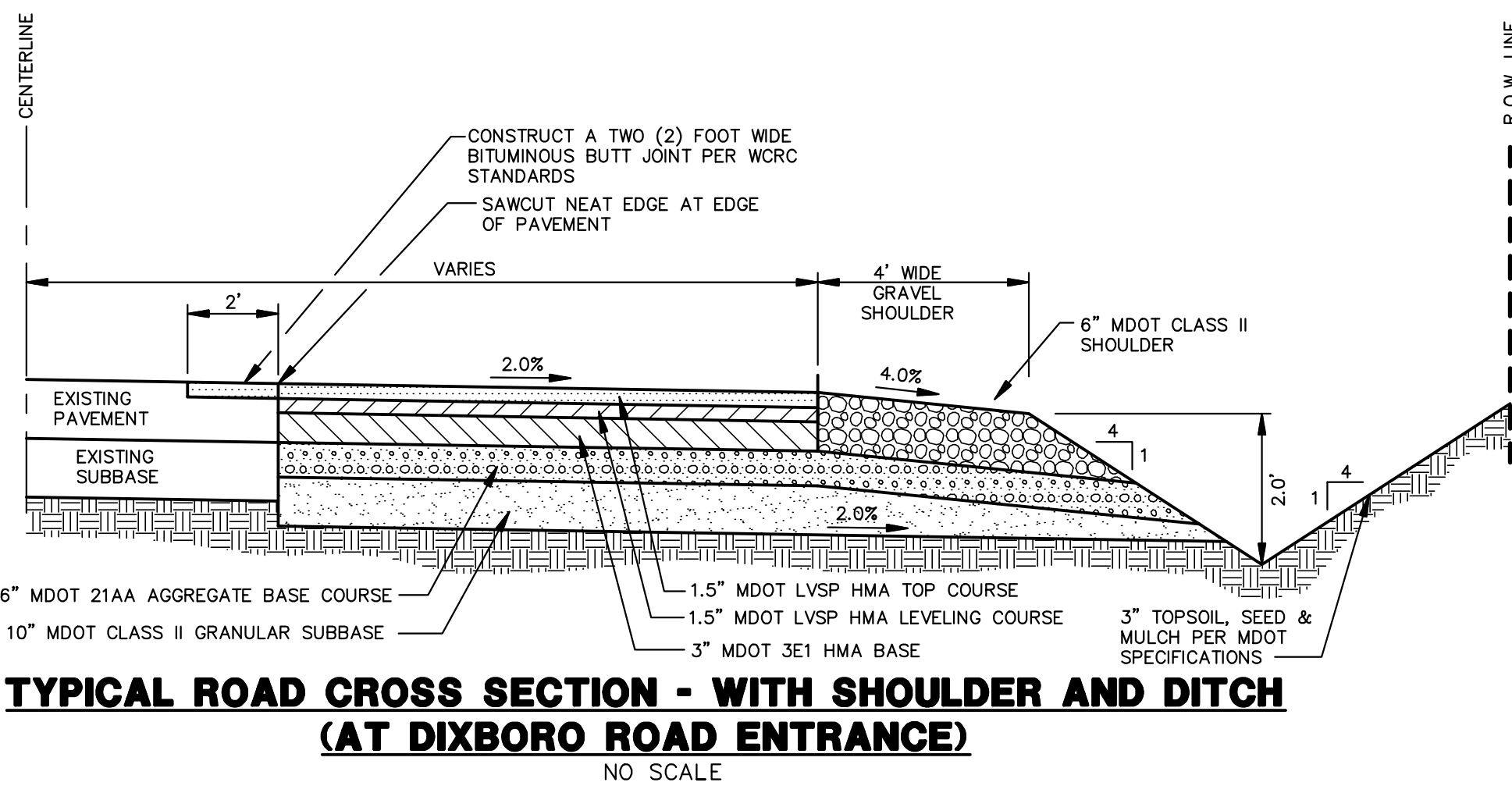
LEGEND

- 838 ——— EXIST. CONTOUR
- 838 ——— PROP. CONTOUR
- x836.2 EXIST. SPOT ELEVATION
- 36.60x PROP. SPOT ELEVATION
- o-u.p. EXIST. UTILITY POLE
- o-u.p. EXIST. UTILITY POLE W/ TRANS.
- GUY WIRE
- ⊠ ELEC. TRANSFORMER
- ⊠ EXIST. AC UNIT
- ⊠ EXIST. GENERATOR
- OH ——— EXIST. OVERHEAD UTILITY LINE
- * EXIST. LIGHT POLE
- * PROP. LIGHT POLE
- t ——— EXIST. TELEPHONE LINE
- e ——— EXIST. ELECTRIC LINE
- g ——— EXIST. GAS LINE
- g ⊠ EXIST. GAS VALVE
- f.o. ——— EXIST. FIBER OPTIC LINE
- w ——— EXIST. WATER MAIN
- W ——— PROP. WATER MAIN
- ⊕ EXIST. HYDRANT
- ⊕ PROP. HYDRANT
- ⊕ EXIST. GATE VALVE IN BOX
- ⊕ PROP. GATE VALVE IN BOX
- ⊕ EXIST. GATE VALVE IN WELL
- ⊕ PROP. GATE VALVE IN WELL
- x ——— EXIST. CURB STOP & BOX
- x ——— PROP. CURB STOP & BOX
- REDUCER
- o ——— EXIST. BLOW-OFF
- o ——— PROP. BLOW-OFF
- o ——— EXIST. POST INDICATOR VALVE
- o ——— PROP. POST INDICATOR VALVE
- o ——— EXIST. THRUST BLOCK
- o ——— PROP. THRUST BLOCK
- o ——— EXIST. FIRE DEPARTMENT CONNECTION
- o ——— PROP. FIRE DEPARTMENT CONNECTION
- r ——— EXIST. STORM SEWER
- R ——— PROP. STORM SEWER
- ——— EXIST. CATCH BASIN OR INLET
- ——— PROP. CATCH BASIN OR INLET
- ——— EXIST. BEEHIVE INLET
- ——— PROP. BEEHIVE INLET
- ——— EXIST. PROP. ROOF DRAIN
- ——— PROP. ROOF DRAIN
- END SECTION
- HEAD WALL
- CULVERT
- o ——— EXIST. DOWNSPOUT
- o ——— PROP. DOWNSPOUT
- o ——— EXIST. SANITARY SEWER
- o ——— PROP. SANITARY SEWER
- o ——— EXIST. CLEANOUT
- o ——— PROP. CLEANOUT
- o ——— C/L OF DITCH
- ⇒ ——— DRAINAGE DIRECTION
- ⊕ ——— SIGN
- ⊕ ——— SINGLE TREE
- TREE OR BRUSH LIMIT
- FENCE
- SILTFENCE
- LIMITS OF DISTURBANCE

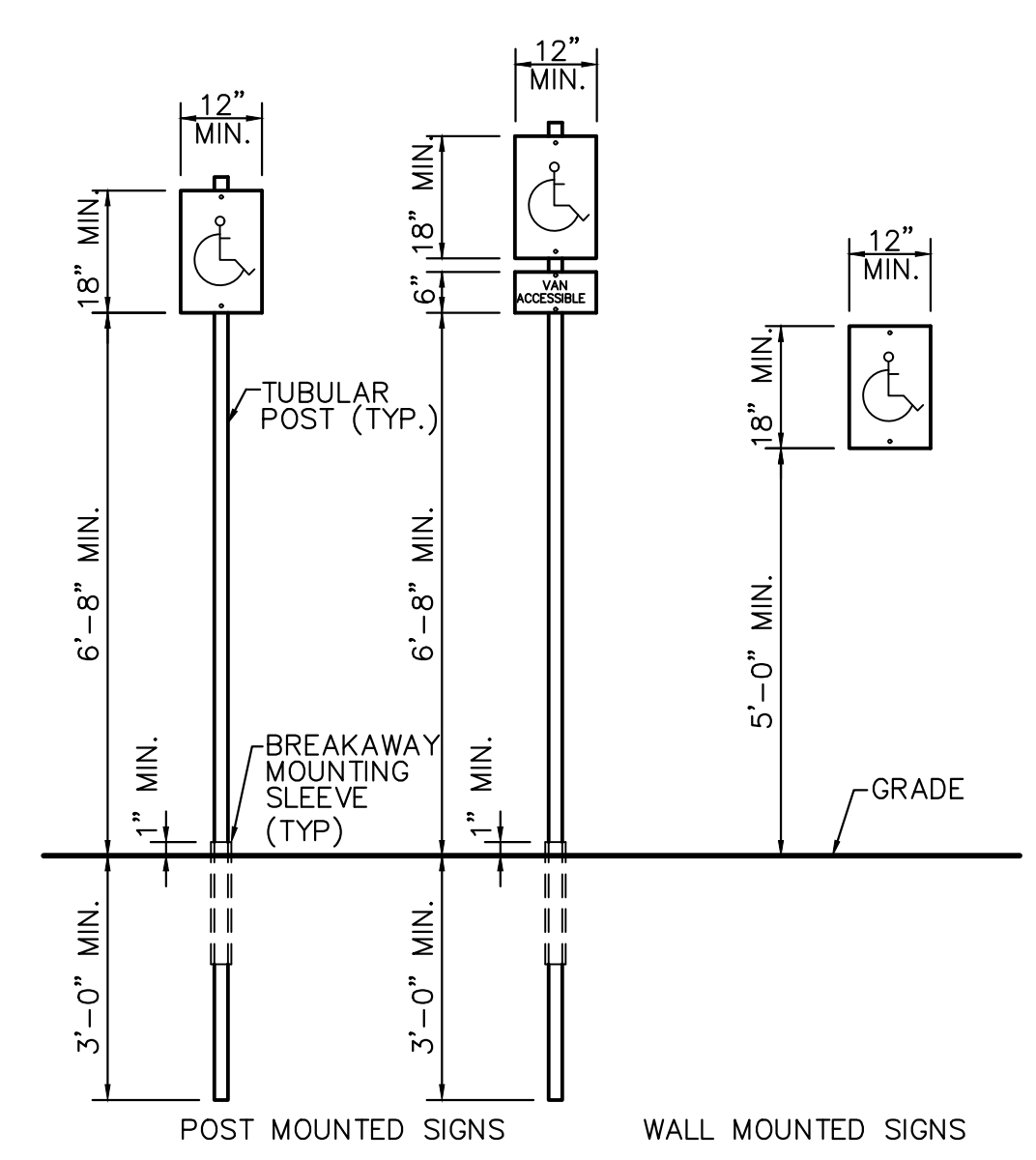
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DATE	05/07/24
SHEET	21B OF 35
REV. DATE	05/07/24
PER WORKING REVIEW	
PER MUNICIPAL REVIEW	
ENG.	HTH
DATE	05/15/24
CHK.	CHB
TECH.	CHB
DATE	05/15/24
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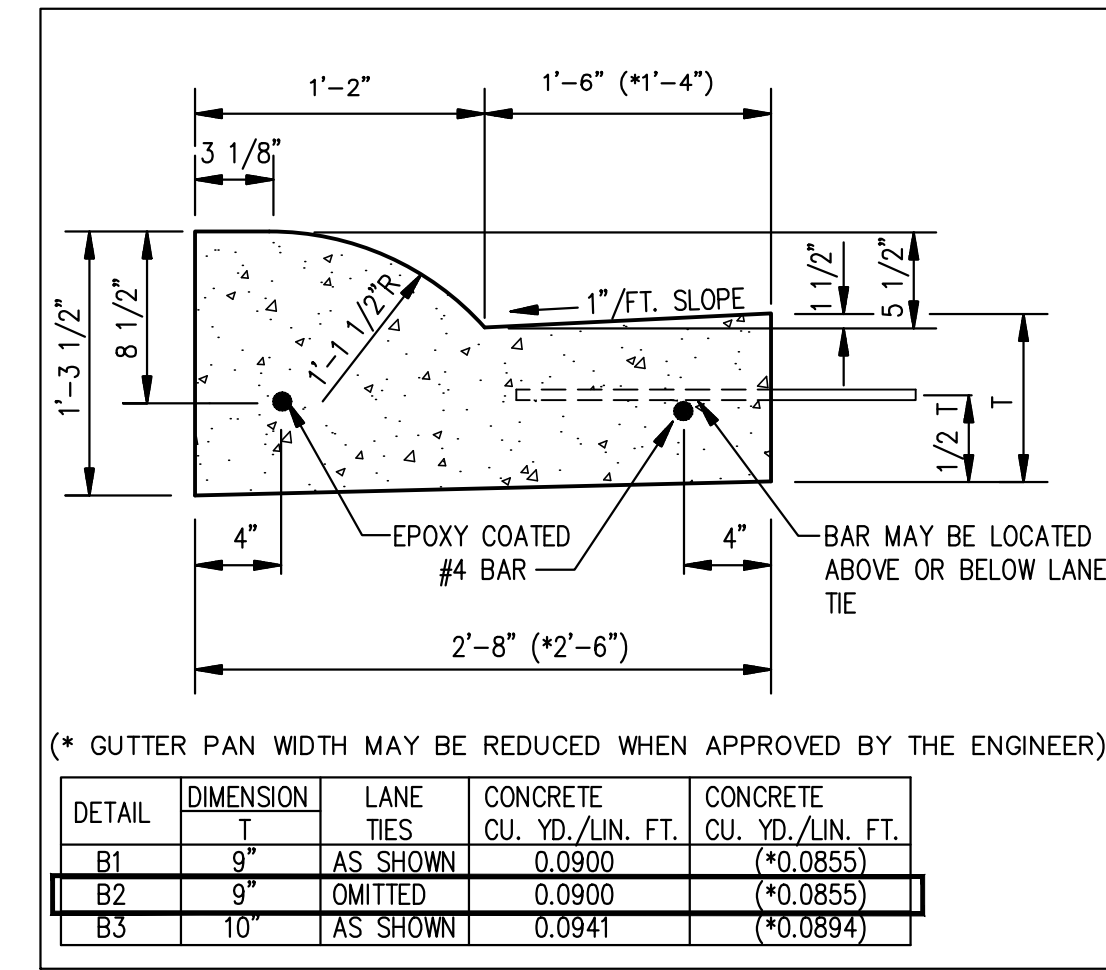
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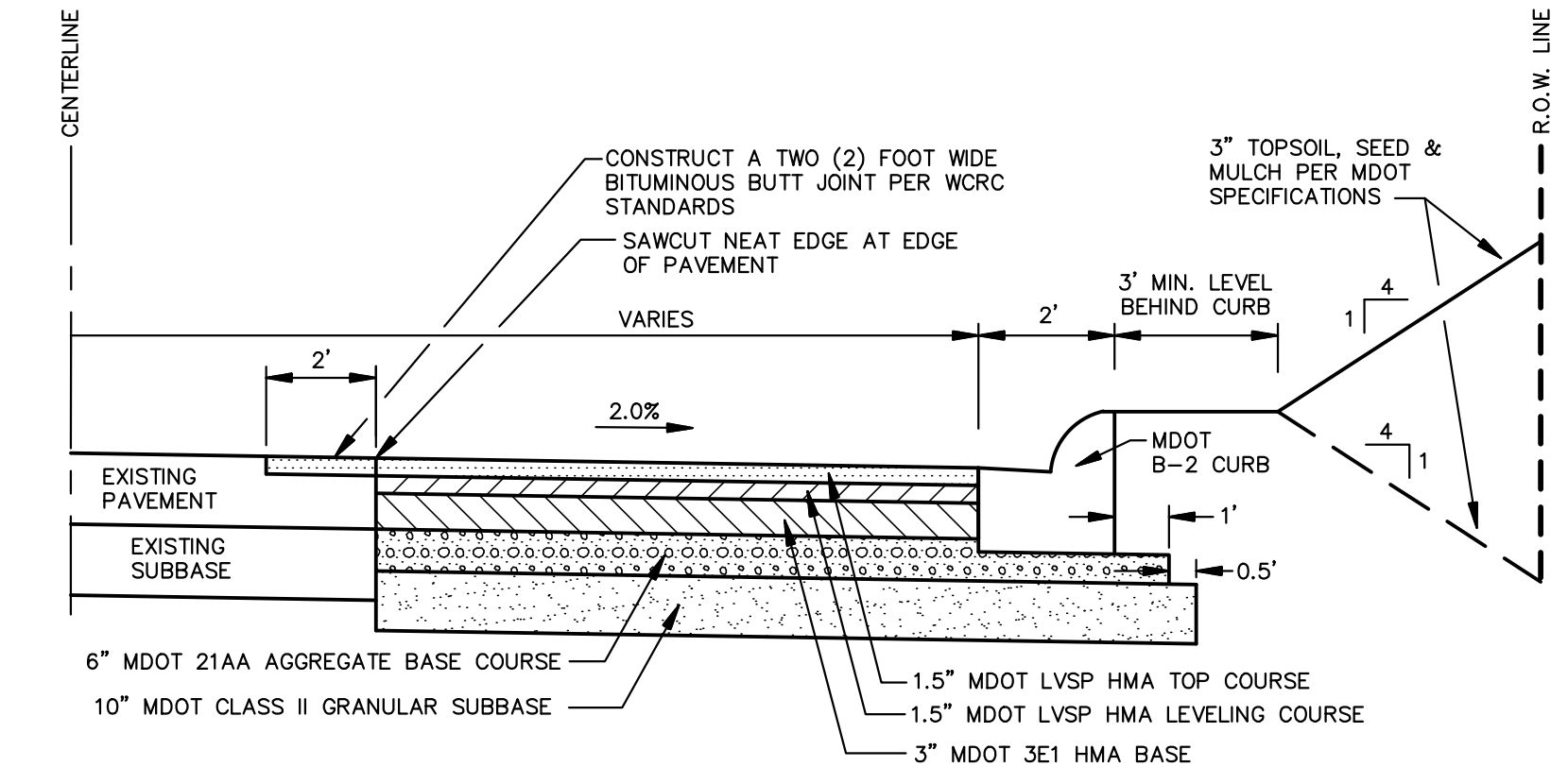
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NO SCALE



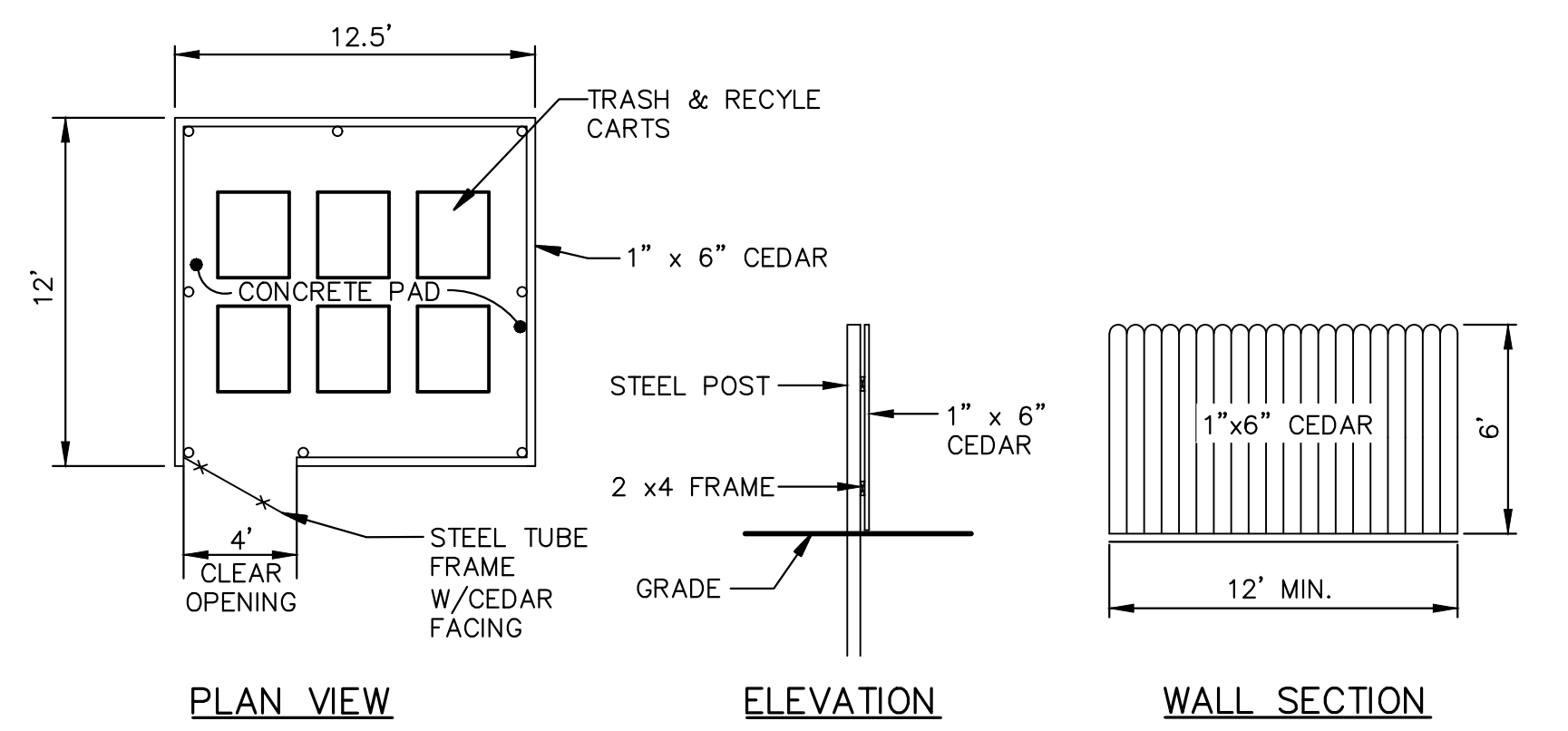
BARRIER FREE PARKING SIGNS DETAIL
SCALE : NTS



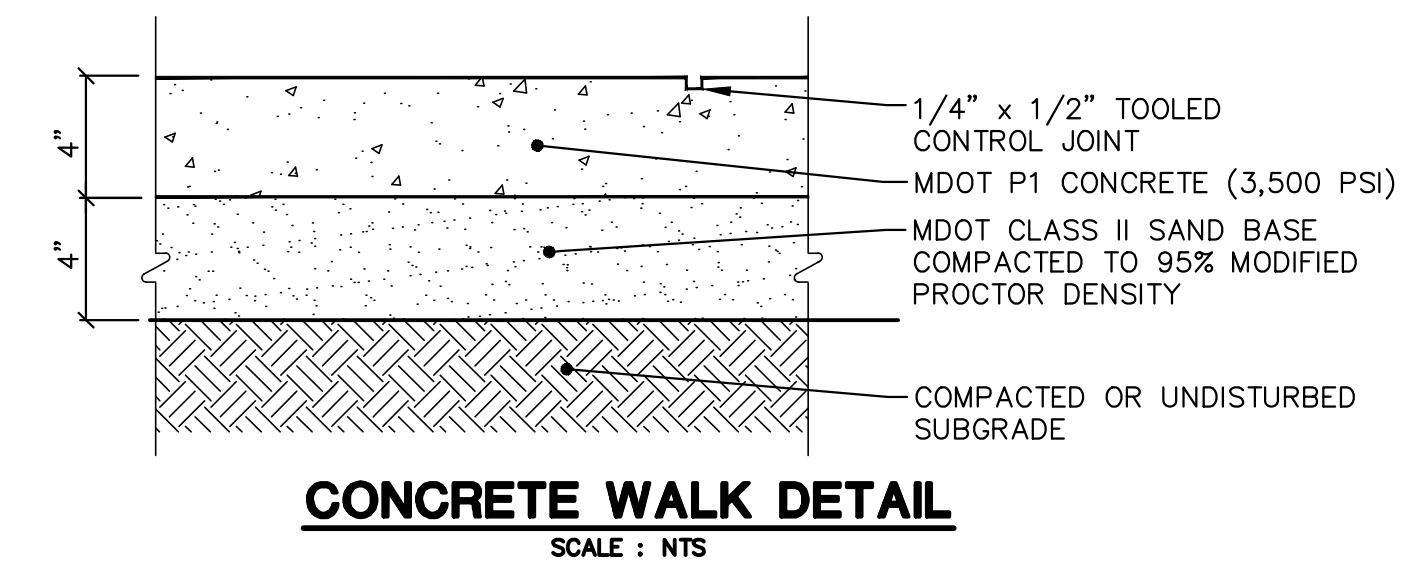
MDOT TYPE B CONCRETE CURB & GUTTER
NOT TO SCALE



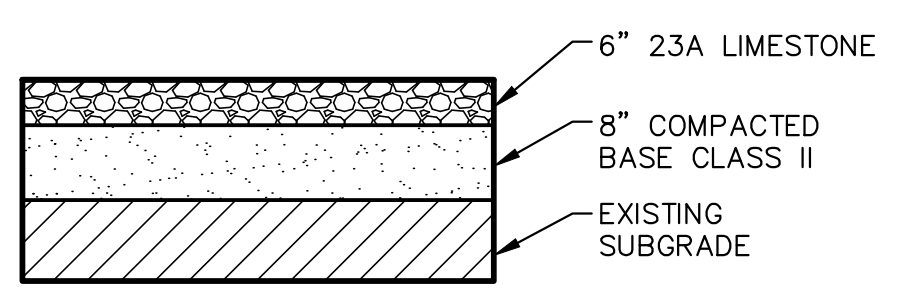
TYPICAL ROAD CROSS SECTION - WITH CURB (AT ENTRANCE)
NO SCALE



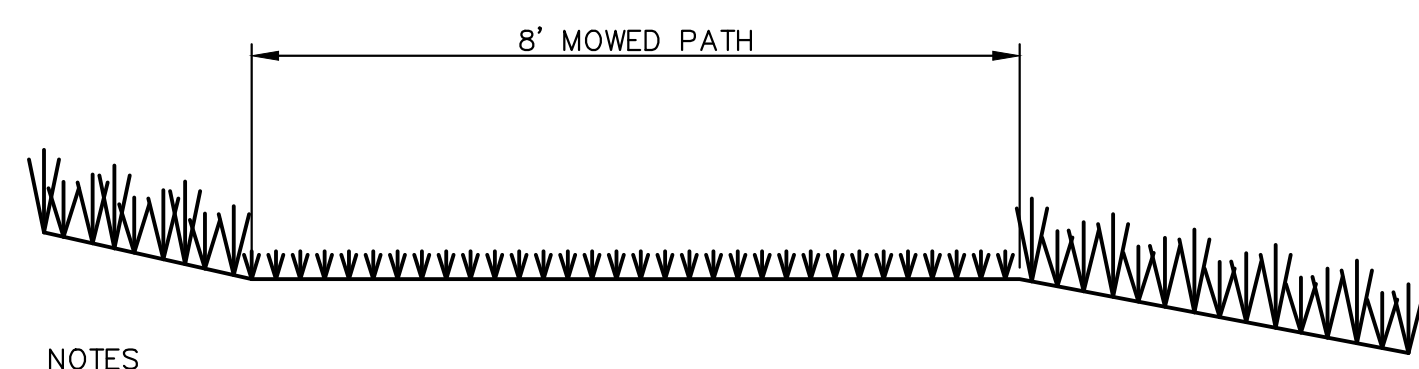
TRASH/RECYCLE CART ENCLOSURE DETAIL
NOT TO SCALE



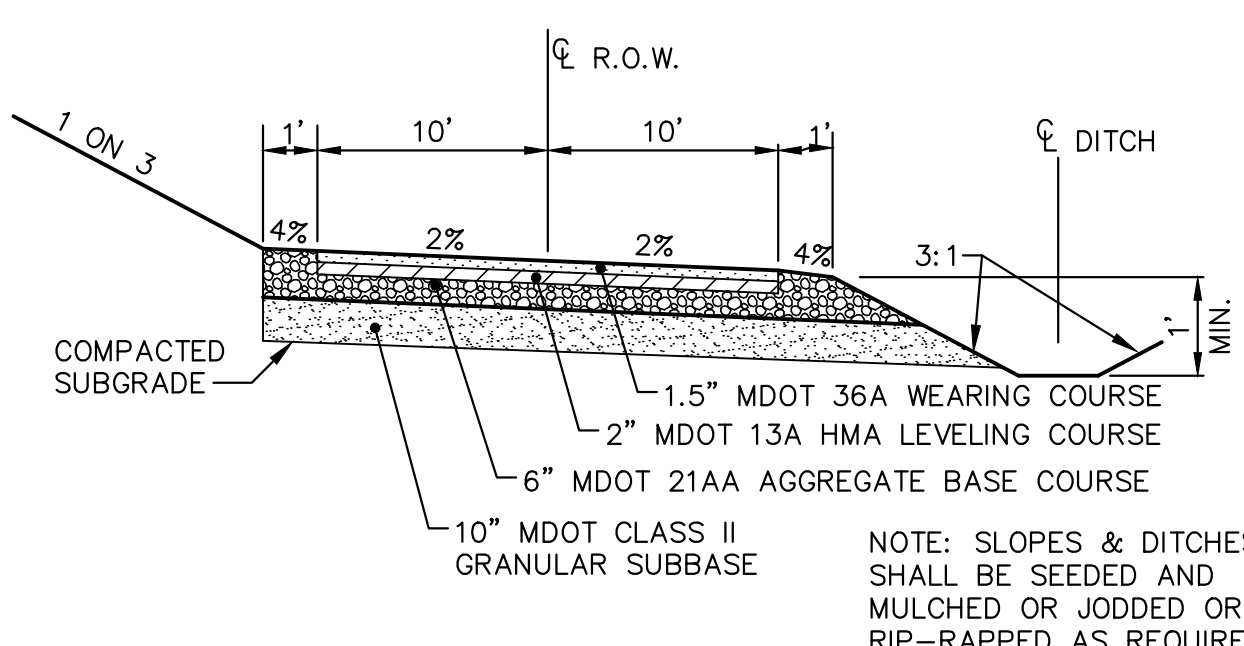
CONCRETE WALK DETAIL
SCALE : NTS



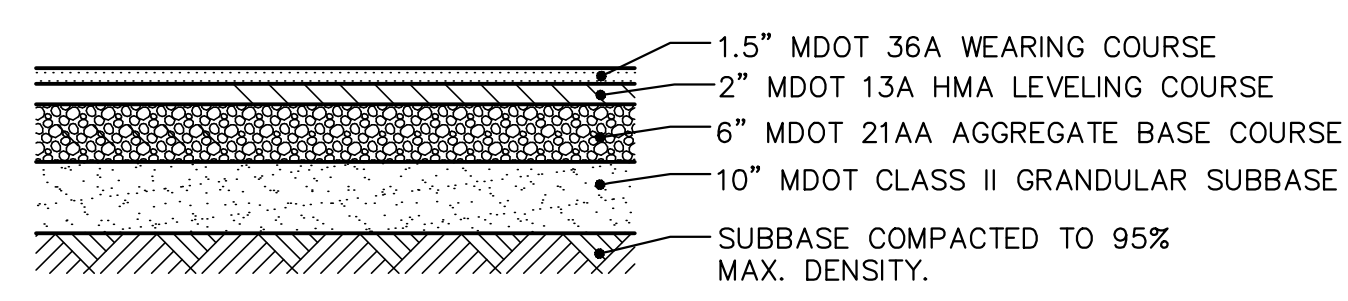
GRAVEL DRIVE/PARKING LOT TYPICAL SECTION
SCALE : NTS



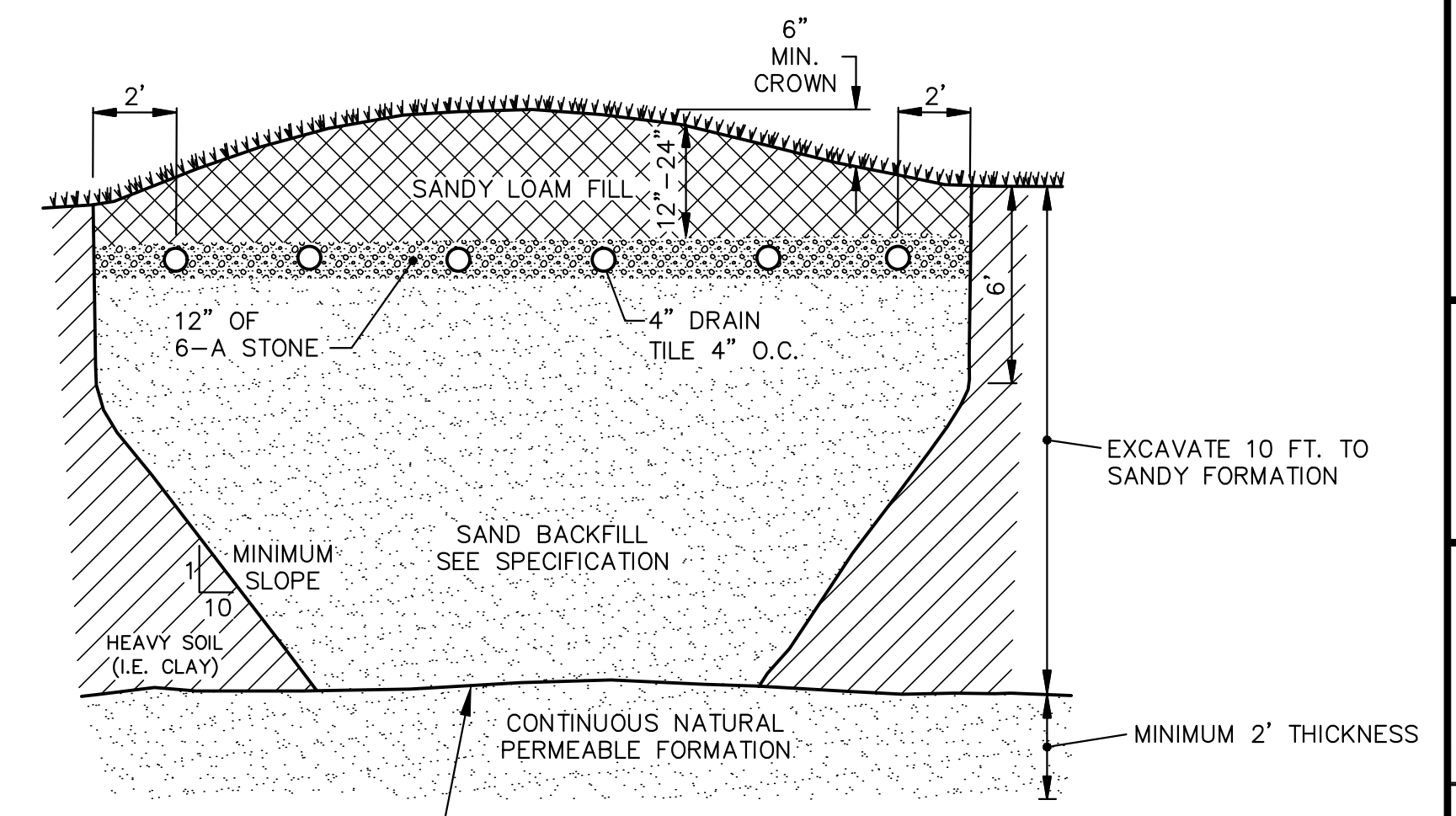
MOWED PATH DETAIL
SCALE : NTS



TYPICAL BITUMINOUS ROAD CROSS SECTION (DRIVEWAY)
SCALE : NTS



BITUMINOUS PAVEMENT SECTION (DRIVEWAY AND PARKING LOT)
SCALE : NTS

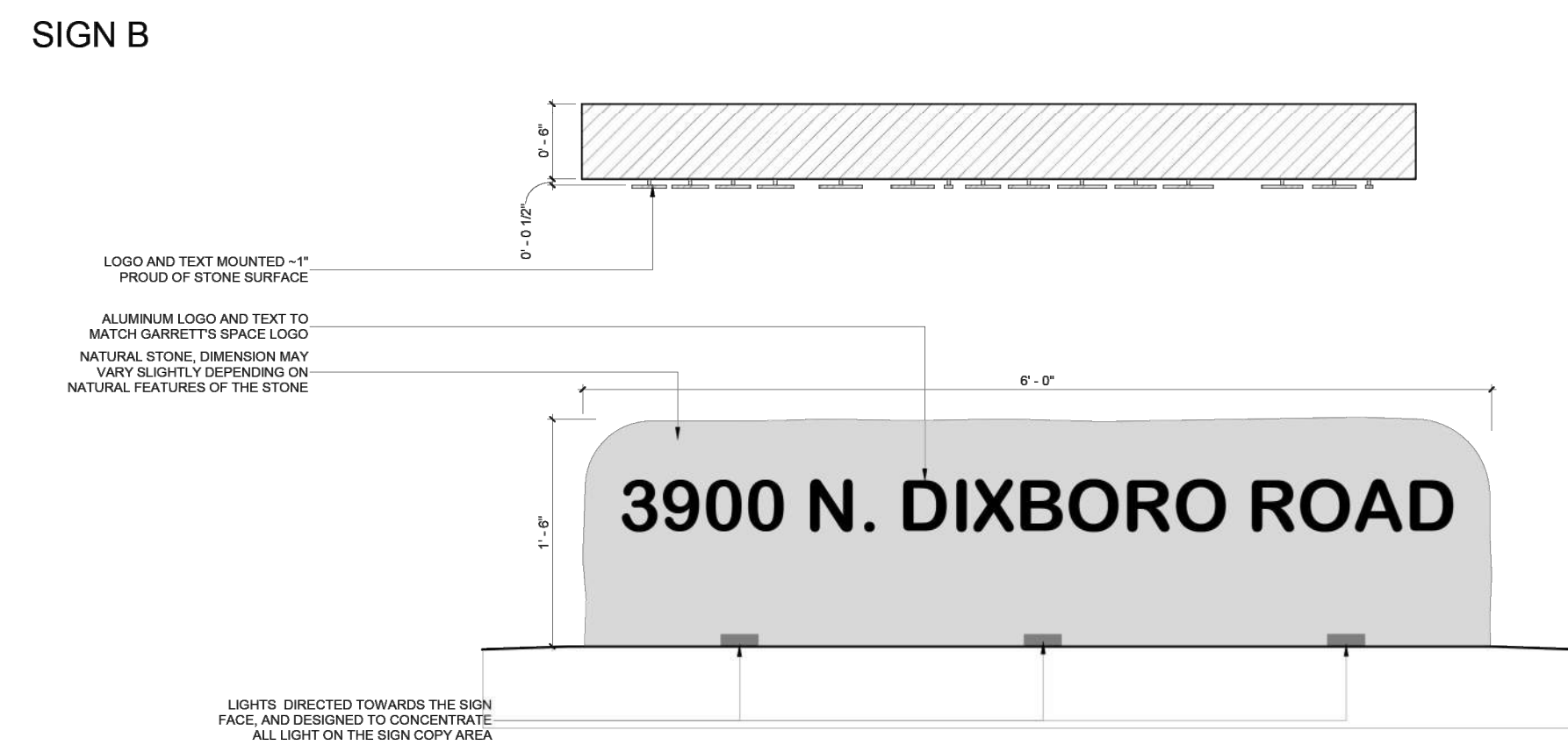


BOTTOM OF EXCAVATION - MINIMUM OF 50% OF SURFACE AREA, OR 800 SQ. FT. WHICHEVER IS LARGER, THE BOTTOM OF EXCAVATION MUST BE CLEAN & FREE OF ANY TRACES OF HEAVY SOIL OR SURFACE WASH. THE INTERFACE BETWEEN THE NATURAL PERMEABLE SOIL FORMATION AND THE SAND BACKFILL MUST BE UNCOMPACTED AND FRIABLE PRIOR TO BACKFILLING.
 NOTICE: THIS TYPE OF DISPOSAL FIELD SHALL BE CONSTRUCTED ONLY UNDER CERTAIN CONDITIONS OF SOIL, TOPOGRAPHY, AND LAND AREA AS SHALL BE APPROVED BY THE HEALTH DEPARTMENT.

DEEP EXCAVATION DISPOSAL FIELD
SCALE : NTS

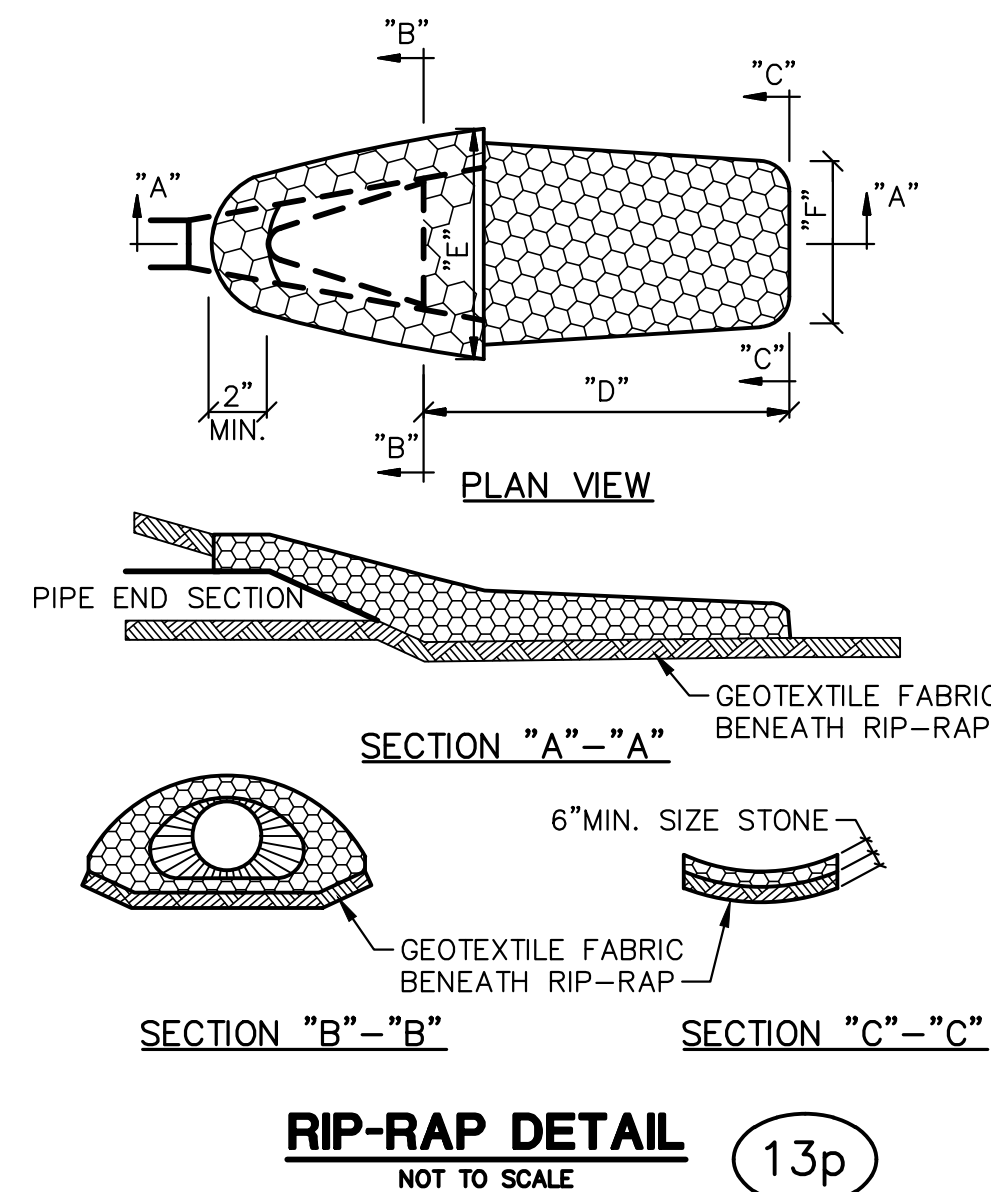
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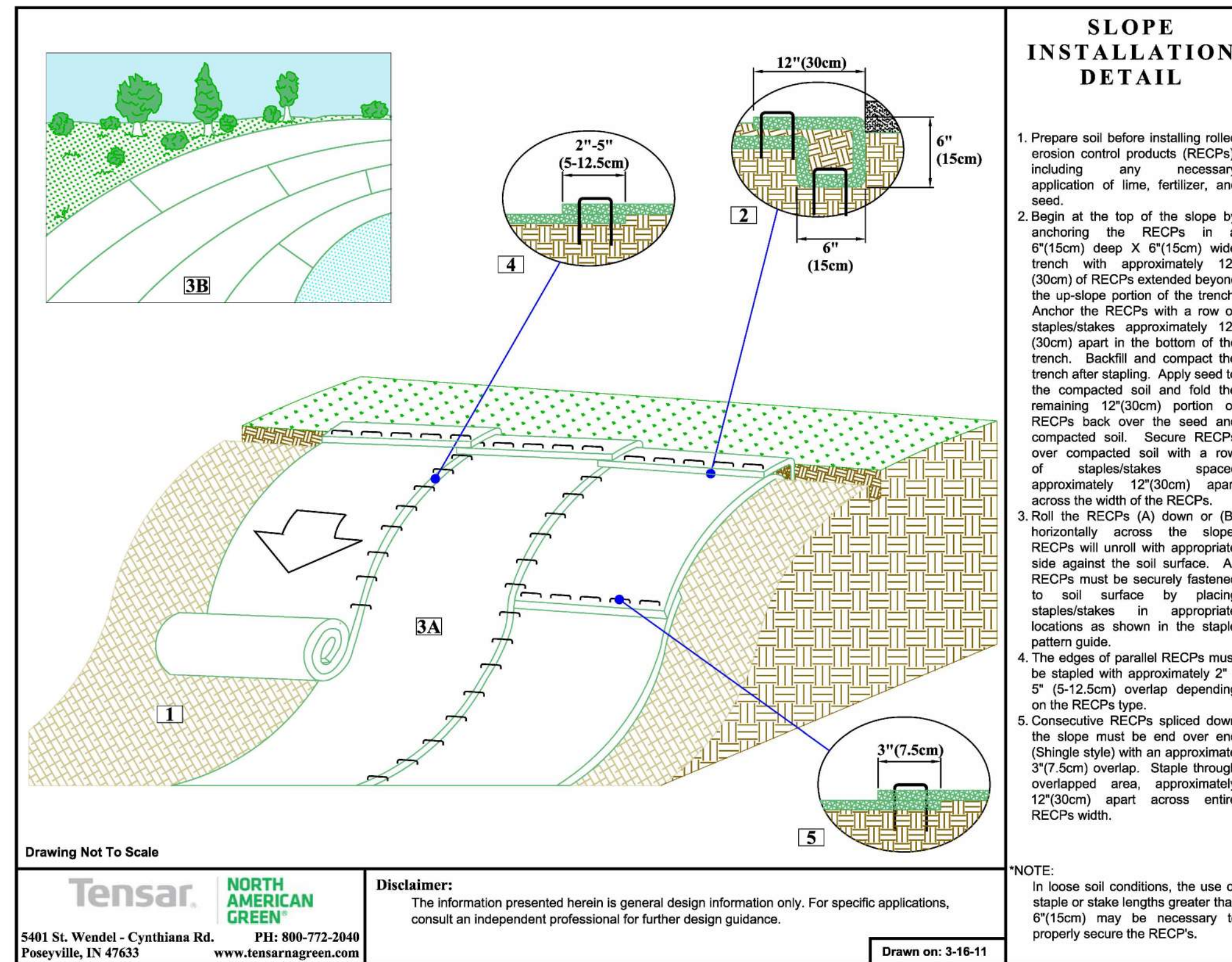


ENTRANCE SIGNS DETAIL
SCALE: NTS

PIPE Ø	D	E	F	SQ. YDS.
12"	5'-0"	6'-6"	3'-0"	4
15"	5'-0"	7'-0"	3'-0"	4
18"	5'-0"	7'-6"	3'-0"	4
21"	5'-6"	8'-0"	4'-0"	5
24"	6'-0"	8'-6"	4'-0"	6
27"	6'-6"	9'-0"	5'-0"	7
30"	7'-0"	9'-6"	5'-6"	8
33"	7'-6"	10'-3"	5'-6"	9
36"	8'-0"	10'-9"	6'-0"	10
42"	9'-0"	11'-9"	6'-6"	12
48"	10'-0"	13'-0"	7'-0"	14



RIP-RAP DETAIL
NOT TO SCALE (13p)



Tensor. NORTH AMERICAN GREEN
5401 St. Wendel - Cynthiana Rd. PO: 800-772-2040
Poseyville, IN 47633 www.tensoragreen.com

Disclaimer:
The information presented herein is general design information only. For specific applications, consult an independent professional for further design guidance.

Drawn on: 3-16-11

Compact floodlight - Wide beam - 24V DC BEGA

Application: Compact floodlight with mounting bracket for direct mounting to horizontal or vertical surfaces. Designed to illuminate architectural features, signage, landscaping, or to provide general illumination in a space. For a wide variety of optical accessories.

Materials: Color anodized aluminum. Marine grade, copper free (65/35 copper content) A306 aluminum alloy. High temperature silicone gasket. Manually operated operation clear lens. High impact polycarbonate reflector.

Features: Includes 1000 lumens with excellent high temperature and UV stability. Wet, low to high ambient temperatures, suitable for wet locations. Protection class IP65.

Weight: 2.5 lbs.

Technical: Operating voltage: 24VDC (remote power supply req.)
Minimum ambient temperature: 40°F
LED module wattage: 7.9W
Beam diameter: 8.0m (beaming)
Color rendering index: Ra > 90
Luminaire efficacy: 100lm/W
LED service life (L70): 60000hrs

LED color temperature:
2400K (RA) 2700K (RA) 3000K (RA) 3500K (RA) 4000K (RA) 5000K (RA) 5700K (RA) 6500K (RA)

BECA can supply you with suitable LED replacement modules for up to 30 years after the purchase of LED luminaires - see website for details.

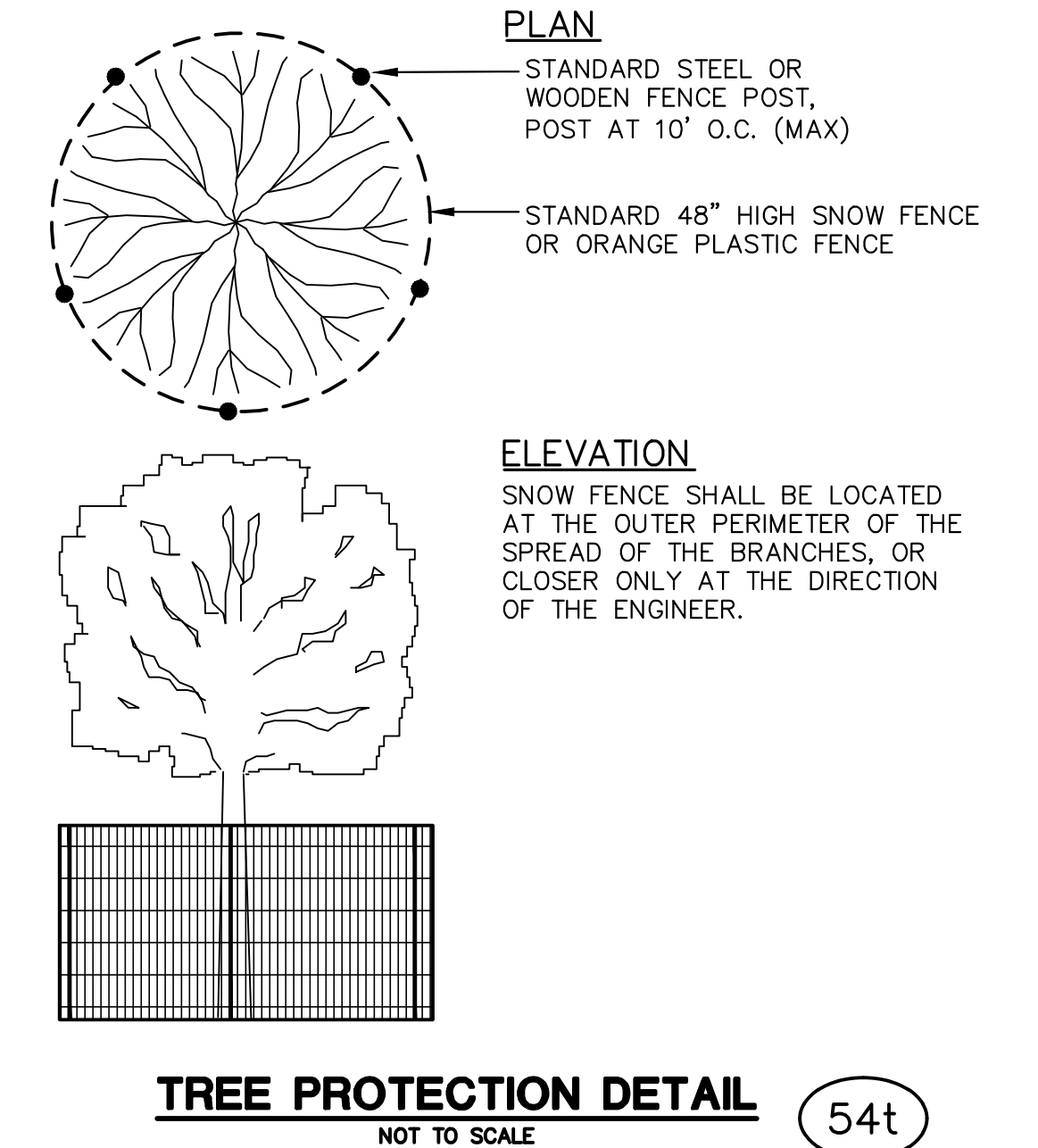
Frame: All BECA standard fixtures are made, finished powder coat with minimum 2 mil thickness. BECA standard frame, all replacement technology. Includes optional frame protection in Black, Bronze, and Silver. BECA standard White is a super durable exterior powder. Optionally available. RGB and custom color finishes provided in other positions powder or clear coat.

Available colors:
Black (RAL) 2700K (RA) 3000K (RA) 3500K (RA) 4000K (RA) 5000K (RA) 5700K (RA) 6500K (RA)

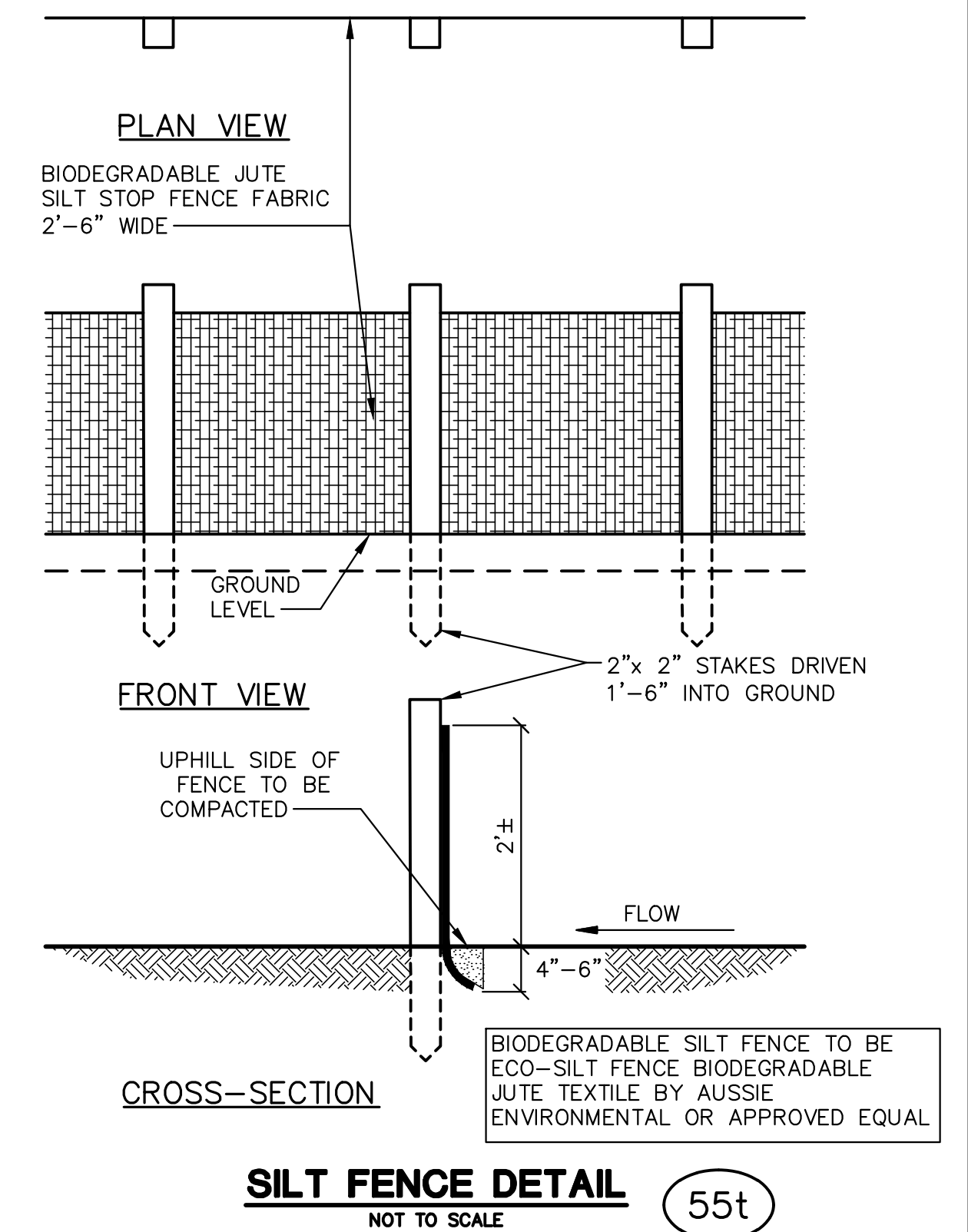
Available options:
2400K (RA) 2700K (RA) 3000K (RA) 3500K (RA) 4000K (RA) 5000K (RA) 5700K (RA) 6500K (RA)

Available accessories:
Remote driver box - Static white
24VDC
Remote driver box - Static white
24VDC
See individual accessory spec sheet for details.

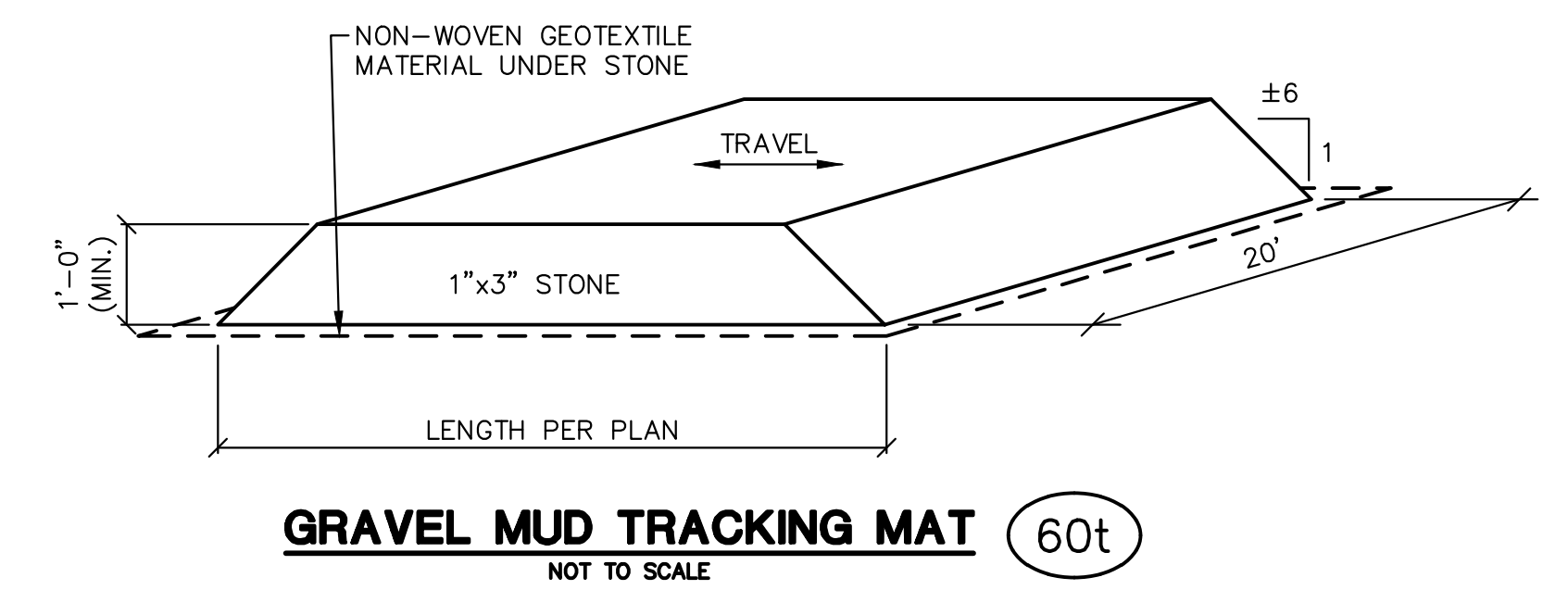
Included (available for pre-shipment):
C1910008 Small spring spring box



TREE PROTECTION DETAIL
NOT TO SCALE (54t)



SILT FENCE DETAIL
NOT TO SCALE (55t)



GRAVEL MUD TRACKING MAT
NOT TO SCALE (60t)

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GARRETT'S SPACE
 FINAL SITE PLAN
 SITE DETAILS

23

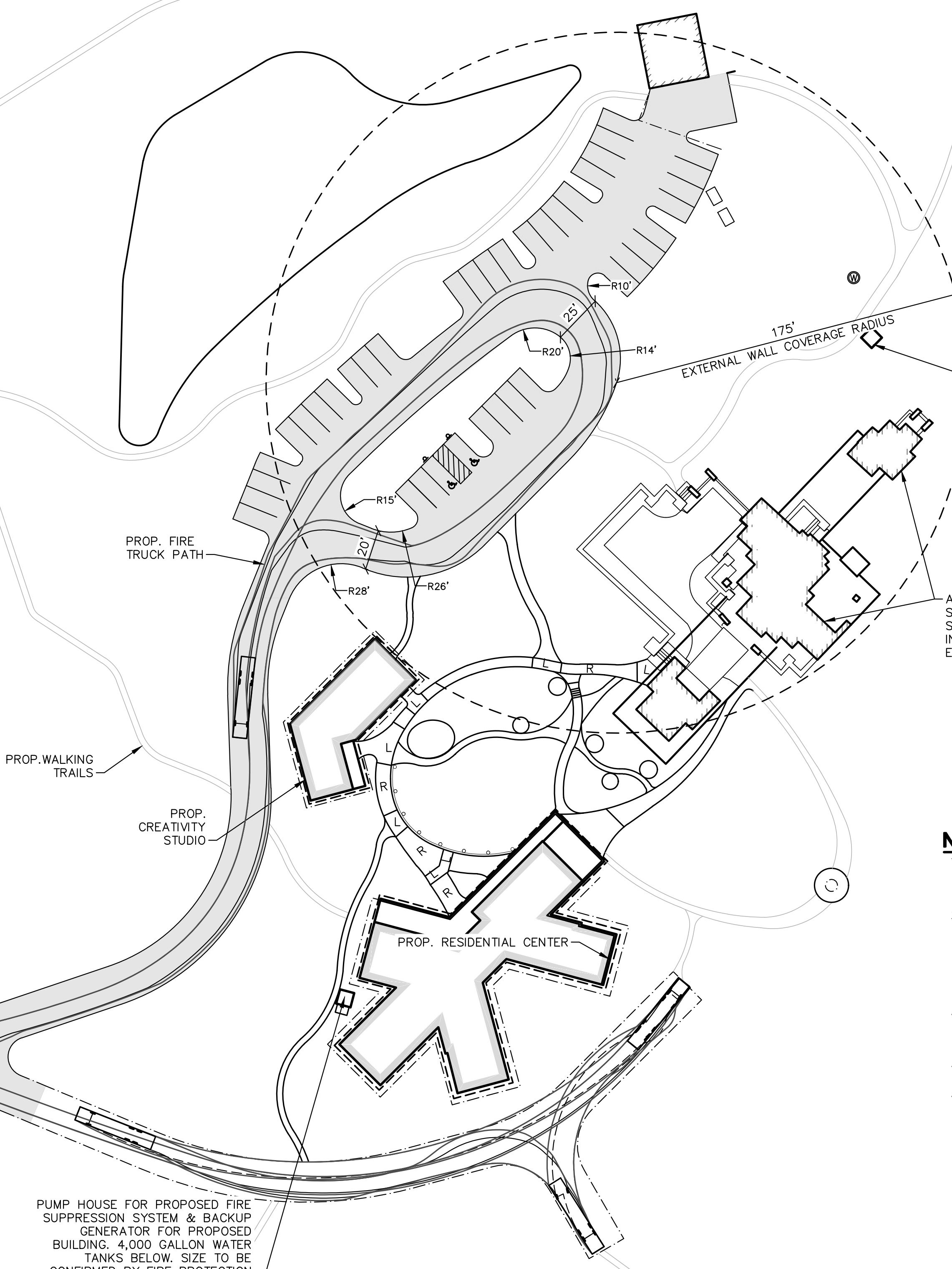
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M:\CIVIL\132_P\1322265\Final Site Plan\22265FP1.dwg, 9/30/2024 9:43 AM, Cheryl A. Richards, FIRE PROTECTION PLAN, MCLLC PDF, p.3
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DIXBORO ROAD (66' WIDE)



SCALE: 1" = 40'
 0 40 80 120



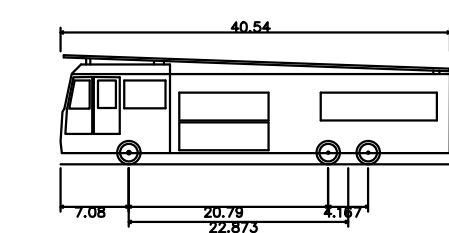
PUMP HOUSE FOR PROPOSED FIRE SUPPRESSION SYSTEM & BACKUP GENERATOR FOR EXISTING BUILDING. 4,000 GALLON WATER TANKS BELOW. SIZE TO BE CONFIRMED BY FIRE PROTECTION CONTRACTOR

A NEW FIRE SUPPRESSION SYSTEM WILL BE INSTALLED IN THE EXISTING BUILDING

PUMP HOUSE FOR PROPOSED FIRE SUPPRESSION SYSTEM & BACKUP GENERATOR FOR PROPOSED BUILDING. 4,000 GALLON WATER TANKS BELOW. SIZE TO BE CONFIRMED BY FIRE PROTECTION CONTRACTOR

NOTES

1. ADDRESSING: NUMERICS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AND CLEARLY VISIBLE WHEN APPROACHING THE BUILDING. SEE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND LOCATIONS.
2. KNOX BOX EMERGENCY ACCESS SYSTEM WITH KEYS TO ACCESS THE BUILDING, THE FIRE SUPPRESSION SYSTEM CONTROL ROOM (IF APPLICABLE), AN ELEVATOR KEY, AND ANY OTHER KEYS TO AREAS THAT MAY BE RELEVANT DURING EMERGENCIES WILL BE REQUIRED. KNOX BOX WITH PROPER KEYS SHALL BE IN PLACE PRIOR TO ISSUANCE OF CERTIFICATES OF OCCUPANCY FOR THE BUILDINGS.
3. THE KNOX BOX SHALL BE MOUNTED NO HIGHER THAN 6 FEET FROM GRADE IN AN APPROVED LOCATION ON THE EXTERIOR FOR EMERGENCY ACCESS TO THE BUILDING AS WELL AS ACCESS TO THE FIRE SUPPRESSION SYSTEM CONTROL ROOMS IF APPLICABLE.
4. STORAGE AREAS FOR CONSTRUCTION MATERIALS SHALL NOT INTERFERE WITH FIRE/EMERGENCY SERVICES.
5. ALL BUILDINGS THAT WILL BE USED FOR OVERNIGHT STAY WILL BE FULLY SUPPRESSED.



L-3 Aerial Fire Truck 40.54'
 Overall Length 7.305ft
 Overall Width 11.364ft
 Overall Body Height 6.144ft
 Min Body Ground Clearance 6.810ft
 Track Width 6.00s
 Lock-to-lock time 45.00°
 Max Steering Angle (Virtual)

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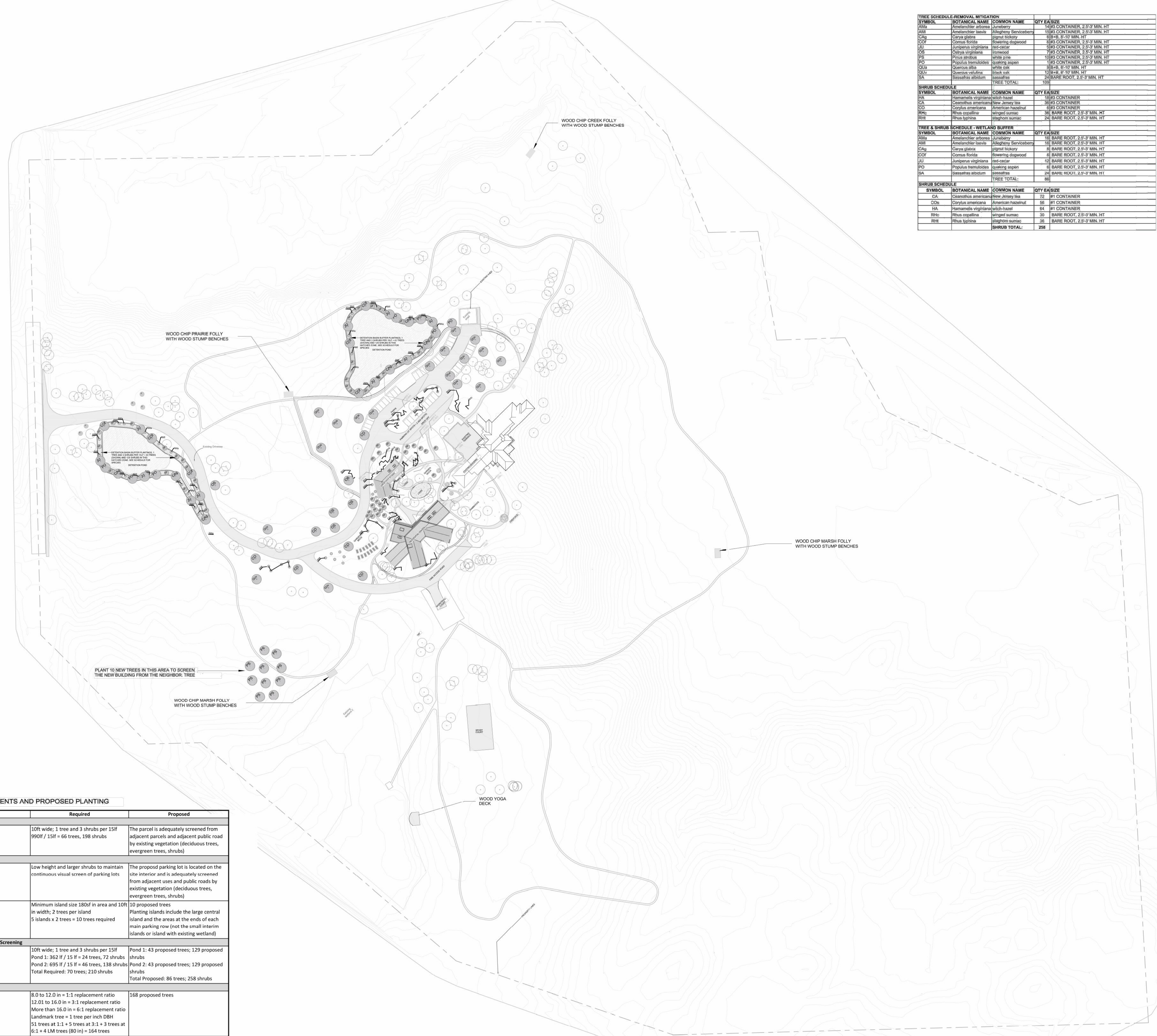
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GARRETT'S SPACE
 FINAL SITE PLAN
 FIRE PROTECTION PLAN

25

JOB No.	22265
DATE:	05/07/24
SHEET	25 OF 35
REV. DATE	05/07/24
PER MUNCIPAL REVIEW	05/15/24
REV. DATE	05/15/24
PER MUNCIPAL REVIEW	05/15/24
REV. DATE	05/15/24
PER MUNCIPAL REVIEW	05/15/24
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PER MUNCIPAL REVIEW	05/15/24
REV. DATE	05/15/24
PER MUNCIPAL REVIEW	05/15/24

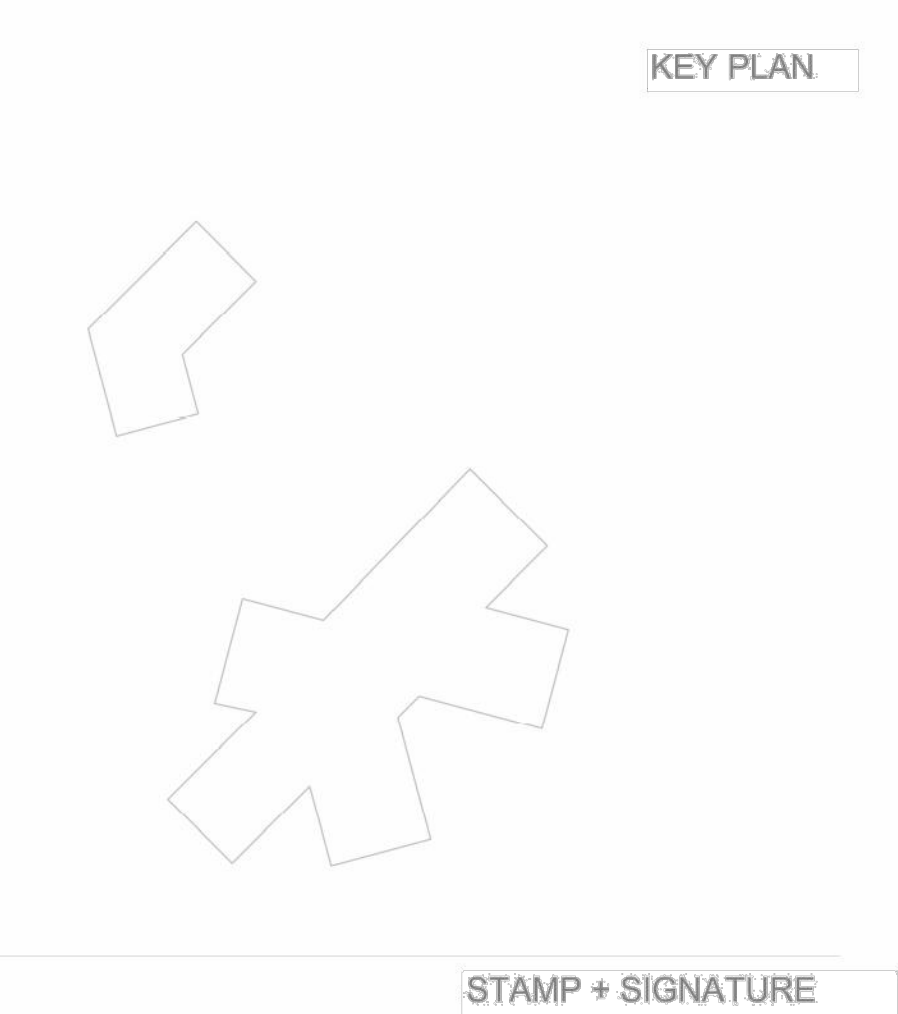


TREE SCHEDULE - REMOVAL MITIGATION			
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY EA/SIZE
AMs	Amenanchier arborea	Lambert	14#3 CONTAINER, 2'-5" MIN. HT
AMl	Amenanchier laevis	Allegheny Serviceberry	15#3 CONTAINER, 2'-5" MIN. HT
CAg	Carya glabra	pecan hickory	8#B 8'-10" MIN. HT
COF	Cornus florida	flowering dogwood	6#3 CONTAINER, 2'-5" MIN. HT
JU	Juniperus virginiana	red-cedar	6#3 CONTAINER, 2'-5" MIN. HT
OS	Opuntia stricta	cylindrical cholla	7#3 CONTAINER, 2'-5" MIN. HT
PS	Pinus strobus	white pine	10#3 CONTAINER, 2'-5" MIN. HT
PO	Populus tremuloides	quaking aspen	1#3 CONTAINER, 2'-5" MIN. HT
QU	Quercus alba	white oak	8#B 8'-10" MIN. HT
QUv	Quercus velutina	black oak	12#-H 8'-10" MIN. HT
SA	Sassafras albidum	leafy sassafras	2# BARE ROOT, 2'-5" MIN. HT
TREE TOTAL:			109
SHRUB SCHEDULE			
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY EA/SIZE
HA	Hamelia virginiana	witch-hazel	18#1 CONTAINER
CA	Ceanothus americanus	New Jersey tea	30#1 CONTAINER
CO	Corylus americana	American hickory	4#3 CONTAINER
RHc	Rhus copallina	winged sumac	30 BARE ROOT, 2'-5" MIN. HT
RHl	Rhus typhina	staghorn sumac	24 BARE ROOT, 2'-5" MIN. HT
SHRUB TOTAL:			105
TREE & SHRUB SCHEDULE - WETLAND BUFFER			
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY EA/SIZE
AMs	Amenanchier arborea	Lambert	10 BARE ROOT, 2'-5" MIN. HT
AMl	Amenanchier laevis	Allegheny Serviceberry	16 BARE ROOT, 2'-5" MIN. HT
CAg	Carya glabra	pecan hickory	8 BARE ROOT, 2'-5" MIN. HT
COF	Cornus florida	flowering dogwood	6 BARE ROOT, 2'-5" MIN. HT
JU	Juniperus virginiana	red-cedar	10 BARE ROOT, 2'-5" MIN. HT
PO	Populus tremuloides	quaking aspen	4 BARE ROOT, 2'-5" MIN. HT
SA	Sassafras albidum	sassafras	24 BARE ROOT, 2'-5" MIN. HT
TREE TOTAL:			68
SHRUB SCHEDULE			
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY EA/SIZE
CA	Ceanothus americanus	New Jersey tea	72 #1 CONTAINER
CO	Corylus americana	American hickory	18 #1 CONTAINER
HA	Hamelia virginiana	witch-hazel	64 #1 CONTAINER
RHc	Rhus copallina	winged sumac	30 BARE ROOT, 2'-5" MIN. HT
RHl	Rhus typhina	staghorn sumac	36 BARE ROOT, 2'-5" MIN. HT
SHRUB TOTAL:			258

REVISIONS		
No.	Description	Date

NOTES

PLANTING REQUIREMENTS AND PROPOSED PLANTING		
	Required	Proposed
Screening		
Greenbelt Buffer	10ft wide; 1 tree and 3 shrubs per 15ft 990ft / 15ft = 66 trees, 198 shrubs	The parcel is adequately screened from adjacent parcels and adjacent public road by existing vegetation (deciduous trees, evergreen trees, shrubs)
Parking Lot Landscaping		
Perimeter Screening	Low height and larger shrubs to maintain continuous visual screen of parking lots	The proposed parking lot is located on the site interior and is adequately screened from adjacent uses and public roads by existing vegetation (deciduous trees, evergreen trees, shrubs)
Landscaping within Parking Lots	Minimum island size 180ft in area and 10ft in width; 2 trees per island 5 islands x 2 trees = 10 trees required	10 proposed trees Planting islands include the large central island and the areas at the ends of each main parking row (not the small interim islands or island with existing wetland)
Detention and Retention Basin Screening		
Perimeter Greenbelt Buffer	10ft wide; 1 tree and 3 shrubs per 15ft Pond 1: 362 ft / 15 ft = 24 trees, 72 shrubs Pond 2: 695 ft / 15 ft = 46 trees, 138 shrubs Total Required: 70 trees; 210 shrubs	Pond 1: 43 proposed trees; 129 proposed shrubs Pond 2: 43 proposed trees; 129 proposed shrubs Total Proposed: 86 trees; 258 shrubs
Tree Replacement		
Regulated Trees	8.0 to 12.0 in = 1:1 replacement ratio 12.01 to 16.0 in = 3:1 replacement ratio More than 16.0 in = 6:1 replacement ratio Landmark tree = 1 tree per inch DBH 51 trees at 1:1 + 5 trees at 3:1 + 3 trees at 6:1 + 4 LM trees (80 in) = 164 trees	168 proposed trees



100% CONSTRUCTION DOCUMENTS PRICING SET





No.	Description	REVISIONS Date
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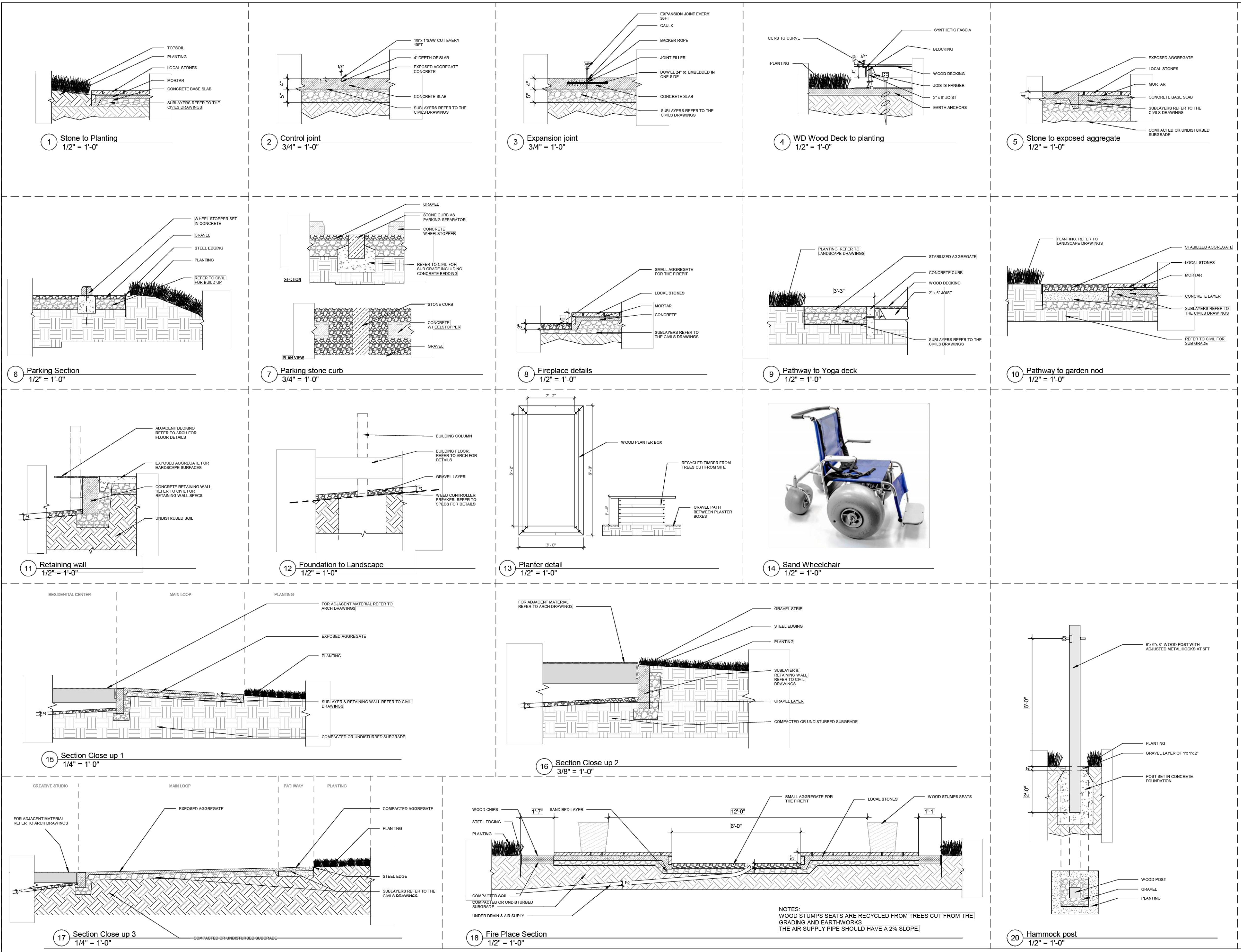
NOTES

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No.	Description	Date

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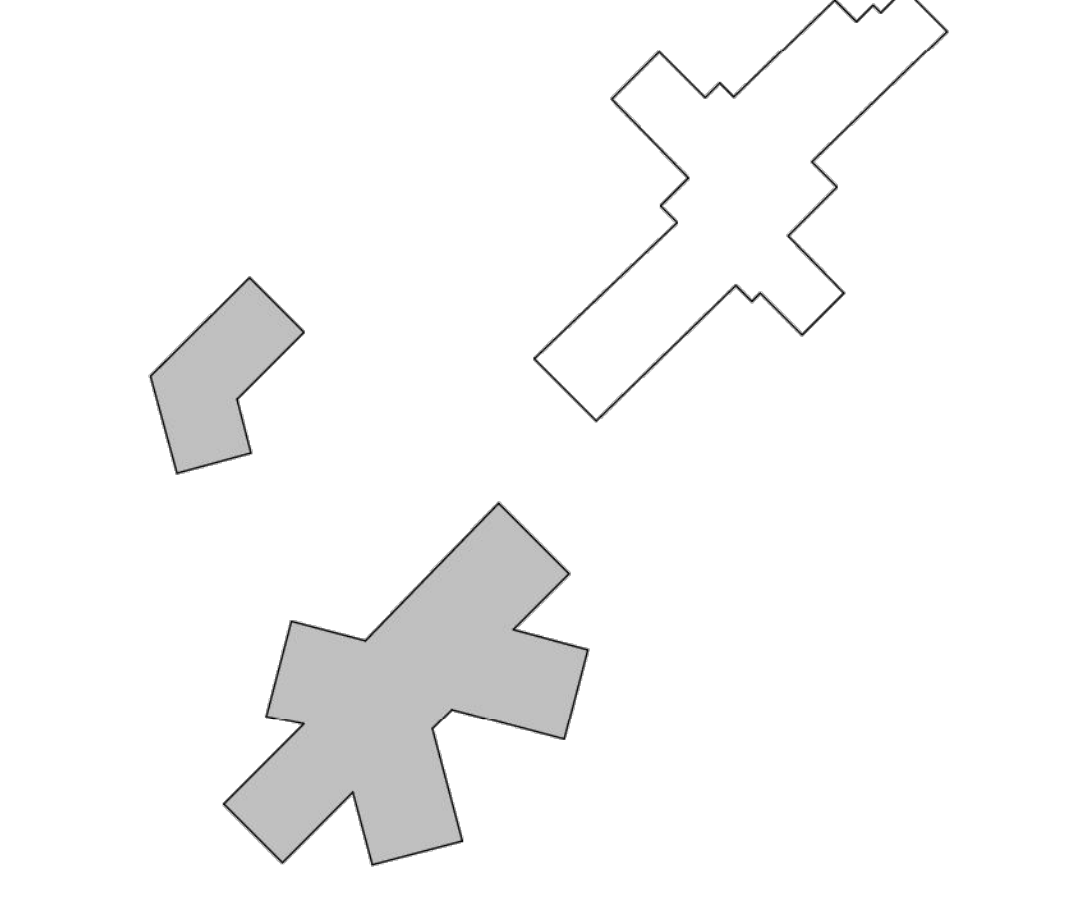
SEE LIFE SAFETY PLAN FOR WALL FIRE RATING INFORMATION

ALL PARTITIONS EXTEND FROM FLOOR TO UNDERSIDE OF STRUCTURE UNLESS OTHERWISE NOTED

ALL PARTITIONS SEPARATING BEDROOM UNITS FROM EACH OTHER OR FROM COMMON AREAS SHALL BE AN ACOUSTIC PARTITION (XX-XA)

ALL PARTITIONS SEPARATING GROUP MEETING AND TELEHEALTH ROOMS FROM COMMON AREAS SHALL BE AN ACOUSTIC PARTITION (XX-XA)

KEY PLAN



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NOT FOR CONSTRUCTION

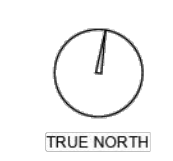
MASS.

GARRETT'S SPACE
3900 N DIXBORO RD.
ANN ARBOR, MICHIGAN

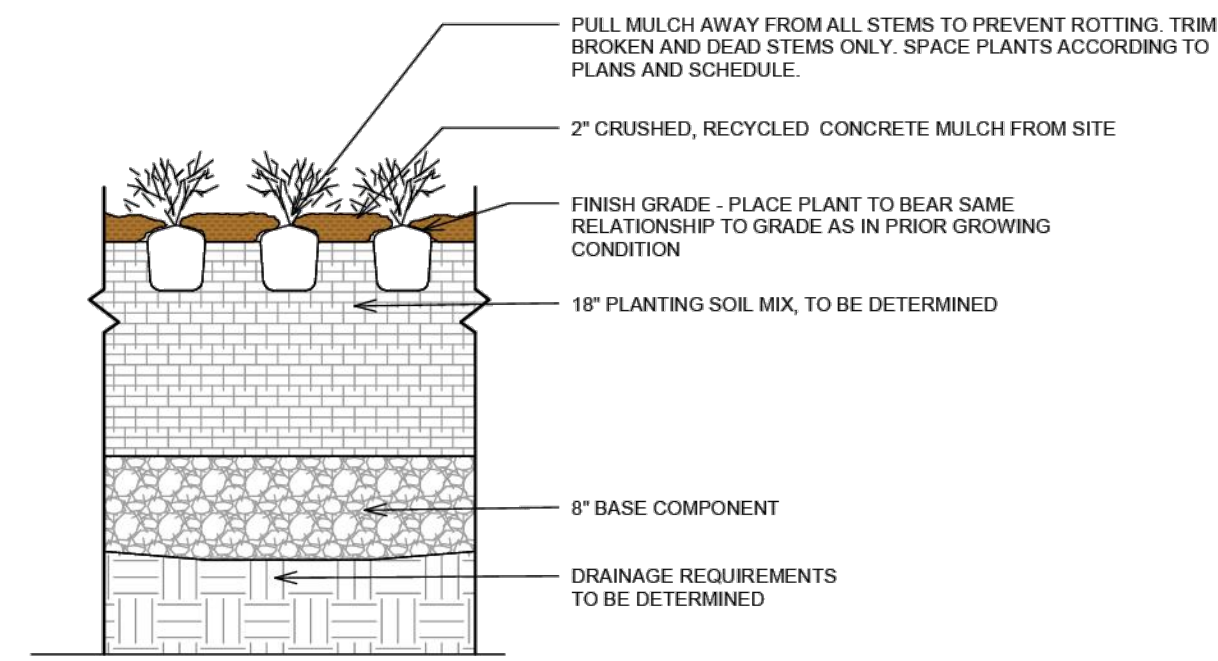
1 Chandler Street
Boston, MA 02116

04/02/24

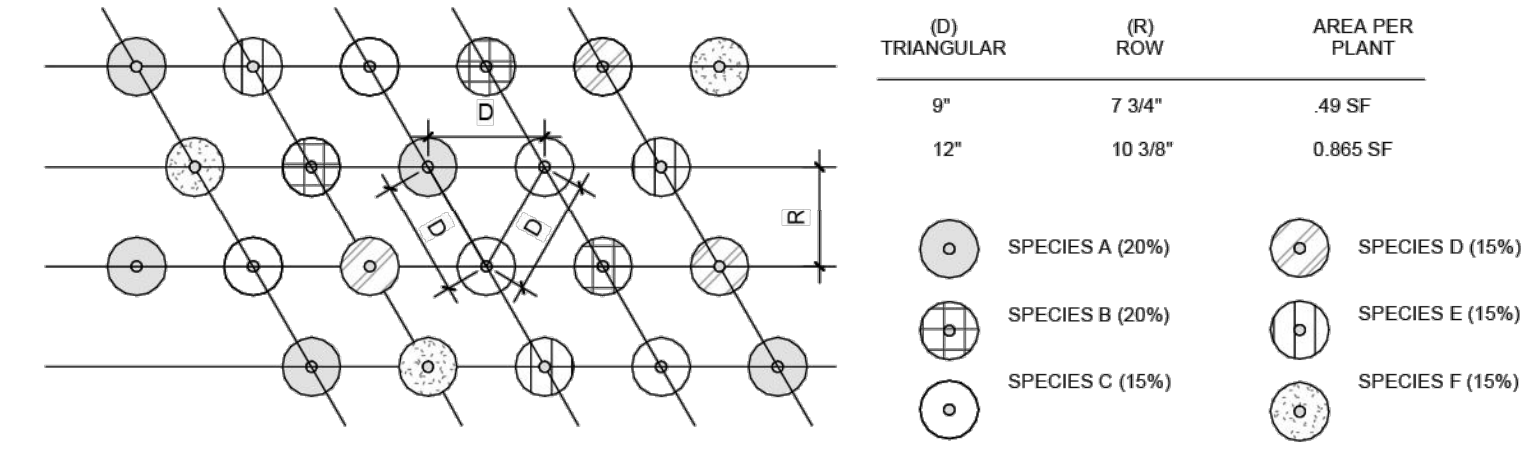
DETAILS



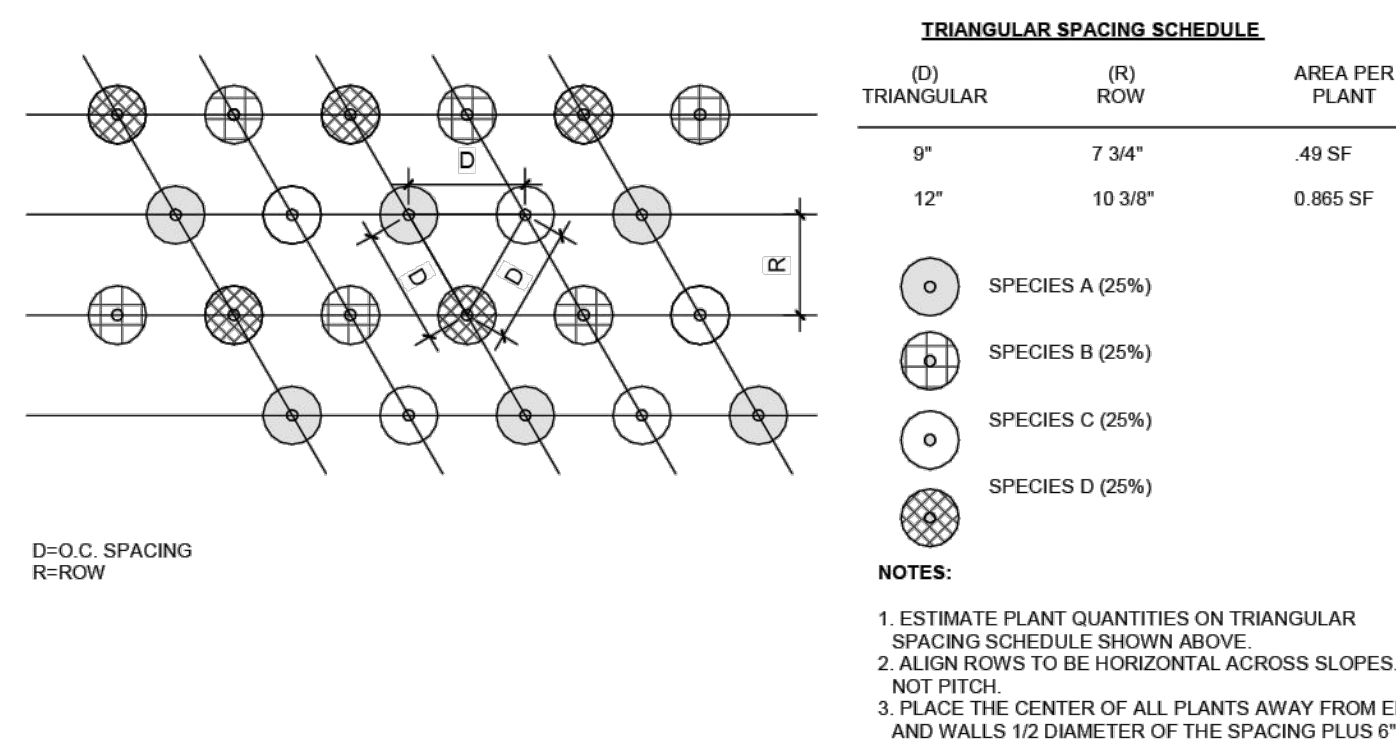
L.501
As indicated



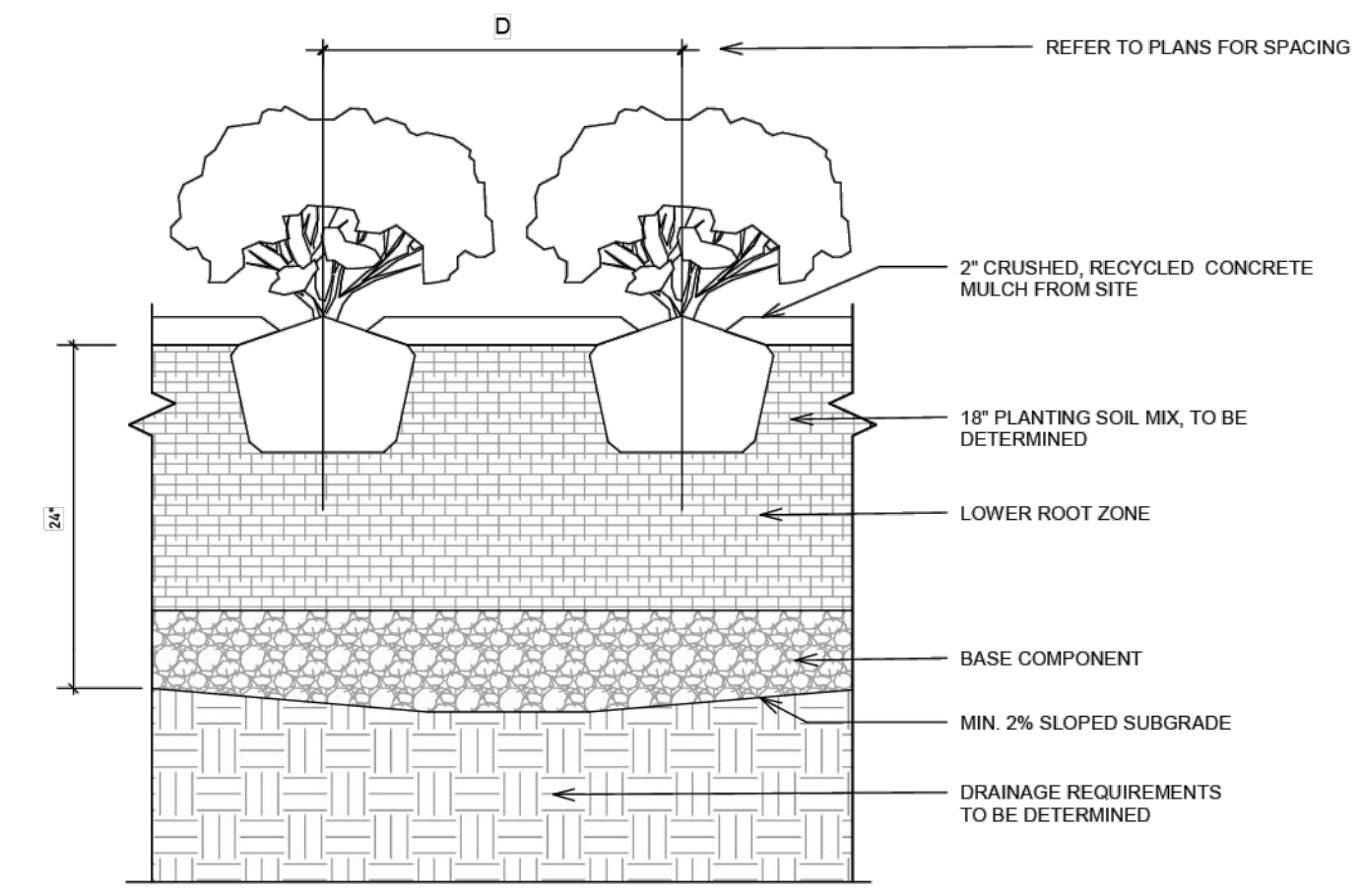
1 TYP. PLANT LAYOUT
1" = 1'-0"



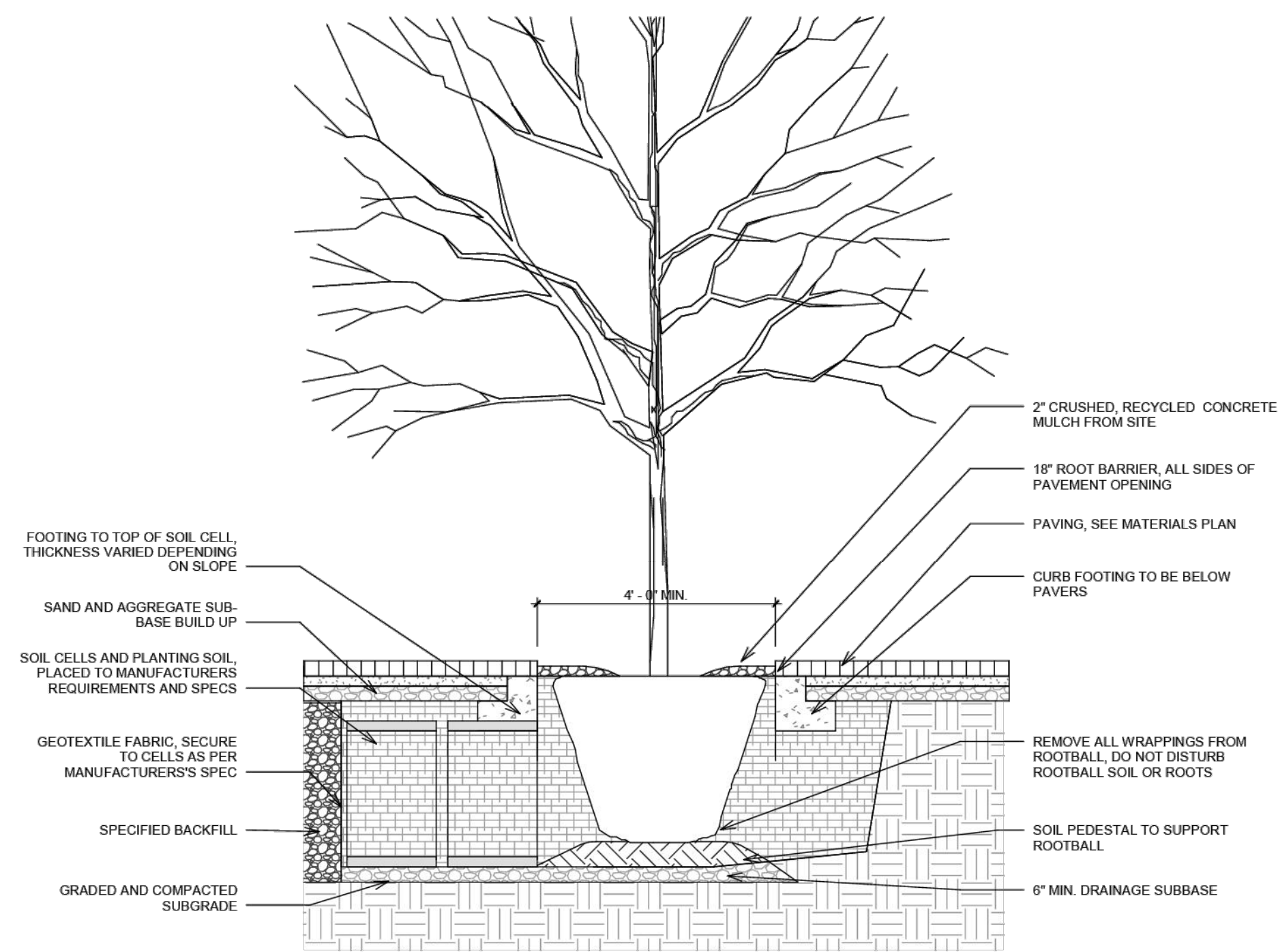
2 TYP. PLANTING MIX WITH 6 SPECIES
1/2" = 1'-0"



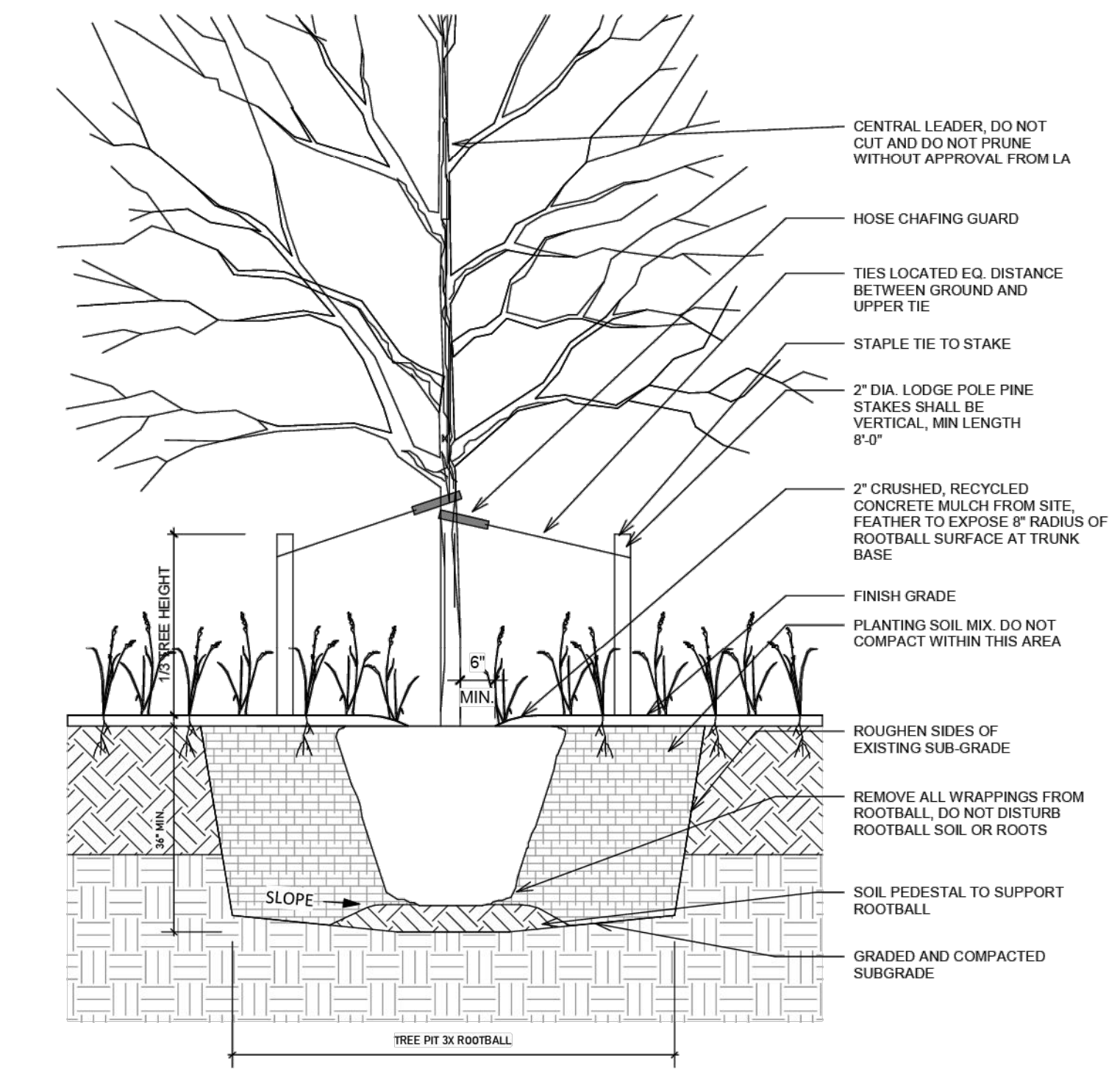
3 TYP. PLANTING MIX WITH 4 SPECIES
1/2" = 1'-0"



4 TYP. SHRUB LAYOUT
1" = 1'-0"



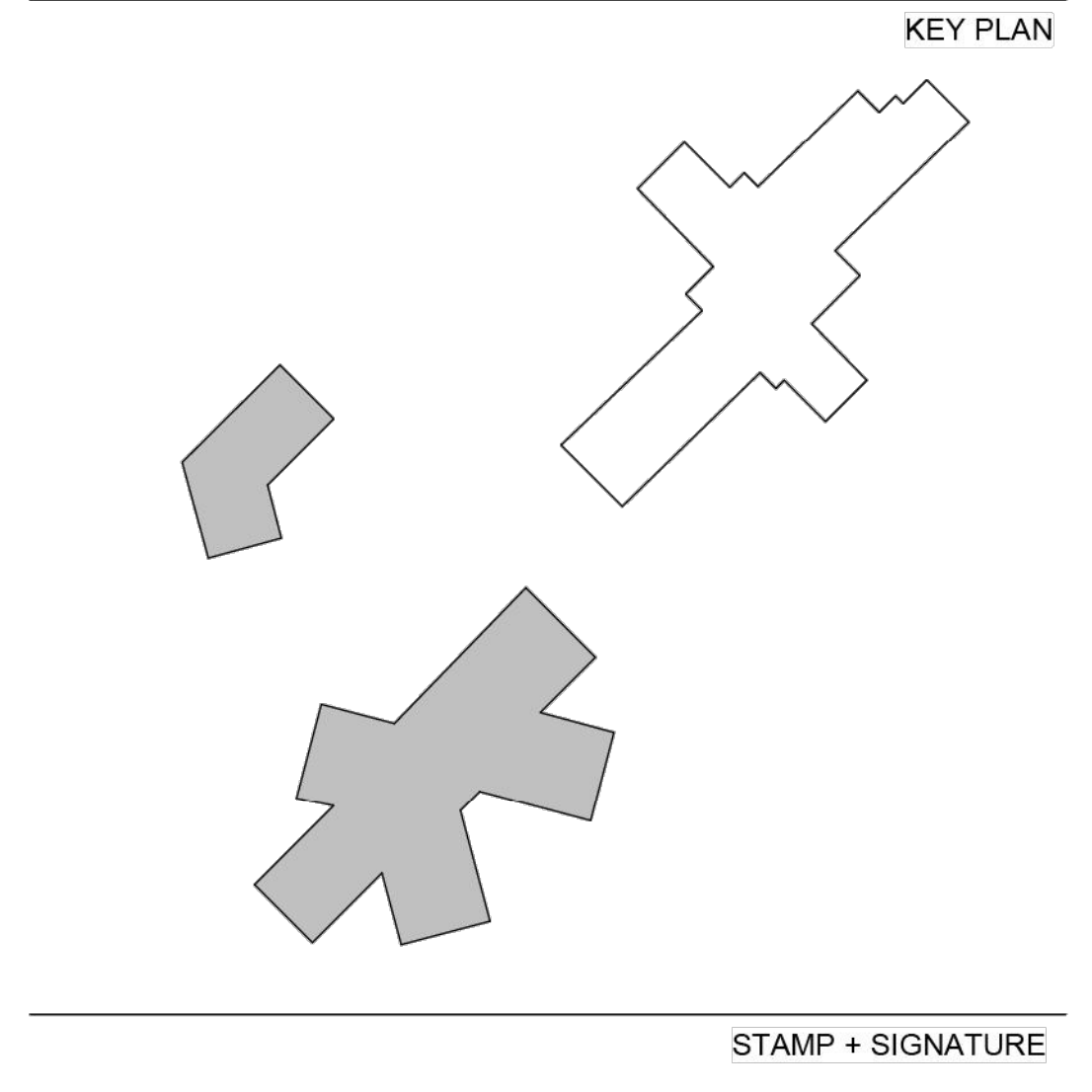
5 TYP. TREE PLANTING IN PAVING
1/2" = 1'-0"



6 TYP. TREE PLANTING AND STAKING
1/2" = 1'-0"

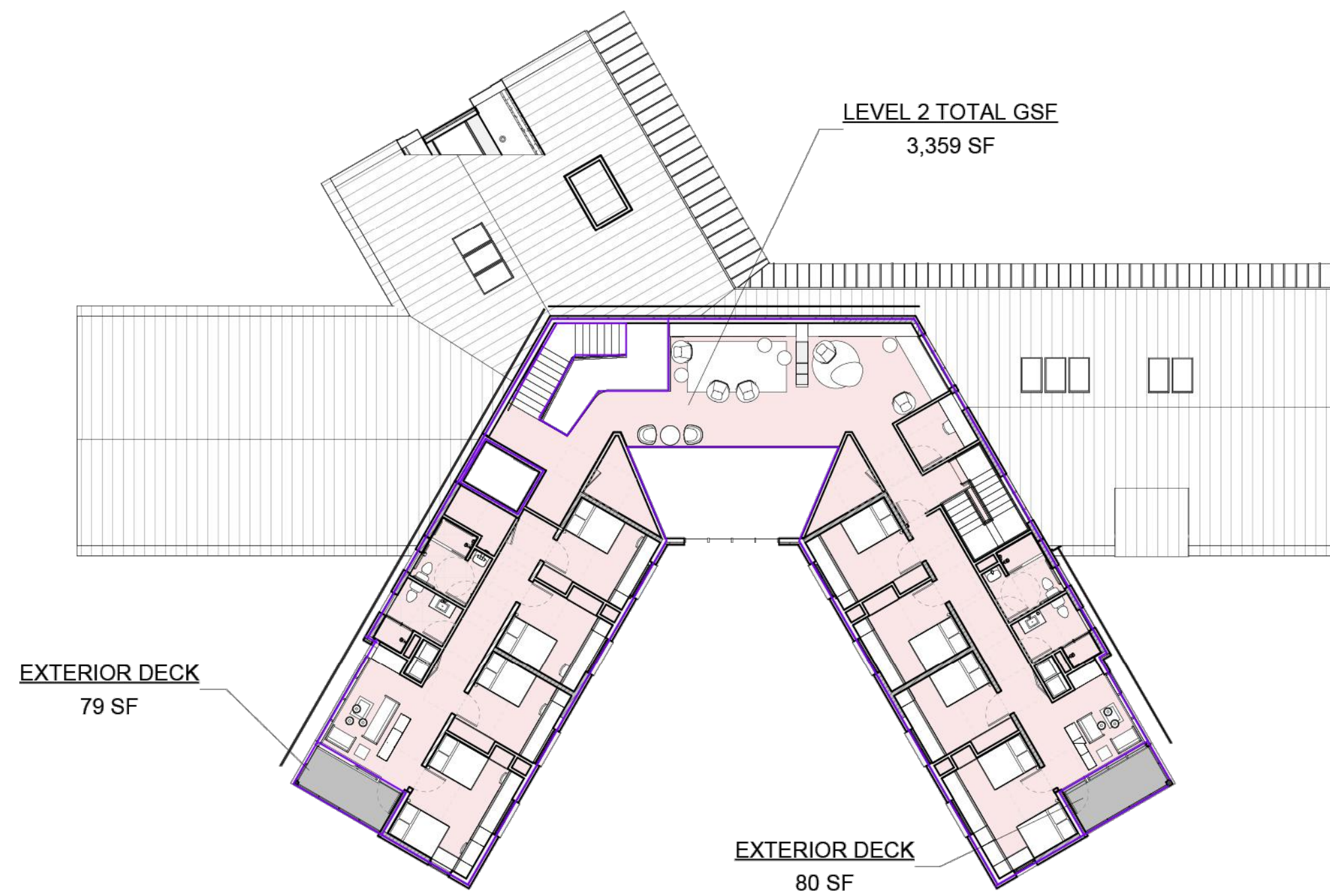
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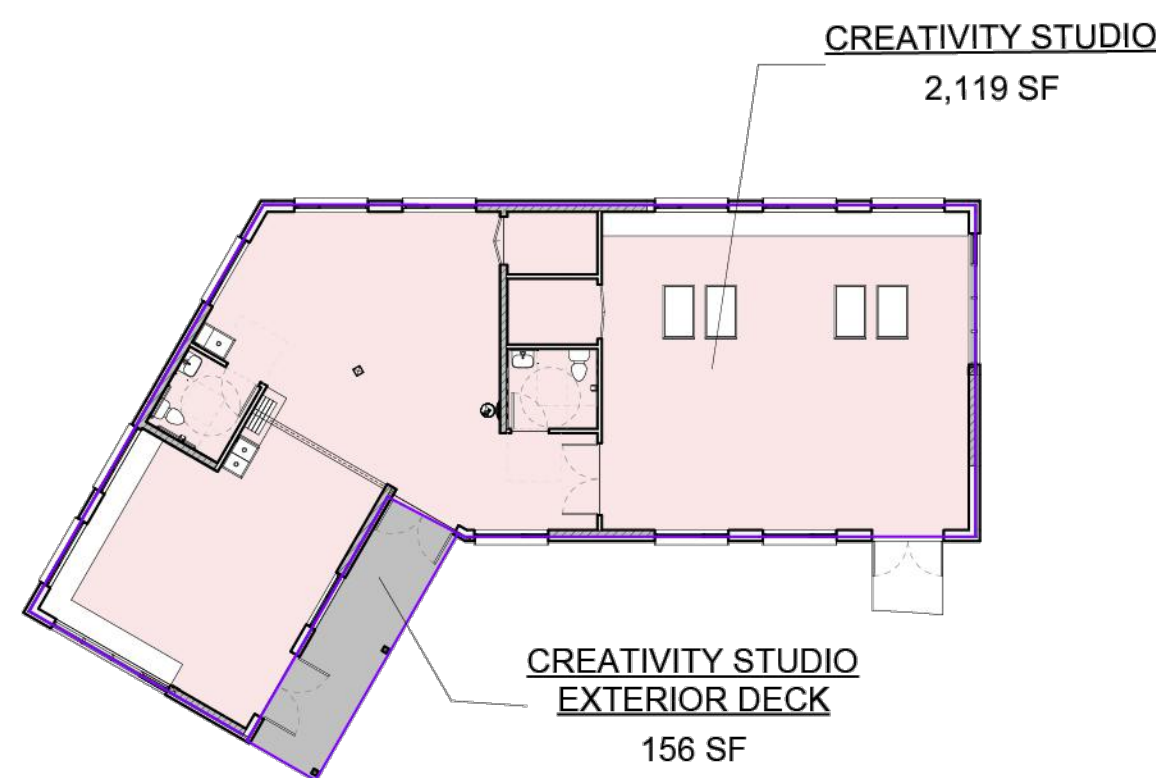


NOT FOR CONSTRUCTION

AREA SCHEDULE - Gross Building		
Name	Area	Area Type
CREATIVITY STUDIO		
CREATIVITY STUDIO	2,119 SF	Gross Building Area
CREATIVITY STUDIO EXTERIOR DECK	156 SF	Exterior Area
	2,275 SF	
RESIDENCE		
LEVEL 1 TOTAL GSF	6,719 SF	Gross Building Area
LEVEL 2 TOTAL GSF	3,359 SF	Gross Building Area
EXTERIOR DECK	80 SF	Exterior Area
EXTERIOR DECK	79 SF	Exterior Area
EXTERIOR DECK	1,470 SF	Exterior Area
EXTERIOR DECK	80 SF	Exterior Area
EXTERIOR DECK	78 SF	Exterior Area
	11,865 SF	



2 LEVEL 02
1/16" = 1'-0"



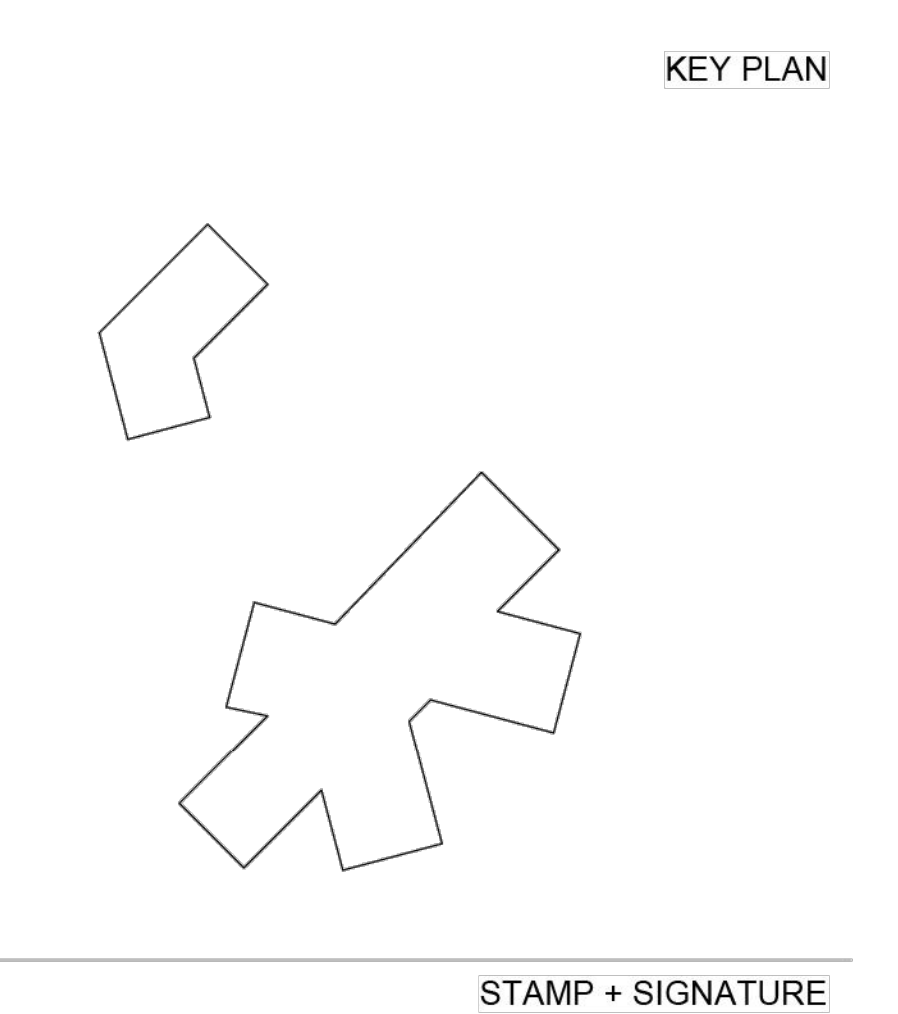
3 CREATIVITY STUDIO AREA PLAN
1/16" = 1'-0"



1 LEVEL 01
1/16" = 1'-0"

REVISIONS		
No.	Description	Date

NOTES



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		REVISIONS
No.	Description	Date



1 RESIDENTIAL BUILDING - SOUTHEAST ELEVATION
1/8" = 1'-0"

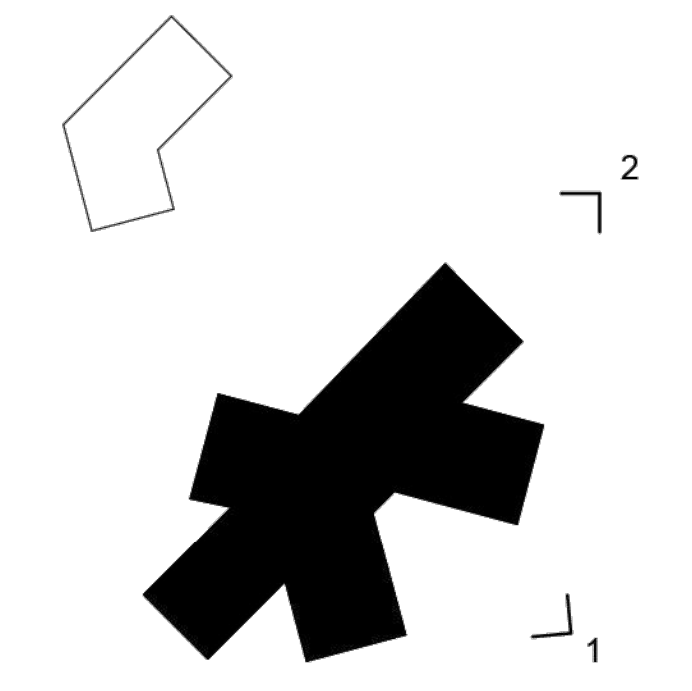


2 RESIDENTIAL BUILDING - NORTHEAST ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND:

- HORIZONTAL WOOD RAINSCREEN
- DIAGONAL WOOD RAINSCREEN
- WOOD SHINGLE SIDING
- STANDING SEAM METAL ROOF
- STONE FACADE
- CONTRASTING HORIZONTAL WOOD RAINSCREEN

NOTES



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REVISIONS		
No.	Description	Date



1 RESIDENTIAL BUILDING - NORTHWEST ELEVATION
1/8" = 1'-0"

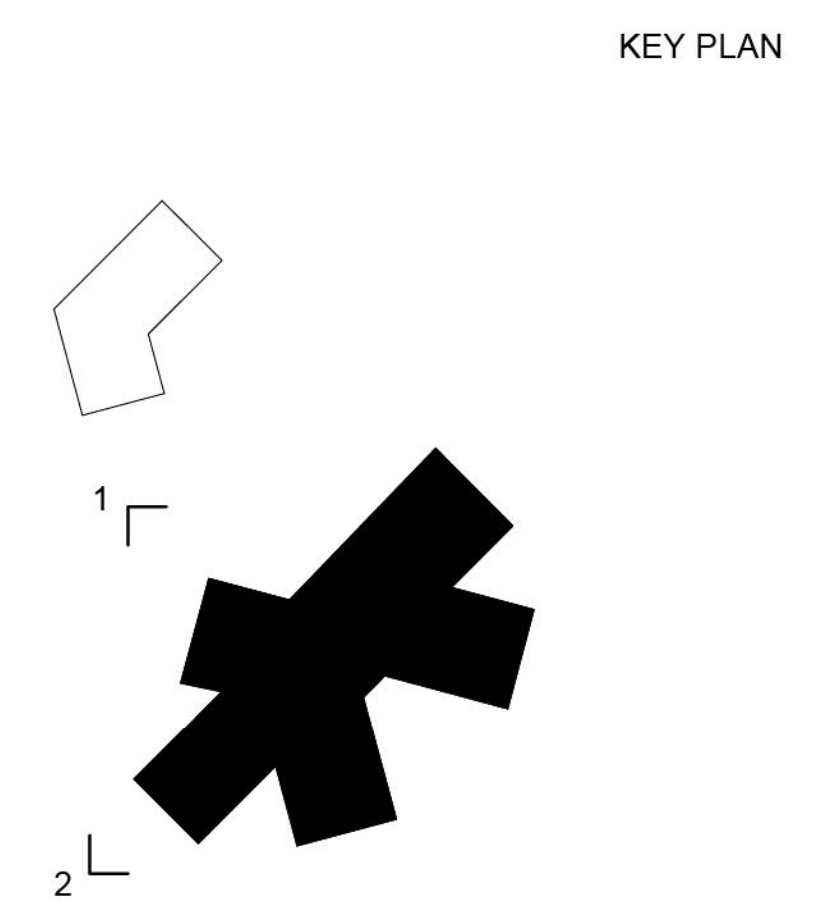
NOTES

EXTERIOR MATERIAL LEGEND:

-  HORIZONTAL WOOD RAINSCREEN
-  DIAGONAL WOOD RAINSCREEN
-  WOOD SHINGLE SIDING
-  STANDING SEAM METAL ROOF
-  STONE FACADE
-  CONTRASTING HORIZONTAL WOOD RAINSCREEN



2 RESIDENTIAL BUILDING - SOUTHWEST ELEVATION
1/8" = 1'-0"



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PRICING SET

REVISIONS		
No.	Description	Date



1 CREATIVITY STUDIO - NORTHWEST ELEVATION
1/8" = 1'-0"



2 CREATIVITY STUDIO - SOUTHWEST ELEVATION
1/8" = 1'-0"









3 CREATIVITY STUDIO - SOUTHEAST ELEVATION
1/8" = 1'-0"



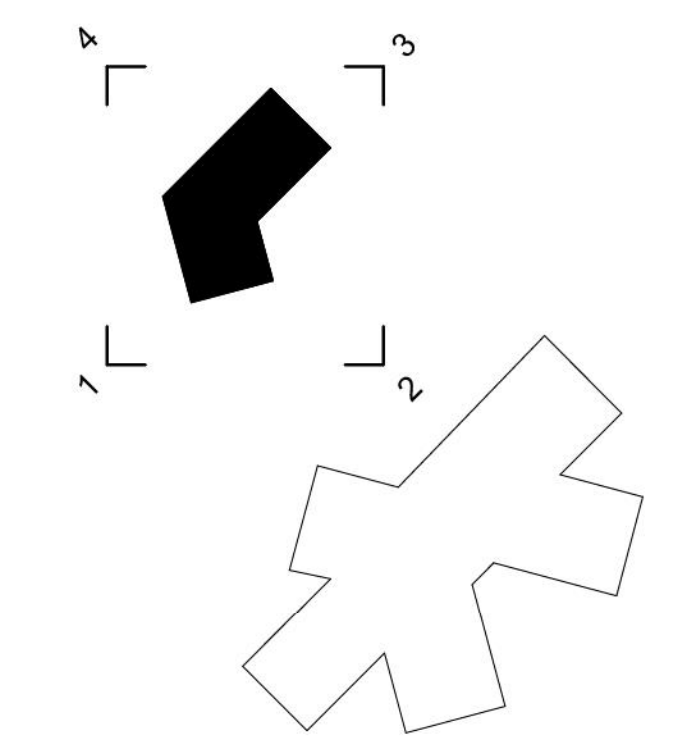
4 CREATIVITY STUDIO - NORTHEAST ELEVATION
1/8" = 1'-0"

NOTES

EXTERIOR MATERIAL LEGEND:

-  HORIZONTAL WOOD RAINSCREEN
-  DIAGONAL WOOD RAINSCREEN
-  WOOD SHINGLE SIDING
-  STANDING SEAM METAL ROOF
-  STONE FACADE
-  CONTRASTING HORIZONTAL WOOD RAINSCREEN

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PRICING SET



September 19, 2024

CHARTER TOWNSHIP OF SUPERIOR

3040 N. Prospect Road
Ypsilanti, MI 48198

Attention: Lynette Findley, Township Clerk

Regarding: Garrett's Space
Final Site Plan Review No. 2
OHM Job No. 0140-23-1040

Dear Ms. Findley:

On behalf of the Township, we conducted a second review of the Final Site Plan submittal for the above referenced project, as provided to the Township by the Applicant on August 15, 2024. We reviewed the submittal consistent with requirements for final site plan based on the Township Zoning Ordinance, and noted the following comments that were forwarded to the Applicant for resubmittal of the plans for further review.

1. On the Sanitary Sewer Plan on Sheet 17, the arrow for the call out for "Proposed Sanitary Lead" near the existing building should be moved to align with the sanitary lead.
2. On the Sanitary Sewer Plan on Sheet 17, a clean out should be placed at the first bend shown in the proposed 4" sanitary lead that services the Proposed Residential Center as there is currently more than 80' between proposed clean outs on this run.
3. The rim elevation for R09 shown on sheet 15 is different than the rim elevation shown for R09 in the Storm Structure Table on sheet 20 and the Storm Sewer Plan and Profile on sheet 22. Please review these inconsistent elevations and make the necessary revision(s).

The affected plan sheets from the comments above have been updated by the Applicant, were resubmitted to the Township on September 9, 2024, and we have verified that the items have been addressed as of the date of this letter.

Permits and Other Agency Approvals

4. The applicant has contacted to the Michigan Department of Environment, Great Lakes, and Energy (EGLE) regarding the proposed wetland impact at Wetland D on the plans for the roadway improvements required by the Washtenaw County Road Commission (WCRC), and a site meeting with EGLE staff took place on 8/28/24. EGLE has determined that an EGLE Individual Permit is required for this wetland disturbance, and that no other wetland permitting is required for the site. EGLE also noted that tree clearing should be done in the cool season (late fall/winter) for protection of the Indiana bat/Northern long-eared bat. As the impacts are small in area (0.07 acre), and as the site includes green infrastructure/BMPs and the proposed 58-acre conservation easement area, it is reasonably assured that this permit will be issued by EGLE without requiring further wetland mitigation.



5. The applicant has received technical approval of the proposed well and septic systems by the Washtenaw County Environmental Health Division and has obtained a permit for the new domestic water well. As Superior Township is a designated Well First area the well must be drilled first before the sewage permit can be issued. Copies of these approvals have been provided to the Township and OHM.
6. The applicant has received technical approval of the proposed improvements in the Dixboro Road right-of-way by the WCRC, and an email dated 6/26/24 from WCRC staff indicating that only administrative items are needed for them to issue a permit for this work have been provided to the Township and OHM.
7. The applicant has received technical approval of the proposed stormwater management system by the Washtenaw County Water Resources Commissioner's office (WCWRC), and a copy of the WCWRC's letter of 8/13/24 indicating their technical approval has been provided to the Township and OHM.
8. It is noted that soil erosion and sedimentation control (SESC) measures for the project have been included in this plan set and that the Contractor has applied to WCWRC for review of these measures, and approval of this permit is reasonably assured.

If you have any questions regarding our review, please do not hesitate to contact me at (734) 466-4585.

Sincerely,
OHM Advisors



Cresson Sloten, PE
Senior Project Manager

cc: Ken Schwartz, Township Supervisor (via e-mail)
Bill Balmes, Building Department (via e-mail)
Diane Mulville-Friel, CWA, Township Zoning Administrator (via e-mail)
Ben Carlisle, CWA, Township Planner (via email)
George Tsakoff, OHM Advisors
Claire Martin, OHM Advisors
file

P:\0126_0165\STTE_SuperiorTwp\2023\0140231040_Garrett's Space\1042 FSP\Reviews\FSP Review 2\2024.09.19_Garrett's Space_FSP Review 2.docx



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: January 11, 2024
July 26, 2024
September 9, 2024

**Final Site Plan Review
For
Superior Township, Michigan**

Applicant: Scott Halpert
Project Name: Garretts Space
Location: 3900 Dixboro Road
Plan Date: May 7, 2024
Current Zoning: PC, Planned Community District
Action Requested: Final Site Plan Approval

PROJECT DESCRIPTION

A preliminary site plan application has been submitted to improve the property at 3900 Dixboro to create residential center to treat young adults suffering from depression and anxiety. The facility will include both inpatient and daily services, with a non-medical and non-institutional focus. As part of the site plan, the applicant proposes the following improvements to the site:

1. Convert the existing home on the site to administrative offices
2. Construct a 10,100 square foot building to house 15 to 20 residents
3. Construct a 2,100 square foot building for recreational and therapy activities
4. Construction of a parking lot
5. Landscaping improvements
6. Create walking paths and lookouts through the site's natural features.
7. Expanding the sites well and septic system
8. Construct two (2) stormwater detention ponds

Benjamin R. Carlisle, *President* Douglas J. Lewan, *Executive Vice President* John L. Enos, *Vice President*
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal*
Paul Montagno, *Principal*, Megan Masson-Minock, *Principal*, Laura Kreps, *Senior Associate*
Richard K. Carlisle, *Past President/Senior Principal*

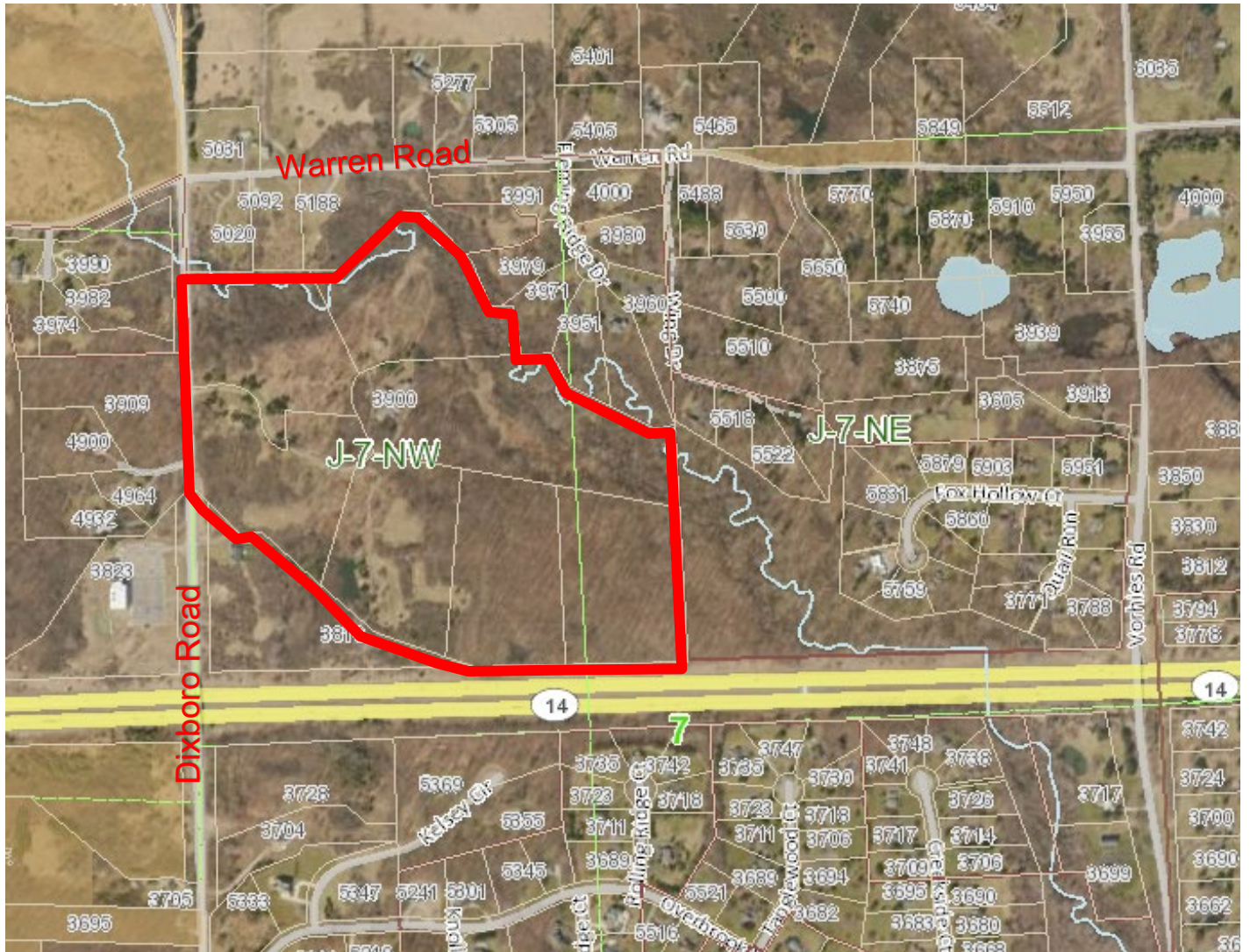
The applicant proposes phased development:

- Phase 1: Use of the existing house for administrative offices and day programming. This phase does not include any overnight guests.
- Phase 2: Construction of the residential structure and creativity studio with parking areas, and utility and landscaping improvements. This phase includes expanded day programming and overnight residents.
- Phase 3: Additional ancillary elements, including the barn for gardening and therapeutic animals, and outdoor recreation and gathering spaces, will be constructed as funding allows.

The 76 acres consists of seven (7) parcels that will be combined. The site has historically been used as a single-family residence. The site includes significant natural resources including woodlands, steep slopes, a creek, floodplain, and wetlands. The applicant has agreed to a Zoning and Land Use Agreement that limits uses, limits the number of residents, limits the number of employees, and agrees to a conservation easement on between 55 to 60 acres undeveloped portions of the property. The nearest site improvements are over 370 feet from any property to the north, over 540 feet to the south, over 500 feet to the east, and over 600 feet from Dixboro Road.

At full build-out, the facility will be able to accommodate 30 guests, 15-20 of whom will stay as residents for 2 to 4- week periods, with the remaining participating in day programming and support services. The facility is expected to employ 20 people, including 2 overnight employees.

Aerial Photograph



The Zoning and existing land uses for the subject site and surrounding parcels are identified in the following table:

Direction	Zoning	Existing Use
North	A2 – Agriculture District	Single Family Residential
South	A2 – Agriculture District / M-14	Single Family Residential - Highway
East	PC-Planned Community District	Single Family Residential / Open Space Conservation
West	Ann Arbor Township	Single Family Residential

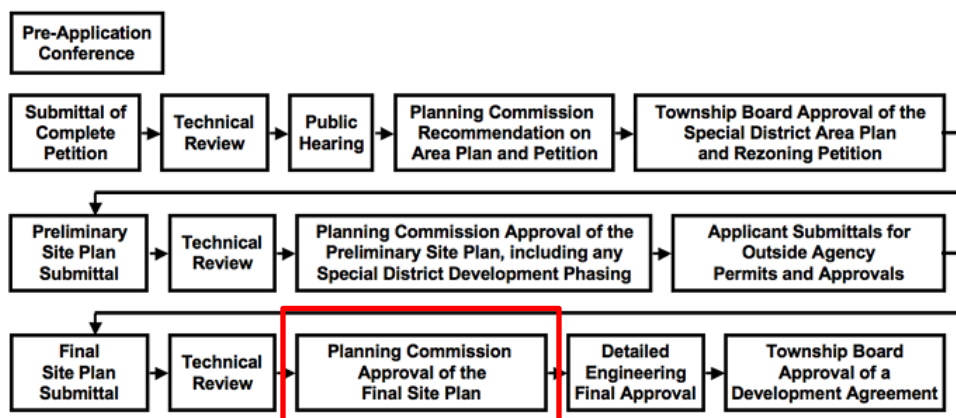
PROCESS

An Area Plan petition for this site was approved by the Township Board on July 17, 2023 on a vote of 5-2. The Preliminary Site Plan was approved by the Planning Commission on January 24, 2024 on a vote of 7-0.

Effective Date: August 14, 2008

Article 7
Special District Regulations

SECTION 7.100 REVIEW PROCEDURES



PRELIMINARY SITE PLAN

The Preliminary Site Plan was approved by the Planning Commission on January 24, 2024 on a vote of 7-0, with the following conditions:

1. Clarify timing of the phases. Combine Parcels
2. Submit a conservation easement with legal description for township review
3. Confirm if EGLE permit is required. If required, obtain permit prior to final site plan approval.
4. Indicate any location where new development, grading, or other activity is proposed within a steep slope as defined in the ordinance.
5. Confirm access and any necessary road improvements from the Road Commission.
6. Submit a lighting and photometric plan
7. Submit a landscaping plan
8. Provide a detailed narrative of the architectural concept for the site including material details
9. Address all items in the Township Engineers January 11, 2024 review
10. Address all items in the Fire Marshals December 18, 2023 review.

FINAL SITE PLAN CONDITIONS OF APPROVAL

The applicant has submitted a Final Site Plan:

1. Clarify timing of the phases. Combine Parcels.

Phase 1 includes reuse of the existing house for administrative offices and day programming. No overnight guests will stay on the property as part of Phase 1. Phase 2 includes construction of the residential center and creativity studio. Construction for the residential center and creativity studio is expected to start in late summer of 2024 and will take approximately 18 months to complete. The existing parcels will be combined into one parcel following approval of the final site plan.

2. Submit a conservation easement with legal description for township review.

An application for the proposed conservation easement was submitted to the Washtenaw County Natural Areas Preservation Program (NAPP) on January 18, 2024 for their review. Upon notification from NAPP that the proposed conservation easement has been accepted, a legal description will be prepared and provided to the Township for review. Sheet 11 in the Final Site Plan shows the proposed conservation easement area. Once a legal description is complete, it will be reviewed by the Township Engineer.

3. Confirm if EGLE permit is required. If required, obtain permit prior to final site plan approval.

A permit is required from EGLE for the proposed impacts to Wetland F and a portion of Wetland D. The wetland impact and mitigation has received technical approval from EGLE.

4. Indicate any location where new development, grading, or other activity is proposed within a steep slope as defined in the ordinance.

Areas of steep slopes (25% or greater) on the site are located primarily along the north side of the parcel, adjacent to Fleming Creek, and to the east of the existing house. Existing slopes within the proposed development area generally range from 10% to 12%. The Natural Feature Plan, Sheet 6, indicates steep slope location and grading. There is no proposed grading in any steep slope area.

5. Confirm access and any necessary road improvements from the Road Commission.

Work proposed in the Dixboro Road Right-of-way (ROW) must meet the requirements of the Washtenaw County Road Commission (WCRC) as they have jurisdiction within the public ROW of Dixboro Road and for determining necessity for deceleration or acceleration taper modifications (or other necessary improvements) based on anticipated traffic counts.

The proposed plans have received technical approval from the Washtenaw County Road Commission.

6. Submit a lighting and photometric plan.

The applicant is proposing 64 bollards and 13 wall sconces. The fixtures and photometrics meet ordinance requirements.

7. Submit a landscaping plan.

The applicant has submitted a landscaping plan. The landscaping plan and tree mitigation plan meet all ordinance requirements.

8. Provide a detailed narrative of the architectural concept for the site including material details.

The applicant has provided architectural details on Sheets A2.01, A2.02, A2.03. The Residential Center and Creativity Studio materials include metal roof, cedar shingles, accoya wood siding, and stone accents. The intent is to match the architectural style and material of the existing house on site.

9. Address all items in the Township Engineers January 11, 2024 review.

Engineering will be reviewed in a separate memo.

10. Address all items in the Fire Marshals December 18, 2023 review.

Fire will be reviewed in a separate memo.

CONSISTANCY WITH PRELIMINARY SITE PLAN

We find that the final site plan conforms to the approved preliminary site plan. Noted differences include:

1. The drive to the residential center was lengthened to accommodate fire access


2. The location of the trails/paths around the existing house, creativity studio, and residential center have been slightly altered.

OUTSIDE AGENCY APPROVALS

The proposed plans have received technical approval from the Washtenaw County Water Resources Commissioner, Washtenaw County Road Commission, and Washtenaw County Environmental Health Division.

SUMMARY

We recommend final site plan approval.



CARLISLE/WORTMAN ASSOC., INC
Benjamin R. Carlisle, AICP, LEED AP
President

cc: Ken Schwartz, Township Supervisor
Lynette Findley, Township Clerk
Diane Mulville-Friel, Zoning Administrator
George Tsakof, Township Engineer
Cresson Slotten, Township Engineer

Candice M. Briere

From: Tom J. Covert
Sent: Monday, April 1, 2024 8:00 PM
To: Candice M. Briere
Subject: FW: Permit Application 19325 Garrett's Place
Attachments: LOC Template Permit without RIA.pdf; Insurance Requirements-WCRC 2021.pdf

From: McCulloch, Mark [mailto:mccullochm@wcroads.org]
Sent: Monday, June 26, 2023 3:04 PM
To: scott@garrettsspace.org
Cc: Tom J. Covert <tjc@midwesternconsulting.com>; Ken Schwartz <kenschwartz@superior-twp.org>; Streight, Gary <streightg@wcroads.org>; Lawrence, Callie <lawrencec@wcroads.org>
Subject: Permit Application 19325 Garrett's Place

Hello Scott,

For the Washtenaw County Road Commission (WCRC) to issue a permit for ingress /egress to your site proposal, the following administrative items will need to be submitted:

- 1) A surety in the form of an irrevocable letter of credit (see attached) or cash (check) in the amount of \$27,000. If you elect to submit an LOC, please have your banking institution provide a draft document to my attention for inspection using the language in the attachment.
- 2) Name of the contractor, address and contact information performing work in the public road right of way
- 3) If not on file, a current certificate of liability insurance from your contractor above in the amounts referenced in the attachment.

Please have documents sent to permits@wcroads.org. I can be reached at the numbers below should you have questions.

Mark

Mark McCulloch
Sr. Project Manager - Permits



Washtenaw County Road Commission
555 N. Zeeb Road, Ann Arbor, Michigan

Direct: (734) 327-6679 | Main: (734) 761-1500 | Cell: (734) 845-2924
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Washtenaw County Health Department

August 14, 2024

Candice Briere
Midwestern Consulting
3815 Plaza Drive
Ann Arbor, MI 48108

RE: Permit Status for Garrett's
Space, 3900 Dixboro Road
Section #7, Superior Township
Washtenaw County

Dear Candice:

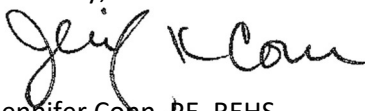
I want to provide an update on the status of well and sewage permits for the Garrett's Space project at 3900 Dixboro Road in Superior Township. Midwestern Consulting submitted applications for the onsite water supply well and sewage disposal systems to the Washtenaw County Health Department (WCHD) for the project. As proposed, Garrett's Space will consist of a residential treatment center, a creativity studio, and the conversion of the existing structure on site into administrative offices.

A soil evaluation was conducted in October 2023 in the western portion of the proposed primary drainfield, during which an approved soil formation was located for an onsite wastewater disposal system. The soils observed were consistent with previously approved test pits located in the reserve drainfield area conducted in 2017 and the eastern portion of the primary drainfield observed in 1993.

WCHD has reviewed site plans for both the onsite water supply and sewage disposal system. WCHD issued a permit for a Type II non-transient public water supply well on August 1, 2024. The sewage system plans were found to be in substantial conformance with WCHD requirements. However, because Superior Township is a designated Well First area the well must be drilled and shown to produce an adequate quantity of water before the sewage permit can be issued.

At this time WCHD has not received a well drilling record for the project. Upon receiving a drilling record showing the well can produce enough water for the project WCHD will issue the sewage permit. Should you have questions regarding this letter, please contact me at 734-222-3855.

Sincerely,



Jennifer Conn, PE, REHS
Public Health Engineer

Washtenaw County Health Department
555 Towner Street • Ypsilanti, MI 48198
Phone: 734-544-6700 • Fax: 734-544-6705
washtenaw.org/health



Environmental Health Division
705 N Zeeb Road • Ann Arbor, MI 48103
Phone: 734-222-3800 • Fax: 734-222-3930
washtenaw.org/envhealth



Washtenaw County
Environmental Health Division
 705 N. Zeeb Rd. PO Box 8645 Ann Arbor,
 Michigan 48107-8645
 Phone (734)222-3800 Fax (734)222-3930

<h1>Permit</h1>	Permit NO. WELL2024-0074
	Permit Type: Well
Work Classification: Type II Non Transient - New	
Issue Date: 08/01/2024	Parent Permit: No Parent
Expiration: 08/01/2025	

Location Address	Parcel Number	Township / District
3900 DIXBORO Rd, ANN ARBOR, MI 48105	J -10-07-200-010	Superior Township

Contacts			
GARRETT'S SPACE 1400 Granger Ave, ANN ARBOR, MI 48104 (734)709-7684	Owner	MIDWESTERN CONSULTING 3815 PLAZA DR, ANN ARBOR, MI 48108 (734)995-0200	Applicant
SCOTT@GARRETTSSPACE.ORG		CMB@MIDWESTERNCONSULTING.COM	

Description: NEW NON-TRANSIENT TYPE II WELL FOR GARRETT'S SPACE RESIDENTIAL TREATMENT CENTER.	Inspection Requests: (734) 222-3800
---	--

Please note that it is the responsibility of the contractor or owner to contact the Miss Dig notification system at 811 or 800-482-7171 and comply with all requirements of the Miss Dig Underground Facility Damage Prevention and Safety Act before starting any excavation work!

Well First: Yes
 Type of Sewage Disposal: On-Site

This permit is to install a potable water well in the approved location shown on the attached plot plan and in accordance with the applicable County regulations and Michigan Water Well Construction and Pump Installation Code, Part 127, Act 368. No newly drilled wells are to be used for potable purposes until final approval is received, including a safe coliform bacteria water sample.

Permit Conditions

Type II Non Transient - Master

1. This permit is being issued for a Non-Transient Type II Non-Community Water Supply with Water Supply Serial Number (WSSN) # 20664-81.
2. If the well is drilled near a body of water, the well drilling contractor must take precautions to prevent drilling mud from entering the water.
3. Well must maintain all isolation distances as required by the Michigan Safe Drinking Water Act (Act 399 of the Public Acts of 1976) and Administrative Rules.
4. Well shall be at least 75 feet from septic tanks and 75 feet from sewers (gravity, pressure, sanitary or storm). Well shall be at least 100 feet from drainfield areas. See attached isolation chart.
5. The entire length of casing must be pressure grouted with high density bentonite or neat cement. A grouting inspection is required. Call (734) 222-3800 to schedule this inspection 48 hours prior to drilling.
6. If the well casing is less than 50 feet deep, the well must have a 10 foot impervious non-surface clay layer or be at least 150 feet from a drainfield.
7. A well drilling log and pump record must be submitted by the Registered Well Driller (must include well and pump information).
8. The well must produce at least 50 gallons per minute.
9. Install an approved sampling tap before the pressure tank, at least 12 inches above the floor (see attached diagram).
10. Owner must submit non-transient water samples as required by P.A. 399. See next page for list.
11. Owner must complete Capacity Development paperwork (attached) and retain a Certified Waterworks System Operator.
12. A final inspection is required prior to serving/consuming water from the well. Call (734) 222-3800 to schedule this inspection.



Washtenaw County
Environmental Health Division
 705 N. Zeeb Rd. PO Box 8645 Ann Arbor,
 Michigan 48107-8645
 Phone (734)222-3800 Fax (734)222-3930

Permit	Permit NO. WELL2024-0074
	<i>Permit Type: Well</i>
Work Classification: Type II Non Transient - New	
Parent Permit:	No Parent
Issue Date: 08/01/2024	Expiration: 08/01/2025

Non-Transient Water Samples Required:

Coliform bacteria, nitrate, and nitrite samples can be analyzed by the Washtenaw County contract laboratory. All other samples must be analyzed by another State of Michigan certified laboratory. If taken through the Michigan Department of Environment, Great Lakes, and Energy (EGLE) laboratory in Lansing, the unit (bottle) # and test codes are included in the below list.

All samples must be collected from the raw water sampling tap EXCEPT coliform bacteria and lead/copper.

1. Coliform Bacteria* Unit # 30, Test Code BPTC
2. Coliform Bacteria* Unit # 30, Test Code BPTC
3. Coliform Bacteria* Unit # 30, Test Code BPTC
 - * Two, consecutive, safe coliform bacteria samples are to be collected by the Registered Well Driller or Owner at least 24 hours apart. The samples must be taken from inside the building from either a kitchen sink or a drinking water fountain. The third sample is to be collected by Washtenaw County personnel at the final construction inspection.
4. and 5. Nitrates and Nitrites Unit # 32, Test Code R
6. Volatile Organic Compounds (VOCs) Unit # 36VO, Test Code CXVO
7. Complete Metals Unit # 36ME, Test Code CMET
8. through 10. Semi-Volatile Organics (3 Tests)
 - Unit #36LP, Test Code CXLP
 - Unit # 36HB, Test Code CXHB
 - Unit # 36PT, Test Code CXPT3
10. through 14. Lead/Copper for corrosion control Unit#36CC, Test Code CCUB
 - Five (5) total drinking water fixtures must be sampled. Please coordinate with Washtenaw County sanitarian on final sampling locations once plumbing work is complete. The preliminary sampling locations are:
 1. Creativity Studio - Bottle Filler
 2. Administrative Office Building - Kitchen Sink
 3. Residential Center - Water Dispenser
 4. Residential Center - Kitchen Prep Sink
 5. Residential Center - 3-Compartment Sink
15. Cyanide Unit # 36CN, Test Code CCN
16. PFAS Unit # PFAS, Test Code CXPFAS

Special - Arsenic

This well is proposed in an area where arsenic concentrations can exceed the maximum contaminant level (MCL) of 0.010 mg/L. If arsenic levels in this well exceed the MCL, an arsenic treatment system will be required. Treatment systems require a permit from the Michigan Department of Environment, Great Lakes, and Energy (EGLE) engineering unit prior to installation. Please visit the EGLE Installing Treatment website for more information on treatment system permit applications: <https://www.michigan.gov/egle/about/Organization/Drinking-Water-and-Environmental-Health/noncommunity-water-supply/installing-treatment>

Special - Disconnect Existing Well

The existing well connected to the house (future administrative office building) must be disconnected from the potable water supply. This well is only to be used for irrigation and fire suppression. If the well is not to be used, a Registered Well Driller must remove the pumping equipment and properly plug the well.

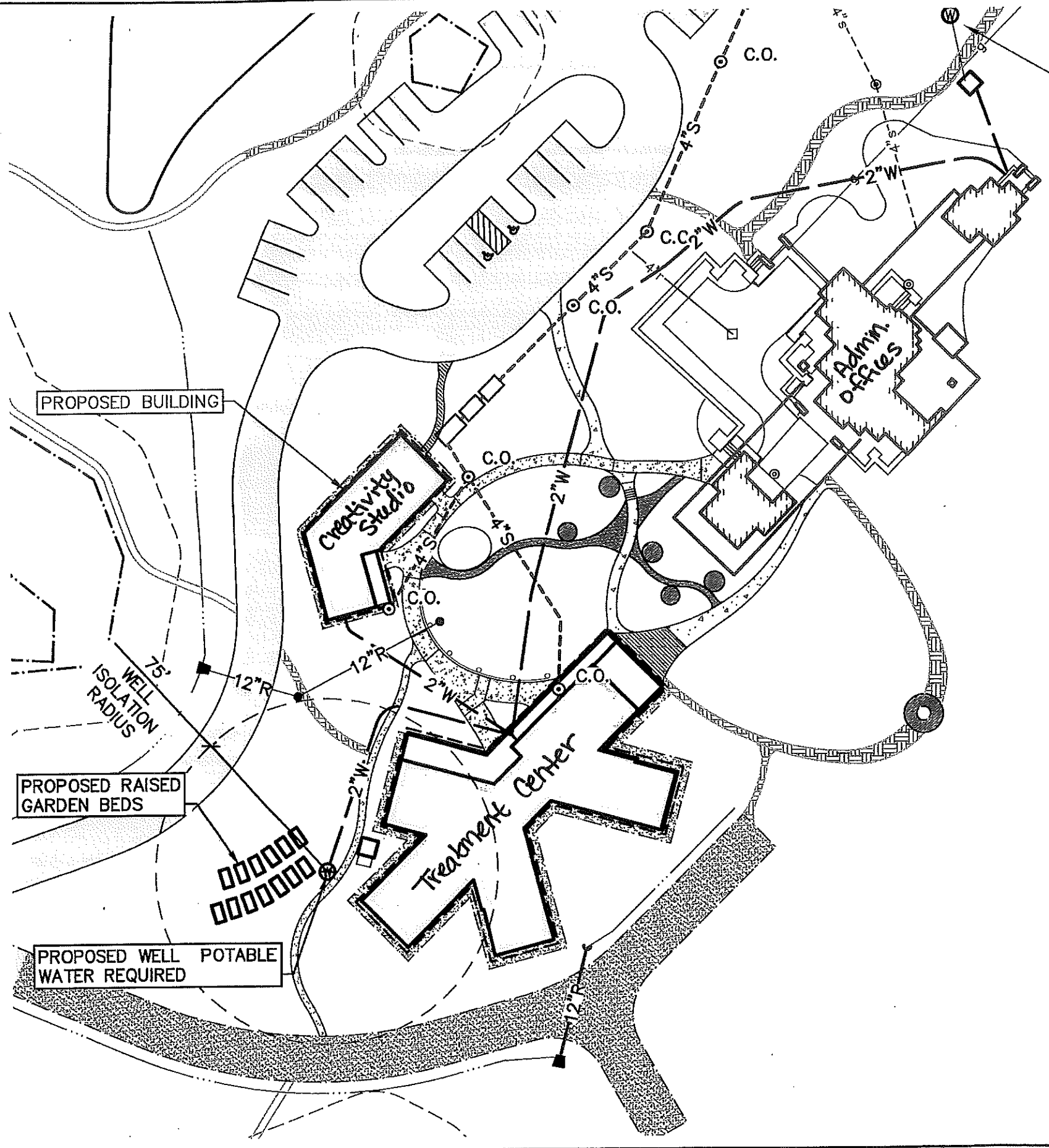
Jennifer Conn

Jennifer Conn
 Sanitarian

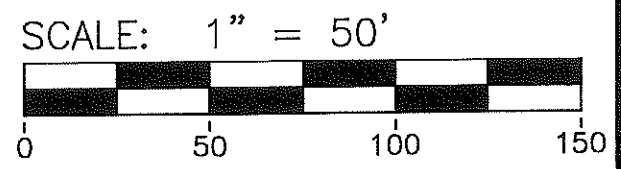
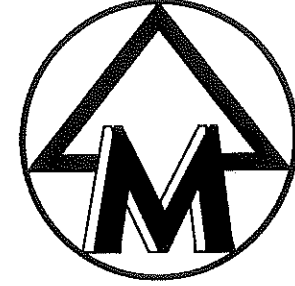
August 1, 2024

Date

M:\CIVIL3D_PROJ\22265\FINAL SITE PLAN\22265UP1.DWG

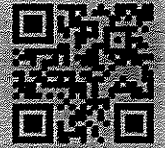


EXISTING WELL TO REMAIN AND BE USED ONLY FOR FIRE SUPPRESSION OF EXISTING BUILDING AND IRRIGATION (NON-POTABLE)

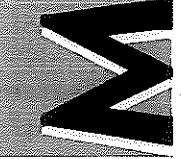


Know what's below.
Call before you dig.

LOCATION OF WELL
 APPROVED (NO. WELL 2024-0074)
 WASHTENAW COUNTY
 HEALTH DEPARTMENT
 DATE: 8-1-2024
 BY: *[Signature]*



MIDWESTERN
CONSULTING
 3825 Plaza Drive Ann Arbor, Michigan 48108
 (734) 995-0200 • www.midwesternconsulting.com



GARRETT'S SPACE
 WELL PLAN

JOB #:	22265
DATE:	07-19-24
SHEET	1 OF 1
CADD:	ACT
	22265UP1.dwg



EVAN N. PRATT, P.E.

Water Resources Commissioner

705 N Zeeb Road
Ann Arbor, MI 48103
734-222-6860

Drains@washtenaw.org

Harry Sheehan
Chief Deputy Water Resources Commissioner

Scott Miller, P.E.
Deputy Water Resources Commissioner

Theo Eggermont
Public Works Director

August 13, 2024

Candice M. Briere
3815 Plaza Drive
Ann Arbor, MI 48108

RE: Garrett's Space
3900 Dixboro Road
Superior Township, MI
WCWRC Project No. 9216

Dear Ms. Briere:

This office has completed a review of the submittals for the above referenced project. These documents were received on August 1, 2024. The plans are dated May 7, 2024, and have a latest revision date of August 1, 2024. As a result of our review, we would like to offer the following comment:

1. The construction plans are technically correct. Please note that any future revisions to the stormwater management system should be submitted to this office for additionally review and approval.
2. Please see the attached invoice for the current fees and remit these fees upon receipt.

If you have any questions, please contact me via email at byrnem@washtenaw.org.

Sincerely,

A handwritten signature in cursive script that reads "Matt Byrne".

Matt Byrne
Stormwater Engineer
(approval \ Garrett's Space_rev2)

CC: Lynette Findley, Superior Township Clerk
Diane Mulville-Friel, Superior Township Planning Consultant (CWA)
George Tsakoff, PE, Superior Township Engineer (OHM)
Cresson Slotten, PE, Superior Township Engineer (OHM)

Candice M. Briere

From: Bales, James (EGLE) <BalesJ@michigan.gov>
Sent: Monday, September 16, 2024 4:22 PM
To: Tom J. Covert
Cc: Candice M. Briere; Scott Halpert
Subject: RE: Garrett's Space Dixboro Road

Hi Tom,

Your follow up summary of our meeting and understanding of the permit process going forward looks accurate. Until we receive and review an application, I can't really speak to the likelihood of receiving a permit for proposed resource impacts associated with this project (or compare it to other similar projects that were or were not permitted). Each application is evaluated under the review criteria outlined in statute (Part 303) and each project may have site specific elements that impact the project and our evaluation of prudent and feasible alternatives.

As we discussed, I am sending this email in place of a formal pre-application letter as a follow-up to your pre-application meeting on August 28, 2024.

During the on-site pre-application meeting for the proposed residential center in Superior Township, we discussed the following:

- We determined that wetland impacts associated with the proposed project would require authorization under Part 303 of the NREPA.
- We discussed typical wetland mitigation thresholds and requirements for impacts authorized by EGLE. Mitigation is required when impacts above 1/3 acre are authorized. EGLE may waive the wetland mitigation condition if the permitted wetland impact is less than 1/3 of an acre and no reasonable opportunity for mitigation exists. When there are permitted impacts below a tenth of an acre, other forms of mitigation can sometimes be considered for these "smaller" impacts, including the incorporation of "green infrastructure"/BMPs into the plan, invasive species removal/management at the site, etc.
 - Your plan/proposal to place wetland on this property within a conservation easement should be presented for us to consider in the "Mitigation" section of the application. A "final" decision on mitigation requirements cannot be made until we receive an application and make a permitting decision.
 - When proposing a Conservation Easement, "squaring off" the boundaries and including an "upland buffer" around the wetland within the Conservation Easement, are encouraged.
 - EGLE Conservation Easement information is available on the Wetland Mitigation page on our website: [Wetland Mitigation \(michigan.gov\)](#)

Project Category

- Individual Permit - \$500 application fee and 20-day Public Notice.

Complete Application and Alternatives Analysis

- We discussed:
 - Providing site limitations – project ordinances or restrictions.
 - Providing a complete alternatives analysis showing that you have avoided and minimized proposed resource impacts.
 - This should include multiple site plans – with the selected/proposed site plan avoiding resource impacts to the largest extent possible.
 - Correspondence with the Road Commission highlighting safety considerations and any other requirements that impacted the proposed plan should also be provided.
 - Identify impact totals – both permanent and temporary.
 - Display wetland boundaries, stream ordinary high-water marks where applicable, and the 100-year floodplain elevation on plans/cross sections.

- Please also show/label proposed impact areas, volumes, etc. on the plans as applicable.

Threatened & Endangered Species

- We discussed:
 - Indiana bat/Northern long-eared bat
 - Tree clearing during cool season only.
 - As a follow up to our meeting, you provided EGLE with the USFWS Michigan Determination Key Consistency Letter. The conservation measures provided in that letter will be included as permit conditions if an EGLE permit is issued for proposed wetland impacts regulated under Part 303.

Timeline Information

- We discussed the typical application review timeline.
 - 30-day completeness review period.
 - 90-day processing period (if a Public Hearing is requested/scheduled, another 60-days will be added to accommodate the hearing).
 - Permit decision prior to end of the processing period.

Please let us know if you have any questions.

Thank you,

Jim Bales
Environmental Quality Analyst
Water Resources Division | Jackson District Office
Michigan Department of Environment, Great Lakes, and Energy
(517) 257 - 4532 | BalesJ@Michigan.gov
[Follow Us](#) | Michigan.gov/EGLE

From: Tom J. Covert <tjc@midwesternconsulting.com>
Sent: Wednesday, September 11, 2024 11:03 AM
To: Bales, James (EGLE) <BalesJ@michigan.gov>
Cc: Candice M. Briere <cmb@midwesternconsulting.com>; Tom J. Covert <tjc@midwesternconsulting.com>; Scott Halpert <scott@garrettsspace.org>
Subject: RE: Garrett's Space Dixboro Road

CAUTION: This is an External email. Please send suspicious emails to abuse@michigan.gov

Good morning Jim,

Thanks for your review of the historical information at 3900 Dixboro Road and for the information you provided. A summary of the pre-application meeting/site visit would be great. We're fine with either an email or a letter, whichever is easier for you. Our goal will be to submit a permit application as quickly as possible.

As part of our final site plan submittal to Superior Township, we have been asked to provide information from EGLE outlining the permit requirements, process, and particulars about the permit. We are providing this summary in an effort to aid in time and effort toward this resolve as we work against important project timelines. Please review the below summary and advise if we have characterized the permit process through EGLE for our limited impact for the roadway improvements.

- A site visit was conducted on 08/28/2024 to review the existing wetlands and discuss proposed impacts and the project.
- Based upon this review it was determined that an EGLE Individual Permit will be required for the proposed limited wetland impacts.
- It was determined at the site visit that there will not need to be any additional wetland permitting for such things as storm water outlet locations due to the distance of outlet to regulated wetlands. It is also noted that the current storm water solution has been approved by the Washtenaw County Water Resources Commissioner's Office.
- The expected wetland impacts are the result of public road improvements on Dixboro Road that are being required by the Washtenaw County Road Commission (WCRC). The impacts are unavoidable and have been minimized through a series of reviews with WCRC permitting staff. The grading which creates the impacts has been minimized as much as possible while still satisfying the requirements of the WCRC.
- The impacts are minor at 0.07acres, and based upon current EGLE policy would typically not require wetland mitigation.
- Of interest to many stakeholders of the project, the 58-acre conservation easement being proposed on the property has been proposed and approved with the area plan and preliminary site plan by the Township and County Stakeholders. This easement will be conserving the areas around the existing stream, wetlands, slopes and trees. This easement is a mitigating element for the project and future impacts. The incorporation of green infrastructure/BMPs and invasive species removal/management at the site can also be considered as a form of mitigation.

Based on current understandings of the project as noted above and at our site meeting, has it been your experience that permits of this nature are typically approved? Put another way, has there been other recent permit applications for similar minimized impacts for roadway improvements that have been denied?

We understand the process to be as follows, please feel free to correct anything we have incorrect.

- Prepare application and submit to EGLE for review of completeness
- Completeness Determination by EGLE
- Additional information shared with EGLE if required
- EGLE reviews and posts notice of permit application
- EGLE receives input from the public
- EGLE determines if a public hearing is required
- EGLE holds a public hearing and receives comments
- EGLE continues to evaluate application
- EGLE makes determination if permit will be issued
- EGLE and applicant review and determine any additional needs
- EGLE issues a permit (or not)

We understand that this process can take up to 150 days to implement.

Thank you for your review and input on the above information, questions, and summary. Again, our goal is to share this with our client, the Township Engineering / Planning consultants, and Planning Commission for clear indication of the project elements and the process through EGLE permitting.

Please let us know if this is something that you can provide in the next week either as a formal letter or an email response to this note). Please feel free to contact us with any questions.

Thank you for your continued help and attention to our project,
Tom

Thomas (Tom) Covert, AICP, RLA, LEED AP

Principal | 734.389-5303

MIDWESTERN CONSULTING

3815 Plaza Drive | Ann Arbor, MI 48108 | 734.995.0200

From: Bales, James (EGLE) [<mailto:BalesJ@michigan.gov>]
Sent: Friday, September 6, 2024 11:17 AM
To: Tom J. Covert <tjc@midwesternconsulting.com>
Cc: Candice M. Briere <cmb@midwesternconsulting.com>
Subject: RE: Garrett's Space Dixboro Road

Hi Tom,

Thanks for reaching out to check on this. I did go through a historical review of the site to try and determine if the wetland in question (Wetland D in your provided delineation report) may meet the exemption under Part 303 that we had discussed while on site [Section 324.30305(4)(e) - A wetland that is incidentally created as a result of the construction of roadside ditches in upland for the sole purpose of removing excess soil moisture from upland]. I determined that Wetland D does not meet this exemption and is regulated under Part 303. The proposed project will require an Individual Permit review. Regarding mitigation, we often waive mitigation for unavoidable/permitted impacts below a tenth of an acre. Your plan/proposal to place ~58 acres within a conservation easement should be presented for us to consider in the "Mitigation" section of the application. Other forms of mitigation that can be considered for "smaller" impacts can include the incorporation of "green infrastructure"/BMPs into the plan, invasive species removal/management at the site, etc. A "final" decision on mitigation requirements cannot be made until we receive an application and make a permitting decision.

I'll still put together a pre-app letter/summary as a follow up to our meeting. Is an email acceptable for this file or would you like a more formal pre-app letter?

Let me know if you have any other questions. Thank you,

Jim Bales
Environmental Quality Analyst
Water Resources Division | Jackson District Office
Michigan Department of Environment, Great Lakes, and Energy
(517) 257 - 4532 | BalesJ@Michigan.gov
[Follow Us](#) | Michigan.gov/EGLE

From: Tom J. Covert <tjc@midwesternconsulting.com>
Sent: Thursday, September 5, 2024 12:49 PM
To: Bales, James (EGLE) <BalesJ@michigan.gov>
Cc: Tom J. Covert <tjc@midwesternconsulting.com>; Candice M. Briere <cmb@midwesternconsulting.com>
Subject: Garrett's Space Dixboro Road

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James –

Good afternoon. Checking in on the status of your review from our site meeting?

I have the Township stakeholders checking with me about status and I am looking to update them ahead of a meeting they have scheduled here in September.

My goal is to receive word from you that the State is, or is not regulating the wetland, and the type of permit we would pursue, and if mitigation would be required for the limited impact?

Let us know if we can provide anything that would aid in your initial review?

Thanks
Tom

Thomas (Tom) Covert, AICP, RLA, LEED AP

Principal | 734.389-5303

MIDWESTERN CONSULTING

3815 Plaza Drive | Ann Arbor, MI 48108 | 734.995.0200

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This email originated from outside the organization. Exercise caution when opening attachments or clicking links, and verify the sender's identity before responding.

Candice M. Briere

From: Scott Halpert <scott@garrettsspace.org>
Sent: Wednesday, September 11, 2024 10:50 AM
To: Tom J. Covert; Gerald Fisher; Candice M. Briere; David Saladik
Cc: Julie Halpert
Subject: Fw: Garrett's Space Application for Conservation Easement

Encouraging news on the Conservation Easement. See the email from the County.

Best,

Scott

Scott Halpert

President and co-founder

Cell: 734-709-7684

Don't miss Go4GarrettsSpace 2024! Click on the logo now for details!



From: Ginny L. Leikam <leikamg@washtenaw.org>
Sent: Wednesday, September 11, 2024 10:43 AM
To: Scott Halpert <scott@garrettsspace.org>
Subject: RE: Garrett's Space Application for Conservation Easement

Good morning Scott,

I would say that NATAAC had very positive reaction to the property and quality of the land and I think it is likely they will prioritize it. They will do the final prioritization on Mon. 10/7 and I'll give you the final word.

Ginny



Ginny Leikam

Superintendent of Planning and NAPP | Washtenaw County Parks & Recreation Commission
t. (734) 971-6337 | c. (734) 646-3336
leikamg@washtenaw.org | washtenaw.org/parks
Parks Administration | 2230 Platt Road Ann Arbor, MI 48104
Mailing | PO Box 8645, Ann Arbor, MI, 48107

Explore Washtenaw County Parks and Preserves

From: Scott Halpert <scott@garrettsspace.org>
Sent: Wednesday, September 11, 2024 9:57 AM
To: Ginny L. Leikam <leikamg@washtenaw.org>
Subject: Re: Garrett's Space Application for Conservation Easement

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Good morning, Ginny,

Can you please share any feedback from the group regarding the Monday meeting? If it doesn't look promising that our property will be selected this year, Garrett's Space will be looking to quickly move to another group to grant the conservation easement.

Thanks so much,

Scott

Scott Halpert

President and co-founder
Cell: 734-709-7684

Don't miss Go4GarrettsSpace 2024! Click on the logo now for details!



From: Ginny L. Leikam <leikamg@washtenaw.org>
Sent: Wednesday, September 4, 2024 8:59 AM
To: Scott Halpert <scott@garrettsspace.org>
Subject: RE: Garrett's Space Application for Conservation Easement

Scott,

Thanks for reaching out. As I mentioned previously, the advisory committee will be completing their prioritization for this year's nominations in Sept. and Oct. We have had a large pool of nominations so will be completing our site visits on Mon. 9/9 and will be doing an initial review at the Sept. NATAC meeting that same day.

I'll be in touch once I have more feedback from the group and can give you an initial review after the meeting next Monday.

Are you all willing to provide any sort of limited public access on the property? We can discuss what that might look like in the conservation easement language.

Thanks,
Ginny



Ginny Leikam

Superintendent of Planning and NAPP | Washtenaw County Parks & Recreation Commission

t. (734) 971-6337 | c. (734) 646-3336

leikamg@washtenaw.org | washtenaw.org/parks

Parks Administration | 2230 Platt Road Ann Arbor, MI 48104

Mailing | PO Box 8645, Ann Arbor, MI, 48107

Explore Washtenaw County Parks and Preserves

From: Scott Halpert <scott@garrettsspace.org>
Sent: Wednesday, August 28, 2024 1:17 PM
To: Ginny L. Leikam <leikamg@washtenaw.org>
Subject: Garrett's Space Application for Conservation Easement

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Ginny,

I'm just circling back to check on the status of our application. Can you please let me know at your earliest convenience where things stand?

Thanks!

Scott

Scott Halpert

President and co-founder

Cell: 734-709-7684

Don't miss Go4GarrettsSpace 2024! Click on the logo now for details!



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

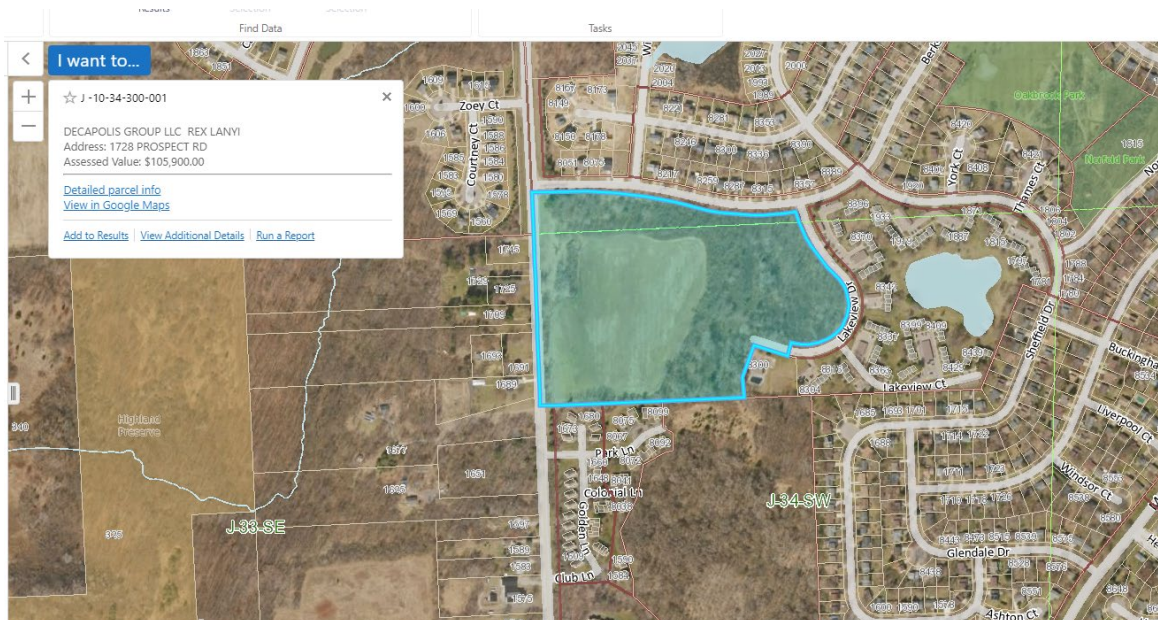
To: Daine Millville-Friel, Township Zoning Administrator

From: Ben Carlisle, AICP

Date: September 16, 2024

Re: Majestic Oaks Area Plan Amendment Concept Plan

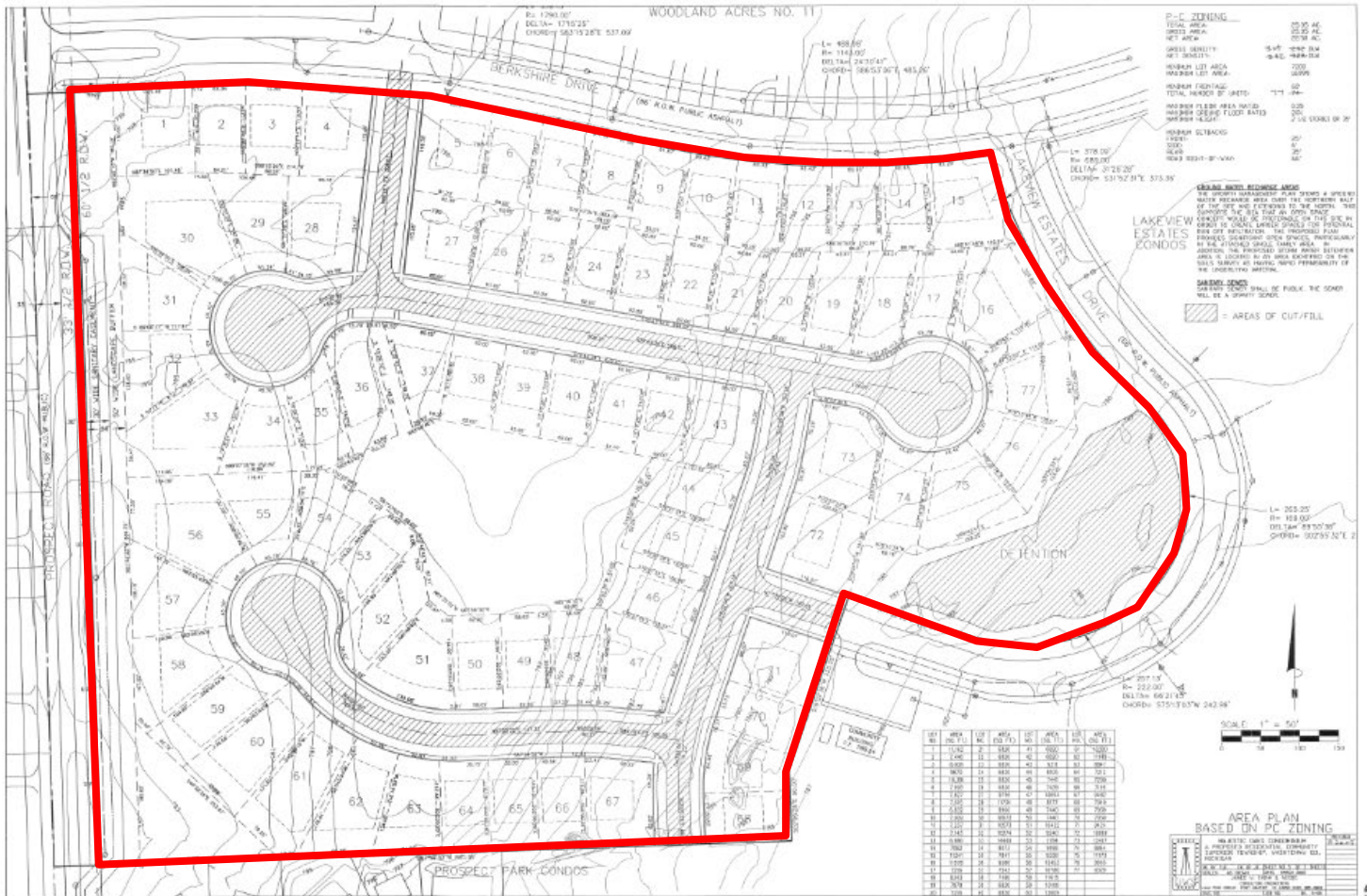
The owner of Majestic Oaks, David Dowling, is seeking input from the Planning Commission regarding amending the approved Majestic Oaks Area Plan. The Majestic Oaks Area Plan was approved in 2006. The 26.5 acre parcel is located on the southeast corner of Prospect Road and Berkshire Drive.



Richard K. Carlisle, *President* Douglas J. Lewan, *Executive Vice President*
John L. Enos, *Principal* David Scurto, *Principal* Benjamin R. Carlisle, *Principal* Sally M. Elmiger, *Principal* Craig Strong, *Principal*
Laura K. Kreps, *Associate* Paul Montagno, *Associate*

2006 Approved Plan

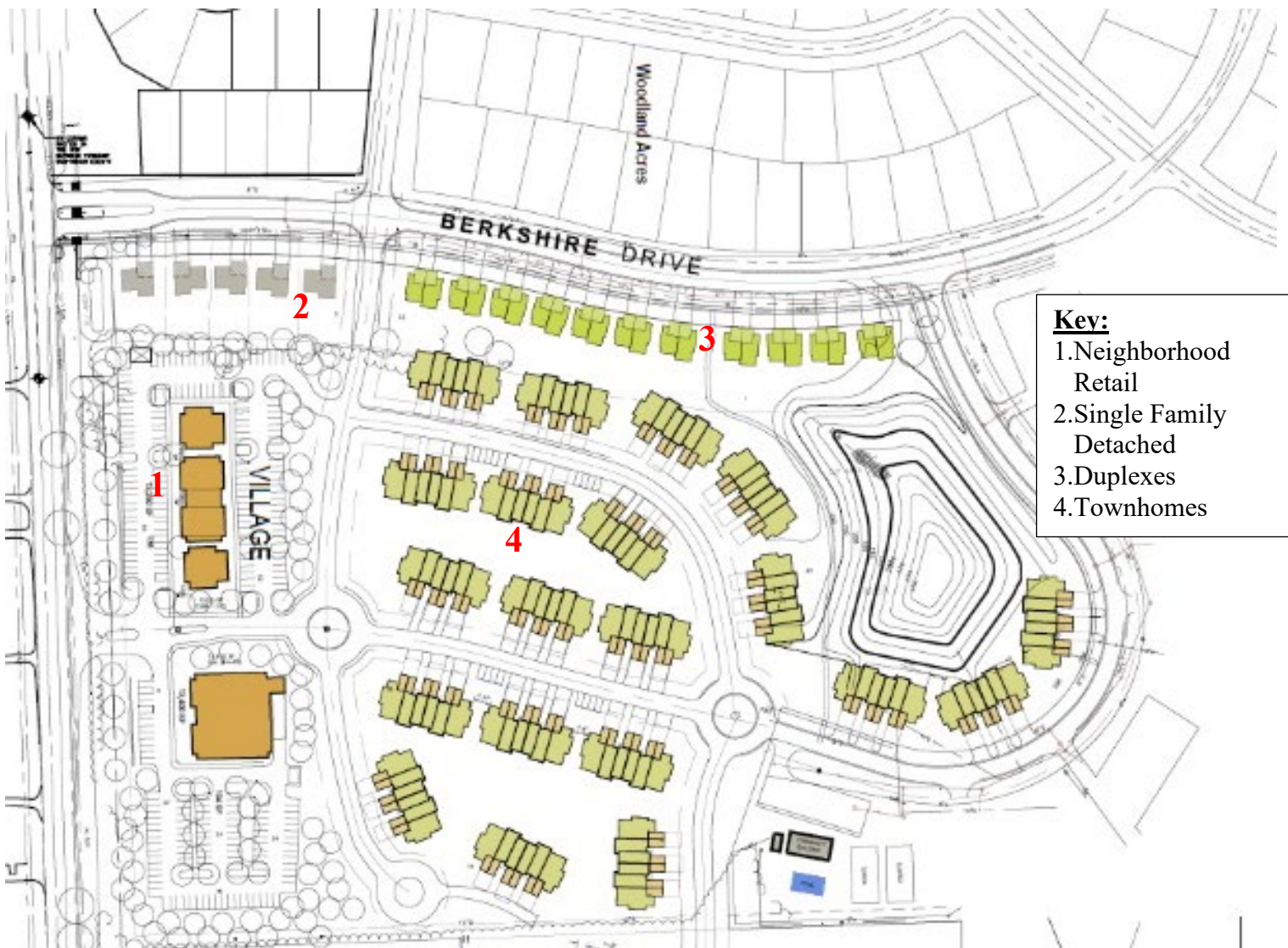
The approved Area Plan was approved for 77 single-family detached units.



2024 Proposed Plan

The applicant would like to discuss amending the Area Plan. Please note that the applicant has provided a concept plan; however the concept plan is a working draft and is subject to change. Rather than focusing on the specific details of the concept plan, the applicant would like feedback whether conceptually the Planning Commission would support amending the concept plan to add a commercial or mixed use element to the frontage of the that fronts on Prospect and amend the housing type from single-family detached to a mix of housing types including single-family attached, duplex, and townhomes.

This plan is very conceptual and the applicant is seeking feedback to amend the plan to allow for neighborhood retail



Master Plan

The 2006 Area Plan was approved under a previous Master Plan, and significantly different economic and market conditions. The site is located in the Geddes Road Urban Sub-Area. This sub-area is very important to the Township as it provides a variety of housing types at densities that would not be possible without the availability of a municipal sewer and water system. There is still undeveloped land within this sub-area which represents much of the major development opportunity within the Township because utilities are not available or planned for other areas of the Township. In addition to areas planned for housing, there are also some existing and planned employment centers in the sub-area. In order to implement other development policies and strategies such as natural feature preservation, rural housing provision, and open space preservation in other portions of the Township, this sub-area is designed for the most density in the Township. By allowing for commercial, mixed use, and housing density and diversity in this area will strengthen the townships position to protect other portions of the Township.

Uses noted in the Master Plan for the Urban Sub-Area include:

- Single-family residential developed in a traditional neighborhood pattern.
- Public and institutional facilities such as schools, places of worship, police stations, and community centers, that support the surrounding residential properties.
- Attached residential and multiple-family residential along neighborhood edges and adjacent to arterial corridors.
- General and medical office.
- Day-to-day neighborhood scale retail and services such as grocery and convenience stores, dry cleaners, pharmacies, banks, and beauty services.
- Restaurants and cafes that offer various food options.
- Mixed-use that includes uses noted above.
- Public parks and open space.

Day-to-day retail, mixed use, and housing options and housing diversity is a stated goal of the Master Plan. The Township, and the surrounding area, includes a number of single-family neighborhoods. Amending the Area Plan to include a mix of housing types, which may include, some single-family, would be consistent with the Master Plan.

With regards to commercial uses, some form of neighborhood supported retail would provide a valuable service to existing neighborhoods and future residents of this development. There are very limited neighborhood and local shopping options in the immediate area and the Township as a whole. The inclusion of neighborhood retail for this location is consistent with the Master Plan.

Since this is an Area Plan amendment, the Township has control over the future uses and can work with the applicant to ensure both the appropriate mix of housing types and inclusion of neighborhood retail is consistent with the Master Plan.

Overall, we generally support the Area Plan amendment to add housing diversity and neighborhood retail in the development.

Consideration for Planning Commission discussion:

1. Does the Planning Commission support the amendment from single-family detached residential to a variety of housing types?
 - a. If so, are there particular housing types that you would support?
 - b. If so, are there particular housing types that you would not support?

2. Does the Planning Commission support the addition of commercial development to the site?
 - a. If so, are there particular uses that you would support?
 - b. If so, are there particular uses that you would not support?

3. Are there additional items that the applicant should consider.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, AICP, LEED AP
Principal

cc: Ken Schwartz, Township Supervisor
Lynette Findley, Township Clerk
George Tsakoff, Township engineer



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

TO: Superior Township Planning Commission
FROM: Benjamin Carlisle, Planning Consultant
DATE: September 18, 2024
RE: Zoning Ordinance Rewrite Update Memo

We have made good progress on the update Zoning Ordinance. As previously noted, we have found that the current Zoning Ordinance to be disjointed and it is hard to find some regulations. As a result, we find the Ordinance is difficult to administer and a simple reorganization would greatly improve the clarity. A revised Table and Contents and clearer organization of regulations will assist the general public and applicants in understanding the Ordinance and will assist the Township staff and Planning Commission in administering it.

One of the biggest undertakings is a complete reorganization of the Zoning Ordinance. To date we are 90% of the way through taking every single individual section of the existing Zoning Ordinance and reorganizing it into the following table of contents:

Article 1: Administrative
Article 2: Definitions
Article 3: Administration and Enforcement
Article 4: District Regulations
Article 5: Planned Unit Development
Article 6: Development Options
Article 7: General Provisions
Article 8: Site Plan Review
Article 9: Conditional Use Review
Article 10: Specific Use Standards
Article 11: Access, Parking, and Loading Requirements
Article 12: Site Design Standards
Article 13: Environmental Standards
Article 14: Sign Regulations
Article 15: Nonconformities
Article 16: Zoning Board of Appeals
Article 17: Amendment Procedure

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Principal*
Richard K. Carlisle, *Past President/Senior Principal*

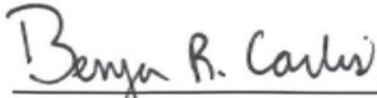
This has been a significant undertaking and we expect the reorganization to be completed by the end of September.

Zoning Text Amendments

Once the reorganization is complete, the second step is the actual amending of the zoning language. We will provide redline versions of each article as we progress.

I anticipate having Articles 1-3 ready for review by the Steering Committee for an October meeting. We look forward to meeting with the Steering Committee in October to discuss proposed amendments.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC
Benjamin R. Carlisle, AICP, LEED AP
President