

**CHARTER TOWNSHIP OF SUPERIOR
REGULAR BOARD MEETING
SUPERIOR CHARTER TOWNSHIP HALL
3040 N. PROSPECT, SUPERIOR TOWNSHIP, MI 48198
MARCH 18, 2024
7:00 p.m.
AGENDA**

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. ADOPTION OF AGENDA
5. CITIZEN PARTICIPATION
6. PRESENTATIONS AND PUBLIC HEARING
 - A. Brookwood Superior Public Hearing
7. CONSENT AGENDA
 - A. APPROVAL OF MINUTES **TAB 1**
 1. February 20, 2024
 - B. REPORTS **TAB 2**
 1. Supervisor
 2. Liaison Report on Parks & Recreation Commission Meeting – Trustee Lindke
 3. Community Center Advisory Committee Update – Clerk Findley
 4. Departmental Reports: Building Department, Fire Department, Ordinance Officer, Parks Commission Minutes, Sheriff’s Report, Planning and Zoning Report, Utility Department’s Report, Assessing Report
 5. Controller’s Report
 6. Monthly Financial Reports, February
 - C. COMMUNICATIONS **TAB 3**
 1. Committe to Promote Superior Township (C2PST)
 2. Irma Golden, Deputy Supervisor, Complaint Letter
 3. Washtenaw County Sheriff’s Office Rate Change Notification
8. ITEMS REMOVED FROM THE CONSENT AGENDA
9. UNFINISHED BUSINESS **TAB 4**
 - A. Resolution 2024-08, Award bid for MacArthur Pathway
 - B. Resolution 2024-09, Award Bid for Plymouth Pathway
 - C. Resolution 2024-10, Approve Plymouth Rd Pathway CA/CE Proposal from OHM
 - D. GFL Bin Labels
 - E. Plymouth Rd Property Sale
 - F. Contracts RFP

10. NEW BUSINESS **TAB 5**

- A. Resolution 2024-02, Approve Amended Audit Engagement Letter
- B. Resolution 2024-12, Approve OHM Proposal for Stamford Road Water Main Replacement
- C. Resolution 2024-13, Approve Amendment to Programming Contract with Washtenaw Intermediate School District
- D. Resolution 2024-14, Approve Master Plan
- E. Resolution 2024-15, Kinsley Development Agreement
- F. Resolution 2024-16, Approve Superior Township Clean Up Day
- G. Resolution 2024-17, Approve Easement Agreement, A and L Enterprises, LLC
- H. Resolution 2024-18, Approve Easement Agreement, Andrew Grant
- I. Resolution 2024-19, Approve Easement Agreement, FF Acres Holdings, LLC
- J. Resolution 2024-20, Approve Service Contract with County of Washtenaw for Ypsilanti District Library, Superior Branch, Road Improvements
- K. Resolution 2024-21, Budget Amendments
- L. Ordinance #192-03, First Reading
- M. Ordinance #174-27, First Reading
- N. Motion to Approve Kovalak Amended Contract to Include Interior Plumbing

11. BILLS FOR PAYMENT AND RECORD OF DISBURSEMENTS **TAB 6**

12. PLEAS AND PETITIONS

13. ADJOURNMENT

Lynette Findley, Clerk, Superior Township, 3040 N. Prospect, Superior Township, MI 48198
Telephone: 734-482-6099; Email: lynettfindley@superior-twp.org

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PAGE 1**

1. CALL TO ORDER

The regular meeting of the Charter Township of Superior Board was called to order by the Supervisor Ken Schwartz at 7:00 p.m. on February 20, 2024, at the Charter Township of Superior Hall, 3040 North Prospect, Charter Township of Superior, Michigan.

2. PLEDGE OF ALLEGIANCE

Supervisor Schwartz led the assembly in the pledge of allegiance to the flag.

3. ROLL CALL

The members present were Supervisor Ken Schwartz, Clerk Lynette Findley, Treasurer Lisa Lewis, Trustee Nancy Caviston, Trustee Bernice Lindke, Trustee Rhonda McGill, and Trustee Bill Secrest.

Absent: None

4. ADOPTION OF AGENDA

It was moved by Trustee McGill supported by Trustee Secrest, to adopt the agenda with the addition of adding:

1. Dixboro Green Purchase Agreement to New Business item "O"
2. Move 'M' New Business Charter Township Property Review to "A"
3. Move item "N" Financial Controls to B, with everything else following accordingly.

The motion carried by unanimous vote.

5. CITIZEN PARTICIPATION

A. CITIZEN COMMENTS

- Lance Pierce, 5182 Plymouth Rd. believes his residence will be the most affected by the construction of the Plymouth Rd. Pathway. He would like to work with the Board to create a separation between his house and the pathway. He would also like to ensure that a 100 yr. old Maple tree is preserved.
- Tom Freeman, Dixboro Village Green (DVG), thanked the Board for the partnership between the DVG and the Township, as well as the success of the events held on the Village Green. He mentioned that the Township Parks and Recreation has been a tremendous ally to them. Mr. Freeman commented on the Dixboro Green Purchase Offer

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and said that the DVG is pledging \$30,000.00 toward the cost of renovations of the building and grounds of the Dixboro Village Green.

- Leona Foster, Tanglewood, requested an update on GFL bin relabeling and service.
- Monica Ross Williams, representing the Citizens for Local Choice Ballot Initiative, spoke about the importance of understanding the initiative and how it affects Townships and villages. The changes to PA 233 and HB 5120 may take away Township and village rights to zone and plan with respect to large scale wind, battery and solar projects. Ms. Williams hoped to get the support of the Board for this initiative.
- Michelle Morgan, Lake Orion, talked about being the subject of two defamation lawsuits by Infinity Homes. She provided an overview of her experience with Infinity Homes and asked that the Board read the many documents she sent via email. She asked questions about the \$100,000.00 that Infinity was paid by Superior Township
- Michelle Justice, 1707 Weeping Willow Ct., shared her negative experience with Infinity Homes. She discussed the many code violations that were identified at her home and provided documents to the Board.
- Lucius Justice, 1707 Weeping Willow Ct., spoke about the new phase of construction by Infinity Homes. Once construction began, his sump pump was running “24/7” and they couldn’t figure out why. He questioned by Infinity and got approval to install the sump pump pipe a foot below grade.
- Mr. Ganguly, 1701 Weeping Willow Ct., said he had the same issue at his home that Mr. Justice described and was told that the problem was due to his landscape work. There is no drainage line at this point. Homeowners are afraid to talk publicly about these issues because Infinity Homes LLC. still manage their property.
- Brad Morgan, Lake Orion, discussed his negative experience with Infinity Homes, code violations against Infinity and defamation lawsuits that Infinity filed against him.
- Rickey Harding, Utility Superintendent, spoke about how it took a year and a half for Utilities staff to receive raises compared to the ten minutes it took for the Board to approve raises for the officials and trustees at the December Board meeting. He also said that Utilities staff were required to conduct time studies in support of their raises.
- Irma Golden, 1585 Sheffield Dr., questioned the whereabouts of the \$100,000.00 that is missing. She said “everyone” is responsible for finding out what happened. She wants to know how the Township gets it back.
- Lt. Cratsenburg, Washtenaw County Sheriff’s Department, reported that there is an active investigation currently underway against Infinity Homes.
- Ramona Parker Hayden, resident, raised concerns about fraud in the Treasurer’s Office, lawsuits and the \$100,000.00 payment to Infinity. She talked about transparency and trust, and the Board’s fiduciary responsibility to the residents of the Township. She questioned the wire fraud in the Treasurer’s Office, why our funds are not protected through using sweeping accounts and how the Township paid Infinity \$100,000.00 from an escrow account that belonged to another developer.

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- Brenda Baker, Ashton Ct., representing the Committee to Support Superior Township, and is participating remotely. She pointed out where to find her committee report and gave a report on “Superior People” and spotlight on Trustee McGill.
- Concerned Citizen, Zoom, said that Trustee Lindke filed a criminal complaint on January 19th regarding Infinity Homes requesting and receiving \$100,000.00 that did not belong to them. Trustee Lindke initially did this as a trustee but was told she had to refile as a citizen by Attorney Fred Lucas. The Concerned Citizen questioned why Ms. Lindke couldn’t use information she was “privy to” to file the complaint. They also wanted to know about the status of the escrow account audit, questioned the controller’s understanding of procedures being or not-being followed by staff and wondered about the status of the sexual harassment report. She cited many emails between Ken Schwartz and Rino Soave from Infinity and questioned the \$100,000.00 mis-payment.
- Supervisor Schwartz explained the fraud about the “washed check” taken from the Utilities Department and addressed Michelle Morgan’s comments and questions.

6. PRESENTATIONS AND PUBLIC HEARINGS

Claire Martin, Project Manager for OHM, presented on the Geddes Rd. Pathway project which was granted TAP funds for extending the existing pathway to connect Bromley Park and Arbor Woods. Currently OHM is finishing up the design part of the project. They are also trying to have the trees cleared around the pathway along the south side of Geddes.

7. CONSENT AGENDA

A. APPROVAL OF MINUTES

- January 16, 2024

B. REPORTS

- Supervisor
- Liaison Report on Parks & Recreation Commission Meeting – Trustee Lindke
- Community Center Advisory Committee Update – Clerk Findley
- Departmental Reports: ~~Building Department~~, Fire Department, Ordinance Officer, Parks Commission Minutes, Sheriff’s Report, Planning and Zoning Report, Utility Department’s Report, Assessing Report
- Controller’s Report
- Monthly Financial Reports, December and January
- Quarterly Financial Report, Period Ending 12/31/23.
- Treasurer’s Investment Report

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C. COMMUNICATIONS

- C2PST
- Complaint Against Supervisor

8. ITEMS REMOVED FROM THE CONSENT AGENDA

- Trustee Lindke said that the Building Department had stopped issuing certificates of occupancy and doing inspections on the Infinity Homes for a short time. She would like major decisions like this to be reflected in the report.

9. UNFINISHED BUSINESS

A. VIDEO EQUIPMENT REPAIRS

- Clerk Findley updated the Board on the status of video system repairs.

B. RESOLUTION 2023-74, RESOLUTION TO APPROVE MIDDLE HURON PARTNERSHIP CONTRACT

- Supervisor Schwartz explained the role of the Huron River Watershed Council (HRWC) which is to monitor the middle part of the Huron River and analyze it for chemicals. The HRWC also assists the Township with its stormwater permit that must be submitted to EGLE every five years. If there are any issues with the Huron River, the HRWC will handle it for the Township.

It was moved by Trustee Secrest, supported by Trustee McGill to approve the contract with the Middle Huron Partnership from the Huron River Watershed Council.

Roll Call

Ayes: Treasurer Lewis
Trustee Lindke
Trustee Secrest
Trustee McGill
Supervisor Schwartz
Trustee Caviston
Clerk Findley

Nays: None.

Motion carried by unanimous vote.

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C. LASALLE LAWSUIT UPDATE

- Supervisor Schwartz asked Attorney Fred Lucas to update the Board as the Township is involved in current litigation.
- Attorney Lucas reported that there is facilitation this week with Ron Denewith. Supervisor Schwartz, Trustee Lindke and Rickey Harding will be attending. He explained what happens during a facilitation session. The Township representatives can provide guidance at the meeting on what they believe the Board will accept.

D. ESCROW AUDIT UPDATE

- Supervisor Schwartz reported that Ken Palka, the Township auditor, will be submitting a proposal to conduct the audit of the escrow accounts this week. He will conduct the review during his regular audit visit which starts this coming April.

E. ROCK PROPERTY PROGRAMMING

- Trustee Lindke stated that a few years ago the Board agreed to have children's programming available on the Rock Property. For the last few years Mr. Peach farmed the land. She would like to talk with the Parks and Recreation Commission to start planning for children's programming for the summer.
- Supervisor Schwartz said that a certain amount of acreage could be devoted to this type of programming.

It was also recommended to post the availability of the property for farming on the Township's website.

F. HUMAN RESOURCES DIRECTOR UPDATE

- Trustee McGill submitted the salary range for the Human Resources Director position as \$76,000.00-\$104,000.00 She recommended that we proceed with posting the position and hiring someone as soon as possible.

It was moved by Treasurer Lewis supported by Trustee Lindke to post the full-time Human Resources Director position immediately.

The motion passed unanimously.

**G. UPDATES OF UTILITIES FRAUD CASE FROM WASHTENAW COUNTY
SHERIFF'S DEPARTMENT (WCSD)**

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(The update on this case was presented during the Citizen's Participation time of this meeting. See above.)

H. FIREMAN'S PARK UPGRADES FUNDING

- Trustee Lindke requested that the gap in funding for Fireman's Park of \$211,858.62 be covered by the General Fund. She asked Juan Bradford, Director of Parks and Recreation, to talk about the gap in funding and what it would cover. The remaining drainage mitigation cost is \$140,665.00 and \$71,193.00 is for the playground needs.
- Mr. Bradford explained how Fireman's Park will be a destination park for our community.
- Supervisor Schwartz recommended that the General Fund and Parks and Recreation split the cost of the funding gap needed.

It was moved by Trustee Lindke, supported by Treasurer Lewis to provide \$211,859.00 (rounded) out of the General Fund to cover the entire amount needed for this project.

- Trustee McGill discussed the opportunity of investing in the park and generating income from events held at the location.

Trustee Lindke called the question.

Roll Call

Ayes: Clerk Findley
Treasurer Lewis
Trustee Lindke
Trustee Caviston
Trustee McGill
Supervisor Schwartz
Trustee Secest

Nays: None.

Motion carried by unanimous vote.

I. UPDATE ON STEPHENS DRIVE SPEED BUMPS

- Clerk Findley said that a majority of the Board has already supported having speed bumps installed.
- Supervisor Schwartz responded that we should let the Washtenaw County Road Commission know our intentions.
- A few of the board members said that this was already done.

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- Supervisor Schwartz said he believes there should be a resolution should be made and given to the Washtenaw County Road Commission.
- Clerk Findley stated we already have a resolution (Resolution 23-76) and we do not need another speed study.
- Trustee Lindke suggested that rather than waiting another month the Board should consider a motion to get this move.

It was moved by Trustee McGill supported by Clerk Findley to proceed with taking action to get the speed bumps for Stephens Drive (with the Township's agreement to fund it).

Supervisor Schwartz reiterated that he believes another resolution is needed.

Trustee Lindke called the question.

The motion carried by majority vote.

Supervisor Schwartz voted No.

(Attorney Fred Lucas advised that the motion be put in the form of a resolution. Board members agreed with his advice.)

10. NEW BUSINESS

Clerk Findley requested that the Board add two more items to New Business: 1) consider supporting the complaint filed against Infinity by Trustee Lindke, new Item P and 2) return item A Resolution 2023-04 as it was originally presented on the agenda.

Board members agreed to the changes.

A. RESOLUTION 2024-04, HIRE CLERKS OFFICE ADMINISTRATIVE ASSISTANT, KRISTINA RANKIN

The following resolution was moved by Treasurer Lewis, supported by Trustee McGill.

Clerk Findley introduced Kristina Rankin and asked her to tell the Board about herself. She has experience in elections and other administrative work and has worked 25 years in government.

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WASHTENAW COUNTY, MICHIGAN

RESOLUTION TO HIRE CLERKS OFFICE ADMINISTRATIVE ASSISTANT

RESOLUTION NUMBER: 2024-04

DATE: FEBRUARY 20, 2024

WHEREAS, the Charter Township has identified the need for a dedicated and proficient Administrative Assistant for the Clerk's Office to support its operations and services; and

WHEREAS, Kristina Rankin has hired for the position of Administrative Assistant for the Clerk's Office, bringing over 25 years of administrative experience across a variety of business settings, including legal and health organizations, which are invaluable to the diverse needs of the Township; and

WHEREAS, Kristina Rankin has demonstrated a high level of efficiency, organization, and attention to detail, along with excellent interpersonal skills essential for the role; and

WHEREAS, Kristina Rankin possesses strong analytical and problem-solving skills, with a proven ability to make well-thought-out decisions, particularly in high-stress situations, thereby ensuring the smooth operation of the Clerk's Office; and

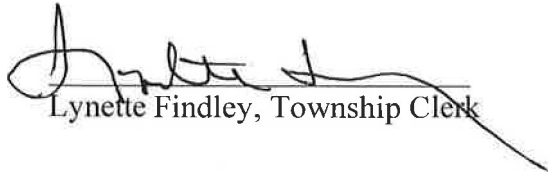
WHEREAS, Kristina Rankin has served in Ann Arbor Township for over eight (8) years for their elections with progressive responsibilities including chairing a precinct.

NOW, THEREFORE, BE IT RESOLVED, that the Charter Township Board of Trustees hereby approves the hiring of Kristina Rankin as the Administrative Assistant for the Clerk's Office at a rate of \$31.00 per hour.

CERTIFICATION STATEMENT

I, Lynette Findley, the duly qualified Clerk of the Charter Township of Superior, Washtenaw County, Michigan, do hereby certify that the foregoing is a true and correct copy of a resolution adopted at a regular meeting of the Charter Township of Superior Board held on February 20, 2024, and that public notices of said meeting were given pursuant to Act No. 267, Public Acts of Michigan, 1976, as amended.

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Lynette Findley, Township Clerk

02/20/2024
Date Certified

The resolution carried by unanimous vote.

B. CHARTER TOWNSHIP OF SUPERIOR PROPERTY REVIEW

Trustee Lindke reported that at the January Board meeting there was discussion about property the Township owns and the process of selling such property. In particular, she reviewed that a resident was interested in purchasing a 1.7-acre plot on Plymouth Rd. for \$65,000.00 at a time where similar vacant property was on the market for around \$340,000. She suggested that rather than taking all of the funds needed to fund projects from the Township's reserves, we sell some of the property that we hold. The property on Plymouth Road has been held since the early 2,000's and has appreciated in value. If we sell this property, the proceeds could cover some of the pathway costs that were approved earlier. Trustee Lindke asked Supervisor Schwartz to let the Board know about all of the vacant land the Township owns.

It was moved by Trustee Lindke supported by Trustee Secrest to sell the property on Plymouth-Ann Arbor Rd.

The motion carried by unanimous vote.

**C. FINANCIAL CONTROLS: ESCROW ACCOUNTS/PRE-AUDIT
POLICY/GENERAL FINANCIAL POLICIES AND PROCEDURES**

Trustee Lindke said that this would be discussed more fully during the Controller resignation discussion. She said that while trying to understand what happened around the Infinity fraud/error in payment issue, she discovered that staff were lacking written policies and procedures to follow. Staff could relay what they do but had nothing in writing to document steps. She stressed the need for financial controls and said that when there are staff transitions, the new employees should have a documented reference to help them perform their duties. Further, if there were written procedures on managing Escrow Accounts or processing tax invoices, staff would have steps to follow consistently. If there is cross over duties with other department, there would be sign-offs from staff in those departments. She cited the example of the requirement of a Pre-audit Policy. This policy allows for certain types of payments, such as payroll and utility payments, to be paid prior to Board approval. All others should have Board approval first. Superior Township has sort of a "carte-blanche" policy in that it allows for practically all payments to be made prior to Board approval. The

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Township's Pre-audit Policy allowed for the \$100,000.00 payment to Infinity to be made before the Board had a chance to approve it.

**D. RESOLUTION 2024-05, HIRE UTILITY FIELD SERVICE TECHNICIAN,
RAYMOND WILSON**

The following resolution was moved by Trustee McGill supported by Clerk Findley.

Mary Burton, Utilities Director, introduced Mr. Wilson to the Board and reviewed his work history. She stated that he is a wonderful addition to the Utilities maintenance team.

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

A RESOLUTION TO HIRE A FIELD SERVICE TECHNICIAN

RESOLUTION 2024-05

DATE: FEBRUARY 20, 2024

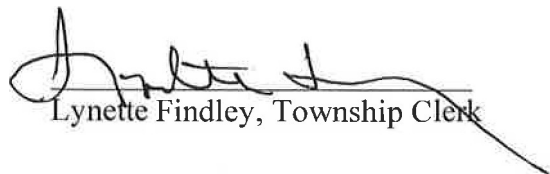
WHEREAS, the Superior Township Utility Department (STUD) has a Field Service Technician vacancy; and

WHEREAS, Raymond Wilson was selected to fulfill the Field Service Technician duties as set forth by the Utility Director and has performed the duties satisfactorily.

NOW THEREFORE, the Superior Township Board hereby approves hiring Raymond Wilson as Field Service Technician at a wage of \$26.75 per hour.

CERTIFICATION STATEMENT

I, Lynette Findley, the duly qualified Clerk of the Charter Township of Superior, Washtenaw County, Michigan, do hereby certify that the foregoing is a true and correct copy of a resolution adopted at a regular meeting of the Charter Township of Superior Board held on February 20, 2024, and that public notices of said meeting were given pursuant to Act No. 267, Public Acts of Michigan, 1976, as amended.


Lynette Findley, Township Clerk

02/20/2024
Date Certified

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The motion carried by unanimous vote.

**E. RESOLUTION 2024-07, SUBRECIPIENT AGREEMENT FOR MACARTHUR
PATHWAY**

It was moved by Trustee Secrest, supported by Trustee McGill to approve the subrecipient agreement for MacArthur Pathway Project with Washtenaw County.

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

**RESOLUTION TO APPROVE SUBRECIPIENT AGREEMENT FOR MACARTHUR
PATHWAY PROJECT WITH WASHTENAW COUNTY**

RESOLUTION NUMBER: 2024-07

DATE: FEBRUARY 20, 2024

WHEREAS, the county of Washtenaw is a recipient of federal financial assistance grant dollars from the U.S. Department of Housing and Urban Development (HUD) among other sources, for the purpose of aiding in community development and improvement projects within its geographical boundaries; and

WHEREAS, the Charter Township of Superior has applied for and been deemed eligible to receive a subaward of federal financial assistance to support the construction of a pedestrian infill pathway along the north side of MacArthur Boulevard from Stamford Road to Harris Road, under the HUD Community Block Grant Entitlement Grant, with the total amount of Federal Funds Obligated by this Agreement being \$133,766.00; and

WHEREAS, the subaward agreement made on this 20th day of February 2024, between the County of Washtenaw and the Charter Township of Superior (the Subrecipient), outlines the flow of Federal Financial Assistance for the said project, with detailed requirements including, but not limited to, required data elements, scope of services, payment and cash management, reporting, and compliance with federal, state, and local regulations; and

WHEREAS, the agreement specifies the responsibilities of the Subrecipient to use the Community Development Block Grant (CDBG) entitlement funds for the eligible costs of the MacArthur Pedestrian Pathway Project, with a detailed budget allocation as follows: CDBG (2018)-\$11,972.00, CDBG (2020)-\$35,004.00, CDBG (2021)-\$18,630.00, CDBG (2022)-\$33,090.00, CDBG (2023)-\$35,070.00, totaling the aforementioned amount of \$133,766.00; and

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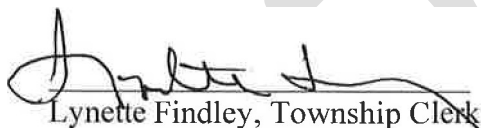
WHEREAS, the agreement further outlines the adherence to the terms and conditions set forth in the Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards (2 CFR Chapter I, and Chapter II, Parts 200, 215, 220, 225, 230) issued December 26, 2013, by the Executive Office of the President, Office of Management and Budget;

NOW, THEREFORE, BE IT RESOLVED, that the Charter Township of Superior Board of Trustees hereby approves the Agreement for Subaward of Federal Financial Assistance between the County of Washtenaw and Charter Township of Superior and authorizes the Township Supervisor and Township Clerk to execute and deliver the agreement and any documents.

BE IT FURTHER RESOLVED that the Charter Township of Superior commits to fulfilling its obligations under the agreement, including the completion of the MacArthur Boulevard Pedestrian Pathway project in accordance with the project timeline, budget, and federal, state, and local regulations to ensure the effective use of the CDBG funds, totaling \$133,766.00, for the benefit of the community.

CERTIFICATION STATEMENT

I, Lynette Findley, the duly qualified Clerk of the Charter Township of Superior, Washtenaw County, Michigan, do hereby certify that the foregoing is a true and correct copy of a resolution adopted at a regular meeting of the Charter Township of Superior Board held on February 20, 2024, and that public notices of said meeting were given pursuant to Act No. 267, Public Acts of Michigan, 1976, as amended.


Lynette Findley, Township Clerk

02/20/2024
Date Certified

Roll Call

Ayes: Supervisor Schwartz
Trustee Secrest
Trustee Caviston
Clerk Findley
Treasurer Lewis
Trustee Lindke
Trustee McGill

Nays: None.

Motion carried by unanimous vote.

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F. RESOLUTION 2024-08, AWARD BID FOR MACARTHUR PATHWAY

Claire Martin from OHM provided background information on this project.

- Trustee Lindke asked if All Star Power Excavation was the lowest qualified bidder and Ms. Martin confirmed that they were. She also asked that the Superior Township contribution be noted in all resolutions. The funding from the Township for this resolution is \$113,144.00 and Board members agreed that the amount will be added to this resolution.

**~~CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN~~**

**~~RESOLUTION TO AWARD BID FOR MACARTHUR BLVD PEDESTRIAN
PATHWAY PROJECT TO ALL STAR POWER EXCAVATION, LLC~~**

~~RESOLUTION NUMBER: 2024-08~~

~~DATE: FEBRUARY 20, 2024~~

~~**WHEREAS**, Sealed bids for the MacArthur Blvd Pedestrian Pathway project were received and publicly read aloud on Thursday, February 1, 2024, at 10:00 AM at the Township Hall of the Charter Township of Superior; and~~

~~**WHEREAS**, the project scope consists of installing an 8' wide HMA pathway along the north side of MacArthur Blvd from Stamford Rd to Harris Rd and a 6' wide concrete sidewalk connection to Fireman's Park; and,~~

~~**WHEREAS**, the work to be completed under this contract includes the furnishing of materials, equipment, and labor necessary to complete the proposed work, in accordance with the contract documents; and,~~

~~**WHEREAS**, All Star Power Excavation, LLC. (herein referred to as the "Contractor"), located in Grosse Pointe Woods, Michigan is the apparent low bidder. OHM Advisors has had prior experience working with this Contractor in various local communities on projects similar in scope to this work, and OHM have no major concerns with the Contractors ability to perform this work to the satisfaction of the contract requirements; and,~~

~~**WHEREAS**, OHM also spoke with project references listed in the Contractors bid proposal and received positive feedback regarding this Contractors ability to perform similar work; and,~~

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~~WHEREAS, The Township's available funding of \$133,591.00 from the Community Development Block Grant (CDBG) program through Washtenaw County OCED is allocated towards construction of the project.~~

~~WHEREAS, the funding from the Township for this is \$113,144.00.~~

~~**NOW, THEREFORE, BE IT RESOLVED** that the Charter Township of Superior Board of Trustees hereby awards the MacArthur Blvd Pedestrian Pathway project to All Star Power Excavation, LLC. for their bid in an estimated contract award amount of **\$246,735.00.00**~~

Roll Call

~~_____ Ayes: Trustee Caviston
_____ Treasurer Lewis
_____ Trustee McGill
_____ Clerk Findley
_____ Trustee Lindke
_____ Trustee Secrest
_____ Supervisor Schwartz~~

~~_____ Nays: None.~~

~~Motion carried by unanimous vote.~~

~~(lacks formal motion and support will be added to March 18, 2024, Board Meeting)~~

G. RESOLUTION 2024-09, AWARD BID FOR PLYMOUTH PATHWAY

Trustee Lindke noted that the Superior Township portion of this resolution is \$319,870.00. The last Whereas clause in the resolution will be adjusted.

**~~CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN~~**

**~~RESOLUTION TO AWARD BID FOR PLYMOUTH RD PATHWAY PROJECT
TO ALL STAR POWER EXCAVATION, LLC~~**

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~~RESOLUTION NUMBER: 2024-09~~

~~DATE: FEBRUARY 20, 2024~~

~~WHEREAS, sealed bids for the Plymouth Rd. Pathway project were received and publicly read aloud on Thursday, February 1, 2024, at 10:00 AM at the Township Hall of the Charter Township of Superior; and,~~

~~WHEREAS, the project scope consists of installing an 8' wide HMA pathway with concrete ADA ramps, driveway replacement (as necessary for path installation), tree removal, existing concrete ramp removal, a boardwalk and complete project cleanup and restoration. The project is located along Plymouth Road from Dixboro Road to 1300 ft east of Cherry Hill Road; and,~~

~~WHEREAS, the work to be completed under this contract includes the furnishing of materials, equipment, and labor necessary to complete the proposed work, in accordance with the contract documents; and,~~

~~WHEREAS, All Star Power Excavation, LLC. (herein referred to as the "Contractor"), located in Grosse Pointe Woods, Michigan is the apparent low bidder. OHM Advisors has had prior experience working with this Contractor in various local communities on projects similar in scope to this work, and OHM have no major concerns with the Contractors ability to perform this work to the satisfaction of the contract requirements; and,~~

~~WHEREAS, OHM also spoke with project references listed in the Contractors bid proposal and received positive feedback regarding this Contractors ability to perform similar work; and,~~

~~WHEREAS, the project has been awarded \$250,000.00 for construction by the Washtenaw County Parks and Recreation Commission's (WCPARC's) Connecting Communities Program, as well as \$300,000.00 for construction and engineering by the Michigan Natural Resources Trust Fund (MNRTF) Program through the Michigan Department of Natural Resources (MDNR). MDNR requires that the project be awarded to the lowest qualified bidder.~~

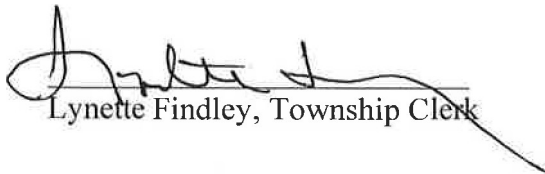
~~WHEREAS, the funding from the Township for this is \$319,870.00.~~

~~**NOW, THEREFORE, BE IT RESOLVED** that the Charter Township of Superior Board of Trustees hereby awards the Plymouth Rd. Pathway project to All Star Power Excavation, LLC. pending MDNR approval of the contract award, for their bid in an estimated contract award amount of **\$869,870.00.**~~

**CHARTER TOWNSHIP OF SUPERIOR BOARD
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~~CERTIFICATION STATEMENT~~

I, ~~Lynette Findley, the duly qualified Clerk of the Charter Township of Superior, Washtenaw County, Michigan, do hereby certify that the foregoing is a true and correct copy of a resolution adopted at a regular meeting of the Charter Township of Superior Board held on February 20, 2024, and that public notices of said meeting were given pursuant to Act No. 267, Public Acts of Michigan, 1976, as amended.~~


Lynette Findley, Township Clerk

02/20/2024
Date Certified

Roll Call

_____ Ayes: Trustee Lindke
_____ Trustee Caviston
_____ Clerk Findley
_____ Trustee Secrest
_____ Treasurer Lewis
_____ Trustee McGill
_____ Supervisor Schwartz

_____ Nays: None.

(lacks formal motion and support will be added to March 18, 2024, Board Meeting)

H. RESOLUTION 2024-10, APPROVE PLYMOUTH RD PATHWAY CA/CE PROPOSAL FROM OHM

Claire Martin addressed the Board and provided a summary of this proposal.

It was moved by Trustee Caviston to approve the proposal for engineering services for the Plymouth Road Pathway Project.

**~~CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN~~**

**~~RESOLUTION TO ACCEPT THE PROPOSAL FOR ENGINEERING SERVICES
FOR THE PLYMOUTH ROAD PATHWAY PROJECT~~**

**CHARTER TOWNSHIP OF SUPERIOR BOARD
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~~RESOLUTION NUMBER: 2024-10~~

~~DATE: FEBRUARY 20, 2024~~

~~**WHEREAS**, OHM Advisors has submitted a proposal to the Charter Township of Superior for construction engineering services for the Plymouth Road Pathway project, anticipated to begin construction in Spring 2024; and~~

~~**WHEREAS**, the proposed project consists of an 8-ft wide asphalt pathway along the south side of Plymouth Road from Dixboro Road to 1,300 ft east of Cherry Hill Road, including concrete ADA ramps, storm sewer, infiltration trenches, signal work, a boardwalk, and driveway replacement as necessary for path installation; and~~

~~**WHEREAS**, the project construction is to be partially funded through a \$300,000.00 grant from the Michigan Natural Resources Trust Fund (MNRTF) program and a \$250,000.00 grant from the Washtenaw County Parks & Recreation (WCPARC) Connecting Communities program; and~~

~~**WHEREAS**, bids for project construction were received on February 1, 2024, with a low bid of \$869,870.00 received from All Start Power Excavation, LLC; and~~

~~**WHEREAS**, OHM has outlined a comprehensive scope of services for construction administration, engineering/observation, and construction surveying with a total Not to Exceed Fee of \$118,000.00 for the completion of the project during the 2024 construction season and~~

~~**WHEREAS**, OHM has submitted the following anticipated schedule of construction:~~

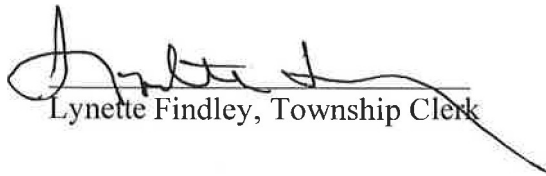
- ~~• **Contract Award** February 20, 2024~~
- ~~• **Notice to Proceed** March 29, 2024~~
- ~~• **Substantial Completion** October 15, 2024~~
- ~~• **Final Completion** November 15, 2024~~

~~**NOW, THEREFORE, BE IT RESOLVED** that the Charter Township of Superior Board of Trustees accept the submitted proposal from OHM Advisors for the Plymouth Road Pathway project for a total **Not to Exceed Fee of \$118,000.00.**~~

**CHARTER TOWNSHIP OF SUPERIOR BOARD
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~~CERTIFICATION STATEMENT~~

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Lynette Findley, Township Clerk

02/20/2024
Date Certified

Roll Call

_____ Ayes: Treasurer Lewis
_____ Trustee Caviston
_____ Clerk Findley
_____ Trustee McGill
_____ Trustee Secrest
_____ Supervisor Schwartz
_____ Trustee Lindke

_____ Nays: None.

(lacks formal motion and support will be added to March 18, 2024, Board Meeting)

I. RESOLUTION 2024-11, APPROVE PLC UPGRADE FOR PUMP STATION

The following resolution was moved by Treasurer Lewis supported by Trustee McGill.

- Mary Burton reported that Utilities is seeking approval to upgrade their pump station. Rickey Harding, Utilities Superintendent, provided a more detailed explanation about what needs to be fixed. He stressed the need to have this upgrade.

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

**RESOLUTION TO ACCEPT THE PROPOSAL FOR SYSTEM UPDATE BY
ENGINEERED SOLUTIONS MIDWEST (ESM)**

RESOLUTION NUMBER: 2024-11

**CHARTER TOWNSHIP OF SUPERIOR BOARD
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DATE: FEBRUARY 20, 2024

WHEREAS, Engineered Solutions Midwest (ESM) has presented a proposal to the Charter Township of Superior for a significant system update aimed at enhancing the operational efficiency and reliability of the water and wastewater systems within the Township; and

WHEREAS, ESM specializes in servicing the water and wastewater industry with a comprehensive portfolio that includes the manufacturing of pumping stations, designing and implementing Supervisory Control and Data Acquisition (SCADA) systems, and electromechanical troubleshooting and repair, thereby providing a single source solution for plant and pumping system needs; and

WHEREAS, the proposed upgrade involves replacing the obsolete AB 5/05 PLC at the BPS location with a new MicroLogix 1400 PLC and a 15-inch Weintek touchscreen, including all necessary installation, programming, and material provisions to meet the new standards, with coordination for integration with Ken Wesley from UIS as advised by OHM Advisors; and

WHEREAS, ESM commits to empowering Charter Township of Superior staff with the knowledge and skills to operate the upgraded system through comprehensive training, continued phone support, and on-site refresher courses, ensuring the Township's autonomy and confidence in emergency situations; and

WHEREAS, the total cost for the system upgrade, including the PLC, input and output cards, Ethernet switch, and touchscreen HMI, is quoted at \$35,053.00, with the assurance of a firm price if the order is placed within 30 days from the date of the proposal and a payment term of net 30 days post-installation; and

WHEREAS, the proposal includes a necessary temporary shutdown of the station during the upgrade, with a commitment to minimize downtime and allow the Township to retain any leftover materials for spare or scrap purposes; and

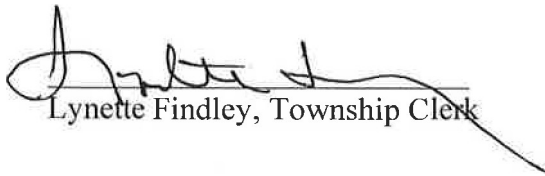
WHEREAS, this proposal comes highly recommended by Mary Burton, Charter Township of Superior Utility Director, recognizing the critical need for system enhancements and the value presented by ESM's comprehensive service offering;

NOW, THEREFORE, BE IT RESOLVED that the Charter Township of Superior Board of Trustees hereby accepts the proposal from Engineered Solutions Midwest (ESM) for the system update at the quoted total cost of \$35,053.00, acknowledging the benefits of this investment in the Township's water and wastewater infrastructure and the expertise provided by ESM in ensuring the project's success.

**CHARTER TOWNSHIP OF SUPERIOR BOARD
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CERTIFICATION STATEMENT

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Lynette Findley, Township Clerk

02/20/2024
Date Certified

Roll Call

Ayes: Trustee Caviston
Treasurer Lewis
Trustee Lindke
Clerk Findley
Trustee McGill
Trustee Secrest
Trustee Schwartz

Nays: None.

Motion carried by unanimous vote.

J. MOTION TO REAPPOINT MEMBERS TO BOARDS AND COMMISSIONS

Supervisor Schwartz presented the reappointments, which are:

- Patrick McGill for a three-year term ending February 28, 2027
- Tom Brennan for a three-year term ending February 28, 2027
- Emily Dabish Yahkind for a three-year term ending March 01, 2027

It was moved by Treasurer Lewis, supported by Trustee McGill to reappoint Patrick McGill, Tom Brennan and Emily Dabish Yahkind, each for a three-year term.

The motion carried by unanimous vote.

K. APPROVE REMAINING PAYMENT OF \$13,000.00 TO “THREE BROTHERS”

**CHARTER TOWNSHIP OF SUPERIOR BOARD
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It was moved by Trustee Lindke, supported by Trustee McGill to pay the remaining amount due of \$13,300.00 to Three Brothers.

Roll Call

Ayes: Trustee Caviston
Clerk Findley
Treasurer Lewis
Trustee Lindke
Trustee McGill
Trustee Secrest
Supervisor Schwartz

Nays: None.

L. TOWNSHIP CONTROLLER RESIGNATION AND COMPLAINT AGAINST TRUSTEE

- Trustee Lindke reported that the complaint made by the Controller was against her. She gave a summary of the complaint against her and the Controller's subsequent resignation which he later rescinded. Ms. Lindke said that during the December 2023 Board Meeting the Board was discussing the issue of the \$100,000.00 Infinity payment during which time she questioned the rationale for employing a controller who resides in Florida. She said that it would benefit the Township to hire someone who could be on-site and provide several issues that should be addressed. She reviewed the salary budget for the controller, accountant and bookkeeper, which totaled \$252,223.00 She summarized the reasons an on-site controller is needed and cited a handout that she provided to the Board (see handout appended to minutes). Trustee Lindke proposed several recommendations which are also in the handout.
- When Lindke brought up concerns in December, the Controller said she was harassing him because she was asking him too many questions. She asked more questions in 2023 because of the fraud issues. The Controller has resigned twice: once in October 2023 and again in January 2024. After each of those times, he rescinded his resignation. She recommended moving forward and transitioning to a new controller.

Trustee Lindke moved that we transition to a new controller who lives locally.

Motion failed due to lack of support.

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- Treasurer Lewis reported that the Controller has been very helpful to her and has assisted her with much of her work. She recommended that the transition occur in September 2024.
- Trustee McGill said that we need a transition plan for moving forward. She gave an example of bidding out contractual services and added that the Controller could help with that. She noted her appreciation and respect for the controller and all that he has done but he has expressed twice that he desires to leave the Township. She believes that the Board needs to be fair in addressing the Controller's needs and allow him to work with the Board on the job description. She would like to have a full-time controller.
- Supervisor Schwartz complimented Keith on the service he provided to the Township and be allowed to stay until the end of the year. He would like to table this item until the March regular meeting. The Supervisor questioned whether Mary Burton knows what Keith is doing at Utilities.
- Trustee McGill said that the Board needs to work with the Controller to transition and make sure that we have him working on the issues that we need.
- Trustee Lindke said that the Controller position is one of the most important positions that has fiduciary responsibilities.
- Supervisor Schwartz reported that Keith is an outstanding employee.
- Clerk Findley reiterated that the Controller should be able to work until the end of the year.
- Supervisor Schwartz summarized the transition needed to get an on-site controller.

The Supervisor will have a leadership discussion with Keith to inform him of the Board's desire.

M. TOWNSHIP ATTORNEY, FRED LUCAS, SCOPE OF WORK AND FEES

Trustee Lindke asked the Board to consider whether we should continue having our attorney attend Board Meetings. Since we have lengthy meetings, sometimes amounting to four hours, his costs include payments for Board Meeting attendance and 2 hours of travel time.

All agreed that Mr. Lewis is relieved from attending meetings unless his expertise is needed.

N. ~~CHARTER TOWNSHIP OF SUPERIOR CLEAN UP DAY~~ (see last New Business item)

O. RESOLUTION 2024-06, DIXBORO GREEN PURCHASE AGREEMENT

It was moved by Trustee Lindke and supported by Clerk Findley that the Township purchase the Village Green for \$46,000.00 based upon the Purchase Agreement and Conditions that Attorney Lucas supplied to the Board and also moved that any renovations to the

**CHARTER TOWNSHIP OF SUPERIOR BOARD
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schoolhouse, parking lot, sidewalks and maintaining and repairing the historic merry go round will be paid out of the General Fund and not by the Parks and Recreation Commission.

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

**RESOLUTION TO APPROVE PURCHASE OF PROPERTY FROM DIXBORO
UNITED METHODIST CHURCH**

RESOLUTION NUMBER: 2024-06

DATE: FEBRUARY 20, 2024

WHEREAS, the Charter Township of Superior, (hereinafter referred to as "Buyer"), has expressed an intent to purchase from Dixboro United Methodist Church, a Michigan non-profit corporation, with an address at 5221 Church St, Ann Arbor, MI 48105 (hereinafter referred to as "Seller"), the land situated in the Charter Township of Superior, Washtenaw County, Michigan, described as follows:

A parcel of land being part of the Northwest 1/4 of Section 18, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan, described as follows: Commencing at the Northeast corner of Section 18, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South 01 degrees 30 minutes 11 seconds West 410.47 feet along the East line of said Section 18; thence North 88 degrees 29 minutes 57 seconds West 2777.91 feet; thence South 03 degrees 23 minutes 13 seconds West 1109.27 feet to the point of beginning; thence continuing South 03 degrees 23 minutes 13 seconds West 163.38 feet; thence South 89 degrees 19 minutes 42 seconds West 225.24 feet; thence North 03 degrees 23 minutes 13 seconds East 163.38 feet; thence North 89 degrees 19 minutes 42 seconds East 225.24 feet to the point of beginning. Together with and subject to a non-exclusive easement for ingress and egress over a strip of land 16.5 feet in width on each side of the Easterly boundary of the above-described parcel of land and running South 03 degrees 23 minutes 13 seconds West to the centerline of Church Street, commonly known as 5201 Church St, Ann Arbor, MI 48105; Tax ID No. J-10-18-260-001; and,

WHEREAS, the parties have agreed upon a sales price of FORTY-SIX THOUSAND DOLLARS AND NO CENTS (\$46,000.00) for the said property, subject to existing building and use restrictions, easements, and zoning ordinances; and,

WHEREAS, the sale is to be consummated by delivery of a warranty deed conveying a marketable title together with Covenants, Conditions, and Restrictions regarding the post-closing use and maintenance of the Property as set forth in Exhibit A attached to the Purchase Agreement; and,

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WHEREAS, the Buyer and Seller have agreed to the terms and conditions set forth in the Purchase Agreement, detailing the inclusion of all fixtures, improvements, landscaping, and appurtenances attached to the property, the acquisition of title insurance by the Buyer at its own cost, and other provisions ensuring the transfer of the property to the Buyer; and,

WHEREAS, the Buyer and Seller have recognized the importance of the property to the community and have agreed to Covenants, Conditions, and Restrictions that will enhance the use of the property for the benefit of the residents of Dixboro Village and the Charter Township of Superior; and,

WHEREAS, the Charter Township of Superior Board of Trustees have reviewed the terms of the Purchase Agreement and deems it in the best interest of the Township to proceed with the purchase of the said property under the terms and conditions agreed upon;

WHEREAS, on November 20, 2023, the Charter Township of Superior Board met in closed session to discuss as offer for this property. The Board subsequently moved and directed Township attorney, Fred Lucas, to prepare and present a purchase agreement.

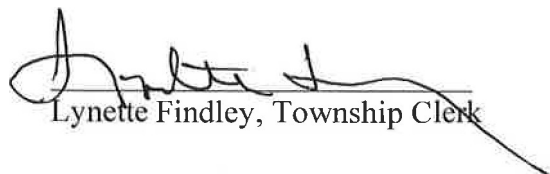
NOW, THEREFORE, BE IT RESOLVED, that the Superior Township Board authorizes the Supervisor and Clerk to execute the Purchase Agreement with Dixboro United Methodist Church for the purchase of the land described above and to proceed with all actions necessary to consummate the purchase, including the payment of the purchase price and the execution of documents as required by the Purchase Agreement. The agreed upon sales price is **Forty-Six Thousand Dollars (\$46,000.00)** for the property.

BE IT FURTHER RESOLVED that the funds for the purchase shall be allocated, as agreed on November 20, 2023, from the Parks and Recreation Building Fund.

FINALLY, all renovations will be paid for out of the General Fund.

CERTIFICATION STATEMENT

I, Lynette Findley, the duly qualified Clerk of the Charter Township of Superior, Washtenaw County, Michigan, do hereby certify that the foregoing is a true and correct copy of a resolution adopted at a regular meeting of the Charter Township of Superior Board held on February 20, 2024, and that public notices of said meeting were given pursuant to Act No. 267, Public Acts of Michigan, 1976, as amended.


Lynette Findley, Township Clerk

02/20/2024
Date Certified

**CHARTER TOWNSHIP OF SUPERIOR BOARD
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Roll Call

Ayes: Trustee Lindke
Trustee McGill
Trustee Secrest
Supervisor Schwartz
Trustee Caviston
Clerk Findley
Treasurer Lewis

Nays: None.

Motion carried by unanimous vote.

P. COMPLAINT AGAINST INFINITY

Supervisor Schwartz clarified with Clerk Findley that the Charter Township of Superior should file a complaint against Infinity regarding the \$100,000.00 payment; thereby, replacing Bernice Lindke's complaint as a Charter Township of Superior resident. Lieutenant Cratsenburg said he would forward the information to the detective who is investigating the complaint.

It was moved by Clerk Findley supported by Supervisor Schwartz, to replace Citizen Bernice Lindke's complaint against Infinity regarding the \$100,000.00 payment with Charter Township of Superior as being the complainant.

The motion carried by unanimous vote.

Q. SPACE LICENSING AGREEMENT BETWEEN TRINITY HEALTH AND THE TOWNSHIP

Clerk Findley explained that the Township has been using the Towsley Center for a couple of years. Trinity Health is requesting that we sign an agreement that states they are not liable should any of our workers injure themselves while on their premises.

It was moved by Trustee Secrest, supported by Trustee McGill that the Clerk sign the agreement between Towsley and the Township to hold Towsley harmless should an elections worker injure themselves.

Roll Call

Ayes: Clerk Findley

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Trustee Caviston
Treasurer Lewis
Trustee Lindke
Trustee McGill
Trustee Secrest
Supervisor Schwartz

Nays: None.

Motion carried by unanimous vote.

R. CHARTER TOWNSHIP OF SUPERIOR CLEAN UP DAY

Juan Bradford, Director, Parks and Recreation explained the purpose of the Superior Clean Up Day. He stated that Nahid Yahyai has been very passionate about hosting a Clean Up Day. Mr. Bradford said that he would develop a plan for the Board. Irma Golden is also willing to help with this initiative.

- Supervisor Schwartz asked Juan to present a plan with a budget.
- Juan will bring the plan to our next Board meeting.

11. BILLS FOR PAYMENT AND RECORD OF DISBURSEMENTS

Trustee Lindke saw that a check was made payable to the National Recreation & Park Association for Juan Bradford's CPRP (Certified Park and Recreation Professional) recertification and the Board congratulated him.

A question was asked re a bill to Jim Kovalak Excavating which was for Dixboro Village Green.

12. PLEAS AND PETITIONS

- Trustee McGill requested that GFL relabel the trash bins. Supervisor Schwartz will follow up with GFL.
- Trustee McGill would also like to take action to replace TAZ.
- Supervisor Schwartz will follow up with Washtenaw County to see if they can assist with the RFP.
- Jeff from the Fire Department wondered where people will park at Fireman's Park after all of the renovations are made. He also pleaded for a new fire station.

13. ADJOURNMENT

**CHARTER TOWNSHIP OF SUPERIOR BOARD
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It was moved by Trustee Lindke supported by Trustee McGill that the meeting be adjourned.
The motion carried and the meeting adjourned at 10:47 p.m.

Respectfully submitted,

Lynette Findley, Clerk

Kenneth Schwartz, Supervisor

DRAFT



CITIZENS FOR LOCAL CHOICE

F.A.Q. (Frequently Asked Questions) about the Citizens for Local Choice Ballot Initiative

What is the purpose of the initiative and why is it necessary?

In November 2023, the legislature passed House Bill 5120, a bill that adds barriers to local control of zoning for utility-scale wind and solar projects.

There are numerous false narratives out there that say the amendments were added to the legislation to restore local control. Yet, if what they were saying was true, the legislation would not have been necessary.

This bill was signed by Governor Gretchen Whitmer on November 28, 2023, becoming Public Act 233 of 2023.

If it is not stopped by our initiative, the Act will go into effect in November of 2024, allowing corporations to supersede local control across our state for utility-scale wind, battery facilities and solar projects.

Can PA 233 like eminent domain of public and private property?

No, but Act No. 233 of the Public Acts of 2023 supersedes the wishes of local communities by the following ways.

Under this new law, effective November 2024, forces local communities to go through the state when it comes to the zoning authority of utility-scale wind and solar projects. Local municipalities create Master Plans and Zoning Regulations.

Local zoning ordinances protect the value and enjoyment of properties by separating incompatible land uses. Zoning seeks to minimize the negative impacts allowing a property its most appropriate land use given its location and surrounding uses.

Furthermore, zoning allows for the orderly development of a municipality. Making provisions for land use in the best interests of its citizens and allows adequate public infrastructure: roads, water and sewers.

A Master Plan is a type of urban planning that pertains to the physical development of a city or town over the long term, usually covering a time frame of about 10 to 15 years into the future.



CITIZENS FOR LOCAL CHOICE

Master Plans are intended to guide a community's growth from a high-level perspective and play a crucial role in building, preserving character, ensure diversity, support investment, promote desired changes and enhances a community livability.

How can the State supersede the wishes of a local municipality Master Plans and Zoning in PA 233?

PA 233 allows for the State of Michigan Public Service Commission of three individuals appointed solely by the Governor, to "fast-track" the development of renewable energy projects, solar, wind and battery projects and/or facilities.

The ability to decide where corporations place utilities like wind turbines, solar farms, and battery storage facilities in which a conflict exists between a municipalities zoning ordinance and/or Master Plan, can be superseded by three Lansing Governor appointed officials, disconnected to the local community.

Equally, those officials can be subject to the wills of lobbyists working directly on behalf of corporations, as not elected or accountable to anyone but the Governor of Michigan.

The character of a community, zoning ordinances and master plans for future developments should be solely decided by our own communities and its citizens, who know best.

We have heard this effort is based on an opposition to renewable energy projects and is right wing in nature. Is this true?

Generally, local municipalities comprise of residents who live, raise a family and/or invest back into the character of the community based a variety of factors. The least of whom is decided by political whims or leanings or corporations or lobbyists.

Next, the Citizens for Local Choice effort seeks to have all voters participating in the November 6, 2024, General Election for a fair opportunity to decide what is best for their communities as it relates to critical matters such as zoning and master planning. PA 233 was fast-tracked in what is currently a Democratic leaning Michigan House and Senate, and was signed by Governor Gretchen Whitmer on November 28, 2023, with little public input.

Long standing non-Partisan organizations such as the Michigan Townships Association (MTA), formed in 1953 as a unified voice representing Michigan's township governments where is opposition what is now PA 233. MTA core focus includes the advocacy for advances of local democracy by fostering township leadership and public policy essential for a strong and vibrant Michigan.



CITIZENS FOR LOCAL CHOICE

The base of supporters for local control is strongly bipartisan. It is often led by farmers, environmentalists, and local citizens. An estimated 85% of Democrats, 91% of Republicans and 84% of Independents support local control and zoning of permitting for utility-scale renewable energy projects in their communities.

It is true large scale solar and wind farms can comprise large acreages in land spaces? As the average size of a Township is 36 square miles, villages 2 to 7 square miles, cities averaging between 143 to 2.4 square miles in Michigan.

Yes, it is true as the average proposed solar and/or wind farm in Michigan is around 3.5 square miles, approximately as big as 1,703 U of M Stadiums or Big Houses (the Big House is 57,600 square feet = 1/1695 of 3.5 square miles). The number of acres required for an average proposed large scale solar and/or wind farm is bigger than cities like Grand Ledge Eaton Rapids, Brighton, Ludington, or Farmington.

Furthermore, battery plants can be located near sensitive water resources in the signed version of PA 233 by Governor Whitmer, as there is little to no zoning considerations or regulations within the standing law. The local municipality elected officials in a community, held accountable by citizens to sound decisions as it relates to critical environment factors zoning decisions, can superseded by PA 233 for both the political whims of disconnected and appointed bureaucrats in Lansing, and financial considerations of large corporations.

How tall can wind turbines be in a local municipality and what other considerations should Michigan Voters be aware of with the current version of the Public Act?

Wind turbines can be as tall as 816 feet tall or taller. This is 90 feet taller than the Renaissance Center in Detroit.

Equally, Wind turbines have flashing red FAA lighting that is disruptive. These flashing lights are of much annoyance for neighbors and are highly disruptive to natural vistas. Many ordinances require the developers to install radar-activated FAA lighting that only turns the lights on when aircraft are detected.

In a small [National Institute of Health 2012 study](#), researchers evaluated the effect of red-light therapy on 20 female athletes. Participants were randomly assigned to receive 30 minutes of red light therapy every night for 14 days. When compared to a placebo group that didn't have light therapy, participants had improved sleep quality, melatonin levels, and endurance performance.

Research published in 2019 detailed a 3-week study of 19 people in an office environment. The researchers found that using a combination of red and ambient white light in the afternoon improved



CITIZENS FOR LOCAL CHOICE

circadian rhythm and increased alertness in the period after lunch, when many people have a dip in their energy level.

Another [National Institute of Health study in 2017](#), found that color is closely related to the ability to fall asleep. The researchers also noted that personal preference may affect which color is likely to help you fall asleep. (Pietrangelo, 2021)

Under this act, these local ordinances related to these important matters have been voided. Communities can be subject to red blinking lights to continue all night long if this goes into effect.

Michigan has 42,912 brownfield sites covering tens of thousands of acres. Solar can go there with no farmland or local residential impact.

Citations:

Zhao, J., Tian, Y., Nie, J., Xu, J., & Liu, D. (2012). *Red Light and the sleep quality and endurance performance of Chinese female basketball players. Journal of athletic training.* <https://www.ncbi.nlm.nih.gov/pmc/articles/PMC3499892/>.

Lee, S., & Kim, D. (2017). *Effect of color light stimulation using LED on sleep induction time. Journal of healthcare engineering.* <https://www.ncbi.nlm.nih.gov/pmc/articles/PMC5443998/>.

Pietrangelo, A. (2021, February 12). *Red light at night: How does it affect your sleep and vision? Healthline.* <https://www.healthline.com/health/why-not-to-have-red-lights-on-at-night#facts-about-red-light>.

What are the alternative ways to promote alternative energy projects in our local communities without impacting municipality zoning ordinances and master planning?

Michigan also has 1,200 miles of interstate ROW that can host thousands of acres of solar developments with no impact on farm ground or our neighborhoods and communities.

Michigan alone has 2 million roofs and 77% of them can host solar with a potential of 42.3 million MWh per year. Proponents of solar argue it is clean energy and greener. PA 233 neglects to include the mining, manufacturing, transportation, installation, and maintenance and overlooks the production and manufacturing of the panels that causes waste and emissions.



What impacts on local communities exist if PA 233 is allowed to remain as law and the Citizens for Local Choice Initiative is not included as a ballot proposal during the November 6, 2024, General Election?

Solar Panels are delicate, bulky pieces of equipment usually installed on rooftops in the residential context. Specialized labor is required to detach and remove them, frequently the panels shatter into smithereens before they make it onto the truck.

In addition, some governments may classify solar panels as hazardous waste, due to the small amounts of heavy metals (cadmium, lead, etc.) contained. This classification carries with it a string of expensive restrictions as normally hazardous waste can only be transported at designated times and via select routes. (Atalay Atasu, Serasu Duran, and Luk N. Van Wassenhove, 2022).

Researchers with the Electric Power Research Institute (EPRI) undertook a study for U.S. solar-owning utilities to plan for end-of-life and concluded that solar panel "disposal in "regular landfills [is] not recommended in case modules break and toxic materials leach into the soil" and so "disposal is potentially a major issue."

California is in the process of determining how to divert solar panels from landfills, which is where they currently go, at the end of their life.

California's Department of Toxic Substances Control (DTSC), which is implementing the new regulations, held a meeting last August with solar and waste industry representatives to discuss how to deal with the issue of solar waste. At the meeting, the representatives from industry and DTSC all acknowledged how difficult it would be to test to determine whether a solar panel being removed would be classified as hazardous waste or not.

The DTSC described building a database where solar panels and their toxicity could be tracked by their model numbers, but it's not clear DTSC will do this. "The theory behind the regulations is to make [disposal] less burdensome," explained Rick Brausch of DTSC. "Putting it as universal waste eliminates the testing requirement."

The fact that cadmium can be washed out of solar modules by rainwater is increasingly a concern for local environmentalists like the Concerned Citizens of Fawn Lake in Virginia, where a 6,350-acre solar farm to partly power Microsoft data centers is being proposed.

"We estimate there are 100,000 pounds of cadmium contained in the 1.8 million panels," Sean Fogarty of the group told me. "Leaching from broken panels damaged during natural events like hailstorms, tornadoes, hurricanes, earthquakes, etc. — and at decommissioning is a big concern."



There is real-world precedent for this concern. A tornado in 2015 broke 200,000 solar modules at southern California solar farm Desert Sunlight.

"Any modules that were broken into small bits of glass had to be swept from the ground," Mulvaney explained, "so lots of rocks and dirt got mixed in that would not work in recycling plants that are designed to take modules. These were the cadmium-based modules that failed [hazardous] waste tests, so were treated at a [hazardous] waste facility. But about 70 percent of the modules were actually sent to recycling, and the recycled metals are in new panels today." (Michael Shellenberger, 2022).

Citations:

The dark side of solar power. Harvard Business Review. (2022, April 19). <https://hbr.org/2021/06/the-dark-side-of-solar-power>.

Shellenberger, M. (2022, October 12). If solar panels are so clean, why do they produce so much toxic waste? Forbes. <https://www.forbes.com/sites/michaelshellenberger/2018/05/23/if-solar-panels-are-so-clean-why-do-they-produce-so-much-toxic-waste/?sh=861ef37121cc>.

Has Alternative Energy projects been greatly impacted by localized control to the point PA 233 is needed?

No. With local control and citizens input, Michigan has installed nearly twice as much wind capacity as Ohio and Wisconsin combined with their state-controlled siting. Michigan has installed nearly identical amounts of solar as Wisconsin and Ohio. Developers exaggerate the roadblock local control presents and seek to supersede the safeguards set in place by local municipalities in their zoning and master plans for the large corporate developers' financial benefit over environmental considerations.

How can I get involved in the effort to advance the Citizens for Local Choice Initiative to appear on the November 6, 2024, General Election Ballot?

Citizens for Local Choice need your assistance between now and November 6, 2024, to help us gather 550,000 signatures and raise \$7-10 million dollars to get this initiative on the ballot. We know we can do this with your help. It will take many dedicated and enthusiastic volunteers to make this initiative successful.

So, let's describe the process in detail:



CITIZENS FOR LOCAL CHOICE

The First Step is collecting the signatures of registered voters in the State of Michigan.

The statewide campaign needs to collect 550,000 signatures within a 180-day timeframe once the language is approved by early 2024.

Signers must: Be a registered voter and sign the petition with their registered address in their county and cannot sign more than one petition for the initiative to be placed on the ballot. If so, both signatures including the original one, are disregarded by the Michigan Secretary of States' Election Division.

The Second Step assist with donations, fundraising or volunteer your time for this initiative:

Contribute to the effort. Donations can be made on the Citizens for Local Choice website at <https://www.micitizenschoice.org/>.

Host or co-host a Fundraiser and/or Informational Session. You can donate your time to the effort by hosting a small or large fundraiser.

Connect with your local County Captain(s) for the Citizens for Local Choice initiative for further questions or for assistance with planning an informational session, fundraising effort, or speaking to a community organization.

The Third Step is to connect with your Washtenaw County, the Citizens for Local Choice Co-County Captains for any questions:

Wendy Taylor-Albers: is a 25+ year resident of Augusta Township, business owner and Community Advocate. Wendy can be reached by email at walbers@live.com or 313 282-4929.

Monica Ross-Williams: is a Former Elected Ypsilanti Township Trustee & Park Commissioner. (2011-2020), 25+ year Ypsilanti Township Resident and local business owner. Monica can be reached by email at MonicaRW@MRWSolutionsGroup.com or at 734.328.3025.

The Fourth Step is assist with gathering signatures for the Citizens for Local Choice initiative can receive the 550,000 signatures required.

The Initiative to appear on the November 6th General Election ballot requires 550,000 registered Michigan Voters' signatures by May 31, 2024.. To request a Petition from Citizens for Local Choice visit: <https://www.micitizenschoice.org/take-action>.

Please feel free to contact your Washtenaw County Captains to get more information or if you have any questions.

Superior Charter Township Job Description for Human Resources Director

Summary

We are seeking an experienced HR director with outstanding people skills to manage our personnel and ensure that our human resources programs and initiatives are effective, efficient, and aligned to support township services and programs. Duties for the HR director will include supporting employee development, enhancing job satisfaction, designing onboarding procedures, implementing HR strategies that support business objectives, forecasting staffing needs, mitigating risk, structuring benefit packages, maintaining employee records, managing budgets, designing accountability mechanisms, dealing with employee grievances and disputes, and overseeing overall employment needs.

The ideal candidate for this role should possess a high work ethic, excellent communication skills, knowledge of labor regulations and HR practices, strategic thinking abilities, strong organizational skills, and excellent interpersonal skills. The exceptional HR director should improve HR processes, implement strategies that support business growth, and employee retention, enhance safety and wellness, manage job satisfaction, attract the best recruits, and promote the township's values.

Typical Job Duties

- Developing and implementing human resources policies
- Supporting strategic objectives
- Hiring staff and negotiating employment agreements
- Ensuring compliance with laws and regulations
- Handling employee grievances and disputes
- Managing staff wellness and performance reviews
- Maintaining staff records
- Administering employee benefits
- Identifying staffing needs and creating job descriptions
- Designing and directing training programs
- Recruitment and testing activities (if required) of staff
- Projecting salary costs for collective bargaining and budgetary purposes
- Posting vacancies for township

Education, Experience and Training

Required:

- Bachelor's degree from an accredited college or university with a major in Personnel Administration, Human Resources Management, Business or Public Administration
- Minimum of three (3) years full-time work experience preferably in a government type setting
- SHRM-CP or PHR Certification

Knowledge and Skills

- Knowledge of human resources management, administrative principles and methods, including goal setting, program and budget development, implementation and control.
- Extensive knowledge of the practices and principles of local government human resources administration, laws affecting personnel administration; Township's organization and functions; wage and salary administration; public relations, current ADA, EEO, FMLA, FLSA, and ACA rules and regulations; position classification; job analysis and merit systems.
- Ability to appropriately plan and organize; administer and prioritize; monitor and evaluate the work flow of projects and activities; work with minimal supervision and take initiative in pursuing departmental responsibilities.
- Ability to communicate effectively verbally and in writing and establish and maintain effective working relationships with employees and the public.
- Ability to maintain composure and communicate effectively under stress; ability to perform effectively while working under competing and/or conflicting demands on time and self; skill and tact in dealing with others.

Supervision Received

Who? Board? Official?

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

**AMENDED RESOLUTION TO RECOMMEND SPEED BUMP INSTALLATION ON
STEPHENS DRIVE TO THE WASHTENAW COUNTY ROAD COMMISSION**

RESOLUTION NUMBER: 2023-76

DATE: NOVEMBER 20, 2023

WHEREAS, the Superior Charter Township Planning Commission received a notification from resident Jerry Clifton regarding the urgent need for speed bumps on Stephens Drive, a situation presented at the Planning Commission meeting held on November 15, 2023; and,

WHEREAS, Stephens Drive, located between Clark Road and Stamford Road, is extensively used as a shortcut by vehicular traffic, leading to frequent and dangerous speeding incidents in the area; and,

WHEREAS, the speeding has resulted in multiple hazardous incidents, including the striking of three children by vehicles, one as recent as last week, a vehicle collision into a resident's home, and two recent accidents; and,

WHEREAS, previous efforts for traffic calming by the Washtenaw County Sheriff's Office have proven to be only temporary solutions; and,

WHEREAS, the need for a more permanent solution to ensure the safety of the residents and pedestrians in the area has become evident; and,

WHEREAS, the Planning Commission, after deliberation and consideration of the matter, has expressed strong support for the implementation of speed bumps on Stephens Drive; and,

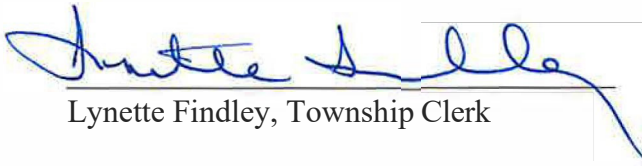
***WHEREAS**, the Board of Trustees have met during the regular meeting of February 20, 2024, and Trustee McGill moved with the support of Clerk Findley to reaffirm this Resolution with the addendum that the Board of Trustees hereby agrees to fund the installation of the speed bumps on Stephens Dr. The motion carried by majority vote.*

NOW, THEREFORE, BE IT RESOLVED, that the Charter Township of Superior Board of Trustees hereby adopts the recommendation of the Superior Charter Township Planning Commission and supports the installation of speed bumps on Stephens Drive, between Clark Road and Stamford Road, as a measure to significantly reduce the speed of vehicular traffic and enhance the safety of the residents and pedestrians *with the agreement to fund the installation;*

BE IT FURTHER RESOLVED that the Board of Trustees requests the Washtenaw County Road Commission to take immediate action in the implementation of the speed bumps on Stephens Drive.

CERTIFICATION STATEMENT

I, Lynette Findley, the duly qualified Clerk of the Charter Township of Superior, Washtenaw County, Michigan, do hereby certify that the foregoing is a true and correct copy of a resolution adopted at a regular meeting of the Charter Township of Superior Board held on November 21, 2023 and that public notices of said meeting were given pursuant to Act No. 267, Public Acts of Michigan, 1976, as amended.


Lynette Findley, Township Clerk

11/21/2023
Date Certified

AMENDED 2/1/24



Superior Charter Township of Michigan Community Center Advisory Committee Meeting (CCAC)

Christian Love Fellowship Ministries International
1601 Stamford Rd., Ypsilanti, MI 48198
March 7, 2024

MINUTES

In attendance: Greg Dill, Lynette Findley, Annie Somerville, Juan Bradford

Primary Discussion Topics

Update from Washtenaw County Administrator, Greg Dill

- Commissioners are committed, and negotiations are ongoing for the sale. However, there is no signed agreement regarding the acquisition of Cheney Elementary School and the adjoining properties.
- The County has their last and best offer on the table to Ypsilanti Community Schools (YCS). The offer is almost midway between the amount of debt owed and appraised value. YCS got debt waived on bond. Administrator Dill deems the offer very fair. Agreement on final price is the hold up.
- The Superintendent of YCS has been given the authority to negotiate an agreement that would represent generational change for the community.
- A Steering Committee will be formed to include Eastside Commissioners and develop an operating framework once the sale is final.
- The YMCA has expressed interest in partnering with the County on the project. The plan for the operating model is to be more than a Recreation Center and swimming. Plan to include:
 - Childcare Community Center
 - Outdoor space
 - Multi-use space
 - Potentially housing

Primary Discussion Topics Continued

Beautification Plan – Juan Bradford

Fireman’s Park Project

- \$500,00 Project
- Walking track, Grills, Picnic space
- Two story plan structure
- Fitness pad with outdoor fitness equipment
- Underground drainage (done)
- Anticipating completion date of June 2024

Farm & Garden Project

- U-pick area
- Garden

The Old Library

- Converted into Firemen sleeping quarters. Firemen are no longer using each other’s bed. A shower has also been added.

Superior Township Clean up Event – Saturday, April 20, 2024, 10am. – 1pm.

- Goal to clean roadways: Geddes, Wiard Rd.
- Township to supply vests, pickers, garbage bags.
- Send people in groups to clear each side of the road. The Township will supply lunch.
- Volunteers are needed

Washtenaw Community College Literacy Event (WCC)– March 12, 2024

- Sponsored by WCC
- Lunch will be provided

Next Meeting: April 4th, 2024

Building Department Report

11 March 2024

Things are picking up since my last report.

- 1) Site work continues at Prospect Pointe West. Construction has begun for the “Sales Model”. We have now received Site Plans for Phase 2 of this development.
- 2) As for the “Huron Dental Office” project at 5387 Plymouth rd. We are still waiting for the “Performance Bond” to be submitted.
- 3) No changes to report regarding 4745 Napier ct.
- 4) There has been an ongoing issue at 1629 Ridge, where the owner has created new, living spaces on the property. None of this was permitted or inspected. It could not have been permitted anyway, as it exceeds the septic system capacity. I have instructed him to vacate ALL structures other than the house proper. These spaces were vacated on March 6th. *I have now ordered that ALL buildings other than the house proper be restored to their original state. Removing ALL Electrical, Mechanical and Plumbing systems installed without Permits and Inspections.*
- 5) Plans have been submitted for the “Sales Model” for the Kinsley project located at 6632 Plymouth Rd.
- 6) The “Meadows” development agreement is being drawn up by Laura Bennett and will be finished before she leaves us later this month. Atwell is working on the Road Improvement agreement and will be presenting it to the board.
- 7) Brookwood will be having the 1st and 2nd reading at March and Aprils Board Meetings respectfully.

Building

Permit #	Contractor	Job Address	Fee Total	Const. Value
PB24-0014	ROSS JONATHEN & ROM HELG	7585 ABIGAIL DR	\$110.00	\$16,942
Work Description: Remove and replace existing deck boards, railing and stairs				
PB24-0018	MUSTAPHA DAIRIA	9939 W AVONDALE CIR	\$100.00	\$15,385
Work Description: Finished basement with 1/2 bath Separate electrical, mechanical and plumbing permits required.				
PB24-0028	GOLD REAL ESTATE LLC	1566 DAWN AVE	\$442.00	\$68,000
Work Description: Interior remodel, kitchen cabinets, doors, floors.				
PB24-0031	WOODBRIIDGE PETER G	1971 FRANCES WAY	\$130.00	\$19,976
Work Description: Construct 22ftx16ft deck on helical piers w/ stairs and guardrail				
PB24-0012	CARROL PATRICK J. W. & KATH	2353 HARRIS RD	\$707.00	\$108,750
Work Description: Remodel of kitchen and master bedroom. Adding stairs to bonus room above garage. Redirect stairs to basement. Replace windows and doors like for like, no structural changes. Separate electrical, mechanical, and plumbing permits required if these systems are modified.				
PB24-0016	SUPERIOR CHARTER TOWNSHI	8795 MACARTHUR BLVD	\$0.00	\$28,541
Work Description: 16'x24' pavilion on concrete pad				
PB24-0027	INFINITY ACQUISITIONS LLC	1664 MAPLE LEAF LN	\$1,823.00	\$280,520
Work Description: New 2 story SFD on unfinished basement with 2 car attached garage - The Madison II Model - Elevation 'C'				
PB24-0015	TORRES JUAN	4349 MARIO DR	\$955.00	\$147,000
Work Description: Construct 40'x80'x14' Pole barn				
PB24-0035	GUZEMAN DAVID & BAYHA BE	4380 OLD OAK CT	\$292.00	\$45,000
Work Description: Finish approx 1,100 SF of basement. No bedrooms, bathrooms, or bars.				
PB24-0017	JUDSON ROGER & SARAH MER	7076 PLYMOUTH-ANN ARBOR RD	\$639.00	\$98,368
Work Description: 40'x60' pole barn				
PB24-0033	BURDA ERVIS & SUMINA MARL	8567 PLYMOUTH-ANN ARBOR RD	\$2,112.00	\$325,000
Work Description: Construct 2 story SFD on unfinished basement with attached 2 car garage				
PB24-0030	OLIVARES GERARDO	1515 RIDGE RD # 279	\$150.00	\$10,000
Work Description: Completing work started under permit PB22-0019. Installation of a used 1989 manufactured home. 14'x70'.				
PB24-0020	WILSON JEFFREY G	1727 SAVANNAH LN	\$133.00	\$20,478
Work Description: Build 20'x18' composite deck on helical screw foundation				
PB24-0022	KALTZ LOGAN W & LERNER E	8855 SOMERSET LN	\$100.00	\$3,900

Work Description: Installing 24"x42" skylight in kitchen

PB24-0023	KALTZ LOGAN W & LERNER E	8855 SOMERSET LN	\$137.00	\$21,000
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Work Description: Partially finished basement with 1 bedroom and 1 bathroom. Existing egress window in bedroom.

PB24-0021	SOUTHEAST MICHIGAN LAND	8383 VREELAND RD	\$107.00	\$16,500
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Work Description: Interior basement waterproofing with sump pump. Sump pump must discharge to storm drain or other approved point of collection that does not create a hazard per R401.3 of 2015 Michigan Residential Code.

PB24-0025	GIBNEY JAMES V & SUSAN K	4410 WALDEN DR	\$132.00	\$20,327
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Work Description: Installing egress window and handrail to basement

PB24-0034	GIBNEY JAMES V & SUSAN K	4410 WALDEN DR	\$100.00	\$15,000
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Work Description: Interior drain to existing sump

PB24-0019	KAPER JONATHON B & HEATH	5413 WALDENHILL CT	\$293.00	\$45,000
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Work Description: 24'6"x17' pool house w/ storage room, bathroom and buffet area. Separate electrical and plumbing permits required.

PB24-0013	KYLE MICHAEL	8303 N WARWICK CT	\$100.00	\$14,186
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Work Description: 138 ft of interior drain and wall seal.
Electrical permit required if new circuit is needed.

PB24-0032	PONCE MONTE	5280 WATERFALL LN	\$299.00	\$46,000
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Work Description: Build 11'x16' sunroom on existing deck. No plumbing or heating.

PB24-0029	GUARNES JASPER G & GUMBA	1368 WEEPING WILLOW CT	\$100.00	\$10,800
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Work Description: Construct 16'x12' deck

PB24-0026	INFINITY ACQUISITIONS LLC	1519 WEEPING WILLOW CT	\$1,823.00	\$280,520
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Work Description: New 2 story SFD on unfinished basement with attached garage - "Madison" model - Elevation 'C'

PB24-0024	HOLLAND SHAUN	8564 WINDSOR CT	\$100.00	\$15,000
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Work Description: Overall renovation of previously abandoned home. Move kitchen wall approximately 3 ft into attached garage.
Electrical, mechanical, and plumbing permits also required.

Total Permits For Type:	24
Total Fees For Type:	\$10,884.00
Total Const. Value For Type:	\$1,672,193

Report Summary

Population: All Records
Permit.PermitType = Building
AND
Permit.DateIssued in <Previous
month> [02/01/24 - 02/29/24]

Grand Total Fees:	\$10,884.00
Grand Total Permits:	24

Grand Total Const. Value:

\$1,672,193

SUPERIOR TOWNSHIP BUILDING DEPARTMENT
MONTH-END REPORT
February 2024

Category	Estimated Cost	Permit Fee	Number of Permits
Com/Multi-Family Other Building	<i>\$28,541.00</i>	<i>\$0.00</i>	<i>1</i>
Electrical	<i>\$0.00</i>	<i>\$5,175.00</i>	<i>25</i>
Mechanical	<i>\$0.00</i>	<i>\$5,280.00</i>	<i>37</i>
Plumbing	<i>\$0.00</i>	<i>\$2,055.00</i>	<i>16</i>
Res-Additions (Inc. Garages)	<i>\$336,368.00</i>	<i>\$2,186.00</i>	<i>4</i>
Res-Manufactured/Modular	<i>\$10,000.00</i>	<i>\$150.00</i>	<i>1</i>
Res-New Building	<i>\$886,040.00</i>	<i>\$5,758.00</i>	<i>3</i>
Res-Other Building	<i>\$134,209.00</i>	<i>\$912.00</i>	<i>8</i>
Res-Renovations	<i>\$277,035.00</i>	<i>\$1,878.00</i>	<i>7</i>
Totals	<i>\$1,672,193.00</i>	<i>\$23,394.00</i>	<i>102</i>

SUPERIOR TOWNSHIP BUILDING DEPARTMENT
YEAR-TO-DATE REPORT

January 2024 To Date

Category	Estimated Cost	Permit Fee	Number of Permits
Com/Multi-Family Other Building	<i>\$28,541.00</i>	<i>\$0.00</i>	<i>1</i>
Electrical	<i>\$0.00</i>	<i>\$12,110.00</i>	<i>58</i>
Mechanical	<i>\$0.00</i>	<i>\$11,185.00</i>	<i>78</i>
Plumbing	<i>\$0.00</i>	<i>\$4,005.00</i>	<i>26</i>
Res-Additions (Inc. Garages)	<i>\$536,368.00</i>	<i>\$3,486.00</i>	<i>5</i>
Res-Manufactured/Modular	<i>\$10,000.00</i>	<i>\$150.00</i>	<i>1</i>
Res-New Building	<i>\$3,966,558.00</i>	<i>\$25,780.00</i>	<i>9</i>
Res-Other Building	<i>\$143,459.00</i>	<i>\$1,012.00</i>	<i>9</i>
Res-Renovations	<i>\$969,927.00</i>	<i>\$6,382.00</i>	<i>10</i>
Totals	<i>\$5,654,853.00</i>	<i>\$64,110.00</i>	<i>197</i>

SUPERIOR TOWNSHIP FIRE DEPARTMENT

MEMO

To: Ken Schwartz, Lynette Findley, Lisa Lewis
CC:
From: Vic Chevrette, Fire Chief
Date: 3/7/2024
Re: Fire Chief/Fire Marshal Activity Report February 2024

The following is the February 2024 activity report for the Fire Chief and Fire Marshal.

FOIA Request: 2

Meetings Attended: Washtenaw Area Mutual Aid Association, Active Shooter Training Meeting at St. Joseph Hospital X3, OHM meeting ref Station 1 Driveway X2.

Training: EMS annual ceu's.

Fire Prevention/Public Education: no report

Other: conducted FEMA Grant Annual Reports. All personnel are forgoing training in Sexual Harassment and Harassment in the Work Place for March 2024. 2023 FEMA AFG grants submitted.

Respectfully Submitted,

Victor G. Chevrette, Fire Chief

The following is the February 2024 activity report for the Fire Marshal

Fire Suppression Plan Reviews Zoom Conference: 1

Fire Suppression Inspections: 2

Fire Protection Inspections: 1

Fire Department Access inspection: 1

Fire Pump Flow Tests:

Hydrant Flow Test:

Plan Review: 2

Building Inspection: 4

Business Inspection:

Site Inspections: 1

Training Burn Code Research:

Consultation, Fire Protection: 3

Fire Alarm Plan Review:

Fire Alarm Inspection: 1

Fire Investigation: 2

Fire Investigations follow up:

Fire Code Enforcement:

ESO training:

Burning Complaint:

Burn Permits issued:

Food Truck Inspection Class:

HUVACO Class: 1

Meetings: 3

Mechanical / Suppression Class:

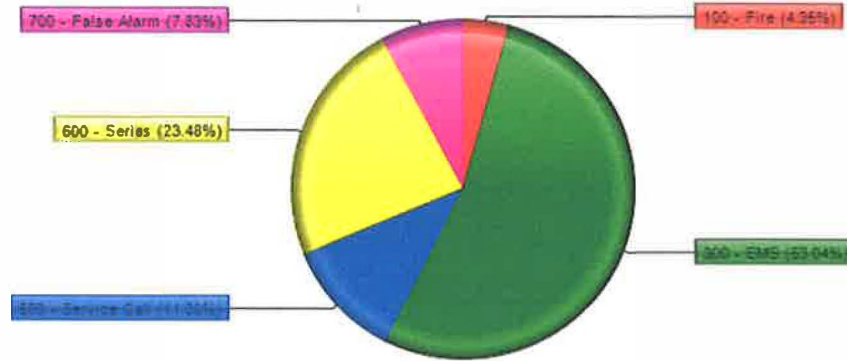
Michigan Fire Inspectors Class:

Respectfully Submitted,

Dan Kimball, Fire Marshal

Fire Incident Type Breakdown

Incident Type Group	
100 - Fire	5
300 - EMS	61
500 - Service Call	13
600 - Series	27
700 - False Alarm	9
	115



Incident Type Code	Alarm Date	Incident Number	NFIRS Number	Addresses Combined More
111				
	1/31/2024 5:53:25 PM	3923495	0000181	1968 Andover DR
	2/14/2024 2:21:32 AM	3929463	0000237	8890 Stony Creek RD
	2/7/2024 2:06:38 AM	3926370	0000216	773 W Clark RD
	2/27/2024 11:24:00 AM	3935568	0000292	515 Hart PL
132				
	2/4/2024 12:13:10 AM	3925046	0000199	3970 Gotfredson RD
311				
	1/31/2024 10:27:52 AM	3923289	0000179	1515 Ridge RD
	1/31/2024 11:20:42 AM	3923304	0000180	1515 Ridge RD
	1/31/2024 8:04:33 PM	3923547	0000183	1946 Evergreen LN
	2/1/2024 1:19:30 PM	3923839	0000193	9376 Macarthur BLVD
	2/2/2024 2:14:45 AM	3924137	0000196	5353 Mcauley DR
	2/2/2024 6:52:00 AM	3924190	0000192	E M-14 HWY
	2/2/2024 12:57:43 PM	3924352	0000197	8868 Macarthur BLVD
	2/7/2024 8:38:00 AM	3926455	0000217	1955 Ridgevlew
	2/2/2024 2:59:53 PM	3924406	0000198	1946 Evergreen LN
	2/5/2024 9:41:00 PM	3925869	0000211	5830 Warren RD
	2/13/2024 1:58:09 PM	3929246	0000233	3100 Cherry Hill RD
	2/13/2024 10:00:54 AM	3929116	0000234	8648 Kingston CT
	2/3/2024 12:03:00 PM	3924797	0000200	4797 Napier CT
	2/10/2024 8:47:54 PM	3928070	0000223	9216 Macarthur BLVD
	2/4/2024 3:48:48 PM	3925298	0000205	1201 Stamford RD
	2/11/2024 6:06:14 PM	3928410	0000228	5516 Overbrook DR
	2/4/2024 10:43:25 AM	3925195	0000202	5353 Mcauley DR
	2/5/2024 3:40:51 PM	3925731	0000213	1642 Greenway DR
	2/5/2024 8:47:19 AM	3925556	0000209	1665 Weeping Willow CT
	2/4/2024 3:22:54 PM	3925287	0000206	9775 Edgewood CT
	2/4/2024 2:44:26 PM	3925265	0000207	1931 Ridge RD
	2/4/2024 9:41:08 PM	3925425	0000204	5212 Pheasant CT

	2/26/2024 8:19:29 PM	3935334	0000285	5341 Mcauley DR
	2/18/2024 7:14:12 AM	3931430	0000253	10183 E Avondale CIR
	2/22/2024 9:08:42 AM	3933259	0000266	1904 Evergreen LN
	2/18/2024 6:04:44 PM	3931625	0000256	5353 Mcauley DR
	2/25/2024 2:26:54 AM	3934504	0000276	1201 Stamford RD
	2/18/2024 1:52:47 AM	3931364	0000257	9214 Abbey LN
	2/25/2024 10:20:40 PM	3934894	0000280	5341 Mcauley DR
	2/20/2024 11:08:56 PM	3932611	0000263	9254 Macarthur BLVD
	2/20/2024 8:39:00 PM	3932559	0000261	3458 Autumn LN
321				
	2/1/2024 1:39:13 AM	3923651	0000185	1714 Hamlet DR
	2/1/2024 7:20:18 PM	3924010	0000190	1515 Ridge RD
	2/1/2024 9:42:38 PM	3924070	0000191	9249 Arlington DR
	2/14/2024 7:23:28 PM	3929798	0000238	8643 Kingston CT
	2/9/2024 2:43:07 PM	3927526	0000222	3605 Tanglewood DR
	2/9/2024 3:42:46 PM	3927560	0000221	1966 Ridgeview
	2/11/2024 1:42:57 PM	3928300	0000227	Curtis RD
	2/12/2024 4:53:17 AM	3928554	0000229	1515 Ridge RD
	2/8/2024 10:06:35 PM	3927245	0000220	1705 Sheffield DR
	2/28/2024 7:58:55 PM	3936295	0000297	9402 Macarthur BLVD
	2/26/2024 4:42:49 AM	3934961	0000281	8642 Macarthur BLVD
	2/20/2024 10:00:57 AM	3932262	0000260	1280 Stamford DR
	2/26/2024 6:37:21 PM	3935302	0000287	1980 White Oak LN
	2/15/2024 8:54:00 AM	240215-0859-SUTFD	0000243	1802 Sheffield DR
	2/23/2024 8:48:31 AM	3933752	0000272	8380 Geddes RD
	2/27/2024 7:25:14 PM	3935796	0000294	10541 Scarlet Oak DR
	2/17/2024 4:12:25 PM	3931175	0000251	9775 Edgewood CT
	2/17/2024 2:55:46 AM	3930932	0000252	1913 Spruce LN
	2/17/2024 9:52:03 AM	3931019	0000248	1868 Evergreen LN
	2/15/2024 10:41:37 PM	3930340	0000245	9162 Macarthur BLVD
	2/27/2024 7:26:13 AM	3935481	0000293	1650 Greenway DR
	2/25/2024 3:22:41 PM	3934723	0000277	9210 MacArthur BLVD

	2/21/2024 1:08:03 PM	3932868	0000267	1888 Forestview DR
322				
	2/14/2024 8:44:34 PM	3929818	0000240	Geddes RD
	2/15/2024 11:10:28 AM	3930046	0000242	2121 N Prospect RD
324				
	2/11/2024 7:12:46 AM	3928193	0000226	Superior RD
	2/21/2024 4:35:18 PM	3932979	0000265	Ford RD
	2/27/2024 8:26:46 AM	3935498	0000286	Ford RD
381				
	2/21/2024 8:01:50 PM	3933050	0000270	5341 Mcauley DR
	2/19/2024 7:32:55 AM	3931794	0000258	1618 Wiard BLVD
531				
	1/31/2024 7:42:46 PM	3923535	0000182	1371 Concord DR
553				
	2/24/2024 3:02:02 PM	3934288	0000273	E Clark RD
554				
	2/1/2024 12:27:19 AM	3923636	0000184	1295 Stamford CT
	2/1/2024 3:54:09 PM	3923920	0000188	1295 Stamford CT
	2/5/2024 7:35:04 AM	3925537	0000208	8498 Berkshire DR
	2/4/2024 5:03:39 AM	3925113	0000201	1890 Ashley DR
	2/26/2024 1:32:59 PM	3935170	0000283	9751 Mulberry
	2/24/2024 6:06:01 PM	3934357	0000274	9751 Mulberry
	2/22/2024 3:58:02 AM	3933174	0000269	9751 Mulberry
	2/27/2024 9:12:26 AM	3935519	0000290	9751 Mulberry
	2/15/2024 6:36:38 PM	3930256	0000244	9751 Mulberry
	2/15/2024 10:07:34 PM	3930331	0000246	9751 Mulberry
571				
	2/27/2024 11:35:32 AM	240228-032025-SUTFD	0000296	7999 Ford RD
611				
	1/31/2024 9:34:20 AM	3923264	0000178	5341 Mcauley DR
	1/31/2024 7:00:08 PM	3923520	0000187	Ford RD
	2/2/2024 12:38:51 AM	3924111	0000195	Sweet RD

	2/12/2024 7:59:07 AM	3928591	0000230	5341 Mcauley DR
	2/10/2024 9:18:41 PM	3928079	0000224	8648 Macarthur BLVD
	2/13/2024 2:22:39 PM	3929256	0000235	1415 E Michigan AVE
	2/4/2024 1:33:50 PM	3925247	0000203	Westridge
	2/6/2024 12:25:10 PM	3926062	0000215	8650 Cedar CT
	2/20/2024 7:39:20 PM	3932537	0000262	8922 Macarthur BLVD
	2/27/2024 7:30:06 PM	3935802	0000289	9080 Macarthur BLVD
	2/27/2024 11:36:29 AM	3935570	0000288	1515 Ridge RD
	2/21/2024 10:00:57 AM	3932765	0000264	7970 Hallie DR
	2/23/2024 11:53:55 AM	3933822	0000271	9064 Macarthur BLVD
	2/26/2024 12:28:43 PM	3935130	0000282	1960 Ridge RD
	2/17/2024 11:30:38 AM	3931055	0000249	1515 Ridge RD
	2/17/2024 3:09:08 PM	3931150	0000250	5341 Mcauley DR
	2/16/2024 2:20:53 PM	3930644	0000247	5341 Mcauley DR
	2/19/2024 3:40:48 PM	3931962	0000259	5205 McAuley DR
	2/24/2024 7:32:03 PM	3934396	0000275	1436 Village LN
	2/27/2024 10:10:11 AM	3935550	0000291	5353 Mcauley DR
	2/25/2024 9:02:57 PM	3934867	0000279	8674 Macarthur BLVD
	2/21/2024 8:14:19 PM	3933057	0000268	2830 Roundtree BLVD
	2/26/2024 2:48:54 PM	3935211	0000284	N Harris RD
622				
	2/1/2024 4:45:38 PM	3923930	0000189	612 Jerome AVE
	2/8/2024 5:39:20 AM	3926870	0000218	E M-14 HWY
	2/13/2024 8:52:26 AM	3929090	0000232	10 M-14 HWY
	2/18/2024 4:52:53 PM	3931600	0000255	Cherry Hill RD
700				
	2/1/2024 8:02:22 PM	3924027	0000194	5205 McAuley DR
	2/25/2024 1:22:53 PM	3934672	0000278	8620 Macarthur BLVD
715				
	2/12/2024 1:35:31 PM	3928744	0000231	10550 Geddes RD
733				
	1/31/2024 1:04:19 PM	3923362	0000186	10101 Plymouth-ann Arbor RD

	2/5/2024 6:18:00 PM	3925790	0000210	4356 Hickory Ridge CT
743				
	2/11/2024 11:39:33 AM	3928261	0000225	5400 Plymouth RD
744				
	2/14/2024 3:24:00 PM	3929705	0000236	8785 Warren RD
	2/18/2024 4:05:26 PM	3931583	0000254	5400 Plymouth RD
745				
	2/8/2024 4:37:34 PM	3927134	0000219	1832 Hamlet DR

Incident List by Alarm Date/Time

Incident Number	Alarm Date	Alarm Time	Location	Incident Type Code	Incident Type	NFIRS Number
3923264	1/31/2024 9:34:20 AM	9:34 AM	5341 Mcauley DR	611	Dispatched & canceled en route	0000178
3923289	1/31/2024 10:27:52 AM	10:27 AM	1515 Ridge RD	311	Medical assist, assist EMS crew	0000179
3923304	1/31/2024 11:20:42 AM	11:20 AM	1515 Ridge RD	311	Medical assist, assist EMS crew	0000180
3923362	1/31/2024 1:04:19 PM	1:04 PM	10101 Plymouth-ann Arbor RD	733	Smoke detector activation due to malfunction	0000186
3923495	1/31/2024 5:53:25 PM	5:53 PM	1968 Andover DR	111	Building fire	0000181
3923520	1/31/2024 7:00:08 PM	7:00 PM	Ford RD	611	Dispatched & canceled en route	0000187
3923535	1/31/2024 7:42:46 PM	7:42 PM	1371 Concord DR	531	Smoke or odor removal	0000182
3923547	1/31/2024 8:04:33 PM	8:04 PM	1946 Evergreen LN	311	Medical assist, assist EMS crew	0000183
3923636	2/1/2024 12:27:19 AM	12:27 AM	1295 Stamford CT	554	Assist invalid	0000184
3923651	2/1/2024 1:39:13 AM	1:39 AM	1714 Hamlet DR	321	EMS call, excluding vehicle accident with injury	0000185
3923839	2/1/2024 1:19:30 PM	1:19 PM	9376 Macarthur BLVD	311	Medical assist, assist EMS crew	0000193
3923920	2/1/2024 3:54:09 PM	3:54 PM	1295 Stamford CT	554	Assist invalid	0000188
3923930	2/1/2024 4:45:38 PM	4:45 PM	612 Jerome AVE	622	No incident found on arrival at dispatch address	0000189
3924010	2/1/2024 7:20:18 PM	7:20 PM	1515 Ridge RD	321	EMS call, excluding vehicle accident with injury	0000190
3924027	2/1/2024 8:02:22 PM	8:02 PM	5205 McAuley DR	700	False alarm or false call, other	0000194
3924070	2/1/2024 9:42:38 PM	9:42 PM	9249 Arlington DR	321	EMS call, excluding vehicle accident with injury	0000191
3924111	2/2/2024 12:38:51 AM	12:38 AM	Sweet RD	611	Dispatched & canceled en route	0000195
3924137	2/2/2024 2:14:45 AM	2:14 AM	5353 Mcauley DR	311	Medical assist, assist EMS crew	0000196
3924190	2/2/2024 6:52:00 AM	6:52 AM	E M-14 HWY	311	Medical assist, assist EMS crew	0000192
3924352	2/2/2024 12:57:43 PM	12:57 PM	8868 Macarthur BLVD	311	Medical assist, assist EMS crew	0000197
3924406	2/2/2024 2:59:53 PM	2:59 PM	1946 Evergreen LN	311	Medical assist, assist EMS crew	0000198
3924797	2/3/2024 12:03:00 PM	12:03 PM	4797 Napier CT	311	Medical assist, assist EMS crew	0000200
3925046	2/4/2024	12:13	3970 Cotfredeen	132	Road freight or transport	0000199

	12:13:10 AM	AM	RD		vehicle fire	
3925113	2/4/2024 5:03:39 AM	5:03 AM	1890 Ashley DR	554	Assist invalid	0000201
3925195	2/4/2024 10:43:25 AM	10:43 AM	5353 Mcauley DR	311	Medical assist, assist EMS crew	0000202
3925247	2/4/2024 1:33:50 PM	1:33 PM	Westridge	611	Dispatched & canceled en route	0000203
3925265	2/4/2024 2:44:26 PM	2:44 PM	1931 Ridge RD	311	Medical assist, assist EMS crew	0000207
3925287	2/4/2024 3:22:54 PM	3:22 PM	9775 Edgewood CT	311	Medical assist, assist EMS crew	0000206
3925298	2/4/2024 3:48:48 PM	3:48 PM	1201 Stamford RD	311	Medical assist, assist EMS crew	0000205
3925425	2/4/2024 9:41:08 PM	9:41 PM	5212 Pheasant CT	311	Medical assist, assist EMS crew	0000204
3925537	2/5/2024 7:35:04 AM	7:35 AM	8498 Berkshire DR	554	Assist invalid	0000208
3925556	2/5/2024 8:47:19 AM	8:47 AM	1665 Weeping Willow CT	311	Medical assist, assist EMS crew	0000209
3925731	2/5/2024 3:40:51 PM	3:40 PM	1642 Greenway DR	311	Medical assist, assist EMS crew	0000213
3925790	2/5/2024 6:18:00 PM	6:18 PM	4356 Hickory Ridge CT	733	Smoke detector activation due to malfunction	0000210
3925869	2/5/2024 9:41:00 PM	9:41 PM	5830 Warren RD	311	Medical assist, assist EMS crew	0000211
3926062	2/6/2024 12:25:10 PM	12:25 PM	8650 Cedar CT	611	Dispatched & canceled en route	0000215
3926370	2/7/2024 2:06:38 AM	2:06 AM	773 W Clark RD	111	Building fire	0000216
3926455	2/7/2024 8:38:00 AM	8:38 AM	1955 Ridgeview	311	Medical assist, assist EMS crew	0000217
3926870	2/8/2024 5:39:20 AM	5:39 AM	E M-14 HWY	622	No incident found on arrival at dispatch address	0000218
3927134	2/8/2024 4:37:34 PM	4:37 PM	1832 Hamlet DR	745	Alarm system activation, no fire - unintentional	0000219
3927245	2/8/2024 10:06:35 PM	10:06 PM	1705 Sheffield DR	321	EMS call, excluding vehicle accident with injury	0000220
3927526	2/9/2024 2:43:07 PM	2:43 PM	3605 Tanglewood DR	321	EMS call, excluding vehicle accident with injury	0000222
3927560	2/9/2024 3:42:46 PM	3:42 PM	1966 Ridgeview	321	EMS call, excluding vehicle accident with injury	0000221
3928070	2/10/2024 8:47:54 PM	8:47 PM	9216 Macarthur BLVD	311	Medical assist, assist EMS crew	0000223
3928079	2/10/2024 9:18:41 PM	9:18 PM	8648 Macarthur BLVD	611	Dispatched & canceled en route	0000224
3928193	2/11/2024 7:12:46 AM	7:12 AM	Superior RD	324	Motor vehicle accident with no injuries.	0000226
3928261	2/11/2024 11:39:33 AM	11:39 AM	5400 Plymouth RD	743	Smoke detector activation, no fire - unintentional	0000225
3928300	2/11/2024	1:42 PM	Curtis DR	321	EMS call, excluding vehicle	0000227

	1:42:57 PM				accident with injury	
3928410	2/11/2024 6:06:14 PM	6:06 PM	5516 Overbrook DR	311	Medical assist, assist EMS crew	0000228
3928554	2/12/2024 4:53:17 AM	4:53 AM	1515 Ridge RD	321	EMS call, excluding vehicle accident with injury	0000229
3928591	2/12/2024 7:59:07 AM	7:59 AM	5341 Mcauley DR	611	Dispatched & canceled en route	0000230
3928744	2/12/2024 1:35:31 PM	1:35 PM	10550 Geddes RD	715	Local alarm system, malicious false alarm	0000231
3929090	2/13/2024 8:52:26 AM	8:52 AM	10 M-14 HWY	622	No incident found on arrival at dispatch address	0000232
3929116	2/13/2024 10:00:54 AM	10:00 AM	8648 Kingston CT	311	Medical assist, assist EMS crew	0000234
3929246	2/13/2024 1:58:09 PM	1:58 PM	3100 Cherry Hill RD	311	Medical assist, assist EMS crew	0000233
3929256	2/13/2024 2:22:39 PM	2:22 PM	1415 E Michigan AVE	611	Dispatched & canceled en route	0000235
3929463	2/14/2024 2:21:32 AM	2:21 AM	8890 Stony Creek RD	111	Building fire	0000237
3929705	2/14/2024 3:24:00 PM	3:24 PM	8785 Warren RD	744	Detector activation, no fire - unintentional	0000236
3929798	2/14/2024 7:23:28 PM	7:23 PM	8643 Kingston CT	321	EMS call, excluding vehicle accident with injury	0000238
3929818	2/14/2024 8:44:34 PM	8:44 PM	Geddes RD	322	Motor vehicle accident with injuries	0000240
240215-0859- SUTFD	2/15/2024 8:54:00 AM	8:54 AM	1802 Sheffield DR	321	EMS call, excluding vehicle accident with injury	0000243
3930046	2/15/2024 11:10:28 AM	11:10 AM	2121 N Prospect RD	322	Motor vehicle accident with injuries	0000242
3930256	2/15/2024 6:36:38 PM	6:36 PM	9751 Mulberry	554	Assist invalid	0000244
3930331	2/15/2024 10:07:34 PM	10:07 PM	9751 Mulberry	554	Assist invalid	0000246
3930340	2/15/2024 10:41:37 PM	10:41 PM	9162 Macarthur BLVD	321	EMS call, excluding vehicle accident with injury	0000245
3930644	2/16/2024 2:20:53 PM	2:20 PM	5341 Mcauley DR	611	Dispatched & canceled en route	0000247
3930932	2/17/2024 2:55:46 AM	2:55 AM	1913 Spruce LN	321	EMS call, excluding vehicle accident with injury	0000252
3931019	2/17/2024 9:52:03 AM	9:52 AM	1868 Evergreen LN	321	EMS call, excluding vehicle accident with injury	0000248
3931055	2/17/2024 11:30:38 AM	11:30 AM	1515 Ridge RD	611	Dispatched & canceled en route	0000249
3931150	2/17/2024 3:09:08 PM	3:09 PM	5341 Mcauley DR	611	Dispatched & canceled en route	0000250
3931175	2/17/2024 4:12:25 PM	4:12 PM	9775 Edgewood CT	321	EMS call, excluding vehicle accident with injury	0000251
3931364	2/18/2024 1:52:47 AM	1:52 AM	9214 Abbey LN	311	Medical assist, assist EMS crew	0000257
3931430	2/18/2024	7:14 AM	10183 E Avondale	311	Medical assist, assist EMS	0000253

	7:14:12 AM		CIR		crew	
3931583	2/18/2024 4:05:26 PM	4:05 PM	5400 Plymouth RD	744	Detector activation, no fire - unintentional	0000254
3931600	2/18/2024 4:52:53 PM	4:52 PM	Cherry Hill RD	622	No incident found on arrival at dispatch address	0000255
3931625	2/18/2024 6:04:44 PM	6:04 PM	5353 Mcauley DR	311	Medical assist, assist EMS crew	0000256
3931794	2/19/2024 7:32:55 AM	7:32 AM	1618 Wiard BLVD	381	Rescue or EMS standby	0000258
3931962	2/19/2024 3:40:48 PM	3:40 PM	5205 McAuley DR	611	Dispatched & canceled en route	0000259
3932262	2/20/2024 10:00:57 AM	10:00 AM	1280 Stamford DR	321	EMS call, excluding vehicle accident with injury	0000260
3932537	2/20/2024 7:39:20 PM	7:39 PM	8922 Macarthur BLVD	611	Dispatched & canceled en route	0000262
3932559	2/20/2024 8:39:00 PM	8:39 PM	3458 Autumn LN	311	Medical assist, assist EMS crew	0000261
3932611	2/20/2024 11:08:56 PM	11:08 PM	9254 Macarthur BLVD	311	Medical assist, assist EMS crew	0000263
3932765	2/21/2024 10:00:57 AM	10:00 AM	7970 Hallie DR	611	Dispatched & canceled en route	0000264
3932868	2/21/2024 1:08:03 PM	1:08 PM	1888 Forestview DR	321	EMS call, excluding vehicle accident with injury	0000267
3932979	2/21/2024 4:35:18 PM	4:35 PM	Ford RD	324	Motor vehicle accident with no injuries.	0000265
3933050	2/21/2024 8:01:50 PM	8:01 PM	5341 Mcauley DR	381	Rescue or EMS standby	0000270
3933057	2/21/2024 8:14:19 PM	8:14 PM	2830 Roundtree BLVD	611	Dispatched & canceled en route	0000268
3933174	2/22/2024 3:58:02 AM	3:58 AM	9751 Mulberry	554	Assist invalid	0000269
3933259	2/22/2024 9:08:42 AM	9:08 AM	1904 Evergreen LN	311	Medical assist, assist EMS crew	0000266
3933752	2/23/2024 8:48:31 AM	8:48 AM	8380 Geddes RD	321	EMS call, excluding vehicle accident with injury	0000272
3933822	2/23/2024 11:53:55 AM	11:53 AM	9064 Macarthur BLVD	611	Dispatched & canceled en route	0000271
3934288	2/24/2024 3:02:02 PM	3:02 PM	E Clark RD	553	Public service	0000273
3934357	2/24/2024 6:06:01 PM	6:06 PM	9751 Mulberry	554	Assist invalid	0000274
3934396	2/24/2024 7:32:03 PM	7:32 PM	1436 Village LN	611	Dispatched & canceled en route	0000275
3934504	2/25/2024 2:26:54 AM	2:26 AM	1201 Stamford RD	311	Medical assist, assist EMS crew	0000276
3934672	2/25/2024 1:22:53 PM	1:22 PM	8620 Macarthur BLVD	700	False alarm or false call, other	0000278
3934723	2/25/2024 3:22:41 PM	3:22 PM	9210 MacArthur BLVD	321	EMS call, excluding vehicle accident with injury	0000277
3934867	2/25/2024	8:02 PM	8674 Macarthur	611	Dispatched & canceled en	0000279

	9:02:57 PM		BLVD		route	
3934894	2/25/2024 10:20:40 PM	10:20 PM	5341 Mcauley DR	311	Medical assist, assist EMS crew	0000280
3934961	2/26/2024 4:42:49 AM	4:42 AM	8642 Macarthur BLVD	321	EMS call, excluding vehicle accident with injury	0000281
3935130	2/26/2024 12:28:43 PM	12:28 PM	1960 Ridge RD	611	Dispatched & canceled en route	0000282
3935170	2/26/2024 1:32:59 PM	1:32 PM	9751 Mulberry	554	Assist invalid	0000283
3935211	2/26/2024 2:48:54 PM	2:48 PM	N Harris RD	611	Dispatched & canceled en route	0000284
3935302	2/26/2024 6:37:21 PM	6:37 PM	1980 White Oak LN	321	EMS call, excluding vehicle accident with injury	0000287
3935334	2/26/2024 8:19:29 PM	8:19 PM	5341 Mcauley DR	311	Medical assist, assist EMS crew	0000285
3935481	2/27/2024 7:26:13 AM	7:26 AM	1650 Greenway DR	321	EMS call, excluding vehicle accident with injury	0000293
3935498	2/27/2024 8:26:46 AM	8:26 AM	Ford RD	324	Motor vehicle accident with no injuries.	0000286
3935519	2/27/2024 9:12:26 AM	9:12 AM	9751 Mulberry	554	Assist invalid	0000290
3935550	2/27/2024 10:10:11 AM	10:10 AM	5353 Mcauley DR	611	Dispatched & canceled en route	0000291
3935568	2/27/2024 11:24:00 AM	11:24 AM	515 Hart PL	111	Building fire	0000292
240228-032025-SUTFD	2/27/2024 11:35:32 AM	11:35 AM	7999 Ford RD	571	Cover assignment, standby, moveup	0000296
3935570	2/27/2024 11:36:29 AM	11:36 AM	1515 Ridge RD	611	Dispatched & canceled en route	0000288
3935796	2/27/2024 7:25:14 PM	7:25 PM	10541 Scarlet Oak DR	321	EMS call, excluding vehicle accident with injury	0000294
3935802	2/27/2024 7:30:06 PM	7:30 PM	9080 Macarthur BLVD	611	Dispatched & canceled en route	0000289
3936295	2/28/2024 7:58:55 PM	7:58 PM	9402 Macarthur BLVD	321	EMS call, excluding vehicle accident with injury	0000297

Aid Given Or Received	Incident Number	NFIRS Number	Alarm Date	Aid Given Or Received Code	Aided Agency Name	Aiding Agency Name	Report Writer Last Name
Automatic aid given							
	3923930	0000189	2/1/2024 4:45:38 PM	4	Ypsilanti Township Fire Department		OBERSTAEDT
	3929256	0000235	2/13/2024 2:22:39 PM	4	Ypsilanti Township Fire Department		BURNS
	3934396	0000275	2/24/2024 7:32:03 PM	4	Ypsilanti Township Fire Department		BURNS
	3935568	0000292	2/27/2024 11:24:00 AM	4	Ypsilanti City Fire Department		KIMBALL
	3926370	0000216	2/7/2024 2:06:38 AM	4	Ypsilanti City Fire Department		FRENCH
	3923535	0000182	1/31/2024 7:42:46 PM	4	Ypsilanti Township Fire Department		OBERSTAEDT
	3933057	0000268	2/21/2024 8:14:19 PM	4	Ypsilanti Township Fire Department		BACH
Automatic aid received							
	3923495	0000181	1/31/2024 5:53:25 PM	2		Ypsilanti City Fire Department	KUJAWA
	3923495	0000181	1/31/2024 5:53:25 PM	2		Ypsilanti Township Fire Department	KUJAWA
	3934288	0000273	2/24/2024 3:02:02 PM	2		Ypsilanti Township Fire Department	BURNS
Mutual aid given							
	3929463	0000237	2/14/2024 2:21:32 AM	3	Augusta Township Fire Dept.		FRENCH
Mutual aid received							
	240228-032025-SUTFD	0000296	2/27/2024 11:35:32 AM	1		Ann Arbor City Fire Dept.	CHEVRETTE

Aided Agency Name	Details
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Augusta Township Fire Dept.	1 Rows
Ypsilanti City Fire Department	2 Rows
Ypsilanti Township Fire Department	5 Rows
	8 Rows

Alarm Date	Incident Number	NFIRS Number	Aid Given Or Received	Aiding Agency Name	Aided Agency Name
2/27/2024 11:35:32 AM	240228-032025-SUTFD	0000296	Mutual aid received	Ann Arbor City Fire Dept.	
1/31/2024 5:53:25 PM	3923495	0000181	Automatic aid received	Ypsilanti City Fire Department	
1/31/2024 5:53:25 PM	3923495	0000181	Automatic aid received	Ypsilanti Township Fire Department	
2/24/2024 3:02:02 PM	3934288	0000273	Automatic aid received	Ypsilanti Township Fire Department	

Incident Date	Incident Number	NFIRS Number	Alarm Date	Incident Type	Incident Type Code	Street Or Highway Name	Property Use	Incident Narrative
2/1/2024 12:00:00 AM	3924027	0000194	2/1/2024 8:02:22 PM	False alarm or false call, other	700	McAuley	Clinics, doctors offices, hemodialysis cntr, other	<p>KUJAWA, JEFFREY Feb 02 2024 07:29AM:STFD was dispatched to the above location for a commercial fire alarm. FD went arrival with nothing showing. FD walked exterior of the building, no signs of smoke or fire. FD used knox box key. Key inside knox box would not unlock any exterior doors to the building. The cleaning company showed up to clean the building while FD was trying to get into the building. The cleaning company let FD inside the building. FD checked entire interior building. No smoke or fire. Fire alarm panel reads "normal" FD clear.</p> <p>KUJAWA, JEFFREY Feb 02 2024 07:35AM:Cancelled by E11-2 on scene</p> <p>KUJAWA, JEFFREY Feb 02 2024 07:40AM:STFD was dispatched to the above location for a commercial fire alarm. FD went arrival with nothing showing. FD walked exterior of the building, no signs of smoke or fire. FD used knox box key. Key inside knox box would not unlock any exterior doors to the building. The cleaning company showed up to clean the building while FD was trying to get into the building. The cleaning company let FD inside the building. FD checked entire interior building. No smoke or fire. Fire alarm panel reads "normal" FD clear.</p>
2/25/2024 12:00:00 AM	3934672	0000278	2/25/2024 1:22:53 PM	False alarm or false call, other	700	Macarthur	Multifamily dwelling	<p>KIMBALL, RYAN Feb 25 2024 04:18PM:E11-2 was dispatched to reports of a medical alarm at the above address. E11-2 arrived to knock on the front door multiple times with no one answering the door. The door was unlocked so FD made entry into the home, announcing "fire department" while doing so. Eventually someone emerged from upstairs</p>

								and stated that the kids must have accidentally pushed the medial alarm button. E11-2 cancelled HVA and returned to service. KIMBALL, RYAN Feb 25 2024 04:20PM:E11-2 was dispatched to reports of a medical alarm at the above address. E11-2 arrived to knock on the front door multiple times with no one answering the door. The door was unlocked so FD made entry into the home, announcing "fire department" while doing so. Eventually someone emerged from upstairs and stated that the kids must have accidentally pushed the medial alarm button. E11-2 cancelled HVA and returned to service.
2/12/2024 12:00:00 AM	3928744	0000231	2/12/2024 1:35:31 PM	Local alarm system, malicious false alarm	715	Geddes	Elementary school, including kindergarten	Gaken, James Feb 12 2024 12:35PM:Unit never left the station. Gaken, James Feb 12 2024 12:37PM:Superior Township Fire Department was dispatched for a fire alarm. SUTFD received a direct call just before getting toned out advising someone pulled the alarm and that it was a false alarm. SUTFD notified dispatch and all units remained in service.
1/31/2024 12:00:00 AM	3923362	0000186	1/31/2024 1:04:19 PM	Smoke detector activation due to malfunction	733	Plymouth-ann Arbor	Church, mosque, synagogue, temple, chapel	CONKLIN, BARRY Feb 01 2024 11:09AM:FD DISPATCHED TO SMOKE ALARM AT TRINITY CHURCH. WHILE ENROUTE DISPATCH CANCELLED FD UNITS. T 11-1 CONTINUED FOR THE REPORT. T 11-1 FOUND MAINTENANCE WORKING ON THE SYSTEM, NO PROBLEM FOUND. ALL SUPERIOR UNITS WENT IN SERVICE.
2/5/2024 12:00:00 AM	3925790	0000210	2/5/2024 6:18:00 PM	Smoke detector activation due to malfunction	733	Hickory Ridge	1 or 2 family dwelling	PIERCE, LANCE Feb 05 2024 04:55PM:Superior units were dispatched to the above location for a res fire alarm. Arrived to being met bt the homeowner stating not problems found inside home. T-11-1 crew did another walkthrough with owner, nothing found. Crews returned at 1842.
2/11/2024 12:00:00 AM	3928261	0000225	2/11/2024 11:39:33 AM	Smoke detector activation no	743	Plymouth	Restaurant or cafeteria	COKER, TYLER Feb 11 2024 10:04AM:STFD was dispatched to an Alarm Activation at the dispatched address the Dixboro House. T11-

				fire - unintentional				1 and E11-2 responded. T11-1 arrived to nothing showing and no one evacuating the restaurant. FD was met by the staff at the entrance to confirm a false alarm, grill smoke set off the alarm. STFD returned in service. COKER, TYLER Feb 11 2024 10:07AM:E11-2 was cancelled en route. COKER, TYLER Feb 11 2024 10:07AM:STFD was dispatched to an Alarm Activation at the dispatched address the Dixboro House. T11-1 and E11-2 responded. T11-1 arrived to nothing showing and no one evacuating the restaurant. FD was met by the staff at the entrance to confirm a false alarm, grill smoke set off the alarm. STFD returned in service.
2/14/2024 12:00:00 AM	3929705	0000236	2/14/2024 3:24:00 PM	Detector activation, no fire - unintentional	744	Warren	1 or 2 family dwelling	PIERCE, LANCE Feb 14 2024 01:58PM:Superior units were dispatched to the above location for a residential fire alarm. T-11-1 arrived to find a restoration company doing work at the home, and had set off the alarm in the process. All units returned at 1536.
2/18/2024 12:00:00 AM	3931583	0000254	2/18/2024 4:05:26 PM	Detector activation, no fire - unintentional	744	Plymouth	Restaurant or cafeteria	COKER, TYLER Feb 18 2024 02:27PM:STFD was dispatched to an Alarm Activation at The Dixboro House. STFD T11-1 and E11-2 responded. T11-1 arrived to nothing showing being met by the manager. Confirmed false alarm no fire. STFD returned in service. COKER, TYLER Feb 18 2024 02:29PM:STFD was dispatched to an Alarm Activation at The Dixboro House. STFD T11-1 and E11-2 responded. T11-1 arrived to nothing showing being met by the manager. Confirmed false alarm no fire. STFD returned in service. COKER, TYLER Feb 18 2024 02:31PM:E11-2 was cancelled en route.
2/8/2024 12:00:00 AM	3927134	0000219	2/8/2024 4:37:34 PM	Alarm system activation, no fire - unintentional	745	Hamlet	1 or 2 family dwelling	BURNS, JORDAN Feb 08 2024 03:50PM:STFD E11-2 & L11-1 responded for a Smoke detector activation @ above-listed address. Upon E11-2 arrival, we found no active alarm and nothing showing—the resident's daughter and younger siblings were home, and the youngest pushed the alarm. STFD made contact with the

								homeowner on the phone. L11-1 staged. STFD cleared in service.
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Incident Type Code	Incident Date	Incident Number	Contents Loss	Incident Type	District	Zip	Apparatus Total	Total Value	Total Loss	Percent Saved	Property Value	Percent Lost	Property Loss	Contents Value	Contents Loss	NFIRS Number
111																
								\$225,000.00	\$9,500.00							
	1/31/2024	3923495	\$2,500.00	Building fire	Superior Township 35	48198	2	\$225,000.00	\$9,500.00	95.78%	\$200,000.00	4.22%	\$7,000.00	\$25,000.00	\$2,500.00	0000181
	2/7/2024	3926370		Building fire	Out Of District	48198	3	\$0.00	\$0.00	NaN		NaN				0000216
	2/14/2024	3929463		Building fire	Out Of District	48197-6614	1	\$0.00	\$0.00	NaN		NaN				0000237
	2/27/2024	3935568		Building fire	Out Of District	48197	2	\$0.00	\$0.00	NaN		NaN				0000292
								\$58,000.00	\$58,000.00							
	2/4/2024	3925046	\$8,000.00	Road freight or transport vehicle fire	Superior Township 12	48170	2	\$58,000.00	\$58,000.00	0.00%	\$50,000.00	100.00%	\$50,000.00	\$8,000.00	\$8,000.00	0000199
311																
								\$0.00	\$0.00							
	1/31/2024	3923289		Medical assist, assist EMS crew	Superior Township 36	48198	1	\$0.00	\$0.00	NaN		NaN				0000179
	1/31/2024	3923547		Medical assist, assist EMS crew	Superior Township 35	48198	1	\$0.00	\$0.00	NaN		NaN				0000183
	1/31/2024	3923304		Medical assist, assist EMS crew	Superior Township 36	48198	1	\$0.00	\$0.00	NaN		NaN				0000180
	2/1/2024	3923839		Medical assist, assist EMS crew	Superior Township 35	48198	1	\$0.00	\$0.00	NaN		NaN				0000193
	2/2/2024	3924137		Medical assist, assist EMS crew	Superior Township 31	48197	1	\$0.00	\$0.00	NaN		NaN				0000196
	2/2/2024	3924406		Medical assist, assist EMS crew	Superior Township 35	48198-9519	1	\$0.00	\$0.00	NaN		NaN				0000198
	2/2/2024	3924190		Medical assist, assist EMS crew	Superior Township 4	48170	1	\$0.00	\$0.00	NaN		NaN				0000192
	2/2/2024	3924352		Medical assist, assist EMS crew	Superior Township 34	48198	1	\$0.00	\$0.00	NaN		NaN				0000197
	2/3/2024	3924797		Medical assist, assist EMS crew	Superior Township 1	48170	1	\$0.00	\$0.00	NaN		NaN				0000200
	2/4/2024	3925298		Medical assist, assist EMS crew	Superior Township 34	48198	2	\$0.00	\$0.00	NaN		NaN				0000205

Superior Township Monthly Report February/March 2024

Resident Complaints/ Debris:

9247 Panama Ave.- Yardwaste bags on extension - **(Tagged)**

8566 Canterbury Ct.- Large box on extension - **(Tagged)**

8576 Canterbury Ct.- Chair & misc. junk on extension - **(Tagged)**

8610 Heather Dr.- Yardwaste bags on extension - **(Tagged)**

9234 Abbey Ln.- Furniture on extension - **(Tagged)**

Vehicle Complaints:

2127 Wiltshire- Trailer parked in street - **(Tagged)**

1500 Harvest Ln.- Vehicles parked on lawn - **(Letter Sent)**

1632 Harvest Ln.- Vehicle parked on lawn - **(Tagged)**

Illegal Dumping:

On GotFredson between Vreeland & Geddes Rd. - More and more trash is being dumped

Superior Charter Township Park Commission
Regular Meeting
January 22, 2024

Approved Minutes

1. Call to Order

The meeting was called to order by Chair Nahid Sanii-Yahyai at 6:30 pm.

2. Roll Call

Park Commissioners present: Nahid Sanii-Yahyai, Greg Vessels, Martha Kern-Boprie, Curtis Freeman, Jack Smiley, Riley Schofield, Guy Conti

Park Commissioners absent: none

Others present: Trustee Bernice Lindke; Juan Bradford, Park & Rec Director; Irma Golden, Deputy Supervisor; Trustee Nancy Caviston

3. Flag Salute

Chair Nahid Sanii-Yahyai led those assembled in the Pledge of Allegiance to the Flag.

4. Agenda Approval

It was moved by Greg Vessels and supported by Curtis Freeman to approve the agenda as drafted. The motion carried.

5. Prior Meeting Minutes Approval

A. December 18, 2023

It was moved by Nahid Sanii-Yahyai and supported by Martha Kern-Boprie to approve the minutes of 12/18/2023 with the following corrections:

Chairperson's Report 7.A. – add the sentence after the text already in the minutes:

“Nahid requested that the Board Liaison submit their written report in advance of the Park Commission meeting, so Park commissioners can review it before the Park Commission meeting.”

Old Business 9.B. – insert the word “same” into the first sentence so that it will read “...to use Ypsilanti Township recreation facilities at the same fee as Ypsilanti Township residents.

New Business 10.D. – Insert the text “...the important task of planning how to best utilize the “Rock” property to meet...” so it reads “...so that we may begin the important task of planning how to best utilize the “Rock” property to meet the recreational and open space needs of the Township.”

Financial Statements – Correct the spelling of the first word from “I” to “It” so that the sentence reads “It was moved by Riley Schofield...”

The motion carried.

6. Citizen Participation – none

7. Reports

A. Chairperson

Chair Nahid Sanii-Yahyai commented that she would like to have a township clean-up day planned for and scheduled in 2024. This was discussed during 2023, and deferred to 2024 to allow better planning. Nahid would like to involve students in planning and staffing the event. Juan Bradford mentioned that Deputy Supervisor Irma Golden could be helpful. Mrs. Golden was in the audience, and participated in the discussion. She would like to collaborate on this event. She suggested scheduling the event near Earth Day in April. She is also concerned about the safety of volunteers, particularly children, walking along busy roads picking up trash. Juan Bradford noted that Garden City

in Wayne County conducts a clean-up titled "Purple Bag Day". Volunteers are given a rolled packet that contains a purple trash bag and a pair of work gloves. The bags are returned full of trash.

B. Director's Report

Juan Bradford submitted a written report. He added to this report that he is seeking additional compensation for work-related certifications. There was an informal consensus among park commissioners that Juan should draft a resolution on this topic, and present it at the February Park Commission meeting for consideration. He also updated park commissioners that stump removal and grading of the Willow Run Acres property at the corner of Harris and MacArthur will begin very soon, possibly this week.

C. Board Liaison

Trustee Bernice Lindke reported on the 12/18/23 and the 1/16/24 Township Board meetings.
12/18/23

Citizen Participation regarding conservation easement for the "Rock" property.

Lindke questioned why the Fire Dept chose not to assist with lighting the Twp Christmas tree. The Fire Chief responded it was a safety risk if a fire occurred while the fire truck and firefighters were engaged in tree lighting, and the firefighters' union also objected to assisting with tree lighting. Resolutions adopted to set salaries for twp elected officials and non-union staff, purchase of health insurance, MERS Health Care Savings Program, amend Health Care Savings Plans with individual employees, approve incentives for certification and licensure for Utilities and Assessing employees. Approved stump removal for Clayhill Community Farm at Harris and MacArthur, pause consideration of selling or donating a conservation easement on the "Rock" property and approved a baseline environmental assessment and due care plan for 9045 MacArthur Blvd.

1/16/24

Citizen's Participation

Irma Golden presented a list of issues that township residents reported on the social networking site "NextDoor". Concerns included having a recreation center, placing speed bumps on designated streets, having more police visibility in the neighborhoods south of Geddes Road, removing trash from walking paths, hosting a township clean-up day, repairing the drain at MacArthur and Clark, and ordinance enforcement. Trustee Lindke mentioned that Park Commission Chair Nahid Sanii-Yahyai has been wanting to plan a township clean-up day for a while.

Ramona Parker-Muhammad wanted follow up answers for concerns she previously expressed at the December board meeting. She also asked for clarification on the \$100,000 payment error to a developer that had not provided any escrow funds.

Questions were asked about the Controller living in Florida, his budgeted salary, and the need to have a controller on site. Brenda Baker reviewed the purpose of the Committee to Promote Superior Township.

New Business

A lengthy discussion took place regarding complaints lodged against the Clerk and the Supervisor. A subcommittee of the board was formed and asked to bring a recommendation back to the full board for consideration of next steps.

The 2023 audit will be performed by Pfeffer, Hanniford & Palka.

A new firefighter has been approved for hire, pending medical, psychological tests and background investigation.

Requests for Proposals for IT, Legal, Engineering and Audit services will be developed and issued during the next few months.

Pleas and Petitions

Trustee Lindke requested that the board consider other residents who may want to farm the "Rock" property.

Ms. Parker-Muhammad reiterated her earlier statements and asked for answers RE the Controller's status.

D. Board Meeting Attendee

Nahid Sanii-Yahyai attended both the 12/18/23 and the 1/22/24 township board meetings. She asked for an update on the status of the conservation easement for the “Rock” property. Jack Smiley responded that we are waiting for Washtenaw County to present a proposed conservation easement. Nahid also asked for an explanation of the \$100,000 payment error. Trustee Lindke and Park Commissioner Guy Conti provided an explanation.

E. Park Steward

No report.

F. Safety

There were no accidents or injuries in the past month.

It was moved by Guy Conti and supported by Riley Schofield to receive the reports. The motion carried.

8. Communications

A. SMLC Nature Walk at Cherry Hill Nature Preserve

It was moved by Martha Kern-Boprie and supported by Greg Vessels to receive the Communications. The motion carried.

9. Old Business

A. Community Center Advisory Committee (CCAC) Update

The CCAC has not met since the December 18 Park Commission meeting. The next meeting will be in early February.

B. Ypsilanti Township Community Center use by Superior Township residents at same fee as Ypsilanti Township residents.

No update.

C. Fireman’s Park Playstructure renderings

Juan Bradford presented renderings of the new play structures that will be installed in Fireman’s Park. Commissioners voiced approval for option #5 which has red slides, railings and roof, gray upright posts, dark gray ramps, and a few black accents.

10. New Business

A. Proposed 2024 Special Event Dates

Juan Bradford presented a schedule of proposed special events in 2024

Easter Egg Hunt	Fireman’s Park	March 23 11:00 am
Superior Day	Oakbrook Park	June 8 11:00 am
Kite & Rocket Day	Fireman’s Park	June 22 11:00 am
Movies on the Green	Dixboro Village Green	July 13 8:30 pm
Movies in the Park	Oakbrook Park	August 10 8:00 pm
Movies in the Park	Fireman’s Park	September 14 7:30 pm
Nature Hunt Bingo	Cherry Hill Nature Preserve	October 5 11:00 pm
Pumpkin Carving	Norfolk Park	October 26 11:00 am
Owl Prowl	Cherry Hill Nature Preserve	November 2 6:30 pm
Christmas Tree Lighting	Old Township Hall	December 7 6:00 pm

TBD

Bird Watching LeFurge Preserve TBD

Live! Here! Now! Fireman’s Park TBD

Approved by the Superior Charter Township Park Commission on 2/26/2024.

Park Commissioners indicated approval of the planned events. Volunteer commitments will be made throughout the year, closer to each event date.

11. Bills for Payment

It was moved by Martha Kern-Boprie and supported by Greg Vessels to approve payment of the bills totaling \$46,586.12 at 1/22/24. Martha asked why the payroll of 1/04/24 in amount \$15,168.31 was so high. It is nearly double both the payrolls of 12/19/23 in amount \$7,570.59 and of 1/17/24 in amount \$8,801.74. Juan Bradford responded he would investigate, and inform the park commission later. The motion carried.

12. Financial Statements

- A. December 2023 Revenue & Expenditure Report
- B. December 2023 Balance Sheet (Incomplete)

It was moved by Riley Schofield and supported by Curtis Freeman to receive the December financial statements. The motion carried.

13. Pleas and Petitions

Irma Golden commented that she contacted neighbors via the "NextDoor" app about their wishes and concerns. Many neighbors responded wishing there were more of the following available:

- Sports programs for children
- Music programs for children
- Programs for senior citizens

Discussion took place among commissioners, Juan and Mrs. Golden about previous programs, including Oakbrook Sports for children and "Walk with Ease" for senior citizens, including why these programs ended. Guy Conti related his personal experience growing up in Brooklyn, New York and the unique aspects of each neighborhood. He spoke of the importance of learning what is unique about the neighborhoods in Superior Township. Juan and Park Commissioners agreed to look at what could work now in Superior Township. The role of the planned community center was discussed.

Jack Smiley commented on the pending conservation easement for the "Rock" property. When this issue was discussed at the December park commission meeting, Jack had said he did not think the grant award would be jeopardized by not approving the conservation easement. In the past month he has done more investigation, and now believe lack of an approved conservation easement could jeopardize the grant award.

Jack Smiley further shared concerns with the extensive use of controlled burns in Superior Township. He worries this eliminates too much undergrowth that is needed for habitat. Jack wants this issue placed on the agenda for the February park commission meeting.

Nahid Sani-Yahyai noted that in the recent past the park department offered tennis lessons, and she would like to explore renewing this program.

14. Adjournment

It was moved by Greg Vessels and supported by Curtis Freeman to adjourn the meeting at 8:05 pm. The motion carried.

Submitted by,
Martha Kern-Boprie
Park Commissioner and Secretary



WASHTENAW COUNTY OFFICE OF THE SHERIFF



JERRY L. CLAYTON
SHERIFF

2201 Hogback Road ♦ Ann Arbor, Michigan 48105-9732 ♦ OFFICE (734) 971-8400 ♦ FAX (734) 973-4624 ♦ EMAIL sheriffinfo@ewashtenaw.org

MARK A. PTASZEK
UNDERSHERIFF

March 11, 2024

To: Kenneth Schwartz, Superior Township Supervisor
From: John Cratsenburg, Lieutenant
Through: Keith Flores, Police Services Commander
Re: February 2024 Police Services Monthly Report

Monthly Numbers:

Calls for Service: 837
Traffic Stops: 346
OWI/OUID: 2
Traffic Crashes: 18
Animal Complaints: 8
Citations: 39

Significant Incidents:

24- 11018 1800 Block of Parklawn AWIM (Shooting)
Deputies responded to shots fired call about 0130 hours on 2-12-24. Their parked car had been struck several times and the home twice. There were several residents inside of the home at the time of incident and no one was hit. The homeowner’s daughter had her boyfriend stay the night. They believe his ex-girlfriend or associates are responsible for the incident. No evidence or witnesses at this time.

24-14511 1800 Block of Knollwood Bend AWIM (Shooting)
Deputies were dispatched to the area for shots fired. Additional calls came in and the residence was discovered to be hit 6 times. There was a vehicle that arrived on scene with several subjects inside of it that was tied to the home. Later in the night, that same vehicle was used in another shooting. Active Investigation

24-15119 10000 Block of Geddes Death Investigation
Deputy was sent to the location for a subject down, sitting in his chair. Deputies arrived and found the subject deceased. Subject had a long medical history and substance abuse. MEI responded and took the deceased to their Office.

In/Out of Area Time:

Into Area Time: 479
Out of Area Time: 1077



SUPERIOR TOWNSHIP MONTHLY POLICE SERVICES DATA

February 2024

JERRY L. CLAYTON
SHERIFF

Incidents	Month 2024	Month 2023	% Change	YTD 2024	YTD 2023	% Change
Traffic Stops	346	309	12%	622	696	-11%
Citations	39	81	-52%	121	154	-21%
Drunk Driving (OWI)	2	0	+	3	3	0%
Drugged Driving (OUID)	0	0	-	0	0	-
Calls for Service Total	837	868	-4%	1801	1858	-3%
Calls for Service <i>(Traffic stops and non-response medicals removed)</i>	395	444	-11%	959	948	1%
Robberies	0	0	-	0	0	-
Assaultive Crimes	12	16	-25%	29	29	0%
Home Invasions	1	1	0%	4	3	33%
Breaking and Entering's	0	0	-	0	0	-
Larcenies	3	4	-25%	8	14	-43%
Vehicle Thefts	0	0	-	5	1	400%
Traffic Crashes	18	23	-22%	60	50	20%
Medical Assists	12	8	50%	19	20	-5%
Animal Complaints <i>(ACO Response)</i>	8	15	-47%	12	27	-56%
In/Out of Area Time	Month <i>(minutes)</i>	YTD <i>(minutes)</i>	+ = Positive Change - = Negative Change			
Into Area Time	479	1169				
Out of Area Time	1077	1707				
Investigative Ops (DB)	8910	23355				
Secondary Road Patrol	6135	12005				
County Wide	40	95				
Banked Hours	Hours Accum.	Previous Balance				
February - Collab						



SUPERIOR TOWNSHIP MONTHLY POLICE SERVICES DATA

February 2024

JERRY L. CLAYTON
SHERIFF

Incident Count by Incident Type For Agency WD

For 2/1/2024 12:00:00 AM Thru 2/29/2024 11:59:59 PM

For City Code(s) - SUT

City	Incident	Address / Location	Incident Call Date	Location
SUT	240008770	1993 ARBOR WOODS BLVD	02/02/2024 19:52:14	ARBOR WOODS
	240008953	8533 CHERRY HILL RD	02/03/2024 15:32:40	GARY/ROBIN ROSS RESD
	240009154	1601 STAMFORD RD	02/04/2024 13:39:31	CHRISTIAN LOVE FELLOWSHIP
	240009811	10550 GEDDES RD	02/07/2024 06:37:47	NHA SOUTPOINTE SCHOLARS CHARTER ACADEMY
	240010385	9719 MULBERRY	02/09/2024 12:27:09	VONSEARAY POLK RESIDENCE
	240010656	8482 BARRINGTON DR	02/10/2024 12:15:41	WALLS RESIDENCE
	240010939	5300 ELLIOTT DR	02/11/2024 18:38:26	HURON GASTRO
	240011362	1618 WIARD BLVD	02/13/2024 13:42:03	MILLS RESIDENCE
	240012445	5205 MCAULEY DR	02/17/2024 17:01:48	FMC OF ANN ARBOR
	240012665	1601 STAMFORD RD	02/18/2024 13:26:42	CHRISTIAN LOVE FELLOWSHIP CHURCH
	240013336	10688 SCARLET OAK DR	02/21/2024 11:11:04	DAVIS RESD
	240014410	8482 BARRINGTON DR	02/25/2024 12:12:41	WALLS RESD
	240014660	9158 MACARTHUR BLVD	02/26/2024 14:18:14	LARKIN RESID
	240014886	1689 PROSPECT RD	02/27/2024 11:43:39	BRENDA MAYNARD RES
	240015392	1689 PROSPECT RD	02/29/2024 10:38:53	MAYNARD RESIDENCE
SUT	15			
		Total:		15

Incident Count by Incident Type For Agency WD

For 2/1/2024 12:00:00 AM Thru 2/29/2024 11:59:59 PM

For City Code(s) - SUT

For Incident Type(s) -

Incident Call Date	Alarms	Incident	Address / Location	City	Location
02/04/2024 13:39:31	C3902 - BURGLARY ALARM	240009154	1601 STAMFORD RD	SUT	CHRISTIAN LOVE FELLOWSHIP
02/07/2024 06:37:47		240009811	10550 GEDDES RD	SUT	NHA SOUTPOINTE SCHOLARS CHARTER ACADEMY
	C3902 - BURGLARY ALARM		Total:	2	

Incident Call Date	Alarms	Incident	Address / Location	City	Location
02/02/2024 19:52:14	C3999 - ALARMS ALL OTHER	240008770	1993 ARBOR WOODS BLVD	SUT	ARBOR WOODS
02/03/2024 15:32:40		240008953	8533 CHERRY HILL RD	SUT	GARY/ROBIN ROSS RESD
02/09/2024 12:27:09		240010385	9719 MULBERRY	SUT	VONSEARAY POLK RESIDENCE
02/10/2024 12:15:41		240010656	8482 BARRINGTON DR	SUT	WALLS RESIDENCE
02/11/2024 18:38:26		240010939	5300 ELLIOTT DR	SUT	HURON GASTRO
02/13/2024 13:42:03		240011362	1618 WIARD BLVD	SUT	MILLS RESIDENCE
02/17/2024 17:01:48		240012445	5205 MCAULEY DR	SUT	FMC OF ANN ARBOR
02/18/2024 13:26:42		240012665	1601 STAMFORD RD	SUT	CHRISTIAN LOVE FELLOWSHIP CHURCH
02/21/2024 11:11:04		240013336	10688 SCARLET OAK DR	SUT	DAVIS RESD
02/25/2024 12:12:41		240014410	8482 BARRINGTON DR	SUT	WALLS RESD
02/26/2024 14:18:14		240014660	9158 MACARTHUR BLVD	SUT	LARKIN RESID
02/27/2024 11:43:39		240014886	1689 PROSPECT RD	SUT	BRENDA MAYNARD RES
02/29/2024 10:38:53		240015392	1689 PROSPECT RD	SUT	MAYNARD RESIDENCE
	C3999 - ALARMS ALL OTHER		Total:	13	

			Sum:	15	
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Out of Area Time

For: 02/01/2024 thru 02/29/2024



Patrol Area	Reporting Area	Username	Location	Activity Category	Incident Number	Comments	Start Time	Duration in Minutes	Start Date
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDSIRIANNJ	BLOSSOM AVE	BACKUP DISPATCHED CALLS	240008273	BU YPT UNIT ON DISORDERLY / APPROVED BY SGT. PENNINGTON	03:05:00	10	2/1/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDSIRIANNJ	LEFORGE RD/GREEN RD	BACKUP DISPATCHED CALLS	240008279	BU YPT UNIT ON FOOT PURSUIT, SUBJECT DROPPED FIREARM AND RAN INSIDE APARTMENT. APPROVED BY SGT. PENNINGTON	03:35:00	15	2/1/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDTRIPB	TEXTILE RD/S HURON RIVER DR	TRAFFIC STOP	240008477	UNAVOIDABLE FAIL TO YIELD/SPEED WHILE ENROUTE TO SUPERIOR; PER SGT PENNINGTON	20:15:00	10	2/1/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDGERWIGB	CONCORD DR	BACKUP DISPATCHED CALLS	240006983	20-30 subjects fighting in the area // one mentioned a handgun was produced // ok per Sgt. Houk	18:10:00	20	2/3/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDHILLJ	CONCORD DR	BACKUP DISPATCHED CALLS	240008983	ASSIST YPT UNITS WITH REPORT OF 20+ PEOPLE FIGHTING - APPROV SGT HOUK	18:10:00	20	2/3/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDHILLJ	N FORD BLVD/E CLARK RD	BACKUP DISPATCHED CALLS	240009052	ASSIST YPT UNITS ASKING FOR BACKUP WITH NON COOPERATIVE DRIVER - SECURITY FOR SFTS - Approv Sgt Bynum	22:40:00	25	2/3/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDGERWIGB	N FORD BLVD/E CLARK RD	BACK-UP TRAFFIC STOP	240008052	assisted Dep. Siller w/ a subject refusing to exit vehicle // request additional unit // SFTS // ok per Sgt. Bynum	22:45:00	20	2/3/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDGERWIGB	WOODLAWN AVE/ECORSE RD	BACKUP DISPATCHED CALLS	240008193	Juveniles possibly breaking into an aban building // ok per Sgt. Houk // made contact with the group of juveniles	17:20:00	10	2/4/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	SCIO TOWNSHIP	WDFARMERH	DEXTER-ANN ARBOR RD/WB M14	TRAFFIC STOP	240009316	UNAVOIDABLE DROVE AROUND SEMI INTO OPPOSITE LANE BLINDLY	08:04:00	0	2/5/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDCLARKA	MONTROSE AVE	BACKUP DISPATCHED CALLS	240009364	BU on EDP Sgt Hogan approval	11:15:00	30	2/5/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDSIRIANNJ	JULIE DR	DISPATCHED CALLS	240009803	ASSIST YPT UNITS WITH KIDNAPPING / APPROVED BY SGT. ERBES	03:30:00	185	2/7/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDFARMERA	EB MICHIGAN AVE/BYPASS	BACK-UP TRAFFIC STOP	240010009	Backed up Deputy Gerwig on possible vehide containing to a gun, related to shooting 24-8795, unrelated, Matched description of vehicle used by possible suspect. Ok per Sgt. Williams	22:30:00	10	2/7/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDFARMERA	RUSSELL ST/RUSSELL CT	BACKUP DISPATCHED CALLS	240010274	Backed up Deputies Vandussen and Zehel, ok per Sgt. Williams. Subject not located. Suspicious, with subject who fled from Deputy Vandussen.	22:30:00	30	2/8/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDHOWARDS	RUSSELL ST/RUSSELL CT	BACKUP DISPATCHED CALLS	240010274	SUBJECT RUNNING FROM YPT UNIT / NO OTHER YPT UNIT TO ASSIST / APPROVED BY SGT. WILLIAMS	22:35:00	15	2/8/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	SALEM TOWNSHIP	WDNEDDOK	CURRIE RD/SIX MILE RD	BACKUP DISPATCHED CALLS	240010418	BU 760 ON UNKNOWN CRASH. CRASH ENDED UP BEING A FATAL. APPROVAL TO ASSIS PER SGT. HOGAN.	14:48:00	52	2/9/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	SALEM TOWNSHIP	WDCLARKA	ETCH CT	BACKUP DISPATCHED CALLS	240010423	BU Family Trouble Sgt Hogan Approval Salem tied up on fatal crash Family Trouble	15:20:00	20	2/9/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	SALEM TOWNSHIP	WDCLARKA	CURRIE RD/SIX MILE RD	BACKUP DISPATCHED CALLS	240010418	BU Death Sgt Hogan Approval Salem units on fatal crash	15:40:00	20	2/9/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	SALEM TOWNSHIP	WDNEDDOK	ETCH CT	DISPATCHED CALLS	240010423	REPORT OF POSSIBLE CHILD ABUSE. SALEM TWP UNIT ON FATAL CRASH. APPROVAL TO TAKE THE CALL AS PRIMARY PER SGT. HOGAN.	15:40:00	25	2/9/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	SALEM TOWNSHIP	WDGERWIGB	Currie rd between 6-7 mile	DETAIL		24-10418 // still on scene of fatal accident // Traffic division released me after // ok by Sgt. Hogan	16:02:00	98	2/9/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	SALEM TOWNSHIP	WDNEDDOK	LANCASTER LN	BACKUP DISPATCHED CALLS	240010665	BU MSP TROOPER ON SUICIDAL PERSON IN SALEM APPROVAL TO ASSIST PER SGT. HOGAN	12:50:00	24	2/10/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDHOWARDS	APPLERIDGE ST/WOODRUFF LN	BACK-UP TRAFFIC STOP	240010971	UNIT ASKING FOR ANOTHER VEHICLE / NOT RESPONDING TO SECURE / CLOSEST UNIT / APPROVED BY SGT. PENNINGTON	21:25:00	10	2/11/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDGERWIGB	APPLERIDGE ST/WOODRUFF LN	BACK-UP TRAFFIC STOP	240010971	Dep. Cuso requested additional units to his location // I was already in the area and made his location // ok per Sgt. Pennington	21:30:00	5	2/11/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	SALEM TOWNSHIP	WDNEDDOK	SALEM WOODS/FIVE MILE RD	DISPATCHED CALLS	240011945	POSSIBLE DRUNK DRIVER SLUMPED OVER THE WHEEL APPROVAL TO ASSIST PER SGT. HOGAN. INDIVIDUAL WAS DIABETIC AND NOT INTOXICATED. SALEM TWP UNIT WAS TRIED UP ON ARREST. I WAS PRIMARY ON THIS CALL.	16:11:00	54	2/15/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI CITY	WDNEDDOK	GREEN RD	BACKUP DISPATCHED CALLS	240012214	ASSIST 207 ON ARREST WITH DV SUSPECT. APPROVAL TO ASSIST PER SGT. ARTS. DISORDERLY GROUP IN THE APPARTMENT COMPLEX	16:59:00	9	2/16/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDHILLD	E MICHIGAN AVE/S WARD	BACKUP DISPATCHED CALLS	240012286	BACK UP ON A ROLL OVER CRASH. NEAR THE AREA. SGT TP APPROVED	21:50:00	45	2/16/2024



Out of Area Time

For: 02/01/2024 thru 02/29/2024



ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDHILLD	E MICHIGAN AVE/N HARRIS RD	TRAFFIC STOP	240012295	LEAVING THE CRASH SCENE. DRIVER DROVE THROUGH THE CRASH SCENE WHILE OUT PATROL CAR WAS BLOCKING THE LANE. SGT PENNINGTON APPROVED	22:35:00	5	2/16/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDMCGRADYP	BEDFORD DR/MEDFORD DR	BACKUP DISPATCHED CALLS	240012428	assist w man with a gun complaint, Sgt Arts approved	15:13:00	30	2/17/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDCLARKA	BEDFORD DR/MEDFORD DR	BACKUP DISPATCHED CALLS	240012428	BU YPT FA Armed man in the complex Sgt Arts Approval	15:15:00	46	2/17/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDGERWIGB	CONCORD DR	BACKUP DISPATCHED CALLS	240012439	responded to assist Ypsi Twp Deputies responding to a disorderly possible assault with someone stating someone is going to shoot someone // I was in the area of Leforge and HRD and could assist // Dep. Farmer and I made the location and the incident was unfounded // ok by Sgt. Arts	16:21:00	9	2/17/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDGERWIGB	CONCORD DR/BEDFORD DR	TRAFFIC STOP	240012442	I was clearing an incident where i assisted Ypsi Twp Deputies on Concord // while leaving a vehicle pulled out in front of me from Bedford Dr. almost striking me // made a stop on the vehicle and driver had a warrant and was arrested // driver transported by Ypsi Twp.	16:30:00	19	2/17/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDHILLD	N HARRIS RD/E FOREST AVE	TRAFFIC STOP	240012567	YTPD UNITS CALLED FOR BACK ON A TS ON FOREST AND FORD. ON THE WAY YPT UNITS ARRIVED AND NO LONGER NEEDED OUT HELP. SAW IMPROPER PLATE AT THE GAS STATION ON HOLMES AND FORD. SGT PENNINGTON approved	00:50:00	10	2/18/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDYONOJ	INTERNATIONAL DR/GOLFSIDE RD	BACK-UP TRAFFIC STOP	240012771	b/u dep samaha 1/s x3 people per sgt williams	22:45:00	20	2/18/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDDUONGJ	TRILLIUM	BACKUP DISPATCHED CALLS	240013259	SUSPICIOUS / POSSIBLE B&E / YPSI UNITS TIED UP ON DISORDERLY / SUPERIOR UNITS TIED UP WITH ASSAULT ON BLVD / ONLY 1 YPSI UNIT AVAILABLE / PER SGT PENNINGTON	00:01:00	19	2/21/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDTRIPPB	CONCORD DR	BACKUP DISPATCHED CALLS	240013843	RESPONDED TO SHOOTING; CHECKED WELFARE OF RESIDENTS INSIDE DUE TO BEING CLOSEST UNIT; PER SGT BYNUM	02:55:00	30	2/23/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDCUSOJ	JEROME AVE/E FOREST AVE	BACKUP DISPATCHED CALLS	240014033	INJURY CRASH IN THE AREA AS I WAS IN ROUTE TO SUT. ENSURED SAFETY OF ALL OCCUPANTS UNTIL YPT UNITS ARRIVED, OK PER SGT. PENNINGTON	20:15:00	10	2/23/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDHALLR	E FOREST AVE	BACKUP DISPATCHED CALLS	240014208	BACK UP UNIT FOR FELONY ASSAULT- APPROVED BY SGT. HOGAN	15:30:00	10	2/24/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	PITTSFIELD TOWNSHIP	WDSAMAHAD	WASHTENAW AVE/HAWKS AVE	BACKUP DISPATCHED CALLS	240014540	SGT ERBES APPROVAL // ASSISTED WITH OWI TRANSLATION	23:30:00	61	2/25/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDSAMAHAD	INTERNATIONAL DR	BACKUP DISPATCHED CALLS	240014698	LFA IN PROGRESS NO BACK UP YPSI UNITS AVAILABLE // ASSISTED WITH SGT ARTS APPROVAL	16:45:00	15	2/26/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDKNOPW	VILLAGE LN	BACKUP DISPATCHED CALLS	240015051	Per Sgt Williams back up Ypsi twp units. subjects with 121s fleeing on foot	21:50:00	10	2/27/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	PITTSFIELD TOWNSHIP	WDSAMAHAD	WASHTENAW AVE/FOSTER AVE	BACKUP DISPATCHED CALLS	240015384	NEEDED ASSISTANCE WITH FEMALE SEARCH // SGT ARTS APPROVAL	10:20:00	10	2/29/2024
ANN ARBOR-SUPERIOR TWP COLLABORATION	YPSILANTI TWP	WDGERWIGB	HAYES ST/ECORSE ACCESS	BACK-UP TRAFFIC STOP	240015601	Dep. Gombos and Dep. Howard were fighting with a subject on a traffic stop // When I went arrival, they were able to get the subject arrested // subject had warrants // ok per Sgt. Pennington	23:03:00	5	2/29/2024
							Sum:	1,077	



Into Area Time Superior TWP

For: 02/01/2024 thru 02/29/2024



Patrol Area	Reporting Area	Username	Location	Activity Category	Incident Number	Comments	Start Time	Duration in Minutes	Start Date
YPSILANTI TWP	SUPERIOR TWP	WDHENDRICKSA	EVERGREEN LN/RIDGEVIEW	BACKUP DISPATCHED CALLS	240009198	people with a gun, only one superior unit was available, went per sgt houk	17:35:00	10	2/4/2024
YPSILANTI TWP	SUPERIOR TWP	WDPHILLPSA	MACARTHUR BLVD	BACKUP DISPATCHED CALLS	240009400	ast Deputy Clark, Lawrence Buckner was complainant. cleared with Sgt. Hogan.	14:15:00	30	2/5/2024
YPSILANTI TWP	SUPERIOR TWP	WDHEATHV	RIDGERD	BACKUP DISPATCHED CALLS	240009917	PHASE 2 ON CALLER CAME BACK TO ADDRESS IN YFT-- CHECKED AND NOTHING 202. APPROVED BY 627 HOUK	16:15:00	15	2/7/2024
YPSILANTI TWP	SUPERIOR TWP	WDSAMAHAD	PROSPECT RD/VREELAND RD	BACK-UP TRAFFIC STOP	240010247	SPANISH TRANSLATION // SGT WILLIAMS APPROVAL	21:15:00	15	2/8/2024
YPSILANTI TWP	SUPERIOR TWP	WDVANDERROESTB	PARKLAWN/ASPEN LN	BACKUP DISPATCHED CALLS	240011018	PER SGT PENNINGTON ASSIST SUP W/ SHOOTING INVESTIGATION	01:50:00	70	2/12/2024
YPSILANTI TWP	SUPERIOR TWP	WDCUSCJ	E AINSWORTH BLVD	FOLLOW-UP		CONTACT WITH POTENTIAL SUSPECT FROM A SHOOTING THAT JUST RECENTLY OCCURED (24-11018), OK PER SGT. PENNINGTON.	03:25:00	5	2/12/2024
YPSILANTI TWP	SUPERIOR TWP	WDVANDERROESTB	E AINSWORTH - NEEDS CHECKS	FOLLOW-UP		FOLLOW UP FOR SUP SHOOTING INVESTIGATION 24-11018 // SGT PENNINGTON	03:25:00	5	2/12/2024
YPSILANTI TWP	SUPERIOR TWP	WDHILLD	N HARRIS RD/GEDDES RD	BACKUP DISPATCHED CALLS	240011736	ON THE WAY TO STATION 2 FROM 6. WAS NEXT TO THE CALL. ON THE WAY TO 2 WHEN IT CAME OUT. HELD DOWN THE SCENE FOR SUT UNITS. SGT ERBES APPROVED	20:45:00	15	2/14/2024
YPSILANTI TWP	SUPERIOR TWP	WDHANNAHK	STAMFORD RD	BACKUP DISPATCHED CALLS	240013059	BACK UP 785 ON DISORDERLY. S1 STILL ON SCENE. NO OTHER SUP. TWP. UNITS AVAILABLE. PER SGT. HOGAN	09:45:00	60	2/20/2024
YPSILANTI TWP	SUPERIOR TWP	WDROBERTSG	STEPHENS DR/STAMFORD RD	K9 DETAIL	240013788	PSD TRACK FOR UDAA SUSPECT APV SGT BYNUM	21:15:00	60	2/22/2024
YPSILANTI TWP	SUPERIOR TWP	WDSAMAHAD	STEPHENS DR/STAMFORD RD	BACK-UP TRAFFIC STOP	240013788	SGT BYNUM // VEHICLE FLED // HELD PERIMETER	21:15:00	35	2/22/2024
YPSILANTI TWP	SUPERIOR TWP	WDTROWBRIDGEM	STEPHENS DR/STAMFORD RD	BACK-UP TRAFFIC STOP	240013788	BACKUP OTHER UNIT ON FLEE AND ELUDE	21:15:00	35	2/22/2024
YPSILANTI TWP	SUPERIOR TWP	WDZEHELD	STEPHENS DR/STAMFORD RD	BACK-UP TRAFFIC STOP	240013788	ASSIST DEP HOWARD WITH FLEEING & ELUDE / UDAA - PERIMETER UNIT - PER SGT BYNUM	21:20:00	30	2/22/2024
YPSILANTI TWP	SUPERIOR TWP	WDMCGRADYP	HEMLOCK CT/STEPHENS DR	BACKUP DISPATCHED CALLS	240014125	suspicious, sgt hogan approved	06:29:00	19	2/24/2024
YPSILANTI TWP	SUPERIOR TWP	WDPEARSONA	E HURON RIVER DR	BACKUP DISPATCHED CALLS	240014485	DEP SAMAHA; POSSIBLY KIDNAPPING; SGT HOGAN	18:15:00	15	2/25/2024
YPSILANTI TWP	SUPERIOR TWP	WDROYE	SUPERIOR RD/N HURON RIVER DR	BACKUP DISPATCHED CALLS	240014551	SENT TO BACK 788 ON A TRAFFIC STOP. DUE TO MULTIPLE OCCUPANTS AND SUSPICIOUS ACTIVITY APPROVED BY SGT ERBES	02:10:00	30	2/26/2024
YPSILANTI TWP	SUPERIOR TWP	WDROBERTSG	STEPHENS DR/STAMFORD RD	K9 DETAIL	240015042	AST WITH POSSIBLE FLEEING SUSPECT APV SGT BYNUM	21:10:00	30	2/27/2024
							Sum:	479	

MEMO

TO: Superior Charter Township Board of Trustees
FROM: Laura Bennett, Planning & Zoning Administrator
RE: Planning & Zoning Department Report
DATE: March 12, 2024

Prospect Pointe West Phase Two

Lombardo Homes has applied for Final Site Plan approval for Prospect Pointe West Phase Two. Phase Two consists of 45 lots. The Preliminary Site Plan for the entire four-phase site was approved in July of 2020. The project will consist of 157 single family homes across 66.84 net acres. The four phases consist of the following number of units:

- Phase 1 – 39 units
- Phase 2 – 45 units
- Phase 3 – 26 units
- Phase 4 – 47 units

In Other News

This will be my last Department Report as the Planning & Zoning Administrator; my last day with Superior Charter Township is Wednesday, March 20th. I thank the entire Board for their support during my career at the Township.



Utility Department Memorandum

To: Superior Township Board of Trustees
From: Mary Burton
Date: March 18, 2024
Re: Utility Department Report

- Tree Root Prevention:
Annual foaming for tree root overgrowth prevention into water and sewer mains will take place in April. Inspections will begin this month for mains that are under warranty.
- EPA Briefing:
The EPA hosted a Water & Wastewater Sector Threat Briefing on February 27th via Zoom. Items discussed included potential threats to critical infrastructure (cyber and physical), what to do in the event of a cyber or physical intrusion and water security/preparedness products and services.
- EGLE Reports:
2023 GLWA WAMR and Superior Twp Pumpage Report have been submitted to EGLE.
The 2023 Water Supply Cross Connection Report has been completed and will be submitted to EGLE by the end of March.
- Water Samples Taken:
Bacti samples and the Chlorine Residual readings were taken this month in Distribution 2 at sample location Geddes Site One and dropped off at Paragon Laboratories.
- Preventive Maintenance Work:
Exercising Gate Valves and bringing the valves that are below grade up to grade.

Weekly and Yearly Sewer Checks
Cedar Ct and Heather Ct had Slow Flowing Sewer Main on 3-8-24 that was found during our weekly sewer checks. Both Courts were Jetted with our Vactor Truck.

- Westridge Mobile Home Park main break
A water main break occurred in the Westridge Mobile Home Park on 3/9/24. The park was shut down for repairs and Westridge maintenance crews requested assistance from Superior Township Utility Department.

MARCH 2024 ASSESSING DEPARTMENT REPORT

For the month of February, the assessing department has been collecting and entering data that will be used for the 2024 tax bills. We all three attended our mandatory 4 hour State Tax Commission Update class at the Westland City Hall. Also, the 3 Board of Review members attended their mandatory update Board of Review class at Westland City Hall.

Some of the duties that were completed by the assessor (not a complete list):

- Checked the new construction for the year to confirm each assessment.
- Continuously fine-tuned the overall calculations with spreadsheets, to ensure that each taxpayer is properly assessed.
- Updated the assessment notice and entered the school district millage rates so they would show the amount of increase in taxes compared to 2023.
- Per state law, placed a public notice advertisement with MLIVE to appear for 3 consecutive weekends, and posted the same at the township regarding the March Board of Review.
- After an inspection of the Hyundai new construction \$51.4 million Safety Test and Investigation Laboratory (STIL), entered it into the BS&A software using blueprints and measurements.
- Entered 16 veteran exemptions which will exempt them from 2024 taxes.
- Reviewed the Trinity/St Joseph hospital tax exempt and not exempt statuses.
- Reviewed the Trinity/St Joseph Hospital personal property.
- Ran numerous reports to confirm accuracy of our database before notices were mailed.
- Sent our database to the County for them to check for errors.
- Mailed the real property and personal property assessment notices to the taxpayers.
- Sent a request to the county for them to create sales and economic condition factor maps for March Board of Review.
- Notified BS&A Software to change our website to show the 2024 assessed and taxable values.
- Continued to work on collecting the audit documentation so it will be ready when the state requests it.
- Checked and confirmed the 303 personal property statements before sending out notices.

The appraisers continued their work which will assist with setting the values for the 2024 tax year. Some of the duties that were completed by the appraisers (not a complete list):

- Entered and/or processed 303 personal property exemptions for the hospital, the commercial, and the industrial businesses.
- 14 final building inspections were completed, with interior inspections and exterior measurements.
- Finalized the partial building permits for percentages of completion so the values would be accurately added to the 2024 taxes.
- Accepted 12 Property Transfer Affidavits, Principal Residence Exemptions, Rescinds and address changes and then entered them into BS&A.
- Accepted 3 Veterans Exemptions at the counter.
- Advised and collected information for 2 poverty exemptions.
- Prepared an appointment schedule for residents that wish to attend the March Board of Review and began taking appointments.

- Assisted many residents that did not understand their assessment notice that they received. Explained the 5% inflation rate multiplier/consumer price index, and that the township cannot lower this 5% increase. Also explained that the assessed value adjusts up or down with the market values, by using 2 years of sales dated 4-1-2021 to 3-31-2023.
- Answered numerous accountants calls and emails regarding personal property. There were 14 statements that were late requiring contact to request a letter from each of them so we could take them to the Board of Review to approve the amounts submitted.

Thank you,

Paula Calopisis, Assessor



Memorandum

To: Township Board
 From: Keith Lockie
 Date: March 18, 2024
 Re: Controller's Report

A. Financial Statements
 Please see attached February Balance Sheets (incomplete).

B. Budget Amendments
 The 2024 Proposed Budget was presented to the board and the public for approval, which occurred. Then, in December the board changed budget items such as wellness bonus, trustee stipends, employee certifications and other salary changes when approving budget-related resolutions. These changes should have been recommended and made in October, when the public hearing was held.

The following budget amendments are primarily due to these changes plus anything else known at this time.

FUND	DEPT.	ACCT. #	DESCRIPTION	APPROVED AMOUNT	CHANGE +/-	AMENDED AMOUNT	REASON
Utility	600	601	Salaries	\$719,994	\$10,893	\$730,887	1,2
		602	Overtime Premium	10,533	873	11,406	1,3
		603	Taxable Benefits	57,884	20,511	78,395	1,3
		605	FICA	61,208	2,470	63,678	1,2,3,5
		607-D	Dental Ins. Prem.	10,063	(314)	9,749	4
		607-M	Medical Ins. Prem.	162,120	(8,655)	153,465	4
		607-V	Vision Ins. Prem.	2,382	(144)	2,238	4
		609	Pension	104,389	6,138	110,527	1,2,3
850	856	Transfer to Cap. Res.	333,489	(31,772)	301,717		

- 1 - Raises recognized
- 2 - Hours per week of controller lowered
- 3 - Certifications now recognized
- 4 - Actual insurance rates

5 - Wellness Bonus increase

Parks	752	703.001	Commission Stipends	\$20,053	\$195	\$20,248	1
		725.000	Taxable Benefits	16,344	1,959	18,303	2
		709.000	FICA	21,397	11	21,408	1,2,4
		840.002	Dental Ins. Prem.	728	(43)	685	3
		840.003	Vision Ins. Prem.	208	(19)	189	3
		840.004	Life Ins. Prem.	150	(14)	136	3
	000	699.999	Approp. From F. B.	5,000	2,089	7,089	

1 - Actual rates

2 - Certifications now recognized

3 - Actual insurance rates

5 - Wellness Bonus increase

GF	261	709.000	FICA	\$72,273	\$6,198	\$78,471	1,5
		715.000	Pension	132,928	14,111	147,039	1
		725.001	HCSP	39,162	3,600	42,762	1
		840.001	Medical Ins. Prem.	96,151	(23,323)	72,828	1,2
		840.002	Dental Ins. Prem.	9,997	(2,135)	7,862	1,2
		840.003	Vision Ins. Prem.	2,503	(515)	1,988	1,2
		840.004	Life Ins. Prem.	1,510	(137)	1,373	1,2
	257	725.000	Taxable Benefits	34,884	8,345	43,229	3
	215	703.000	Clerk Salary	90,680	8,723	99,403	4
		703.001	Salaries	133,848	(4,446)	129,402	1
		725.000	Taxable Benefits	6,649	6,104	12,753	1
	253	703.000	Treasurer's Salary	90,680	8,723	99,403	4
		725.000	Taxable Benefits	17,955	(9,300)	8,655	1
	101	703.000	B of Trustees Salary	27,000	14,500	41,500	6
	000	699.999	Approp. From F. B.	499,773	30,448	530,221	

1 - New employees

2 - Actual insurance rates

3 - Certifications now recognized

4 - Raises recognized

5 - Wellness Bonus increase

6 - Trustees rate increase

Building	371	709.000	FICA	\$15,504	\$226	\$15,730	1
		725.000	Taxable Benefits	26,531	2,954	29,485	2
		840.001	Medical Ins. Prem.	5,862	(242)	5,620	3
		840.002	Dental Ins. Prem.	1,094	(66)	1,028	3
		840.003	Vision Ins. Prem.	335	(30)	305	3
		840.004	Dental Ins. Prem.	300	(28)	272	3
	000	699.999	Approp. From F. B.	138,225	2,814	141,039	

1 - Wellness Bonus increase

2 - Insurance Status change

3 - Actual insurance rates

Fire	336	703.000	Salaries	\$1,012,360	(\$15,531)	\$996,829	1
		709.000	FICA	87,412	(1,983)	85,429	1
		715.000	Pension	242,224	(5,404)	236,820	1
		725.000	Taxable Benefits	191,477	(10,393)	181,084	1
		840.001	Medical Ins. Prem.	188,844	(19,921)	168,923	2
		840.002	Dental Ins. Prem.	15,358	(2,127)	13,231	2
		840.003	Vision Ins. Prem.	3,539	(562)	2,977	2
		840.004	Life Ins. Prem.	1,798	(155)	1,643	2
	965	965.000	Transfer to Bldg.	154,670	28,038	182,708	
		966.000	Transfer to Trucks	154,669	28,038	182,707	

1 - New employee

2 - Actual insurance rates

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Assets ***			
Cash			
101-000-001.001	CHASE 5503 - DAILY OPERATING CHECKING	836,093.16	179,389.45
101-000-001.002	HUNT 0768 CHK - GEDDES ROAD	12,161.17	12,249.80
101-000-001.003	HUNT 6873 HYB - FIRE INSURANCE WITHHOLD	9,657.32	9,657.32
101-000-001.004	COMERICA 9108 CHKG - CREDIT CARDS	5,874.59	6,377.06
101-000-001.005	COMERICA 5286 CHKG - ACCRUED ABSENCES	19,427.33	19,427.33
101-000-002.001	CHASE 5503 - NON-MOTORIZED TRAILS	30,659.02	0.00
101-000-002.002	COMERICA 6074 J-FUND GEDDES ROAD	200,791.63	24,050.88
101-000-003.001	90 DAY CD - CHASE	0.00	192,110.47
101-000-004.001	PETTY CASH	100.00	100.00
101-000-004.002	REGISTER DRAWER CASH	300.00	300.00
101-000-013.000-CTAP	CHASE 5503 - DAILY OPERATING CHECKING	38,729.50	0.00
101-000-017.001	CHASE 5503 - GOVERNMENT T-BILLS	594,461.75	589,806.56
101-000-017.002	COMERICA - GOVERNMENT T-BILLS	257,350.27	257,946.23
Cash		<u>2,005,605.74</u>	<u>1,291,415.10</u>
Accounts Receivable			
101-000-020.001	A/R - TAXROLL REVENUE	69,384.52	66,267.83
101-000-040.001	A/R - CABLE FEES AT&T AND COMCAST	195,000.00	6,516.93
101-000-040.002	A/R - OTHER	360,365.82	411,864.49
101-000-078.001	A/R - STATE OF MICHIGAN	0.00	264,379.00
101-000-078.003	A/R - STATE OF MICHIGAN EVIP	0.00	8,570.00
Accounts Receivable		<u>624,750.34</u>	<u>757,598.25</u>
Other Assets			
101-000-056.000	A/R - ACCRUED INCOME	0.00	917.96
101-000-123.000	PRE-PAID EXPENSES MISC.	187.56	1,898.71
101-000-123.050	PREPAID INSURANCE	12,009.88	37,277.57
101-000-126.000	UNREALIZED GAINS/LOSSES	12,291.37	48,478.84
Other Assets		<u>24,488.81</u>	<u>88,573.08</u>
Due From Other Funds			
101-000-084.206	DUE FROM FIRE FUND	1,497.08	540.12
101-000-084.211	DUE FROM LEGAL DEFENSE FUND	46,648.00	80,538.00
101-000-084.249	DUE FROM BUILDING FUND	0.00	71.97
101-000-084.464	DUE FROM ARPA FUND	600.00	0.00
101-000-084.508	DUE FROM PARK FUND	14.99	42.67
101-000-084.592	DUE FROM UTIL	1,689.03	841.02
101-000-084.703	DUE FROM TAX FUND-COLLECTED TAXES	14.11	14.11
101-000-084.704	DUE FROM PAYROLL FUND	5,344.66	4,937.77
Due From Other Funds		<u>55,807.87</u>	<u>86,985.66</u>
Total Assets		<u>2,710,652.76</u>	<u>2,224,572.09</u>
*** Liabilities ***			
Accounts Payable			
101-000-202.000	A/P - VENDORS	38,259.71	13,112.68
101-000-202.100	ACCRUED EXPENSES	12,012.50	0.00
101-000-202.200	A/P - CREDIT CARD ACCOUNT	2,384.32	3,201.69
101-000-202.300	A/P - AAATA CONTRACT	41,682.50	(8,819.57)
101-000-237.000	DUE TO OTHERS	2,149.50	0.00
Accounts Payable		<u>96,488.53</u>	<u>7,494.80</u>
Liabilities-ST			
101-000-237.001	FIRE INSURANCE WITHHOLD PROGRAM	9,500.00	9,500.00
Liabilities-ST		<u>9,500.00</u>	<u>9,500.00</u>
Liabilities-LT (under 1 year)			
101-000-360.000	DEFERRED REVENUE	0.00	668,378.97

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Liabilities ***			
	Liabilities-LT (under 1 year)	0.00	668,378.97
	Liabilities-LT (over 1 year)		
101-000-360.001	DEFERRED REVENUE PILOT	872.55	891.04
	Liabilities-LT (over 1 year)	872.55	891.04
Due To Other Funds			
101-000-214.206	DUE TO FIRE FUND	2,138.80	2,138.84
101-000-214.464	DUE TO ARPA FUND	18,234.50	0.00
101-000-214.704	DUE TO PAYROLL FUND	(35,785.98)	(125,028.87)
	Due To Other Funds	(15,412.68)	(122,890.03)
Total Liabilities		91,448.40	563,374.78
*** Fund Balance ***			
Unassigned			
101-000-390.000	FUND BALANCE - UNDESIGNATED	1,841,735.82	1,810,100.24
	Unassigned	1,841,735.82	1,810,100.24
Assigned			
101-000-385.001	FUND BALANCE - GEDDES ROAD	211,583.89	220,612.68
101-000-385.002	FUND BALANCE - NM TRAILS MAINT.	30,659.02	30,659.02
101-000-385.003	FUND BALANCE - RIGHT OF WAY	25,665.77	18,195.35
101-000-385.004	FUND BALANCE - ACCRUED ABSENCES	30,965.08	61,042.29
101-000-385.005	FUND BALANCE - TREE PRESERVATION FUND	0.00	247,500.00
	Assigned	298,873.76	578,009.34
Total Fund Balance		2,140,609.58	2,388,109.58
Beginning Fund Balance		2,140,609.58	2,388,109.58
Net of Revenues VS Expenditures - 2023			(199,643.15)
*2023 End FB/2024 Beg FB		2,188,466.43	
Net of Revenues VS Expenditures - Current Year		478,594.78	(527,269.12)
Ending Fund Balance		2,619,204.36	1,661,197.31
Total Liabilities And Fund Balance		2,710,652.76	2,224,572.09

* Year Not Closed

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Assets ***			
Cash			
203-000-001.001	CHASE 5503 - DAILY OPERATING CHECKING	15,149.51	10,664.87
203-000-003.001	90 DAY CD - CHASE	0.00	3,651.85
	Cash	<u>15,149.51</u>	<u>14,316.72</u>
Accounts Receivable			
203-000-020.000	A/R - TAXROLL REVENUE	23,517.00	23,517.00
	Accounts Receivable	<u>23,517.00</u>	<u>23,517.00</u>
	Total Assets	<u>38,666.51</u>	<u>37,833.72</u>
*** Liabilities ***			
Accounts Payable			
	Accounts Payable	<u>0.00</u>	<u>0.00</u>
Liabilities-LT (under 1 year)			
203-000-360.000	DEFERRED REVENUE	0.00	23,517.00
	Liabilities-LT (under 1 year)	<u>0.00</u>	<u>23,517.00</u>
	Total Liabilities	<u>0.00</u>	<u>23,517.00</u>
*** Fund Balance ***			
Unassigned			
203-000-390.000	FUND BALANCE - UNDESIGNATED	15,104.49	15,104.49
	Unassigned	<u>15,104.49</u>	<u>15,104.49</u>
	Total Fund Balance	<u>15,104.49</u>	<u>15,104.49</u>
	Beginning Fund Balance	15,104.49	15,104.49
	Net of Revenues VS Expenditures - 2023		(787.77)
	*2023 End FB/2024 Beg FB	14,316.72	
	Net of Revenues VS Expenditures - Current Year	23,562.02	0.00
	Ending Fund Balance	38,666.51	14,316.72
	Total Liabilities And Fund Balance	38,666.51	37,833.72

* Year Not Closed

COMPARATIVE BALANCE SHEET FOR SUPERIOR TOWNSHIP
 PREPARED BY: KEITH LOCKIE, CONTROLLER
 PRE-AUDIT - INCOMPLETE
 Fund 206 FIRE OPERATING FUND

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Assets ***			
Cash			
206-000-001.001	HUNT 6014 - DAILY OPERATING CHECKING	(206,093.23)	1,339,883.17
206-000-002.001	COMERICA 5587 J-FUND - ACCRUED ABSENCES	436,179.82	452,626.93
206-000-002.002	COMERICA 5588 J-FUND - DAILY OPERATING	932,495.79	631,911.39
206-000-013.000-AFG9	HUNT 6014 - DAILY OPERATING CHECKING	113,082.17	0.00
206-000-013.000-RITF	FM 6709 - DAILY OPERATING CHECKING	347,542.68	0.00
206-000-013.000-SAFE	HUNT 6014 - DAILY OPERATING CHECKING	555,235.90	0.00
206-000-013.000-SCBA	HUNT 6014 - DAILY OPERATING CHECKING	1,243,415.02	0.00
206-000-016.000-AFGT	COMERICA 9652 MM - DAILY OPERATING	(323,546.00)	0.00
206-000-017.001	HUNT 6014 - GOVERNMENT T-BILLS	680,950.36	710,325.25
206-000-017.002	COMERICA - GOVERNMENT T-BILLS	712,475.27	714,125.22
	Cash	4,491,737.78	3,848,871.96
Accounts Receivable			
206-000-020.000	A/R - TAXROLL REVENUE	300,041.62	295,523.91
	Accounts Receivable	300,041.62	295,523.91
Other Assets			
206-000-056.000	A/R - ACCRUED INCOME	0.00	4,777.95
206-000-123.000	PRE-PAID EXPENSES MISC.	299.15	603,066.95
206-000-123.050	PREPAID INSURANCE	34,843.10	106,575.67
206-000-126.000	UNREALIZED GAINS/LOSSES	2,137.10	30,208.87
	Other Assets	37,279.35	744,629.44
Due From Other Funds			
206-000-084.101	DUE FROM GENERAL FUND	2,138.80	0.00
	Due From Other Funds	2,138.80	0.00
	Total Assets	4,831,197.55	4,889,025.31
*** Liabilities ***			
Accounts Payable			
206-000-202.000	A/P - VENDORS	3,023.65	12,939.29
	Accounts Payable	3,023.65	12,939.29
Liabilities-ST			
	Liabilities-ST	0.00	0.00
Liabilities-LT (under 1 year)			
	Liabilities-LT (under 1 year)	0.00	0.00
Liabilities-LT (over 1 year)			
206-000-339.000	DEFERRED REVENUE	0.00	2,933,144.45
206-000-339.001	DEFERRED REVENUE PILOT	3,772.55	3,852.89
	Liabilities-LT (over 1 year)	3,772.55	2,936,997.34
Due To Other Funds			
206-000-214.101	DUE TO GENERAL FUND	1,594.16	(2,051.79)
206-000-214.704	DUE TO PAYROLL FUND	(60,757.89)	(248,198.08)
	Due To Other Funds	(59,163.73)	(250,249.87)
	Total Liabilities	(52,367.53)	2,699,686.76

*** Fund Balance ***

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Fund Balance ***			
Unassigned			
206-000-390.000	FUND BALANCE - UNDESIGNATED	1,559,209.73	1,637,127.66
	Unassigned	<u>1,559,209.73</u>	<u>1,637,127.66</u>
Assigned			
206-000-385.000	FUND BALANCE - BUILDING RESERVE	471,875.84	471,875.84
206-000-385.001	FUND BALANCE - TRUCK RESERVE	52,308.39	12,084.19
206-000-385.002	FUND BALANCE - ACCRUED ABSENCES	534,206.68	496,512.95
206-000-385.003	FUND BALANCE - BOND PAYMENT RESERVE	123,160.30	123,160.30
	Assigned	<u>1,181,551.21</u>	<u>1,103,633.28</u>
Total Fund Balance		<u>2,740,760.94</u>	<u>2,740,760.94</u>
Beginning Fund Balance		2,740,760.94	2,740,760.94
Net of Revenues VS Expenditures - 2023			(227,774.69)
*2023 End FB/2024 Beg FB		2,512,986.25	
Net of Revenues VS Expenditures - Current Year		2,142,804.14	(323,647.70)
Ending Fund Balance		4,883,565.08	2,189,338.55
Total Liabilities And Fund Balance		4,831,197.55	4,889,025.31

* Year Not Closed

COMPARATIVE BALANCE SHEET FOR SUPERIOR TOWNSHIP
 PREPARED BY: KEITH LOCKIE, CONTROLLER
 PRE-AUDIT - INCOMPLETE
 Fund 211 LEGAL DEFENSE FUND

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Assets ***			
Cash			
211-000-001.001	CHASE 5503 - DAILY OPERATING CHECKING	13,054.61	2,232.97
211-000-003.001	90 DAY CD - CHASE	0.00	1,423.10
211-000-017.001	CHASE 5503 - GOVERNMENT T-BILLS	255,962.50	253,958.10
	Cash	<u>269,017.11</u>	<u>257,614.17</u>
Other Assets			
211-000-126.000	UNREALIZED GAINS/LOSSES	4,959.97	16,175.53
	Other Assets	<u>4,959.97</u>	<u>16,175.53</u>
	Total Assets	<u>273,977.08</u>	<u>273,789.70</u>
*** Liabilities ***			
Accounts Payable			
	Accounts Payable	<u>0.00</u>	<u>0.00</u>
Other Liabilities			
211-000-202.001	A/P - VENDORS	4,790.00	0.00
	Other Liabilities	<u>4,790.00</u>	<u>0.00</u>
Due To Other Funds			
211-000-214.101	DUE TO GENERAL FUND	46,648.00	80,538.00
	Due To Other Funds	<u>46,648.00</u>	<u>80,538.00</u>
	Total Liabilities	<u>51,438.00</u>	<u>80,538.00</u>
*** Fund Balance ***			
Unassigned			
211-000-390.000	FUND BALANCE - UNDESIGNATED	225,753.34	225,753.34
	Unassigned	<u>225,753.34</u>	<u>225,753.34</u>
	Total Fund Balance	<u>225,753.34</u>	<u>225,753.34</u>
	Beginning Fund Balance	225,753.34	225,753.34
	Net of Revenues VS Expenditures - 2023		(32,501.64)
	*2023 End FB/2024 Beg FB	193,251.70	
	Net of Revenues VS Expenditures - Current Year	(3,214.26)	0.00
	Ending Fund Balance	222,539.08	193,251.70
	Total Liabilities And Fund Balance	273,977.08	273,789.70

* Year Not Closed

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Assets ***			
Cash			
219-000-001.000	CHASE 5503 - DAILY OPERATING CHECKING	26,474.21	0.00
219-000-001.001	CHASE 5503 - DAILY OPERATING CHECKING	0.00	(8,991.37)
219-000-003.001	90 DAY CD - CHASE	0.00	28,668.54
	Cash	<u>26,474.21</u>	<u>19,677.17</u>
Accounts Receivable			
219-000-020.000	A/R - TAXROLL REVENUE	81,712.03	87,411.98
	Accounts Receivable	<u>81,712.03</u>	<u>87,411.98</u>
Other Assets			
	Other Assets	<u>0.00</u>	<u>0.00</u>
Due From Other Funds			
	Due From Other Funds	<u>0.00</u>	<u>0.00</u>
	Total Assets	<u>108,186.24</u>	<u>107,089.15</u>
*** Liabilities ***			
Accounts Payable			
219-000-202.000	A/P - VENDORS	7,753.25	8,380.35
	Accounts Payable	<u>7,753.25</u>	<u>8,380.35</u>
Liabilities-LT (under 1 year)			
	Liabilities-LT (under 1 year)	<u>0.00</u>	<u>0.00</u>
Due To Other Funds			
	Due To Other Funds	<u>0.00</u>	<u>0.00</u>
	Total Liabilities	<u>7,753.25</u>	<u>8,380.35</u>
*** Fund Balance ***			
Unassigned			
219-000-390.000	FUND BALANCE - UNDESIGNATED	116,017.61	116,017.61
	Unassigned	<u>116,017.61</u>	<u>116,017.61</u>
	Total Fund Balance	<u>116,017.61</u>	<u>116,017.61</u>
	Beginning Fund Balance	116,017.61	116,017.61
	Net of Revenues VS Expenditures - 2023		(333.12)
	*2023 End FB/2024 Beg FB	115,684.49	
	Net of Revenues VS Expenditures - Current Year	(15,584.62)	(16,975.69)
	Ending Fund Balance	100,432.99	98,708.80
	Total Liabilities And Fund Balance	108,186.24	107,089.15

* Year Not Closed

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Assets ***			
Cash			
249-000-001.001	CHASE 5503 - DAILY OPERATING CHECKING	237,313.35	120,539.18
249-000-001.002	CHASE 5503 - ACCRUE ABSENCES	20,374.56	0.00
249-000-003.001	90 DAY CD - CHASE	0.00	74,325.16
249-000-004.001	PETTY CASH	100.00	100.00
249-000-017.001	CHASE 5503 - GOVERNMENT T-BILLS	238,350.88	236,484.10
249-000-017.002	COMERICA - GOVERNMENT T-BILLS	307,704.23	308,416.79
Cash		<u>803,843.02</u>	<u>739,865.23</u>
Accounts Receivable			
Accounts Receivable		<u>0.00</u>	<u>0.00</u>
Other Assets			
249-000-123.050	PREPAID INSURANCE	143.84	2,224.26
249-000-126.000	UNREALIZED GAINS/LOSSES	5,542.40	28,111.14
Other Assets		<u>5,686.24</u>	<u>30,335.40</u>
Due From Other Funds			
Due From Other Funds		<u>0.00</u>	<u>0.00</u>
Total Assets		<u>809,529.26</u>	<u>770,200.63</u>
*** Liabilities ***			
Accounts Payable			
249-000-202.000	A/P - VENDORS	(2,739.07)	699.21
Accounts Payable		<u>(2,739.07)</u>	<u>699.21</u>
Due To Other Funds			
249-000-214.101	DUE TO GENERAL FUND	0.00	(662.71)
249-000-214.704	DUE TO PAYROLL FUND	(7,083.30)	(18,574.56)
Due To Other Funds		<u>(7,083.30)</u>	<u>(19,237.27)</u>
Total Liabilities		<u>(9,822.37)</u>	<u>(18,538.06)</u>
*** Fund Balance ***			
Unassigned			
249-000-390.000	FUND BALANCE - UNDESIGNATED	836,558.30	832,393.58
Unassigned		<u>836,558.30</u>	<u>832,393.58</u>
Assigned			
249-000-385.000	FUND BALANCE - ACCRUED ABSENCES	2,405.60	6,570.32
Assigned		<u>2,405.60</u>	<u>6,570.32</u>
Total Fund Balance		<u>838,963.90</u>	<u>838,963.90</u>
Beginning Fund Balance		838,963.90	838,963.90
Net of Revenues VS Expenditures - 2023			(58,856.57)
*2023 End FB/2024 Beg FB		780,107.33	
Net of Revenues VS Expenditures - Current Year		(19,612.27)	8,631.36
Ending Fund Balance		819,351.63	788,738.69
Total Liabilities And Fund Balance		809,529.26	770,200.63

COMPARATIVE BALANCE SHEET FOR SUPERIOR TOWNSHIP
PREPARED BY: KEITH LOCKIE, CONTROLLER
PRE-AUDIT - INCOMPLETE
Fund 249 BUILDING

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
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* Year Not Closed

COMPARATIVE BALANCE SHEET FOR SUPERIOR TOWNSHIP
 PREPARED BY: KEITH LOCKIE, CONTROLLER
 PRE-AUDIT - INCOMPLETE
 Fund 266 LAW ENFORCEMENT FUND

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Assets ***			
Cash			
266-000-001.001	CHASE 5503 - DAILY OPERATING CHECKING	1,999,925.31	2,217,764.46
266-000-003.001	90 DAY CD - CHASE	0.00	662,630.33
266-000-017.001	CHASE 5503 - GOVERNMENT T-BILLS	1,154,972.64	1,145,926.60
266-000-017.002	COMERICA - GOVERNMENT T-BILLS	406,582.08	407,523.63
	Cash	<u>3,561,480.03</u>	<u>4,433,845.02</u>
Accounts Receivable			
266-000-020.000	A/R - TAXROLL REVENUE	235,749.99	232,196.13
266-000-040.000	A/R - OTHER	0.00	164.00
266-000-040.002	A/R - SYCAMORE REG PATROLS	33,439.96	(9,430.24)
266-000-040.003	A/R - DANBURY REG PATROLS	57,706.40	28,853.20
266-000-040.004	A/R - ST JOE HOSPITAL REG PATROLS	10,040.00	(11,080.00)
	Accounts Receivable	<u>336,936.35</u>	<u>240,703.09</u>
Other Assets			
266-000-123.050	PREPAID INSURANCE	1,000.00	1,200.00
266-000-126.000	UNREALIZED GAINS/LOSSES	23,827.53	90,463.74
	Other Assets	<u>24,827.53</u>	<u>91,663.74</u>
Due From Other Funds			
266-000-084.703	DUE FROM TAX FUND-COLLECTED TAXES	0.00	33,848.64
	Due From Other Funds	<u>0.00</u>	<u>33,848.64</u>
	Total Assets	<u>3,923,243.91</u>	<u>4,800,060.49</u>
*** Liabilities ***			
Accounts Payable			
266-000-202.000	A/P - VENDORS	2,462.17	2,771.18
	Accounts Payable	<u>2,462.17</u>	<u>2,771.18</u>
Liabilities-ST			
	Liabilities-ST	<u>0.00</u>	<u>0.00</u>
Liabilities-LT (over 1 year)			
266-000-339.000	DEFERRED REVENUE	0.00	2,304,604.82
266-000-339.001	DEFERRED REVENUE PILOT	2,964.20	3,027.31
	Liabilities-LT (over 1 year)	<u>2,964.20</u>	<u>2,307,632.13</u>
Due To Other Funds			
266-000-214.704	DUE TO PAYROLL FUND	0.00	(515.86)
	Due To Other Funds	<u>0.00</u>	<u>(515.86)</u>
	Total Liabilities	<u>5,426.37</u>	<u>2,309,887.45</u>
*** Fund Balance ***			
Unassigned			
266-000-390.000	FUND BALANCE - UNDESIGNATED	1,998,574.07	1,998,574.07
	Unassigned	<u>1,998,574.07</u>	<u>1,998,574.07</u>
	Total Fund Balance	<u>1,998,574.07</u>	<u>1,998,574.07</u>

User: NANCY

PREPARED BY: KEITH LOCKIE, CONTROLLER

DB: Superior Twp

PRE-AUDIT - INCOMPLETE

Fund 266 LAW ENFORCEMENT FUND

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
	Beginning Fund Balance	1,998,574.07	1,998,574.07
	Net of Revenues VS Expenditures - 2023		791,944.80
	*2023 End FB/2024 Beg FB	2,790,518.87	
	Net of Revenues VS Expenditures - Current Year	1,919,243.47	(300,345.83)
	Ending Fund Balance	3,917,817.54	2,490,173.04
	Total Liabilities And Fund Balance	3,923,243.91	4,800,060.49

* Year Not Closed

COMPARATIVE BALANCE SHEET FOR SUPERIOR TOWNSHIP
 PREPARED BY: KEITH LOCKIE, CONTROLLER
 PRE-AUDIT - INCOMPLETE
 Fund 464 AMERICAN RESCUE PLAN ACT (ARPA)

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Assets ***			
Cash			
464-000-001.001	HUNT 4758 CHK - OPERATING	1,475,563.40	330,127.49
464-000-003.002	HUNTINGTON 9243- CD	0.00	1,000,000.00
	Cash	<u>1,475,563.40</u>	<u>1,330,127.49</u>
Accounts Receivable			
	Accounts Receivable	<u>0.00</u>	<u>0.00</u>
Due From Other Funds			
464-000-085.101	DUE FROM GENERAL FUND	18,234.50	0.00
	Due From Other Funds	<u>18,234.50</u>	<u>0.00</u>
	Total Assets	<u>1,493,797.90</u>	<u>1,330,127.49</u>
*** Liabilities ***			
Accounts Payable			
464-000-202.000	A/P - VENDORS	0.00	310.00
	Accounts Payable	<u>0.00</u>	<u>310.00</u>
Liabilities-LT (over 1 year)			
464-000-339.000	DEFERRED REVENUE	1,491,637.52	1,321,403.02
	Liabilities-LT (over 1 year)	<u>1,491,637.52</u>	<u>1,321,403.02</u>
Due To Other Funds			
464-000-214.101	DUE TO GENERAL FUND	200.00	0.00
	Due To Other Funds	<u>200.00</u>	<u>0.00</u>
	Total Liabilities	<u>1,491,837.52</u>	<u>1,321,713.02</u>
*** Fund Balance ***			
Unassigned			
464-000-390.000	FUND BALANCE - UNDESIGNATED	1,452.32	1,452.32
	Unassigned	<u>1,452.32</u>	<u>1,452.32</u>
Assigned			
	Assigned	<u>0.00</u>	<u>0.00</u>
	Total Fund Balance	<u>1,452.32</u>	<u>1,452.32</u>
	Beginning Fund Balance	1,452.32	1,452.32
	Net of Revenues VS Expenditures - 2023		7,272.15
	*2023 End FB/2024 Beg FB	8,724.47	
	Net of Revenues VS Expenditures - Current Year	508.06	(310.00)
	Ending Fund Balance	1,960.38	8,414.47
	Total Liabilities And Fund Balance	1,493,797.90	1,330,127.49

* Year Not Closed

COMPARATIVE BALANCE SHEET FOR SUPERIOR TOWNSHIP
 PREPARED BY: KEITH LOCKIE, CONTROLLER
 PRE-AUDIT - INCOMPLETE
 Fund 508 PARKS & RECREATION

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Assets ***			
Cash			
508-000-001.001	CHASE 5503 - DAILY OPERATING CHECKING	67,225.02	45,815.95
508-000-001.002	CHASE 5503 - ACCRUED ABSENCES	3,577.69	0.00
508-000-003.001	90 DAY CD - CHASE	0.00	48,515.55
508-000-013.000-BHCG	DAILY OPERATING CHECKING	44,212.87	0.00
508-000-017.001	CHASE 5503 - GOVERNMENT T-BILLS	68,486.69	67,952.55
508-000-017.002	COMERICA - GOVERNMENT T-BILLS	402,535.00	403,467.18
	Cash	<u>586,037.27</u>	<u>565,751.23</u>
Accounts Receivable			
	Accounts Receivable	<u>0.00</u>	<u>0.00</u>
Other Assets			
508-000-123.050	PREPAID INSURANCE	6,991.62	10,910.21
508-000-126.000	UNREALIZED GAINS/LOSSES	2,529.08	21,377.67
	Other Assets	<u>9,520.70</u>	<u>32,287.88</u>
Due From Other Funds			
	Due From Other Funds	<u>0.00</u>	<u>0.00</u>
	Total Assets	<u>595,557.97</u>	<u>598,039.11</u>
*** Liabilities ***			
Accounts Payable			
508-000-202.000	A/P - VENDORS	222.49	2,051.77
	Accounts Payable	<u>222.49</u>	<u>2,051.77</u>
Liabilities-ST			
	Liabilities-ST	<u>0.00</u>	<u>0.00</u>
Liabilities-LT (under 1 year)			
	Liabilities-LT (under 1 year)	<u>0.00</u>	<u>0.00</u>
Other Liabilities			
	Other Liabilities	<u>0.00</u>	<u>0.00</u>
Due To Other Funds			
508-000-214.101	DUE TO GENERAL FUND	14.99	(87.91)
508-000-214.592	DUE TO UTILITY FUND	49.79	0.00
508-000-214.704	DUE TO PAYROLL FUND	(7,145.10)	(17,926.03)
	Due To Other Funds	<u>(7,080.32)</u>	<u>(18,013.94)</u>
	Total Liabilities	<u>(6,857.83)</u>	<u>(15,962.17)</u>
*** Fund Balance ***			
Unassigned			
508-000-390.000	FUND BALANCE - UNDESIGNATED	184,841.14	176,196.16
	Unassigned	<u>184,841.14</u>	<u>176,196.16</u>
Assigned			
508-000-385.000	FUND BALANCE - BUILDING RESERVE	401,730.53	401,730.53
508-000-385.001	FUND BALANCE - ACCRUED ABSENCES	10,911.90	19,556.88

COMPARATIVE BALANCE SHEET FOR SUPERIOR TOWNSHIP
 PREPARED BY: KEITH LOCKIE, CONTROLLER
 PRE-AUDIT - INCOMPLETE
 Fund 508 PARKS & RECREATION

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Fund Balance ***			
508-000-385.002	FUND BALANCE - SCHROETER	2,550.00	2,550.00
	Assigned	415,192.43	423,837.41
	Restricted		
	Restricted	0.00	0.00
	Total Fund Balance	600,033.57	600,033.57
	Beginning Fund Balance	600,033.57	600,033.57
	Net of Revenues VS Expenditures - 2023		44,036.89
	*2023 End FB/2024 Beg FB	644,070.46	
	Net of Revenues VS Expenditures - Current Year	2,382.23	(30,069.18)
	Ending Fund Balance	602,415.80	614,001.28
	Total Liabilities And Fund Balance	595,557.97	598,039.11

* Year Not Closed

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Assets ***			
Cash			
701-000-001.001	CHASE 5503 - DAILY OPERATING CHECKING	874,784.14	419,484.06
	Cash	<u>874,784.14</u>	<u>419,484.06</u>
Accounts Receivable			
	Accounts Receivable	<u>0.00</u>	<u>0.00</u>
Other Assets			
	Other Assets	<u>0.00</u>	<u>0.00</u>
Due From Other Funds			
701-000-084.703	DUE FROM TAX FUND	75.37	7.03
	Due From Other Funds	<u>75.37</u>	<u>7.03</u>
	Total Assets	<u>874,859.51</u>	<u>419,491.09</u>
*** Liabilities ***			
Accounts Payable			
701-000-202.000	A/P - VENDORS	21,387.50	31,434.50
	Accounts Payable	<u>21,387.50</u>	<u>31,434.50</u>
Liabilities-ST			
701-000-283.035	DELINQUENT PERSONAL/MANUF PROP TAX	17,188.37	20,452.78
701-000-283.038	ARBOR HILLS PERFORMANCE BOND	130,000.00	15,000.00
	Liabilities-ST	<u>147,188.37</u>	<u>35,452.78</u>
Other Liabilities			
701-000-283.001	9220 FORD ROAD WETLAND ESCROW	675.00	675.00
701-000-283.002	CONSTRUCTION BONDS	16,000.00	8,000.00
701-000-283.003	DG RES.-WOODSIDE VILLAGE SURETY BOND	40,000.00	40,000.00
701-000-283.004	WOODSIDE VILLAGE	8,215.00	1,199.25
701-000-283.007	TEMPORARY OCCUPANCY	4,160.00	4,160.00
701-000-283.008	HYUNDAI SITE EXPANSION	109,887.25	28,922.50
701-000-283.010	SELECTIVE GROUP 2003 UNCLAIMED BOND	42,000.00	42,000.00
701-000-283.011	GLEN OAKS COOPERATIVE OFFICE ADDITION	(148.00)	(148.00)
701-000-283.012	HAWTHORNE MILL AREA PLAN	1,100.00	(3,786.00)
701-000-283.013	ARBOR HILLS ANIMAL CLINIC CUP	12,846.75	3,509.50
701-000-283.014	YPSI DISTRICT LIBRARY SUPERIOR BRANCH	3,396.75	1,859.00
701-000-283.015	PROSPECT POINTE WEST - FINAL SITE PLAN	25,853.50	23,721.25
701-000-283.016	PROSPECT POINTE WEST ENGINEERING	5,352.50	5,352.50
701-000-283.017	SUTTON RIDGE M & G BOND	308,270.00	0.00
701-000-283.018	HSHV SHED ADDITION	1,363.75	1,363.75
701-000-283.019	KINSLEY DEVELOPMENT	327.25	11,957.77
701-000-283.020	DIXBORO HOUSE RESTAURANT	1,578.00	1,578.00
701-000-283.021	CR DEVCO - PROSPECT & BERKSHIRE	7.50	7.50
701-000-283.022	HYUNDAI PARKING LOT 2021	7,605.00	7,605.00
701-000-283.023	BROMLEY PARK CONDOS	1,122.50	1,122.50
701-000-283.024	THE MEADOWS	37,166.75	26,827.25
701-000-283.025	AUTUMN WOODS ESCROW	1,788.92	1,788.92
701-000-283.026	HUMANE SOCIETY PARKING LOT	3,919.00	3,919.00
701-000-283.027	DG RES. (MCTAVISH) BROOKSIDE 3 TREE BOND	10,000.00	10,000.00
701-000-283.028	DG RES. (MCTAVISH) BROOKSIDE 3 UTIL. BOND	34,630.00	34,630.00
701-000-283.029	SJM THE FARM AT ST JOES	(1,444.50)	(1,860.75)
701-000-283.030	JACK SMILY WETLAND MITIGATION 2016	875.00	0.00
701-000-283.031	TAX COLLECTION 2020	2,020.72	2,020.72
701-000-283.032	CLOVER GROUP	80.00	80.00
701-000-283.036	GARRETT'S SPACE	0.00	(737.50)
701-000-283.039	5288 GEDDES ED WATER MAIN	0.00	15,528.75
701-000-283.040	TEMPORARY BOND SIGNS	0.00	500.00
701-000-283.041	BROOKWOOD	0.00	(441.00)

COMPARATIVE BALANCE SHEET FOR SUPERIOR TOWNSHIP
 PREPARED BY: KEITH LOCKIE, CONTROLLER
 PRE-AUDIT - INCOMPLETE
 Fund 701 TRUST AND AGENCY

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Liabilities ***			
701-000-283.042	HURON GASTRO SIGN	2,500.00	0.00
701-000-283.044	HURON DENTAL	5,135.00	41,144.00
701-000-283.045	PLYMOUTH & NAPIER REZONING	0.00	440.00
701-000-283.046	PPW PH 1 UTILITY REPAIR BOND	0.00	39,215.00
	Other Liabilities	686,283.64	352,153.91
Due To Other Funds			
701-000-283.000	PPW PERFORMANCE GUARANTEE	20,000.00	0.00
701-000-283.033	DUE TO GENERAL FUND	0.00	449.90
	Due To Other Funds	20,000.00	449.90
	Total Liabilities	874,859.51	419,491.09
*** Fund Balance ***			
Unassigned			
	Unassigned	0.00	0.00
	Total Fund Balance	0.00	0.00
	Beginning Fund Balance	0.00	0.00
	Net of Revenues VS Expenditures - 2023		0.00
	*2023 End FB/2024 Beg FB	0.00	
	Net of Revenues VS Expenditures - Current Year	0.00	0.00
	Ending Fund Balance	0.00	0.00
	Total Liabilities And Fund Balance	874,859.51	419,491.09

* Year Not Closed

COMPARATIVE BALANCE SHEET FOR SUPERIOR TOWNSHIP
 PREPARED BY: KEITH LOCKIE, CONTROLLER
 PRE-AUDIT - INCOMPLETE
 Fund 704 PAYROLL FUND

GL Number	Description	PERIOD ENDED 02/28/2023	PERIOD ENDED 02/29/2024
*** Assets ***			
Cash			
704-000-007.000	HUNT 9485 CHECKING	208,011.65	369,551.58
	Cash	<u>208,011.65</u>	<u>369,551.58</u>
Accounts Receivable			
	Accounts Receivable	<u>0.00</u>	<u>0.00</u>
Other Assets			
	Other Assets	<u>0.00</u>	<u>0.00</u>
Due From Other Funds			
704-000-085.101	DUE FROM GENERAL FUND	(35,785.98)	(13,848.83)
704-000-085.206	DUE FROM FIRE FUND	(60,757.89)	(38,378.47)
704-000-085.249	DUE FROM BUILDING FUND	(7,083.30)	(2,920.35)
704-000-085.508	DUE FROM PARK FUND	(7,145.10)	(2,004.86)
704-000-085.592	DUE FROM UTIL	(25,620.45)	(10,441.08)
	Due From Other Funds	<u>(136,392.72)</u>	<u>(67,593.59)</u>
	Total Assets	<u>71,618.93</u>	<u>301,957.99</u>
*** Liabilities ***			
Accounts Payable			
704-000-259.003	DUE TO HCSP NON-UNION - EMPLOYEE	3,155.04	8,692.87
704-000-259.004	DUE TO HCSP FIRE UNION - EMPLOYEE	2,090.69	5,374.22
704-000-259.005	DUE TO HCSP-NON-UNION-EMPLOYER	3,126.50	6,000.00
704-000-259.006	DUE TO HCSP - UNION - EMPLOYER	3,600.00	3,600.00
704-000-262.000	DUE TO JOHN HANCOCK-EMPLOYEE	892.09	3,187.46
704-000-262.001	DUE TO JOHN HANCOCK-EMPLOYER	1,784.18	2,219.98
704-000-262.002	DUE TO MERS #1 FIRE MERS-EMPLOYEE	5,576.98	19,220.99
704-000-262.003	DUE TO MERS#1 FIRE -EMPLOYER	20,290.94	23,359.69
704-000-262.004	DUE TO MERS#2-EMPLOYEE	5,981.87	16,534.75
704-000-262.005	DUE TO MERS#2-EMPLOYER	19,775.98	20,292.45
704-000-263.000	DUE TO HEALTH EQUITY	0.00	(178.50)
	Accounts Payable	<u>66,274.27</u>	<u>108,303.91</u>
Liabilities-ST			
704-000-228.002	STATE WITHHOLDING	0.00	21,163.96
704-000-229.000	FEDERAL & FICA 941 TAXES	0.00	167,552.35
	Liabilities-ST	<u>0.00</u>	<u>188,716.31</u>
Due To Other Funds			
704-000-214.101	DUE TO GENERAL FUND	5,344.66	4,937.77
	Due To Other Funds	<u>5,344.66</u>	<u>4,937.77</u>
	Total Liabilities	<u>71,618.93</u>	<u>301,957.99</u>
	Beginning Fund Balance	0.00	0.00
	Net of Revenues VS Expenditures - 2023		0.00
	*2023 End FB/2024 Beg FB	0.00	
	Net of Revenues VS Expenditures - Current Year	0.00	0.00
	Ending Fund Balance	0.00	0.00
	Total Liabilities And Fund Balance	<u>71,618.93</u>	<u>301,957.99</u>

* Year Not Closed

9:58 AM

Superior Township Utility Department

03/12/24

Balance Sheet

Accrual Basis

INCOMPLETE

	Feb 29, 24	Jan 31, 24	Feb 28, 23
ASSETS			
Current Assets			
Checking/Savings			
100 · CASH - O&M			
101 · Checking - Chase 205000485529	787,321.64	853,779.00	569,879.54
104 · O&M Petty Cash	100.00	100.00	100.00
Total 100 · CASH - O&M	787,421.64	853,879.00	569,979.54
120 · CASH - CAPITAL RESERVE			
125 · CR Chkg. - Chase 639918234	1,537,536.79	1,634,306.15	1,806,088.04
1251 · CR Checking-Huntington Bank4855	94,831.68	94,831.68	4,323.95
1252 · CD - Huntington - CR	1,600,000.00	1,600,000.00	
Total 120 · CASH - CAPITAL RESERVE	3,232,368.47	3,329,137.83	1,810,411.99
140 · CASH - DEBT SERVICE RESERVE			
147 · T Bills - Huntington Bank-5151	468,334.27	468,334.27	2,106,276.78
Total 140 · CASH - DEBT SERVICE RESE...	468,334.27	468,334.27	2,106,276.78
Total Checking/Savings	4,488,124.38	4,651,351.10	4,486,668.31
Accounts Receivable			
160 · A/R - Due From Other Funds			
160-GF · Due From General Fund		20.04	20.00
160-PR · Due From Parks & Rec.	49.89	99.77	6,049.79
Total 160 · A/R - Due From Other Funds	49.89	119.81	6,069.79
161 · A/R - Other Customers	251,127.78	239,492.68	156,090.89
162 · A/R - Water/Sewer Bills (UB)	517,152.37	781,198.33	827,236.69
Total Accounts Receivable	768,330.04	1,020,810.82	989,397.37
Other Current Assets			
163 · Res. for Bad Debts	3,426.96	3,426.96	3,426.96
164 · Undeposited Funds	9,150.99	54,017.96	7,520.69
166 · Prepaid Expenses	42,390.44	47,084.50	33,205.32
170 · Inventory - Meters & Parts	60,728.82	54,588.93	55,129.07
Total Other Current Assets	115,697.21	159,118.35	99,282.04
Total Current Assets	5,372,151.63	5,831,280.27	5,575,347.72

Superior Township Utility Department

Balance Sheet

INCOMPLETE

	Feb 29, 24	Jan 31, 24	Feb 28, 23
Fixed Assets			
174 · Buildings	3,434,386.74	3,434,386.74	3,434,386.74
175 · Acc. Dep. - Buildings	(1,870,926.40)	(1,861,878.73)	(1,762,354.36)
176 · Water & Sewer System	23,902,086.95	23,902,086.95	23,902,086.95
177 · Acc. Dep. - Water & Sewer Sys.	(10,711,760.83)	(10,663,779.66)	(10,135,986.79)
178 · Improvements & Equipment	294,591.76	294,591.76	294,591.76
179 · Acc. Dep - Imp. & Equipment	(139,192.39)	(138,290.81)	(128,373.43)
180 · Office Improvements	125,975.16	125,975.16	125,975.16
181 · Acc. Dep. - Office Improvements	(54,638.50)	(54,209.75)	(49,493.50)
182 · Office Furniture & Equipment	73,300.27	73,300.27	73,300.27
183 · Acc. Dep. - Off. Furn. & Equip.	(70,882.67)	(70,076.84)	(61,212.71)
184 · Vehicles	665,543.57	665,543.57	665,543.57
185 · Acc. Dep. - Vehicles	(562,188.24)	(559,034.86)	(524,347.68)
186 · Metering Program	54,927.87	54,927.87	54,927.87
187 · Acc. Dep. - Meter Program	(53,016.50)	(52,558.75)	(47,523.50)
188 · Land	210,462.50	210,462.50	210,462.50
190 · Const. in Progress	4,593,001.15	4,477,958.75	2,492,086.77
Total Fixed Assets	19,891,670.44	19,839,404.17	18,544,069.62
TOTAL ASSETS	25,263,822.07	25,670,684.44	24,119,417.34
LIABILITIES & EQUITY			
Liabilities			
Current Liabilities			
Accounts Payable			
200 · A/P - Due To Other Funds			
200-GF · Due To General Fund	841.02		1,500.00
Total 200 · A/P - Due To Other Funds	841.02		1,500.00
205 · A/P - Vendors	173,979.11	227,889.26	348,597.60
Total Accounts Payable	174,820.13	227,889.26	350,097.60
Other Current Liabilities			
219 · Contracts Payable			
223 · 2013 Refunded Bond			137,136.24
224 · Michigan Finance Authority Bond	1,215,124.00	1,355,124.00	1,355,124.00
Total 219 · Contracts Payable	1,215,124.00	1,355,124.00	1,492,260.24
225 · Accrued Vacation & Sick Pay	117,008.16	117,008.16	44,825.47
Total Other Current Liabilities	1,332,132.16	1,472,132.16	1,537,085.71
Total Current Liabilities	1,506,952.29	1,700,021.42	1,887,183.31
Total Liabilities	1,506,952.29	1,700,021.42	1,887,183.31
Equity			
390 · Retained Earnings	23,845,539.65	23,845,539.65	22,298,649.92
Net Income	(88,669.87)	125,123.37	(66,415.89)
Total Equity	23,756,869.78	23,970,663.02	22,232,234.03
TOTAL LIABILITIES & EQUITY	25,263,822.07	25,670,684.44	24,119,417.34



Committee to Promote Superior Township

A Volunteer Committee

Fostering pride, unity and a sense of place among Superior Township residents



Est. 2008

C2PST March Highlights

- **Community Spotlight:** Highlighting 'Superior People' who have made notable contributions: William Secrest and Mike Brooks.
- **Environmental Stewardship:** Irma Golden spoke at the latest C2PST meeting regarding the Spring Roadside Cleanup, with enthusiastic support from the Committee.
- **Farmers' Market Outreach:** Plans are underway for C2PST to host an informational booth at the Dixboro Farmers' Market.
- **Fire Dept. History Display:** C2PST is showcasing the Superior Township Fire Department's rich history and apparatus in our Library space this month.



Superior People

William Secrest

Stray Dog Hero

William Secrest, an active member in Superior Township for 36 years, is deeply rooted in our community as the owner and operator of Stray Dog Farm and gardens. His significant contributions include co-founding the Superior Township Chapter of the Southeast Michigan Land Conservancy, opening up the treasured Superior Greenway for everyone to enjoy.



William dedicates his time to his garden, to Stray Dog Farm and to the newly established Secrest Preserve. Fostering spaces where both nature and community thrive. His commitment is seen not only in his work but also in his advocacy for the township's natural beauty and its community spirit.

An enthusiast of the great outdoors, William enjoys the simple pleasures of walking his dogs through the township's preserves and taking in the serene views at LeFurge Woods. His love for the area is evident in his dedication to preserving its natural landscapes and fostering a sense of unity among residents.

At the heart of William's connection to Superior Township is the collective commitment to a diverse, unified community that cherishes its natural surroundings as much as its people.



Irma Golden

Superior People

Mike Brooks

Ukulele Maestro

Mike Brooks, a charismatic addition to Superior Township, has brought the community together through the universal language of music. His two stints living here, spanning over five years, have been marked by the creation of lasting friendships and deep community ties.



As the founder of the Brain Plasticity Ukulele Collective, Mike is the maestro behind the melodies that echo through our local gatherings, like their much-loved performances at the Dixboro Market. In 2023, the Collective released "Happy Landing," an album that captures the essence of Superior Township's joy and unity.

Originally hailing from Britain, where he was part of the British Actors and Performers Union, Mike's stage presence is undeniable, often captivating audiences with his compelling portrayal of a 'great villain'.

Mike's favorite activities in Superior Township include making music and sharing it with friends and students alike, a passion that turns every snum into a community connection. Let's applaud Mike Brooks, our Ukulele Maestro, for not only striking a chord in music but in the hearts of our community.

Special Thank you to our Working Committee

Brenda Baker, Margery Dosey, Katie Russo, Carla Bisaro, Carole Hann, Mara Scabassi, Nancy Caviston

Join our committee and support your neighborhood – just email us!

C2PST@superior-twp.org

Connect with us

Instagram



@superiorchartertownship

Facebook



SuperiorCharterMI

From: Irma Golden <igolden51@hotmail.com>
Date: Monday, March 11, 2024 at 11:02 AM
To: Ken Schwartz <kenschwartz@superior-twp.org>, Lynette Findley <lynettefindley@superior-twp.org>, Lisa Lewis <llewis@superior-twp.org>, Rhonda McGill <rmcgill@superior-twp.org>, Bernice Lindke <blindke@superior-twp.org>, Nancy Caviston, Trustee <education@superior-twp.org>, William Secrest <willysecrest@gmail.com>
Cc: attyodavant@yahoo.com <attyodavant@yahoo.com>
Subject: Re: Irma Golden_Deputy Supervisor

Good day:

Please include the email/letter below as part of the Board of Trustees packet for the March meeting.

From: Irma Golden <igolden51@hotmail.com>
Sent: Friday, March 8, 2024 6:31 PM
To: Ken Schwartz <kenschwartz@superior-twp.org>; Lynette Findley <lynettefindley@superior-twp.org>; Lisa Lewis <llewis@superior-twp.org>; Rhonda McGill <rmcgill@superior-twp.org>; Bernice Lindke <blindke@superior-twp.org>; education@superior-twp.org <education@superior-twp.org>; William Secrest <willysecrest@gmail.com>
Cc: attyodavant@yahoo.com <attyodavant@yahoo.com>
Subject: Irma Golden_Deputy Supervisor

Good day Board of Trustees:

I am writing to you with a heavy heart and a sense of urgency regarding the ongoing harassment and discrimination I have been experiencing in the workplace. I can no longer remain silent about the mistreatment I have endured, and failure to be transparent with the Board of Trustees, family, friends, etc.,

I recognize I am an at-will employee at the sole discretion of Ken Schwartz, Supervisor.

In early April 2023, I received an email from Ken Schwartz, Supervisor inquiring if I was interested in the position of Deputy Supervisor. A meeting at Sidetrack, he detailed his role and experience as a Supervisor and my role as his Deputy Supervisor. I never forgot while exiting the front door of Sidetrack, Ken said, "I'm going to teach you everything you need to know about being the Supervisor." I don't think anyone was more excited to serve the residents and township as I was.

However, since my employment I have been subjected to the following:

- Marginalized work assignment.
- Assigned a workstation at the back door not compatible for privacy that is required for the position of Deputy Supervisor while addressing angry, desperate, concerned, and sometimes lonely residents. Request ignored to be placed at available workstation of former deputy supervisor.
- Initial pay rate less than other Superior Charter Township deputies.
- Part-time status was not the same as the previous deputy supervisor until I exhaustedly fought for equity.
- No instructions to obtain business cards. I eventually came across a sent email to Standard Printing by the former deputy supervisor.
- Never provided entrance door keys.
- Never offered a laptop for use. Eventually, after inquiring, provided former deputy supervisor returned laptop.
- Township Director of Planning and Zoning, Laura Bennett continued assignment of deputy supervisor duties and responsibilities by Ken Schwartz, Supervisor.
- Constant receiver of negative, denigrating, and at times name calling about Lynette Findley, Clerk, Ronda McGill, Mary Burton, Rickey Harding, TC Collins (Clay Hills Farms), all who are Black, and Trustee Bernice Linke targeted due to her fiduciary responsibility to serve the township and maintain financial stability. Everyone I mentioned above is outstanding within their role and responsibilities and are dedicated to the residents and township.
- Coercion, intimidation, being subjected to a hostile work environment, unfairly targeted, unlawful request, abuse of power, psychological pressure and constant threat of retaliation.

For the past several months, I have been subjected to an increase pattern of discriminatory behavior, harassment, coercion, intimidation, and retaliation that has

significantly impacted my well-being and ability to perform my duties effectively. This behavior has come from Ken Schwartz, Supervisor and has created a hostile work environment that is unacceptable and unlawful.

Additionally, I have been unfairly targeted, and criticized because I am a candidate for Superior Charter Township Supervisor nearly a year following his public announcement of retirement.

Within the second week following the Board of Trustee vote on Garrett Space, Ken Schwartz, Supervisor met with me and stated he had decided to retire and was waiting for a response from MERS regarding retirement benefits. He was very pleased with his decision. We discussed the position of Supervisor, if appointed, by the Board of Trustees. I am not certain if all Board members were notified but I do know Lisa Lewis knew because he stated he talked with her, and relayed a troubling comment that was made by Lisa Lewis and we discussed it the following Monday. The desire to retire again seem to fizzle out.

Ken Schwartz, Supervisor made it known he was retiring, and knew of my intentions. Early, November 2023, I contacted the Washtenaw Election Commission and started the process to become a candidate for Supervisor. On Saturday, November 11, 2023, I sent the following email:

Good day Ken:

I've decided to become a candidate for Supervisor of Superior Charter Township. Your earlier announcement of retirement in the Superior Scenes newsletter and discussion when we met for lunch in late May aided in making this decision.

My decision will not interfere with our relationship, and I will always be respectful and professional in my position as Deputy Supervisor.

Sincerely,

Irma Golden

I received no response by email or comment for over a week. On Sunday, November 19, 2023 I forwarded the email again.

On Monday, November 20, 2023 Ken Schwartz, Supervisor summoned me to his office. The conversation started with, "I think you should rethink running for Supervisor." He said, he may run, he was not certain and said, "the word out there was people wanted a new Board but he wasn't sure what he was going to do." He said if he was to run, I would be running against him. I listened. He also stated, I would have to take an immediate leave of absence without pay. I had previously contacted the Michigan Township Association and knew this not to be true. A few minutes later he retracted and said it was a 60-day leave of absence and maybe not until May; also, inaccurate. I also heard, "If Bernice runs, she'll beat you!" The discussion shifted to the evening Board agenda items.

Eventually during the meeting between Ken Schwartz and I, I informed Ken Schwartz I had already filed. I was asked, "you completed the nomination petition?" I said, "yes." More questions pursued and I was made to feel like I did something wrong and inappropriate. I never thought after declaring my intentions on numerous occasions and Ken Schwartz, Supervisor public notice of retirement this would be an issue. While I remain sitting, Ken Schwartz stood and said "go ahead and withdraw; I'll give you your \$100.00 back." I left Ken Schwartz office after 1:00pm, and the end of my work day. I quietly packed up because I was extremely distressed and as soon as I entered my car, I couldn't drive off and called my family. As an employee, current candidate, and resident of this township, this was coercion, psychological pressure and abuse of power.

Unmistakably, this was an unlawful request made to an employee, and candidate for office, from their supervisor, and more importantly a Superior Charter Township elected official.

Later the same day, I sent a text to Ken Schwartz indicating I didn't think Bernice Lindke was running for Supervisor, an announcement was made at the Washtenaw County Commissioners meeting, and if someone wanted to run it was their choice. I continued, I planned to announce at the Board of Trustee meeting that evening, and would always be respectful and professional in my position as deputy supervisor.

Since that time, I've experienced ongoing agitation, disregard, dismissiveness, and hushed disrespectful and hurtful comments toward me, and yes, I have brought it to his attention.

On Thursday, February 15, 2024, Ken called me into his office. For one hour and thirty minutes, we bounced (from one room to another in the township and truck) discussing work related items to quickly changing into a fierce attack because I am a candidate for Supervisor, while expressing his embarrassment, anger, and my failure to obtain his permission and support first! He indicated he received calls from angry residents after I

announced encouraging him to fire me. I ask directly, "If I ask for your permission would you have given it?" The reply was an emphatic "NO!"

While meeting, I was encouraged to follow him into the kitchen because he needed water suggesting we would continue there. We proceeded to the township hall and the conversation shifted to Ken Schwartz saying, "the politics are going to be nasty." My response was "I don't use the word politics because it is a word used for cover. It is actually incivility, lies, and a demonstration of lack of integrity, character and respect." Subsequently, I was questioned, "if let go, what would I do," and reference was made to Carolyn Stewart departure and her attendance at the Board meeting. My response was swift and truthful; the attack by former employees was orchestrated, intended to distract from important Board of Trustees business, retaliatory, targeting Lynette Findley, Clerk, and unnecessary.

Minutes later, in the truck comments were made of the township abuse of power restricting Infinity Homes, LLC, resulting lawsuit and lifting restrictions. Added blame was placed on Lynette Findley, Clerk, who would not sign an agreement drafted by attorney Fred Lucas, and notifying the board and resulting agenda item. Bernice Lindke was also attacked for persistently questioning and findings.

While in the truck there were more menacing remarks made to me of the difficulty of the supervisor position, and suggestion I should run for trustee instead and remain a deputy supervisor. Lisa Lewis, current Treasurer and former deputy and trustee was provided as an example. I was asked to make a pact and back down and wait until he, Ken Schwartz, Supervisor, made up his mind. I was distraught and felt trapped because this was an attempt to coerce and intimidate me into withdrawing my candidacy as Supervisor, after he clearly stated he was retiring. These remarks and suggestions threaten my employment status because I was expected to agree, and it only creates a hostile work environment. Ken Schwartz behavior was not only unethical but a true violation of my rights as an employee and a candidate for public office.

I few days later I followed up with a letter for clarification of the "pact" reiterating I am a candidate for public office, have maintained professionalism and respect towards everyone, resident, election chair for precinct two, Board of Review member and remarked; if I was a white female his response toward me would be different.

On Friday, February 23, 2024, after being summon to the office of Ken Schwartz, I heard for the first time, and repeatedly, confirmation and belittling comment, "I only hired you for sidewalks." Next, he forcefully shoves a board resolution at me saying "you can't do this" and emphasizing I need to know how to create one. I felt denigrated and responded, "isn't Fred Lucas the township attorney, and has his firm ever rejected pay

for work?" I also express there is not a requirement to be an attorney for the position of Supervisor. Again, I told him he was retiring, and I meet the qualifications as a resident of our township to run for public office.

During the same conversation, Ken Schwartz told me " I heard you were campaigning, you're not doing it on the job, I know that Pastor Larry Davis came in to see me and he was angry...angry at me for not firing you!" He was one of the local pastors I sent a letter to December 29, 2023 (see below) and I knew of their friendship. He also said Pastor Larry Davis called me a "CANCER that needed to be taken out!" I commented, "it wasn't very godly of him," and I said I would address it and I did. Ken Schwartz pointed to the recent letter I sent him for clarification consistently repeated, "I'm not sure if I can work with you." This is not due to my work performance. I have been an outstanding employee and have gone beyond my responsibilities to help the residents and help us become a better, inclusive township.

I want to emphasize I am a honorable woman, 28-year resident, asset to the residents, employees and township, and as an employee and candidate for Superior Charter Township Supervisor, my intentions are good.

Any wrongful action of an elected official is detrimental to Superior Charter Township! I am not interested in a Board of Trustee close session. It doesn't stop there; I have listened to, and witnessed several retaliatory actions perpetrated on complainants, before and following a close session.

In conclusion, Board of Trustee members, this is not about my candidacy. Ken Schwartz, Supervisor and I from day one, talked and agreed he was going to retire and knew of my genuine interest to run for township Supervisor. This is about mistreatment as a Black female employee of Superior Charter Township, marginalization, inequity, coercion, intimidation, hostile work environment, abuse of power, on-going selective preferential treatment, acts of retaliation, and limited accountability.

I should not be or feel threatened with my employment, while serving as an at-will employee.

Regards,

Irma Golden

Letter:

December 29, 2023

Pastor Larry Davis

1143 Stamford Road

Ypsilanti, MI 48198

Subject: Request for Pastoral Endorsement

I trust this letter finds you in good health and high spirits. My name is Irma Golden, and I am writing to you as a 28-year resident and as a candidate for Supervisor, of Superior Charter Township.

Over the years, I have witnessed the positive impact your leadership has had on our community, fostering a sense of unity, compassion, and service. Your commitment to the well-being of our neighbors has inspired me, and I am reaching out to seek your pastoral endorsement for my candidacy.

In my role as Deputy Supervisor, Board of Review member, and attendee in all Board of Trustee and Planning Commission meetings, I have had the privilege of actively engaging with the community, addressing concerns and working towards positive change. I am running for Supervisor with a vision to continue serving our community especially segments that are often ignored or marginalized. Local government and its leadership are essential to our quality of life.

Recently, I suggested establishing a three resident road committee (two south of Geddes and one north of Geddes) to ride and meet with the Washtenaw County Road Commission (WCRC) and make recommendations to insure fairness and equality. This includes roadwork and tree trimming. The suggestion was provided by Brenda McKinney when while walking I stopped to talk to her. Determination should not be made by one individual. I am running for Supervisor with a vision to continue serving our community within all four corners of township borders.

I would be honored to meet with you at a time that is convenient for you to discuss my candidacy in more detail. I am eager to share my vision for Superior Township, one that prioritizes inclusivity, growth, and positive change. Your endorsement would not only be a significant asset within our community but would also serve as a guiding light for my efforts.

Please let me know a time that suits you. I am eager to share more about my vision for our township and how, together, we can contribute to its growth, and inclusivity.

Thank you for considering my request, and I look forward to the opportunity to meet with you.

Sincerely,

Irma Golden



WASHTENAW COUNTY OFFICE OF THE SHERIFF



JERRY L. CLAYTON
SHERIFF

2201 Hogback Road ♦ Ann Arbor, Michigan 48105-9732 ♦ OFFICE (734) 971-8400 ♦ FAX (734) 973-4624 ♦ EMAIL sheriff@ewashtenaw.org

MARK A. PTASZEK
UNDERSHERIFF

February 16, 2024

To our Contracting Partners,

Each year, the Sheriff's Office assesses service delivery costs to maintain the current budget and ensure adherence to it. The overtime reimbursement rate is adjusted in accordance with agreed-upon union contracts and current fringe rates.

The rates have been updated to align with POAM and COAM contract salaries. Fringe rates have been updated to reflect what will be charged in 2024. Considering these changes, the 2024 overtime reimbursement rate for contracting jurisdictions will be the following:

Deputy	\$78/hour
Sergeant	\$93/hour
Lieutenant	\$102/hour

These rates represent an increase from 2022, \$4 per hour increase for deputies. These rates are direct charge rate and include wages and fringes. The increase in rates is due to increased wages and associated fringes. There are no administrative, overhead or supervision costs included in this rate.

Please contact me with any questions. Thank you for your continuing partnership.

Jerry L. Clayton
Sheriff

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**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

**RESOLUTION TO AWARD BID FOR MACARTHUR BLVD PEDESTRIAN
PATHWAY PROJECT TO ALL STAR POWER EXCAVATION, LLC**

RESOLUTION NUMBER: 2024-08

DATE: FEBRUARY 20, 2024

WHEREAS, Sealed bids for the MacArthur Blvd Pedestrian Pathway project were received and publicly read aloud on Thursday, February 1, 2024, at 10:00 AM at the Township Hall of the Charter Township of Superior; and

WHEREAS, the project scope consists of installing an 8' wide HMA pathway along the north side of MacArthur Blvd from Stamford Rd to Harris Rd and a 6' wide concrete sidewalk connection to Fireman's Park; and,

WHEREAS, the work to be completed under this contract includes the furnishing of materials, equipment, and labor necessary to complete the proposed work, in accordance with the contract documents; and,

WHEREAS, All Star Power Excavation, LLC. (herein referred to as the "Contractor"), located in Grosse Pointe Woods, Michigan is the apparent low bidder. OHM Advisors has had prior experience working with this Contractor in various local communities on projects similar in scope to this work, and OHM have no major concerns with the Contractors ability to perform this work to the satisfaction of the contract requirements; and,

WHEREAS, OHM also spoke with project references listed in the Contractors bid proposal and received positive feedback regarding this Contractors ability to perform similar work; and,

WHEREAS, The Township's available funding of \$133,591.00 from the Community Development Block Grant (CDBG) program through Washtenaw County OCED is allocated towards construction of the project; and,

WHEREAS, the funding from the township for this is \$113,144.00.

NOW, THEREFORE, BE IT RESOLVED that the Charter Township of Superior Board of Trustees hereby awards the MacArthur Blvd Pedestrian Pathway project to All Star Power Excavation, LLC. for their bid in an estimated contract award amount of **\$246,735.00**.

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

**RESOLUTION TO AWARD BID FOR PLYMOUTH RD PATHWAY PROJECT TO
ALL STAR POWER EXCAVATION, LLC**

RESOLUTION NUMBER: 2024-08

DATE: FEBRUARY 20, 2024

WHEREAS, sealed bids for the Plymouth Rd. Pathway project were received and publicly read aloud on Thursday, February 1, 2024, at 10:00 AM at the Township Hall of the Charter Township of Superior; and,

WHEREAS, the project scope consists of installing an 8' wide HMA pathway with concrete ADA ramps, driveway replacement (as necessary for path installation), tree removal, existing concrete ramp removal, a boardwalk and complete project cleanup and restoration. The project is located along Plymouth Road from Dixboro Road to 1300 ft east of Cherry Hill Road; and,

WHEREAS, the work to be completed under this contract includes the furnishing of materials, equipment, and labor necessary to complete the proposed work, in accordance with the contract documents; and,

WHEREAS, All Star Power Excavation, LLC. (herein referred to as the "Contractor"), located in Grosse Pointe Woods, Michigan is the apparent low bidder. OHM Advisors has had prior experience working with this Contractor in various local communities on projects similar in scope to this work, and OHM have no major concerns with the Contractors ability to perform this work to the satisfaction of the contract requirements; and,

WHEREAS, OHM also spoke with project references listed in the Contractors bid proposal and received positive feedback regarding this Contractors ability to perform similar work; and,

WHEREAS, the project has been awarded \$250,000 for construction by the Washtenaw County Parks and Recreation Commission's (WCPARC's) Connecting Communities Program, as well as \$300,000 for construction and engineering by the Michigan Natural Resources Trust Fund (MNRTF) Program through the Michigan Department of Natural Resources (MDNR). MDNR requires that the project be awarded to the lowest qualified bidder.

NOW, THEREFORE, BE IT RESOLVED that the Charter Township of Superior Board of Trustees hereby awards the Plymouth Rd. Pathway project to All Star Power Excavation, LLC. pending MDNR approval of the contract award, for their bid in an estimated contract award amount of **\$869,870.00**.

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

**RESOLUTION TO ACCEPT THE PROPOSAL FOR ENGINEERING SERVICES
FOR THE PLYMOUTH ROAD PATHWAY PROJECT**

RESOLUTION NUMBER: 2024-10

DATE: FEBRUARY 20, 2024

WHEREAS, OHM Advisors has submitted a proposal to the Charter Township of Superior for construction engineering services for the Plymouth Road Pathway project, anticipated to begin construction in Spring 2024; and

WHEREAS, the proposed project consists of an 8-ft wide asphalt pathway along the south side of Plymouth Road from Dixboro Road to 1,300 ft east of Cherry Hill Road, including concrete ADA ramps, storm sewer, infiltration trenches, signal work, a boardwalk, and driveway replacement as necessary for path installation; and

WHEREAS, the project construction is to be partially funded through a \$300,000.00 grant from the Michigan Natural Resources Trust Fund (MNRTF) program and a \$250,000.00 grant from the Washtenaw County Parks & Recreation (WCPARC) Connecting Communities program; and

WHEREAS, bids for project construction were received on February 1, 2024, with a low bid of \$869,870.00 received from All Start Power Excavation, LLC; and

WHEREAS, OHM has outlined a comprehensive scope of services for construction administration, engineering/observation, and construction surveying with a total Not-to-Exceed Fee of \$118,000.00 for the completion of the project during the 2024 construction season; and

WHEREAS, OHM has submitted the following anticipated schedule of construction:

- **Contract Award** - February 20, 2024
- **Notice to Proceed** - March 29, 2024
- **Substantial Completion** – October 15, 2024
- **Final Completion** – November 15, 2024

NOW, THEREFORE, BE IT RESOLVED that the Charter Township of Superior Board of Trustees accept the submitted proposal from OHM Advisors for the Plymouth Road Pathway project for a total **Not-to-Exceed Fee of \$118,000.00**.

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**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

RESOLUTION TO APPROVE AUDIT ENGAGEMENT LETTER

RESOLUTION NUMBER: 2024-02

DATE: JANUARY 16, 2024

AMENDED: MARCH 18, 2024

WHEREAS, the Superior Charter Township Board of Trustees has reviewed the audit engagement letter presented by Pfeffer, Hanniford & Palka, Certified Public Accountants, detailing the scope and objectives for the audit of the financial statements of the Charter Township of Superior for the year ended December 31, 2023; and

WHEREAS, the audit engagement letter includes the auditing of the financial statements of the governmental activities, the business-type activities, each major fund, the aggregate remaining fund information, and the disclosures, which collectively comprise the basic financial statements of the Charter Township of Superior; and

WHEREAS, the engagement letter outlines the responsibilities of the auditors and the management, the audit procedures for internal control and compliance, the identification of significant risks, and the preparation of the financial statements in accordance with generally accepted accounting principles in the United States of America; and

WHEREAS, the Board acknowledges the importance of this audit in ensuring the financial integrity and transparency of the Charter Township of Superior.

NOW, THEREFORE, IT IS HEREBY RESOLVED that the Superior Charter Township Board of Trustees approves the audit engagement letter from Pfeffer, Hanniford & Palka, as presented. The Township Supervisor is authorized to sign the response section of the engagement letter, confirming the Township's understanding and agreement to the terms of the audit engagement. All Township officials and staff are directed to cooperate fully with Pfeffer, Hanniford & Palka during the audit process and provide all necessary information and assistance

as required. *Additionally, the Board of Trustees in the January 16, 2024, regular meeting, agreed to have Pfeiffer, Hanniford & Palka look into the accounting, policies and procedures of the Township escrow accounts. This will incur an additional fee up to \$5000.00.*

From: Ken Schwartz <kenschwartz@superior-twp.org>
Date: Tuesday, February 20, 2024 at 1:03 PM
To: Board <board@superior-twp.org>
Subject: FW: Escrow Review

FYI

Ken Schwartz
Superior Township Supervisor
(734) 482-6099

From: KENNETH PALKA <KPALKA@PHPCPA.COM>
Sent: Monday, February 19, 2024 8:00 PM
To: Ken Schwartz <kenschwartz@superior-twp.org>
Cc: CHARLIE HAINSTOCK <CHAINSTOCK@PHPCPA.COM>; LAURIE KUGLER <LKUGLER@phpcpa.com>
Subject: Escrow Review

Hi Ken,

Sending this to recap our conversation regarding the Township's escrow accounts/fund.

You had asked if we could take a look at the accounting, policies and procedures of the escrows of the Township while we are at the Township doing the audit.

That should not be a problem.

We will put together an engagement letter specifying procedures we will do as part of the engagement. We typically call these types of engagements "Agreed Upon Procedures".

Based on my understanding of what the Township is looking to achieve by us doing this engagement, the fee would be in the range of \$4,000 to \$5,000.

I will wait for yours and the Board's response to my email and if ok to proceed, I will compile an engagement letter.

Thanks for the opportunity.

Best Regards,

Kenneth J. Palka, CPA

Pfeffer, Hanniford & Palka CPA's

225 E. Grand River, Suite 104

Brighton, MI 48116

810-229-5550 office

248-318-2339 cell

810-229-5578 fax

www.phpcpa.com

CONFIDENTIALITY NOTICE – PRIVILEGED AND CONFIDENTIAL

This communication and any accompanying documents are confidential and privileged. They are intended for the sole use of the addressee(s). If you receive this transmission in error, you are advised that any disclosure, copying, distribution, or the taking of any action in reliance upon this communication is strictly prohibited. Moreover, any such disclosure shall not compromise or waive the attorney-client, accountant-client, or other privileges as to this communication or otherwise. If you have received this communication in error, please contact me at the above e-mail address. Thank you.

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

**RESOLUTION TO APPROVE OHM PROPOSAL FOR ENGINEERING FOR THE
STAMFORD ROAD WATER MAIN REPLACEMENT**

RESOLUTION NUMBER: 2024-12

DATE: MARCH 18, 2024

WHEREAS, the Charter Township of Superior (the "Township") seeks to enhance its water distribution infrastructure for the benefit and welfare of its residents and businesses; and

WHEREAS, there is a need to replace the existing 16-inch cast iron water main along Stamford Road, between Norfolk Avenue and MacArthur Boulevard, which has experienced several breaks in recent years, with approximately 1,400 feet of proposed 12-inch water main and 200 feet of 8-inch water main; and

WHEREAS, OHM Advisors ("OHM") has submitted a proposal to the Township for construction engineering services for the Stamford Road Water Main Replacement project, designed by OHM, anticipated to begin construction in Spring 2024; and

WHEREAS, the scope of services provided by OHM includes, but is not limited to, contract administration, construction engineering/observation, construction staking, coordination with relevant stakeholders, and ensuring project completion in accordance with Township standards and timelines; and

WHEREAS, the total not-to-exceed fee for the construction engineering services as outlined in the proposal by OHM is \$65,000.00 (Sixty-Five Thousand Dollars); and

WHEREAS, the proposed timeline for the Stamford Road Water Main Replacement project is as follows:

- 1) Contract Award – March 18, 2024
- 2) Notice to Proceed – April 8, 2024
- 3) Substantial Completion – May 24, 2024
- 4) Final Completion – June 14, 2024;

NOW, THEREFORE, BE IT RESOLVED, the Charter Township of Superior Board of Trustees hereby approves the proposal submitted by OHM Advisors for the Stamford Road Water Main Replacement project and authorizes the allocation of funds not to exceed \$65,000.00 (Sixty-Five Thousand Dollars) for the completion of this project.



March 6, 2024

Ken Schwartz
Supervisor
Charter Township of Superior
3040 N Prospect Rd.
Superior Charter Township, MI 48198

RE: Stamford Road Water Main Replacement
Proposal for Contract Administration & Construction Engineering Services

Dear Mr. Schwartz:

OHM Advisors (OHM) is pleased to submit this proposal to the Charter Township of Superior (Township) for construction engineering services for the Stamford Road Water Main Replacement project designed by OHM. This project is anticipated to begin construction in Spring 2024.

PROJECT UNDERSTANDING

We understand the Township desires to construct approximately 1,400 feet of proposed 12-inch water main and 200 feet of 8-inch water main along Stamford Road between Norfolk Avenue and MacArthur Boulevard. This water main will replace existing 16-inch cast iron main along the same route that has had several breaks in recent years.

Contract administration and construction engineering services will begin immediately following the award of the contract to the selected contractor for the construction of the Stamford Road water main. OHM will provide information to outline the progress of the project from contractor initiation to completion of final punch list items. We assume that construction will be completed early in the 2024 construction season.

Below is our scope of services, assumptions, schedule, and fee related to the scope of work.

SCOPE OF SERVICES

We propose the following tasks and associated work to complete the construction engineering phase for the Stamford Road Water Main Replacement project for the Township.

Task 1 – Contract Administration

The following outlines the sub-tasks OHM will perform as part of the Construction Administration task for this project:

- Assist the Township in reviewing executed contract documents with the awarded Contractor and developing revised contract documents for the updated design. This includes coordination with Township Attorney to review contractor insurance requirements.



- Schedule and host a pre-construction meeting with stakeholders which may include Township Officials, Contractor, Sub-contractors, Washtenaw County Road Commission and Water Resources Commission, etc.
- Monitor, evaluate, and provide administrative action for submittals (shop drawings, certifications, samples, etc.) and maintain records of request for information, requested changes, and shop drawing submittals for future reference.
- Provide responses to field questions as needed from the contractor and document in files.
- Prepare and submit construction pay estimates to the Township for processing.
- Prepare and process contract modifications, if any.
- Request and collect contractor obtained permits from other public agencies.
- Prepare Project close out documentation.
- Based on field notes, prepare as-built plans, and coordinate to update the Township's utility GIS accordingly.

Task 2 – Construction Engineering/Observation

The following sub-tasks will be provided for the Construction Engineering and Observation effort:

- Perform daily full-time observation during water main construction.
- Confirm field quantities with the Contractor. Produce daily field reports documenting construction methodology, maintenance of erosion control and traffic control measures, and pay item quantities.
- Address Contractor's construction questions and resolve conflicts as required to complete the work.
- Attend to resident concerns throughout the duration of the construction project.
- Perform progress meetings every two weeks with Contractor, Sub-contractor(s), and Owner's Representative to review and coordinate questions/issues and coordinate construction schedule.
- Perform a final site walk-through, prepare, and distribute a final punch list after Contractor has identified substantial completion. Once the Contractor has notified us of completion of punch-list, we will meet at site to verify punch list items have been completed to the Township's satisfaction. Once the project has been completed, we will issue a Final Project Completion Notice. We anticipate two (2) site visits to final out the construction project.
- Perform soil density and compaction testing/reporting on open excavation areas within pavement influence, and minimal pavement restoration. This assumes trenchless water main construction within greenway corridor. To complete this work, OHM has a continuing services agreement contract with G2 Consulting Geotechnical Group.



Task 3 – Construction Staking

The following tasks are required for construction staking:

- Establish on-site survey control and set necessary site benchmarks to be utilized during construction of the project.
- Stake the proposed pipe route and structure locations. It is assumed that a single staking of the project will be required.
- Prepare cut sheets for proposed water main construction.

CLARIFICATIONS AND ASSUMPTIONS

The following major assumptions have been made as part of our scope of work, in addition to any assumptions noted within our scope of work section:

- It is assumed that there are no contaminated soils within the influence of our project site improvements.
- It is assumed that the project construction can be accomplished without traffic detours.
- The project will be funded by Township funds. No grants, loans, or other outside sources of funding that will require administrative work by OHM will be utilized.
- OHM will utilize our geotechnical consultant, G2 Consulting Group, for geotechnical and material testing. G2 will perform their services, as needed, for utility trench density testing. The Contractor is to schedule and coordinate the geotechnical services through OHM; OHM will review reports for specification compliance.

SCHEDULE

We are available to begin work upon project authorization and award of the construction contract for the project. It's anticipated that construction will be scheduled during the 2024 construction season between March and June, pending Contract negotiations and assuming award by March 18, 2024.

Contract Award – March 18, 2024
Notice to Proceed – April 8, 2024
Substantial Completion – May 24, 2024
Final Completion – June 14, 2024

FEE SCHEDULE

We propose to perform the Construction Engineering Services as outlined above on an hourly basis, for a total **Not-to-Exceed Fee of \$65,000(Sixty-Five Thousand Dollars)**.

No additional services outside the scope of work provided above will proceed without receipt of written authorization by the Township.



ACCEPTANCE

If you find our proposal acceptable, please provide us written authorization to proceed based on our Scope of Services and OHM Advisors Terms and Conditions.

We thank you for this opportunity to provide professional services to the Township and we look forward to assisting the Township in completing this project. Please do not hesitate to contact me at (734) 466-4439 if you have any questions or need any additional information.

Sincerely,
OHM Advisors

George Tsakoff, PE
Principal

Encl: OHM Terms and Conditions

cc: Lynette Findley, Township Clerk
Mary Burton, Utilities Director
Chris Elenbaas, PE, OHM

TERMS & CONDITIONS



1. **THE AGREEMENT.** These Terms and Conditions and the attached Proposal or Scope of Services, upon acceptance by CLIENT, shall constitute the entire Agreement between Orchard, Hiltz & McCliment, Inc. (OHM ADVISORS), a registered Michigan Corporation, and CLIENT. OHM ADVISORS and CLIENT may be referred to individually as a Party or collectively as Parties. This Agreement supersedes all prior negotiations or agreements and may be amended only by written agreement signed by both Parties.
2. **CLIENT RESPONSIBILITIES.** CLIENT, at no cost, shall:
 - a. Provide access to the project site to allow timely performance of the services.
 - b. Provide all information in CLIENT'S possession as required by OHM ADVISORS to perform the services.
 - c. Designate a person to act as CLIENT'S representative who shall transmit instructions, receive information, define CLIENT policies, and have the authority to make decisions related to services under this Agreement.
3. **PROJECT INFORMATION.** OHM ADVISORS shall be entitled to rely on the accuracy and completeness of services and information furnished by CLIENT, other design professionals, or consultants contracted directly to CLIENT.
4. **PERIOD OF SERVICE.** The services shall be completed within the time specified in the Proposal or Scope of Services, or if no time is specified, within a reasonable amount of time. OHM ADVISORS shall not be liable to CLIENT for any loss or damage arising out of any failure or delay in rendering services pursuant to this Agreement that arise out of circumstances that are beyond the control of OHM ADVISORS.
5. **COMPENSATION.** CLIENT shall pay OHM ADVISORS for services performed in accordance with the method of payment, as stated in the Proposal or Scope of Services. CLIENT shall pay OHM ADVISORS for reimbursable expenses for subconsultant services, equipment rental, or other special project related items at a rate of 1.15 times the invoice amount.
6. **TERMS OF PAYMENT.** Invoices shall be submitted to the CLIENT each month for services performed during the preceding period. CLIENT shall pay the full amount of the invoice within thirty days of the invoice date. If payment is not made within thirty days, the amount due to OHM ADVISORS shall include a service fee at the rate of one (1%) percent per month from said thirtieth day.
7. **STANDARD OF CARE.** OHM ADVISORS shall perform their services under this Agreement in a manner consistent with the professional skill and care ordinarily provided by similar professionals practicing in the same or similar locality under the same or similar conditions.
8. **RESTRICTION OF REMEDIES.** OHM ADVISORS is responsible for the work of its employees while they are engaged on OHM ADVISORS' projects. As such, and in order to minimize legal costs and fees related to any dispute, CLIENT agrees to restrict any and all remedies it may have by reason of OHM ADVISORS' breach of this Agreement or negligence in the performance of services under this Agreement, be they in contract, tort, or otherwise, to OHM ADVISORS, and to waive any claims against individual employees.
9. **LIMIT OF LIABILITY.** To the fullest extent permitted by law, CLIENT agrees that, notwithstanding any other provision in this Agreement, the total liability in the aggregate, of OHM ADVISORS to CLIENT, or anyone claiming under CLIENT, for any claims, losses, damages or costs whatsoever arising out of, resulting from, or in any way related to this Agreement or the services provided by OHM ADVISORS pursuant to this Agreement, be limited to \$25,000 or OHM ADVISORS fee, whichever is greater, and irrespective of whether the claim sounds in breach of contract, tort, or otherwise.
10. **ASSIGNMENT.** Neither Party to this Agreement shall transfer, sublet, or assign any duties, rights under or interest in this Agreement without the prior written consent of the other Party.
11. **NO WAIVER.** Failure of either Party to enforce, at anytime, the provisions of this Agreement shall not constitute a waiver of such provisions or the right of either Party at any time to avail themselves of such remedies as either may have for any breach of such provisions.
12. **GOVERNING LAW.** The laws of the State of Michigan will govern the validity of this Agreement, its interpretation and performance.
13. **INSTRUMENTS OF SERVICE.** OHM ADVISORS shall retain ownership of all reports, drawings, plans, specifications, electronic data and files, and other documents (Documents) prepared by OHM ADVISORS as Instruments of Service. OHM ADVISORS shall retain all common law, statutory and other reserved rights, including, without limitation, all copyrights thereto. CLIENT, upon payment in full for OHM's services, shall have an irrevocable license to use OHM's Instruments of Service for or in conjunction with repairs, alterations or maintenance to the project involved but for no other purpose. CLIENT shall not reuse or make any modifications to the Documents without prior written authorization by OHM ADVISORS. In accepting and utilizing any Documents or other data on any electronic media provided by OHM ADVISORS, CLIENT agrees they will perform acceptance tests or procedures on the data within 30 days of receipt of the file.
14. **CERTIFICATIONS.** OHM ADVISORS shall have 14 days to review proposed language prior to the requested dates of execution. OHM ADVISORS shall not be required to execute certificates to which it has a reasonable objection, or that would require knowledge, services, or responsibilities beyond the scope of this Agreement, nor shall any certificates be construed as a warranty or guarantee by OHM ADVISORS.
15. **TERMINATION.** Either Party may at any time terminate this Agreement upon giving the other Party 7 calendar days prior written notice. CLIENT shall within 45 days of termination pay OHM ADVISORS for all services rendered and all costs incurred up to the date of termination in accordance with compensation provisions in this Agreement.
16. **RIGHT TO SUSPEND SERVICES.** In the event CLIENT fails to pay OHM ADVISORS the amount shown on any invoice within 45 days of the date of the invoice, OHM ADVISORS may, after giving 7 days' notice to CLIENT, suspend its services until payment in full for all services and expenses is received.

17. OPINIONS OF PROBABLE COST. OHM ADVISORS preparation of Opinions of Probable Cost represents OHM ADVISORS' best judgment as a design professional familiar with the industry. CLIENT recognizes that OHM ADVISORS has no control over costs of labor, equipment, materials, or a contractor's pricing. OHM ADVISORS makes no warranty, expressed or implied, as to the accuracy of such opinions as compared to bid or actual cost.
18. JOB SITE SAFETY. Neither the professional activities of OHM ADVISORS, nor the presence of OHM ADVISORS or our employees and subconsultants at a construction site shall relieve the Contractor or any other entity of their obligations, duties, and responsibilities including, but not limited to, construction means, methods, sequences, techniques or procedures necessary for performing, superintending or coordinating all portions of the work of construction in accordance with the contract documents and the health or safety precautions required by any regulatory agency. OHM ADVISORS has no authority to exercise any control over any construction contractor or any other entity or their employees in connection with their work or any health or safety precautions.
19. CONTRACTOR SUBMITTALS. If included in the services to be provided, OHM ADVISORS shall review the contractor's submittals such as shop drawings, product data, and samples for the limited purpose of checking for conformance with information given and the design concept expressed in the construction documents issued by OHM ADVISORS. Review of such submittals is not for the purpose of determining the accuracy and completeness of other information such as dimensions, quantities, and installation or performance of equipment or systems, which are the contractor's responsibility. OHM ADVISORS review shall not constitute approval of safety precautions or, unless otherwise specifically stated by OHM ADVISORS, of any construction means, methods, techniques, sequences or procedures. OHM ADVISORS approval of a specific item shall not indicate approval of an assembly of which the item is a component.
20. CONSTRUCTION OBSERVATION. If requested, OHM ADVISORS shall visit the project construction site to generally observe the construction work and answer questions that CLIENT may have. OHM ADVISORS shall not be required to make exhaustive or continuous on-site inspections to check the quality or quantity of the construction work, or to determine whether the construction work is being constructed in accordance with the Contract Documents.
21. HAZARDOUS MATERIALS. As used in this Agreement, the term hazardous materials shall mean any substances, including without limitation asbestos, toxic or hazardous waste, PCBs, combustible gases and materials, petroleum or radioactive materials (as each of these is defined in applicable federal statutes) or any other substances under any conditions and in such quantities as would pose a substantial danger to persons or property exposed to such substances at or near the Project site. Both Parties acknowledge that OHM ADVISORS' Scope of Services does not include any services related to the presence of any hazardous or toxic materials. In the event OHM ADVISORS or any other person or entity involved in the project encounters any hazardous or toxic materials, or should it become known to OHM ADVISORS that such materials may be present on or about the jobsite or any adjacent areas that may affect the performance of OHM ADVISORS' services, OHM ADVISORS may, at its sole option and without liability for consequential or any other damages, suspend performance of its services under this Agreement until CLIENT retains appropriate qualified consultants and/or contractors to identify and abate or remove the hazardous or toxic materials and warrants that the jobsite is in full compliance with all applicable laws and regulations. CLIENT agrees, notwithstanding any other provision of this Agreement, to the fullest extent permitted by law, to indemnify and hold harmless OHM ADVISORS, its officers, partners, employees and subconsultants (collectively, OHM ADVISORS) from and against any and all claims, suits, demands, liabilities, losses, damages or costs, including reasonable attorneys' fees and defense costs arising out of or in any way connected with the detection, presence, handling, removal, abatement, or disposal of any asbestos or hazardous or toxic substances, products or materials that exist on, about or adjacent to the Project site, whether liability arises under breach of contract or warranty, tort, including negligence, strict liability or statutory liability, regulatory or any other cause of action, except for the sole negligence or willful misconduct of OHM ADVISORS.
22. WAIVER OF CONSEQUENTIAL DAMAGES. The Parties waive consequential damages for claims, disputes or other matters in question arising out of or relating to this Agreement. This mutual waiver is applicable, without limitation, to all consequential damages due to either Party's termination of this Agreement.
23. WAIVER OF SUBROGATION. The Parties waive all rights against each other and any of their contractors, subcontractors, consultants, agents, and employees, each of the other, for damages caused by fire or other causes of loss to the extent covered by property insurance obtained pursuant to a written contract or other property insurance applicable to the construction work.
24. THIRD PARTIES. Nothing contained in this Agreement shall create a contractual relationship with, or a cause of action in favor of, a third party against either CLIENT or OHM ADVISORS.
25. CODE REVIEW/ACCESSIBILITY. In providing its services under this Agreement, OHM ADVISORS may have to interpret federal and or state laws, codes, ordinances, regulations and/or statutes. CLIENT understands and agrees that these may be subject to different and possibly contradictory interpretations by relevant governmental officials charged with interpreting same and furthermore understands and agrees that OHM ADVISORS does not warrant or guarantee that their interpretation will be consistent with the interpretation of the relevant governmental officials. OHM ADVISORS shall not be liable for unreasonable or unforeseeable interpretation of federal and or state laws, codes, ordinances, regulations and/or statutes by governmental officials charged with interpreting same.
26. DISPUTE RESOLUTION. In an effort to resolve any conflicts that arise during the project or following the completion of the project, the Parties agree that all disputes between them arising out of or relating to this Agreement shall be submitted to nonbinding mediation, unless the Parties mutually agree otherwise, as a prerequisite to further legal proceedings. The Parties agree to share the mediator's fee and any filing fees equally, and the mediation shall be held in the place where the project is located, unless another location is mutually agreed upon.

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

**RESOLUTION APPROVING THE AMENDMENT TO THE PROGRAMMING
CONTRACT BETWEEN WASHTENAW INTERMEDIATE SCHOOL DISTRICT
(WISD) AND THE CHARTER TOWNSHIP OF SUPERIOR PARKS AND
RECREATION DEPARTMENT**

RESOLUTION NUMBER: 2024-13

DATE: MARCH 18, 2024

WHEREAS, on December 27, 2022, the Parties entered into a Programming Contract (the "Contract") under which WISD agreed to provide certain services to the residents of Charter Township of Superior;

WHEREAS, Article 4 of the Contract, entitled "Term", provides that the term of the Contract shall end on March 31, 2024;

WHEREAS, due to unforeseen logistical issues, WISD has been unable to deliver all of the services outlined in the Contract prior to the original expiration date;

WHEREAS, acknowledging the value of the services to the community and the necessity to fulfill the agreed-upon services, the Parties wish to extend the term of the Contract;

NOW, THEREFORE, BE IT RESOLVED, that Article 4 of the Contract is hereby amended to extend the expiration date from March 31, 2024, to August 31, 2024, to ensure the completion of the services as initially agreed upon.

Amendment to Programming Contract

On December 27th 2022 the Washtenaw Intermediate School District (WISD) and the Superior Charter Township Parks and Recreation Department (ST) entered into a Programming Contract under which WISD is to provide certain services to residents of Superior Charter Township.

Article 4, entitled "Term", of the Programming Contract, provides that the term of the contract ends on March 31, 2024.

Due to logistical issues WISD has not been able to provide all of the services outlined in the Programming Contract prior to the expiration date.

Consequently, the parties agree to amend Article 4 of the Programming Contract to extend the expiration date from March 31, 2024 to August 31, 2024.

All other terms and conditions set forth in the Programming Contract remain unchanged.

Charter Township of Superior

Washtenaw Intermediate School District

By: Kenneth Schwartz
Its: Supervisor

By: R. Stephen Olsen
Its: Board President

Date signed:

Date signed:

**Charter Township of Superior
Parks and Recreation Department**

By: Juan Bradford
Its: Director

Date signed:

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

RESOLUTION ADOPTING THE 2024 COMPREHENSIVE MASTER PLAN

RESOLUTION NUMBER: 2024-14

DATE: MARCH 18, 2024

WHEREAS, Charter Township of Superior has the authority to adopt, amend, and implement a Master Plan under the Planning Enabling Act MCL 125.3807; and

WHEREAS, the 2024 Master Plan proposes updates including growth management strategy, open space and land preservation, housing, environmental protection, transportation, and the inclusion of the Dixboro Special Area Plan; and

WHEREAS, these updates also include an updated future land use plan reflecting growth management strategies, updated demographics based on the recent Census, more graphics for readability and interest, a clarified connection between the Master Plan and Zoning Ordinance, and a detailed implementation matrix; and

WHEREAS, the approval process for the 2024 Master Plan included a draft presented by the Steering Committee to the Planning Commission on September 27, 2023, a recommendation from the Planning Commission on October 25, 2023, for a 63-day public review period, and a public hearing by the Planning Commission on February 28, 2024, after which the Planning Commission voted 7-0 to recommend the Township Board approve the 2024 Master Plan with specified amendments; and

WHEREAS, the Charter Township of Superior Planning Commission has recommended the adoption of the proposed Charter Township of Superior 2024 Comprehensive Master Plan, which complies with the Planning Enabling Act (MPEA); and

WHEREAS, the Township Board has reviewed the proposed Master Plan and the recommendations from the Planning Commission following the 63-day public review period that expired on January 24, 2024.

NOW, THEREFORE, BE IT RESOLVED that the Charter Township of Superior Board of Trustees, in accordance with the Michigan Planning Enabling Act, hereby adopts the Charter Township of Superior 2024 Master Plan as the Master Plan for the future development of the Township and as the basis for the Township's Zoning Ordinance, and directs that copies of the adopted Master Plan be forwarded to Washtenaw County, all local units of government contiguous to the Township, and other entities as required by Section 43 (5) of the MPEA.

BE IT FURTHER RESOLVED that the Township Board hereby expresses its appreciation to the members of the Charter Township of Superior Planning Commission and the

Steering Committee for their commitment to the Master Planning process and for their thorough and well-considered revisions and recommendations.



Superior Charter Township 2024 Comprehensive Master Plan



Adopted by Superior Charter Township Board of Trustees - XXXX
Adopted by Superior Charter Township Planning Commission - XXXX, 2023

Assisted by:



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Resolution of Adoption

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Acknowledgments

Township Board of Trustees

- Kenneth Schwartz - Supervisor
- Lynette Findley - Clerk / Liaison to Planning Commission
- Lisa Lewis - Treasurer / Liaison to Zoning Board of Appeals
- Nancy Caviston - Trustee / Liaison to Wetlands Board
- Bernice Lindke - Trustee / Liaison to Parks & Recreation Commission
- Bill Secrest - Trustee
- Rhonda McGill - Trustee

Staff

- Laura Bennett
- Rick Mayernik

Planning Commission

- Jay Gardner - Chair
- Dr. Robert Steele - Vice Chair
- Thomas Brennan, III - Secretary
- Lynette Findley - Board Representative
- Nahid Sanii-Yahyai - Commissioner
- Patrick McGill - Commissioner
- Emily Dabish-Yahkind - Commissioner

Master Plan Steering Committee

- Brenda Baker
- Lenetta Bentley
- Thomas Brennan, III
- Emily Dabish-Yahkind
- Lynette Findley
- Tom Freeman
- Jay Gardner
- Ross Gladwin
- Jack Goodnoe
- Bernice Lindke
- Bill Mathewson
- Michelle McIntyre
- Dave Raymond
- Nahid Sanii-Yahyai
- Bill Schikora
- Ken Schmidt
- Jack Smiley
- Jean Winborn

With assistance from



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Chapter 1: Introduction



Executive Summary

Superior Charter Township is a hidden gem in Washtenaw County. The Township is home to both new and historic neighborhoods, agricultural lands, hundreds of acres of protected natural resources, the historic Village of Dixboro, and high quality recreational and open space areas. Much has changed in the region and Township since the last master plan was adopted. Loss of agricultural land and activities as well as regional issues of declining housing condition are several of the issues that the Township faces. As a result, a review of community desires, recognition of demographic shifts, and a renewed awareness of land use challenges was required to assess and refine policies for preservation, investment, and controlled growth.

Recognizing the challenges, changes, and opportunities that face the community, the Township initiated a comprehensive process to update the Township Master Plan. To begin this Master Plan update, Superior Charter Township launched a community-based process to engage residents. This document is the resulting policy roadmap for land use, development, preservation, transportation, and housing, based on a shared community vision and in recognition of the current demographics and market conditions.

The Master Plan is organized as follows:

I. Introduction

The Introduction describes the purpose of a Master Plan, the process used to develop the plan, and a brief history of Superior Charter Township.

II. Community Profile and Planning Context

The Community Profile describes Superior Charter Township's role in the region, its people, housing stock, commuter patterns, transportation information, and natural features with the most up-to-date data available. The chapter shows the diversity of the Township in terms of people and land use, the impact of the Great Recession on housing, and transportation challenges.

III. Vision and Policies

This chapter provides the context of the Master Plan. By articulating a vision for the Township's future and presenting the policies which reflect this community's vision, this chapter is critical when evaluating proposals for future development within the Township.

IV. Growth Management and Future Land Use Plan

The Growth Management and Future Land Use Plan chapter provides the framework for future growth, redevelopment, preservation, and sustainability. Using an approach that identifies the different policies articulated in this Master Plan, this chapter applies strategies to the various sub-areas of the township based on their unique characteristics. The section also deals with broader topics that relate to the township but also may involve different approaches in individual sub areas. Ultimately, the Future Land Use Plan provides a land use designation that guides future development or preservation for each parcel of land in the township.

V. Strategies and Implementation

This chapter compiles the strategies for reaching the township's future vision and breaks down actions by sub-area and policy alignment. The chapter includes potential partners and funding sources. The chapter ends with a comprehensive implementation table.

VI. Dixboro Special Area Plan

Due to its unique historical significance, special attention was paid to the Dixboro area during the Master Planning development process. This chapter included information about the area and details of the focused planning efforts that were undertaken for study of this area. The plan for the Dixboro area includes a unique set of policies and strategies to achieve the community's vision for this area.

Policy Themes

Policies discussed in the Master Plan are organized around the five major themes:

1. Growth Management

A Growth Management strategy ensures that growth occurs in a planned and sustainable manner while preserving the township’s character, natural resources, and quality of life for its residents. Key elements of a growth management strategy include comprehensive land use planning, zoning and development regulations, urban growth boundaries, infrastructure planning, environmental protection, smart growth principles, community engagement, and long-term monitoring and evaluation.

2. Open Space and Land Preservation

Open Space and Land Preservation policies establish a set of guiding principles that aim to protect and conserve natural areas, open spaces, and valuable land resources for the benefit of present and future generations. These principles provide a framework for decision-making and help to ensure sustainable land use practices.

3. Housing

Housing policies that enhance the existing housing stock and promote housing variety are important in order to meet diverse needs, address affordability challenges, support urban planning, promote environmental sustainability, and foster cultural diversity and vibrancy within communities.

4. Environmental Protection

Environmental Protection policies are crucial for long-term sustainability, the preservation of biodiversity, the mitigation of climate change, maintenance of rural and natural character, the protection of human health, the promotion of sustainable development, and the preservation of ecosystem services. By implementing and adhering to these policies, we can strive for a healthier, more resilient, and sustainable future.

5. Transportation

Transportation policies focus on enhancing efficiency, promoting environmental sustainability, improving accessibility and equity, enhancing resilience and reliability, providing economic benefits, and prioritizing safety. By considering the diverse needs of individuals and neighborhoods and integrating various transportation modes, the transportation system can be well-rounded and sustainable.

What is a Master Plan?

The Master Plan is the Township's official statement of the goals and policies and a single, comprehensive view for the community's future. The Master Plan fills several roles:

- **Vision:** The Master Plan lays out the future vision of Superior Charter Township, as well as a roadmap - with goals, policies, strategies, and actions - to achieve that vision.
- **Aid in daily decision-making:** The Master Plan guides the Planning Commission, Township Board, and other Township bodies in their deliberations on zoning, land division, capital improvements, and matters related to land use and development. It provides a stable, long-term basis for decision-making.
- **Statutory Basis:** The Master Plan provides the statutory basis upon which zoning decisions are made. The Michigan Planning Enabling Act (P.A. 33 of 2008, as amended) requires that the Zoning Ordinance be based upon a plan designed to promote the public health, safety, and general welfare. The Master Plan and accompanying maps do not replace other Township Ordinances, specifically the Zoning Ordinance and Map.
- **Public/Private Coordination:** The Master Plan attempts to coordinate public improvements and private developments supported by a Capital Improvements Plan. The Master Plan helps to inform the elements to be included in the Capital Improvements Plan. For example, public investments such as road or sewer and water improvements should be located in areas identified in the Plan as resulting in the greatest benefit to the Township and its residents.
- **Educational Tool:** The Master Plan serves as an educational tool and gives citizens, property owners, developers, and adjacent communities a clear indication of the Township's direction for the future.



Connection Between Master Plan and Zoning Ordinance

MASTER PLAN

- Is a long-term guiding policy document
- Applies 5-20 years into the future
- Has goals and objectives based on community input
- Includes analysis and recommendations on economic development, housing, transportation, infrastructure, land use, etc.
- Must be reviewed once every 5 years by State Law
- Is not intended or expected to serve as law

ZONING ORDINANCE

- Is the law
- Applies now
- Is subject to Federal and State law, and Federal and State case law
- Regulates land use, building size, form, placement, parcel area, width, depth, parking, landscaping, etc.
- Must be based on a Master Plan, per State Law
- Is used to implement the Master Plan

FUTURE LAND USE PLAN

- Is a visual guide for future planning
- Applies now and up to 20 years in the future
- Has future land use categories, which describe what may be considered if zoning changes
- Provides descriptions on types of uses that are appropriate in particular areas and details on desired density, height, design, landscaping, etc.
- Shows possibilities, not guaranteed changes
- Changed as a Master Plan Update, which has extensive community input

ZONING MAP

- Is the law
- Applies now
- Has zoning districts, which state what land uses, building types can be built now
- Mandates land use, building size, form, placement, parcel area, width, depth, etc. for each zoning district
- Must be followed for all new development
- Can only be changed by a Rezoning or Zoning Map Amendment process, a multi-step approval process that includes a public hearing and recommendation by the Planning Commission, and two readings before the Township Board

Creation and Care of the Master Plan

The Superior Charter Township Planning Commission is the primary agency responsible for the preparation of the Master Plan. Supported by staff, consultants, and public involvement, it is the role of the Planning Commission to develop this Plan and encourage its implementation.

In a diverse community such as Superior Charter Township, however, the Planning Commission must broaden its planning process to go beyond conventional land use planning and explore a variety of topic areas which play a role in the preservation, development, and well-being of the community. This Plan was designed from the ground up to relate to a broad range of topics and build momentum for the future of Superior Charter Township.

Master Plan Implementation

The Master Plan is a document that should and must be embraced by the leadership of Superior Charter Township as much as possible. While ultimately the responsibility of the Planning Commission, the Master Plan must inspire consistent decision making throughout the community to live up to its potential. The Plan serves as a basis for the fundamental responsibilities of the Planning Commission, such as review of development proposals and maintenance of the Zoning Ordinance, but also serves a larger purpose to inspire informed, innovative community development. In that spirit, it is also the responsibility of the Planning Commission to advocate for the Master Plan outside of its own reach, to ensure that it is implemented community-wide.

How Will the Plan Be Used?

Day-To-Day

On a regular basis, the Township Staff will refer to the Master Plan when conducting the regular business of the Township. Whether discussing development options with a potential developer, working on drafting new Zoning Ordinance amendments, or making recommendations to the Planning Commission or Township Board, the Master Plan will inform and guide the policies of the Township's professionals. In addition, the Plan will serve as a reference for neighborhood groups, the local investment community, and for non-profit community organizations.

Month-To-Month

On a weekly or monthly basis, the elected and appointed officials of the Township will refer to the Master Plan when making decisions about land use development proposals, and in the setting of Township policies relating to community development and preservation. The improvement of infrastructure, development of regulations and ordinances, and budgeting of the Township will all be influenced by the goals and policies established by this Master Plan.

Year-To-Year

It is critical that the Master Plan be annually evaluated to ensure that it still represents the policy direction of the Township. The Township should audit its effort on a regular basis to reflect on the Plan and recognize the accomplishments it has made towards the execution of the goals and policies of the Plan. Revisions and updates to the Plan should be considered annually to make sure the Plan continues to enjoy widespread support.

Process

The Master Plan process was based on community engagement and current data. The process diagram in Figure 1 outlines the Superior Charter Township Master Planning process. The Master Plan update was a multi-step process that reached hundreds of Superior Charter Township residents, employees, employers, business

owners, property owners, and other stakeholders through a steering committee, social media, a survey, open houses, community meetings, and presentations to appointed and elected officials. Every part of the Master Plan's vision, mission, goals, and strategies was influenced or can be directly attributed to community participants.

Figure 1. Master Plan Process



The development of a community's Master Plan must involve not only elected and appointed officials within the community, but also leaders within the community at large. The community participation measures taken throughout the process are essential in establishing public support for the policies within the document, and to ensure that the plan is indicative of the preferences of as broad a representation of the population as possible.

In the spring of 2022, Superior Charter Township began an update of the Master Plan. The last major update was done in 2015, although the Planning Commission has reviewed the Plan multiple times since then. Despite a global pandemic, the process reached the Superior Charter Township community as broadly as possible to create a community-based vision and plan. This document is the result of over a year of intensive community engagement, data analysis, and collaborative decision-making to create a vision for the Township with an actionable, realistic policy roadmap for implementation.

The community engagement component of the Master Plan process was started in 2021. Township staff, community stakeholders, and consultants adapted to the circumstances of the pandemic for the Superior community to contribute to the planning process in a safe and meaningful manner.



Steering Committee

A group representative of the Superior Charter Township community was appointed by the Township Board to become the Master Plan Steering Committee. The 16-person committee consisted of residents and community stakeholders representing the racial, economic, and geographic diversity of Superior Charter Township. The committee's role was to guide the community engagement process and build consensus around the Master Plan. The Steering Committee directed the Master Plan's vision, mission, goals, special area plans, and strategies. Overall, the Steering Committee met a total of five times.

2021 Community Survey

Over 275 residents responded to the survey conducted in the fall of 2021. Survey results are in the appendix and referred to throughout the Master Plan.

Dixboro Special Area Plan

Input for the Dixboro Special Area Plan was collected in three separate events spread out over 10 days, which included an open house, a stakeholder meeting, and a public workshop. Throughout the course of the three events, over 100 different stakeholders participated.

Township-wide Open House

The Township held a public open house to garner input on housing, open space preservation, motorized and non-motorized transportation improvements, recreational improvements, and conservation/environmental protection.

Planning Commission and Public Hearing

<to be inserted>

Public Review Period

<to be inserted>

Township Board Review

<to be inserted>

Chapter 2: Community Profile



Image Source: Ann Arbor District Library

Introduction

The Community Profile provides an inventory of existing conditions including the regional setting, population data, socio-economic characteristics, housing, development trends, commuter patterns, transportation information, and natural features. The Profile is intended to document current conditions as well as projected future trends for Superior Charter Township and the surrounding region. Decision-makers should use the information presented here as they apply the Township's policies during decision-making to achieve the community's vision and goals for the future.

The Community Profile is organized around categories of existing land use, demographics, housing, transportation, diversity, and geography.

Sources used include:

- The U.S. Census
- American Community Survey
- The Southeastern Michigan Council of Governments (SEMCOG)
- Superior Charter Township records
- Visual survey
- Additional information from these sources as well as neighborhood-specific demographic profiles can be found in the appendix.

The data has several implications for the Master Plan:

- Due to its diversity in population and land use, one-size-fits-all solutions for the Township are not feasible.
- The Township has a long-established policy of land protection and conservation. These policies are evident in land use patterns.
- When data are examined at a census tract block group level, they reveal that areas of the Township are very diverse, exhibiting differences in demographic and economic conditions.
- Investigation of different demographic and economic conditions indicates that housing, transportation, land use, service, and other needs vary in different parts of the Township.
- There is a lack of housing diversity compared to Washtenaw County as a whole.
- The Township, like all municipalities, has finite resources. As such, proper planning ensures the most efficient and impactful use of these resources.



Regional Setting

Superior Charter Township was first settled in the early 19th century by farmers looking to capitalize on the fertile soils which gave the Township its name. Until World War II, the Village of Dixboro was the only concentrated development in the Township, due to the water provided by Fleming Creek and a primary access route between Ann Arbor and suburban Detroit communities along Plymouth-Ann Arbor Road. An economic shift precipitated by World War II and the construction of the Willow Run Bomber Plant in Ypsilanti Township brought thousands of residents to the southern portion of Superior Charter Township and with it, limited public water and sewer facilities. The swift shift from agrarian to urban economies lead to a unique mix of land uses in the Township. Highly developed urban/suburban style housing in the southern part of the Township and open, agrarian development in the north create entirely different living experiences.

Superior Charter Township is located along the eastern edge of Washtenaw County, approximately 15 miles west of Detroit, less than 1 mile east of the City of Ann Arbor, and immediately north of the City of Ypsilanti. M-14 cuts through the northwest corner of the Township, providing important connections to US-23, I-94, and I-96. Ford Road (M-153) is a busy east-west connector, providing access to shopping and other amenities in Canton Charter Township just across the Township border. Geddes Road, which forms the northern boundary of the dense housing on the south side, provides a secondary connection between Canton to the east and Ann Arbor to the west. Prospect Road forms the backbone of the community, running from Plymouth -Ann Arbor Road south to Ypsilanti Township, and providing important connections to Township Hall and the Superior Greenway.

Figure 2. Regional Setting



Community History

Hunting and Fishing Grounds

For centuries, Indigenous Peoples' trails crossed the landscape of Superior Charter Township and Washtenaw County. These paths connected Indigenous Peoples' villages to fertile hunting and fishing grounds in the Township and throughout Michigan. When settlers arrived during the early 19th century, these same trails were used to link growing communities. Eventually, some of these trails became part of the current road system.

As early as 1000 BC, the property where the Staebler Farm now stands was once a gathering place for Indigenous Peoples. Access to water and high, dry ground made this an ideal stopping point along a trail leading to the Detroit River. Today, Plymouth-Ann Arbor Road follows this former trail.

Another trail went south from this location along what is now Prospect Road to Indigenous villages along the Huron River in present-day Ypsilanti. This trail also intersected with the famed Sauk Trail, which is now followed by Michigan Avenue from Detroit to Chicago. These trails serve as a legacy of Indigenous Peoples in Superior Charter Township.

First Property Sold

According to tax records reviewed by local historian, Karl Williams, the first purchase in what is now Superior Charter

Township was made by Robert Fleming in September of 1823. By 1835 most of the land in Superior Charter Township had been sold, except for Section 16, which was to be retained by the State of Michigan for educational purposes. Most of the first land purchasers were land speculators. Section 16 was later sold during the 1840s.

Dixboro Founded

Captain John Dix, a retired sea captain, founded Dixboro in 1824 by purchasing 450 acres of land. The Dixboro post office was established by John Dix in 1825. It remained open with intermittent closures until 1905, when Rural Free Delivery started. In 1827, Dix filed a plat for 60 lots around the village square. Dix also founded a general store, barn, and grist mill. He sold his holdings and left for Texas in 1833. Although the community flourished and had its own post office for many years, it never incorporated to form a municipal government.

Community Named

On June 30, 1828, the Legislative Council of Washtenaw County created Panama Township, which consisted of the present-day townships of Salem and Superior. In 1833, Panama Township split to become what are now known as Salem Township and Superior Charter Township. Henry Kimmel, a prominent local landowner, gave Superior Charter Township its present name due to its superior soils for farming.



1823 - First property sold



1828 - Panama Township established, split into Superior & Salem Townships in 1833



Primarily agricultural from 1800s through mid-1900s

Agricultural Haven

From its founding, Superior Township was prime agricultural land. Until the early to mid-1900's, the Township was agro-based with large farm homesteads.

World War II

In 1941, construction of the Willow Run Bomber Plant and the Willow Run Airport began in Ypsilanti Township. Superior Township and surrounding communities experienced dramatic growth with the influx of war-time workers and their families. To accommodate additional housing, the Federal government constructed a sewer and water system in the area south of Geddes Road. When the wartime working housing stock was later demolished, new subdivisions and apartments were built in the area served by the sewer and water system.

Steady Growth

After a population decline in the 1950s following World War II, the Township population has slowly increased from the 1960s until today. This population increase led to the construction of single-family homes in planned subdivisions. Most of the new single-family home construction occurred south of Geddes Road.

Trinity Health - formerly St. Joseph Mercy Hospital

Moving from its location on Ingalls Street in Ann Arbor, Trinity Health Hospital, formerly St. Joseph Mercy Hospital, relocated to its present location on East Huron River Drive in Superior Charter Township in 1977.



Demographics

Population Trends

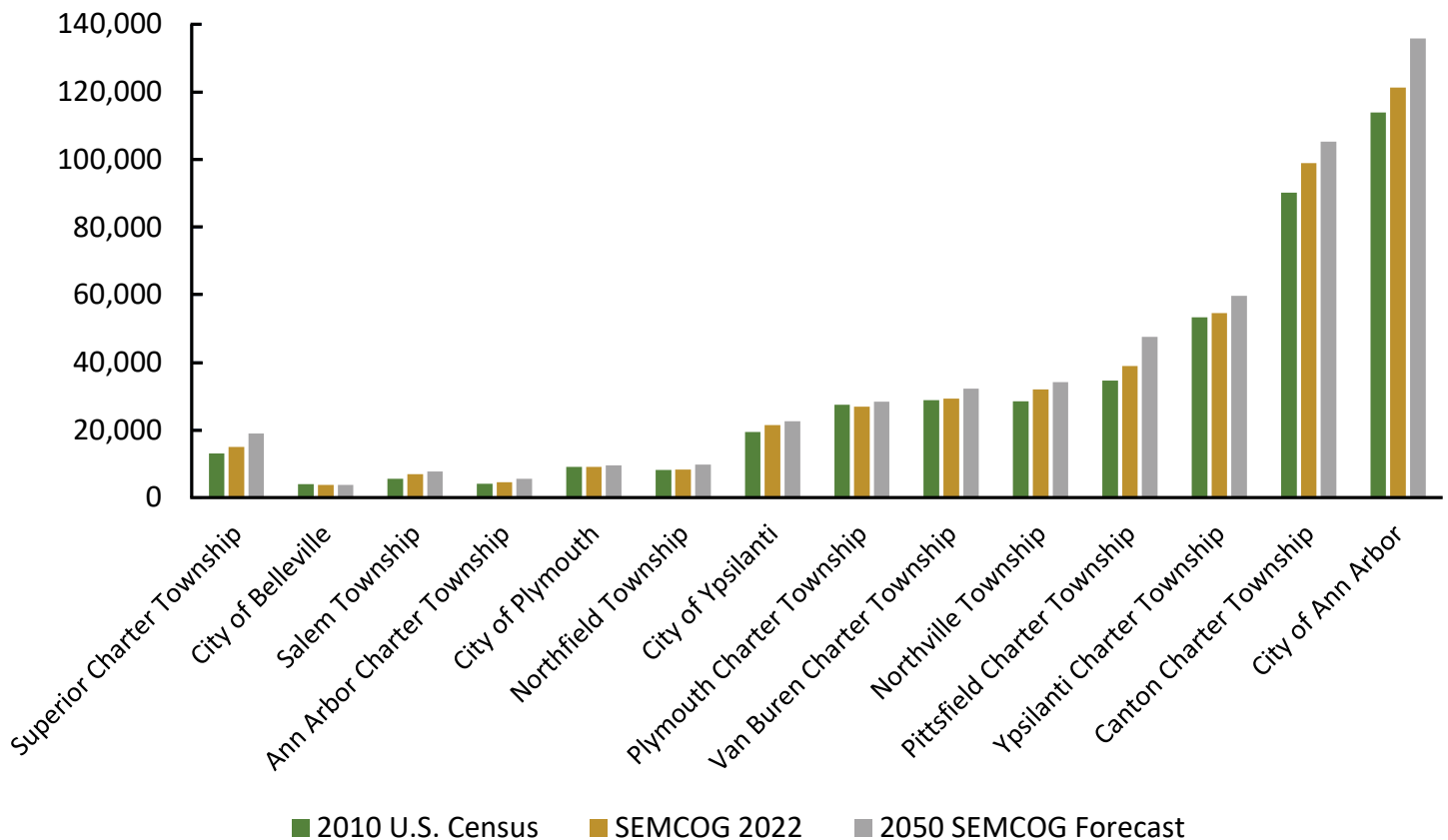
Superior Charter Township’s population has been steadily growing. From 2010 to 2022, the Township’s population increased by nearly 15%. The population is projected to grow a further 27% between 2022 and 2050. This growth reflects similar growth in other Washtenaw County communities. The growth in population of both Superior Charter Township and the adjacent communities will put demand on employment opportunities, businesses, housing, transportation, and services. Opportunities for commercial and residential expansion should be thoughtfully aligned with the Township’s goals for growth management and open space preservation.

Table 1. 2010, 2022, & 2050 Population, Superior Charter Township

2010	2022	% change 2010 - 2022	SEMCOG 2050 estimate	% change 2022- 2050
13,058	14,976	14.7%	19,030	27.1%

Figure 3. 2010, 2022, & 2050 Population, Superior Charter Township & Surrounding Communities

2010, 2022 & 2050 Population: Superior Charter Township and Surrounding Communities



Source: U.S. Census Bureau, 2010 Decennial Census, SEMCOG 2022 Estimates and 2050 Forecast

Superior Charter Township’s population base primarily consists of families. Children under the age of 17 years and adults between 25 and 54 years old comprise the largest population cohorts. These cohorts are projected to continue growing through 2045 as the general population grows.

Furthermore, the older adult population is projected to grow, similarly to county-wide trends. The resident cohort over the age of 65 years is projected to increase by 91%, and the cohort over the age of 85 years is projected to increase by 400% between 2020 and 2045.

For the first time in the Township’s history, between 2020 and 2045, the number of residents aged 55 years and over will be greater than the number of residents aged 17 years of age and younger. This change is also reflected in the projected number of people per household.

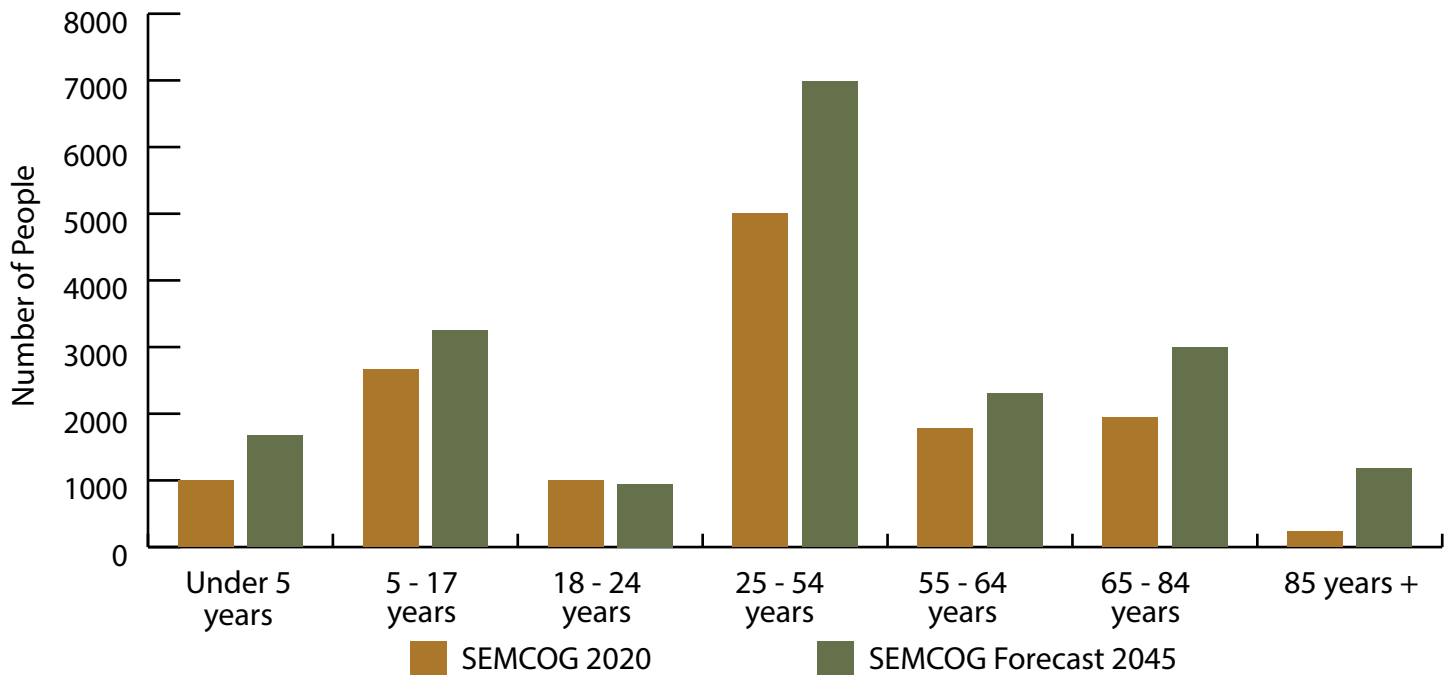
The aging of the Township population will place greater demand on services, housing, accessibility features, and transportation to support older adults. Additionally, the decline in household size coupled with a growing population will increase the demand for housing units that support smaller households, particularly senior households. Development of housing near services, especially medical and commercial services, will prove important.

Table 2. 2020 & 2045 Percent of Population by Age Bracket, Superior Charter Township

Age Bracket	2020		2045	
	Washtenaw	Superior	Washtenaw	Superior
17 years & younger	19%	27%	17%	25%
65 years & older	15%	13%	21%	22%

Source: SEMCOG 2020 Estimates, SEMCOG 2045 Forecast

Figure 4. 2020 & 2045 Population Forecast: Superior Charter Township



Source: SEMCOG 2015 and 2020 Estimates, SEMCOG 2045 Forecast

Household Income

Superior Charter Township’s median household income is slightly ahead of the County-wide median household income. However, across specific neighborhoods in the Township, income varies significantly. Median household income in the neighborhoods south of Geddes Road and east of Harris Road are much lower than the median incomes of households in other Township neighborhoods.

Census tract 4074 within the southeast portion of the Township hosts a median income of around \$35,000 – well below the Township’s median income. This area also hosts the highest population density within the Township. Income disparity has Master Plan implications, as areas in lower income neighborhoods will benefit more from actions that increase the accessibility of public transit, both subsidized and unsubsidized affordable housing, employment opportunities, and access to public services. The income discrepancy also poses implications for how and where to target outreach efforts to promote Township policies.

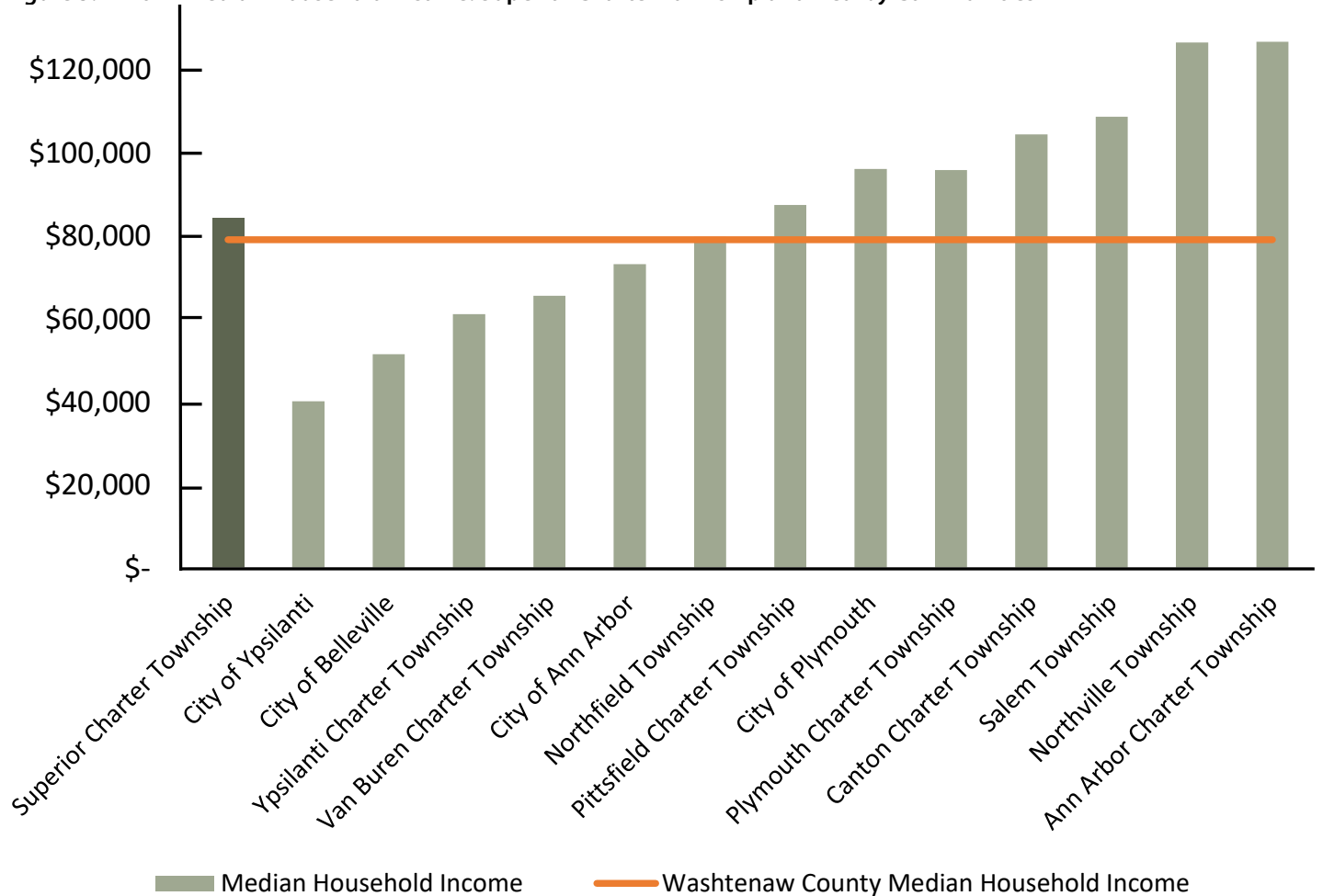
Table 3. 2022 & 2050 Average Persons per Household

	2022	2050
Superior Charter Township	2.67	2.55
Washtenaw County	2.35	2.32

Source: SEMCOG 2050 Regional Development Forecast

Race

Figure 5. 2021 Median Household Income: Superior Charter Township and Nearby Communities



Source: 2021 American Community Survey

Map 1. Census Block Map, Superior Charter Township

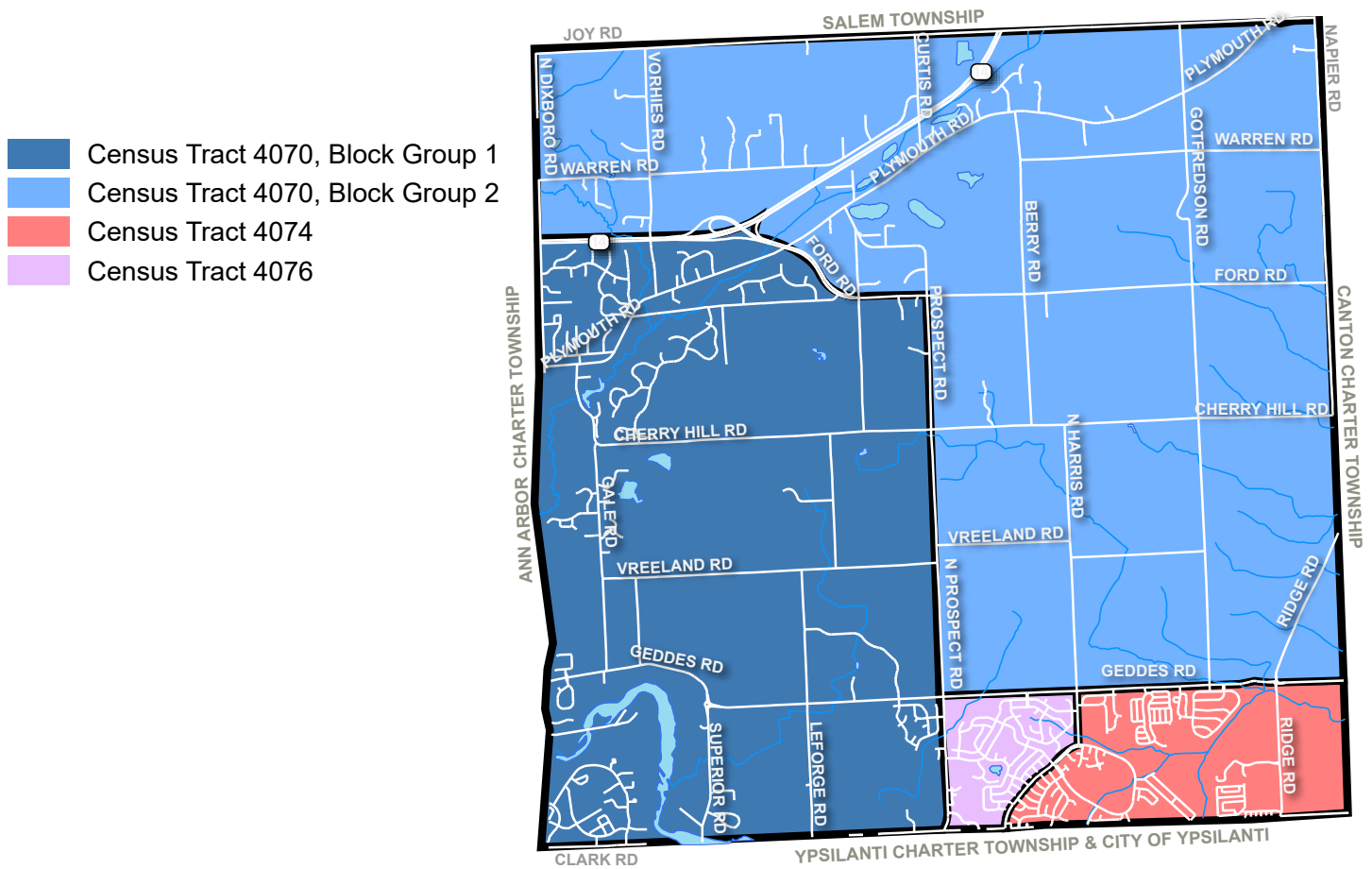
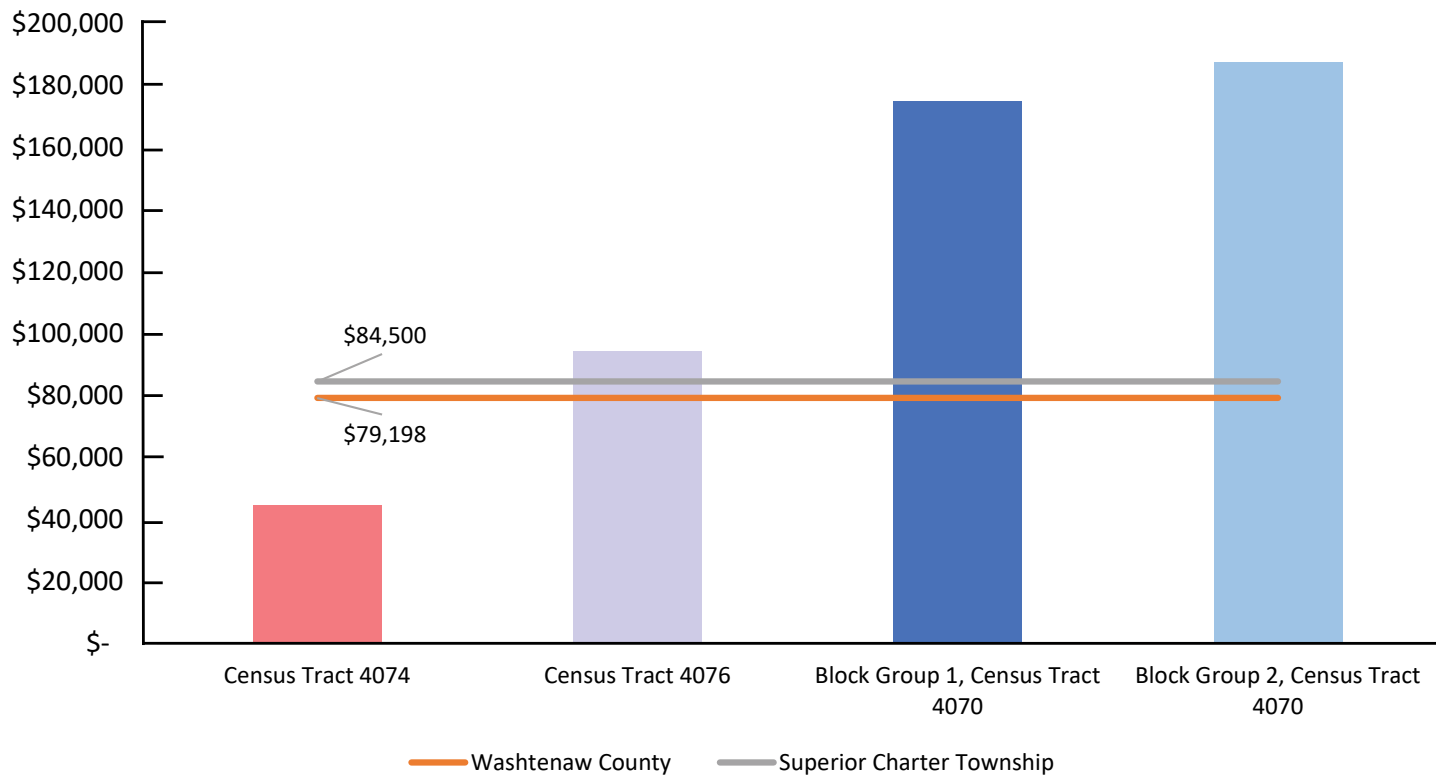


Figure 6. 2021 Median Household Income: Superior Charter Township Census Tracts & Block Groups



Source: U.S. Census Bureau, 2017-2021 American Community Survey 5-Year Estimates

6 - Dixboro Special Area Plan

5 - Strategies & Implementation

4 - Growth Management & Future Land Use

3 - Vision & Policies

2 - Community Profile

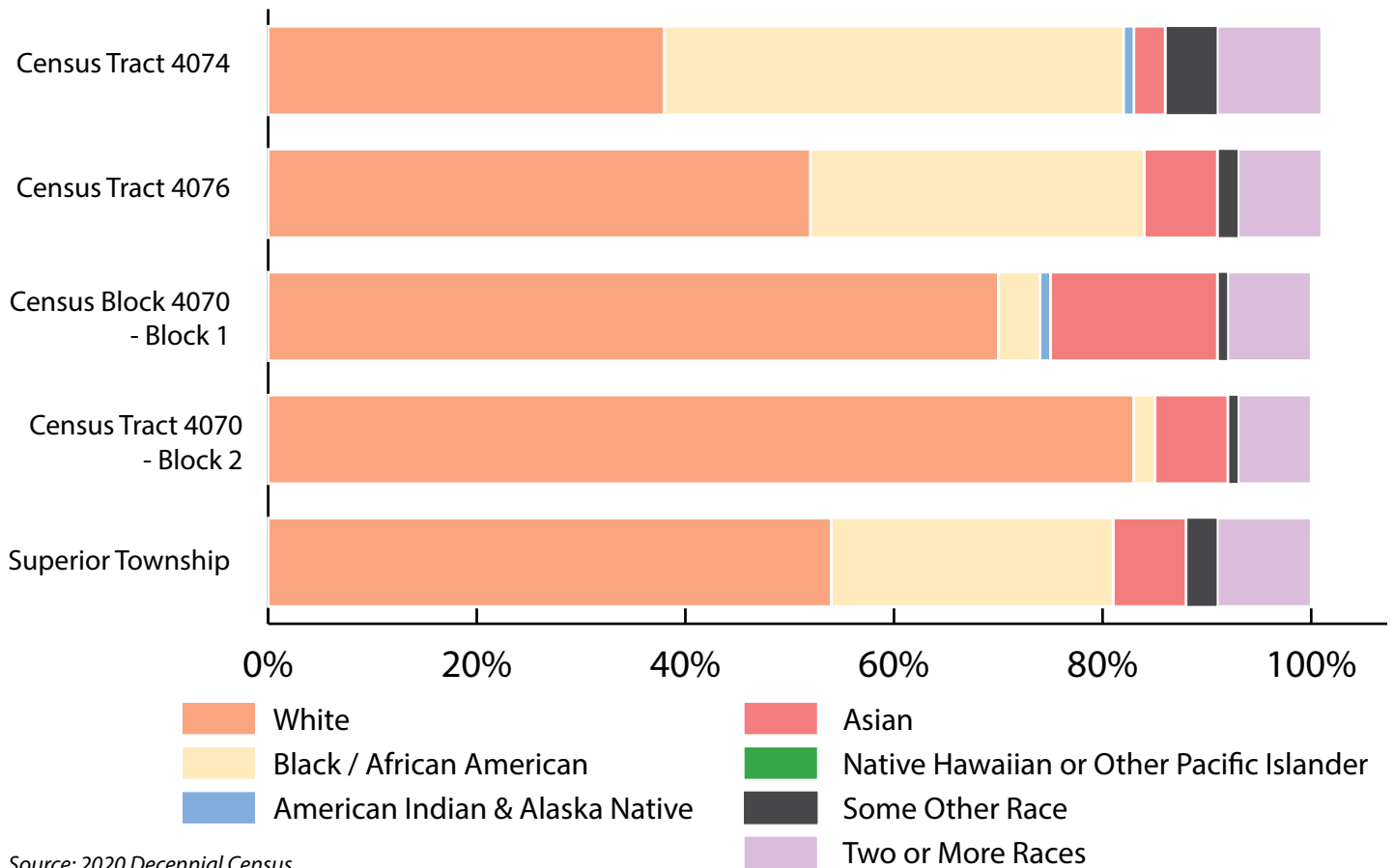
1 - Introduction

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As with household income, the race of Township residents varies between Township neighborhoods. Aforementioned census tract 4074 hosts a majority-minority racial makeup, with the largest racial group being Black or African American alone. The population of neighboring census tract 4076 hosts a nearly 50% minority population. To support the Township’s population, Master Plan actions should increase visibility of the Township’s diversity, enable equal opportunities and access to services, and promote community inclusion.

Jobs & Industries

Figure 7. Racial Percentages by Census Tract and Block - 2020



Source: 2020 Decennial Census

Hospitals and associated medical facilities are the Township's largest employers, making up 72% of jobs within the Township. Master Planning efforts can work to develop housing and transportation opportunities for residents who both live and work within the Township.

Educational Status

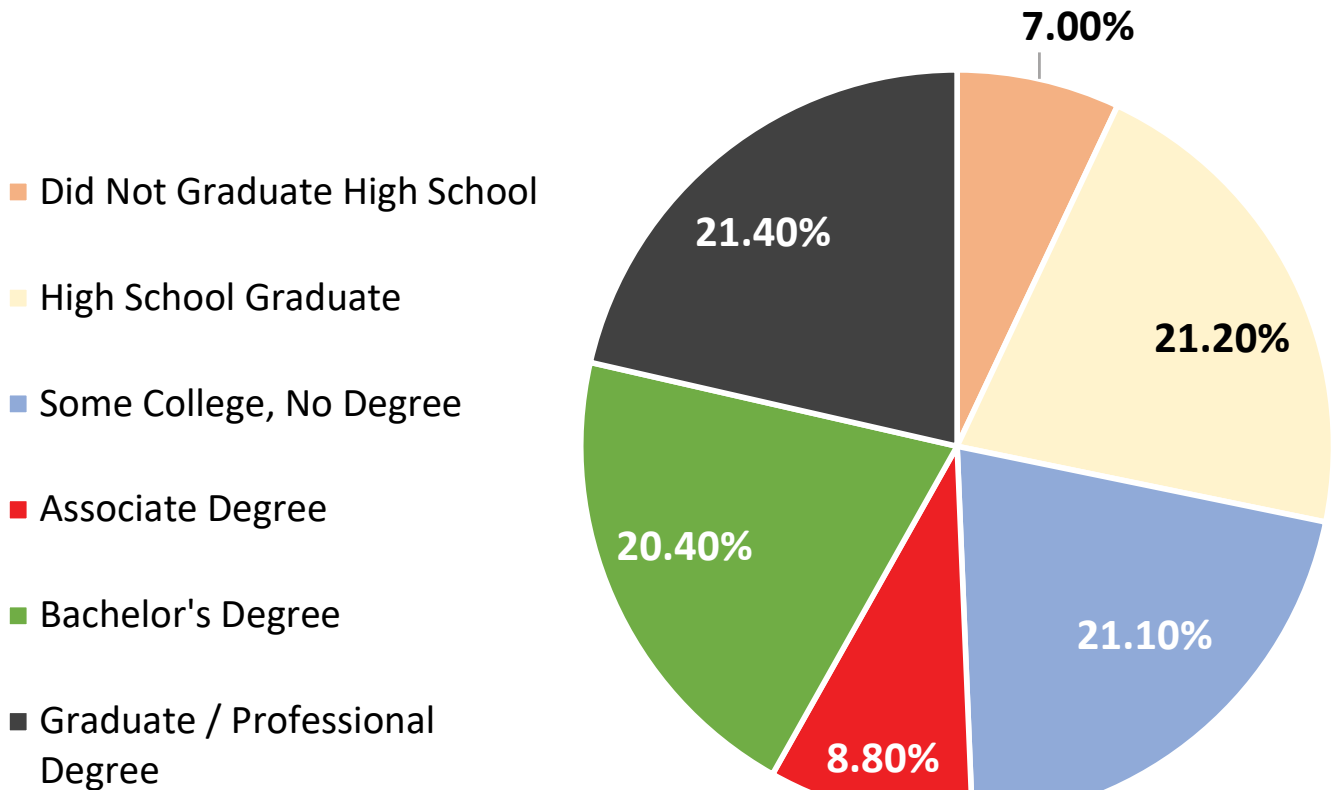
Approximately 25% of working age Township residents, those between 24 and 65 years, do not have an educational attainment beyond a high school degree. Planning efforts can incentivize the expansion of businesses with employment opportunities that support this workforce.

Housing

Table 4. 2020 & 2045 Forecasted Jobs by Industry Sector

Forecasted Jobs by Industry Sector	Percent of Total Jobs in 2020	Percent of Total Jobs in 2045
Healthcare Services	71.25%	70.94%
Professional and Technical Services & Corporate HQ	6.26%	5.86%
Administrative, Support, & Waste Services	5.86%	6.69%
Information & Financial Activities	3.31%	3.06%
Leisure & Hospitality	2.74%	3.31%
Natural Resources, Mining, & Construction	2.50%	2.36%
Other Services	1.75%	1.53%
Education Services	1.68%	1.63%
Retail Trade	1.44%	1.07%
Manufacturing	1.01%	1.45%
Wholesale Trade	0.77%	0.74%
Public Administration	0.76%	0.75%
Transportation, Warehousing, & Utilities	0.68%	0.61%

Figure 8. 2021 Educational Attainment, Ages 24-65 Years



Source: SEMCOG 2020 Estimates, SEMCOG 2045 Forecast, U.S. Census Bureau, 2017-2021 American Community Survey 5-Year Estimates

The predominant housing type within the Township is detached single-family housing units, which comprise almost 70% of all housing units in the Township. This value is higher than the County-wide housing stock. The second most common housing type is mobile home. Multi-family housing makes up less than 15% of total Township housing stock. This housing inventory reflects the Township's history and values but also poses challenges to residents in need of a more diverse housing stock.

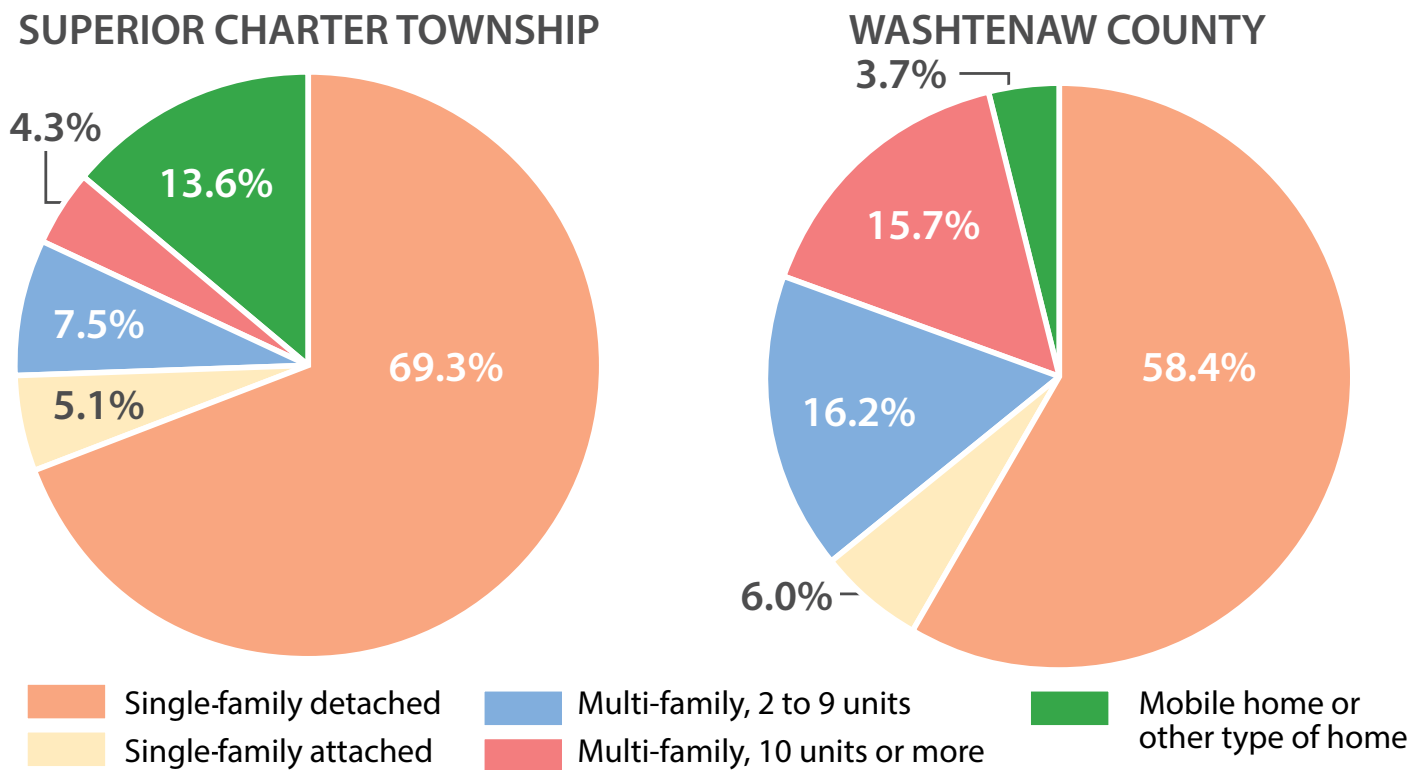
The Township's housing inventory has increased by an average of nearly 50 new housing units every year between 2007 and 2021. Most of these units were detached single-family. SEMCOG estimates that this pattern of new housing construction will increase, with approximately 2,471 new units being built by 2045: approximately 99 units per year. However, Master Plan actions can influence the location and density of these project constructions.

The vacancy rate in the Township is exceptionally low, which reflects the demand for housing, at 3.9%. By

comparison, the vacancy rate in Washtenaw County was approximately 5.7% in 2021, according to SEMCOG.

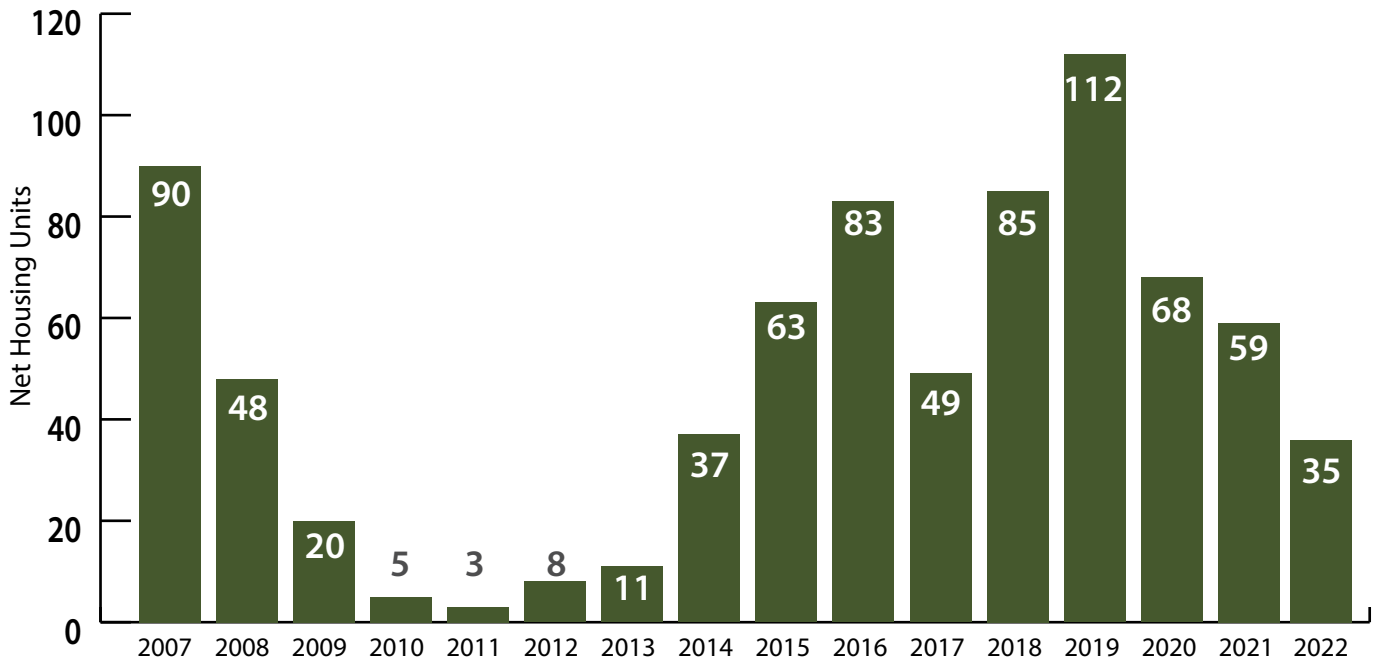
Housing costs in the Township are lower than the County median for homeowners and renters. Although housing costs are lower than neighboring Washtenaw County communities, Superior Charter Township residents are more cost-burdened than surrounding communities. Approximately 40% of all households in the Township pay 30% or more of their income towards monthly housing costs. Approximately 56% of renter households in the Township pay 30% or more of their income towards monthly housing costs. Several Master Plan strategies outlined in Chapter 5 aim to limit the burden of housing cost on Superior Charter Township residents.

Figure 9. 2021 Housing Types, Superior Charter Township



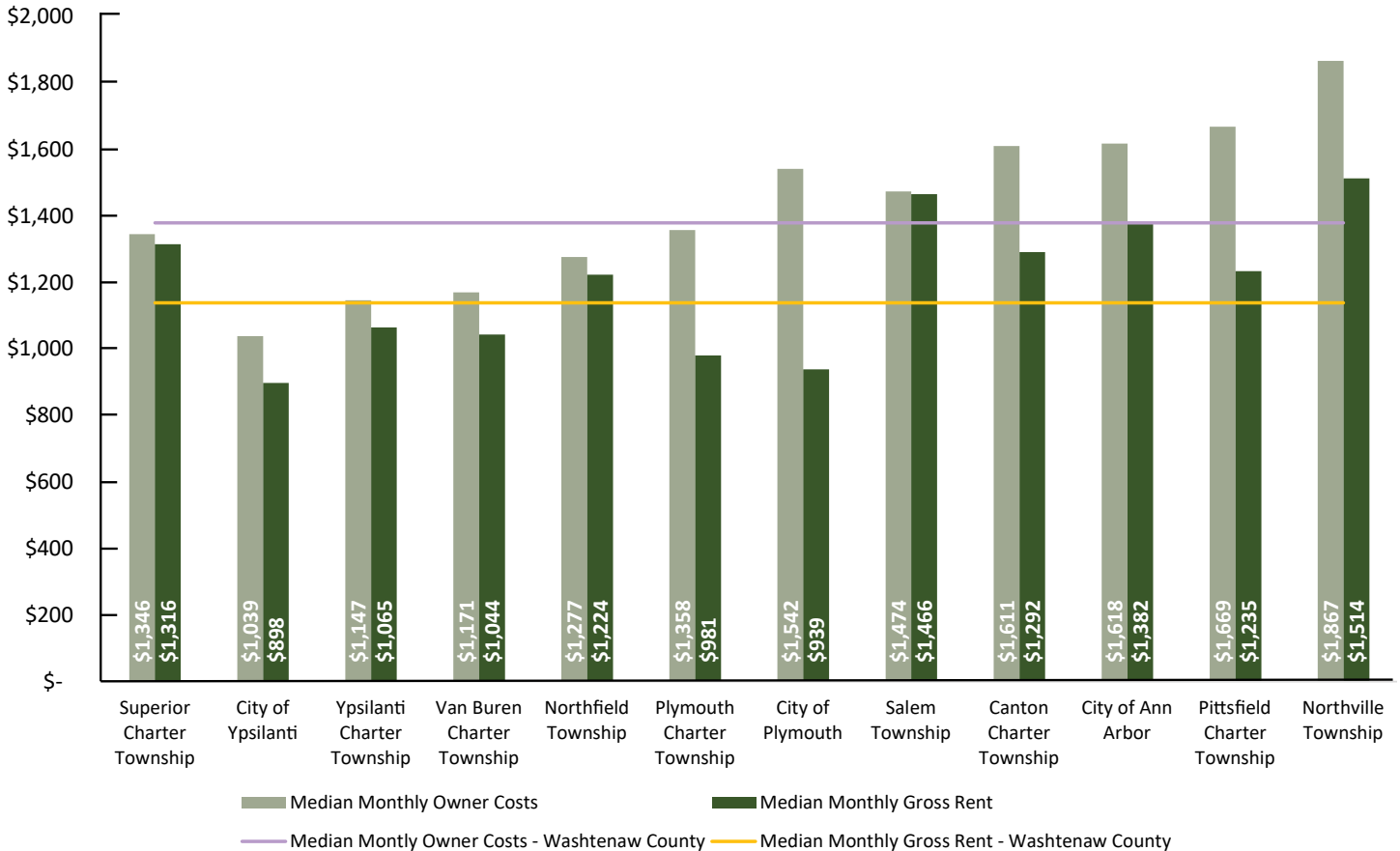
Source: U.S. Census Bureau, 2021 American Community Survey 5-Year Estimates

Figure 10. 2007 - 2022 Net New Total Housing Units per Year, Superior Charter Township



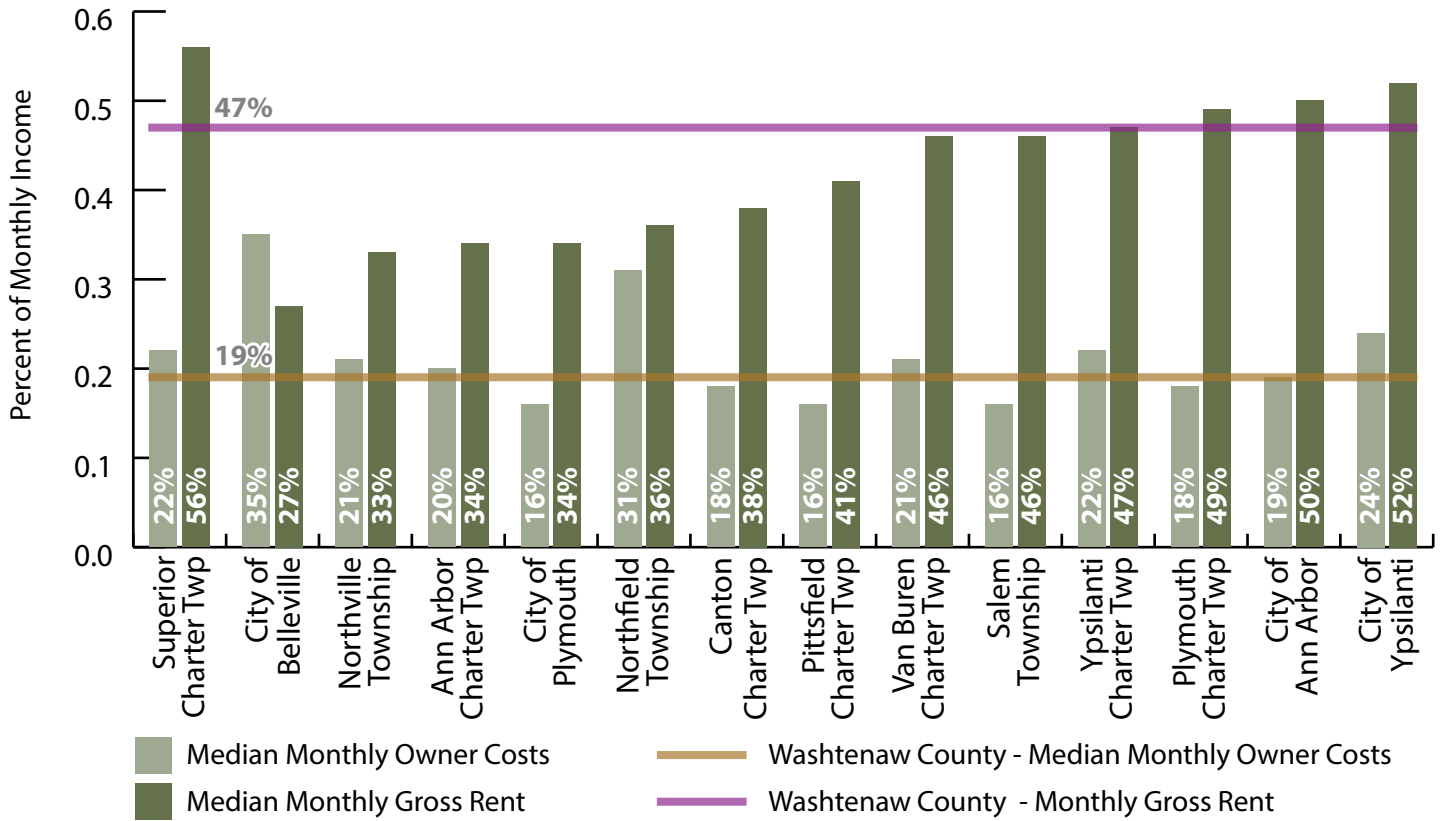
Source: SEMCOG 2022 Estimate

Figure 11. 2021 Median Monthly Housing Costs: Superior Charter Township & Surrounding Communities



Source: U.S. Census Bureau, 2017-2021 American Community Survey 5-Year Estimates

Figure 12. 2019 Percent of Households Paying 30% or Greater of Income in Monthly Housing Costs

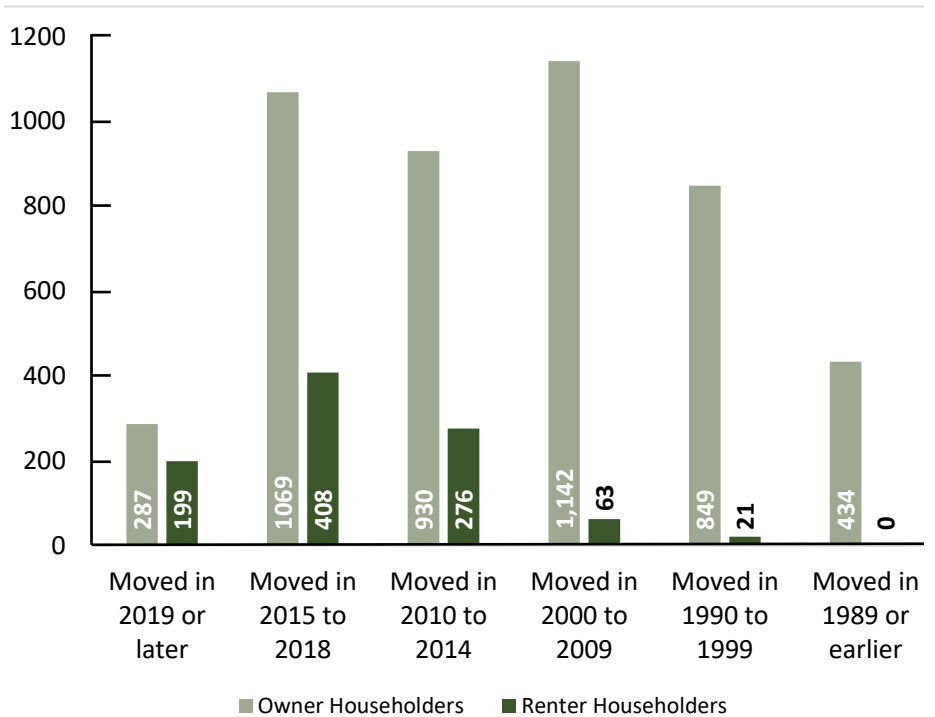


Source: U.S. Census Bureau, 2015-2019 American Community Survey 5-Year Estimates

The total influx of people into the Township has slowed in the last decade. However, while historic estimates of household tenure (people who rent or own) are less reliable, Census estimates suggest that the proportion of renter households in the Township has grown over the last decade. In the last five years, the proportion of renters moving into the Township has outpaced the proportion of homeowners.

Master Plan strategies can promote quality housing for all income levels and housing types, for both renters and homeowners, while supporting the Township’s long-standing general development patterns.

Figure 13. Households by Year Householder Moved into Housing Unit, Superior Charter Township, 2021



Source: U.S. Census Bureau, 2017-2021 American Community Survey 5-Year Estimates

Commuter Patterns

Approximately 6,175 Township residents are part of the workforce and do not work from home, as measured from ACS 5-year estimates from 2017 to 2021.

Over half of workers who live in the Township travel less than 30 minutes to get to work. Roughly 35% of working residents commute for more than 30 minutes with roughly 7% of the working residents traveling for over an hour. Most of these commuters work in Ann Arbor, Scio Township, Pittsfield Township, and Ypsilanti Township. The remaining residents work along the I-275, I-96, and I-696 corridors north of the Township.

The 2015-2019 ACS 5-year estimates showed approximately 2,600 people who work within Superior Charter Township. About 5% of commuters drive over 50 miles to work in Superior Charter Township. The majority, roughly 80%, travel less than 25 miles, half of whom drive only 10 miles or less. Most workers commute from Ann Arbor and Ypsilanti Township. The COVID-19 pandemic may have impacted these values, but newer data is unavailable at the time of this writing.

Identifying commuter patterns within and beyond the Township can inform planning actions that serve to alleviate traffic, improve safety, and expand public transportation opportunities for Township residents and employees.

Figure 14. Work Destinations for People Who Live in the Township, 15-Mile Radius, 2019

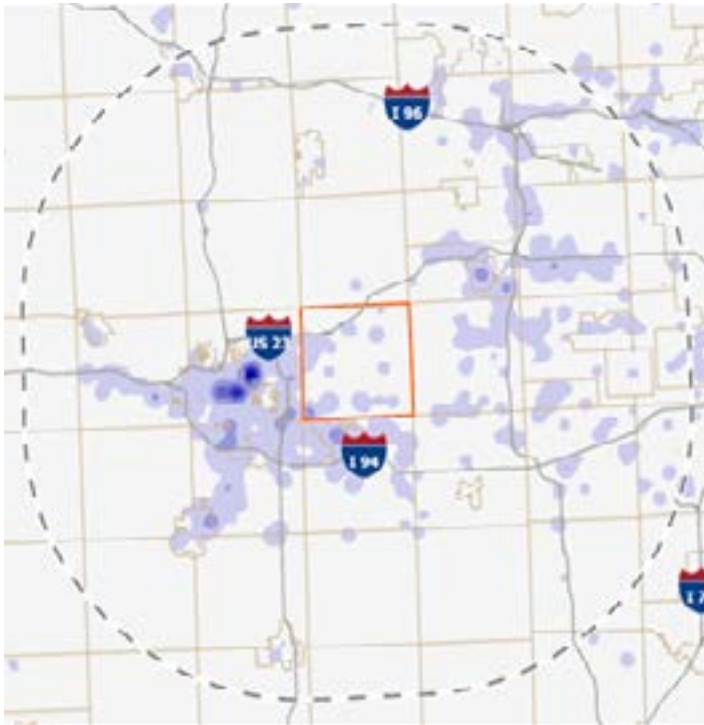


Table 5. Time Traveled to Work, Superior Charter Township Residents, 2021

	Count	Share
Total All Jobs	6,175	100.0%
Less than 15 minutes	863	13.9%
15 to 30 minutes	3,157	51.1%
30 to 60 minutes	1,739	28.2%
More than 60 minutes	416	6.7%

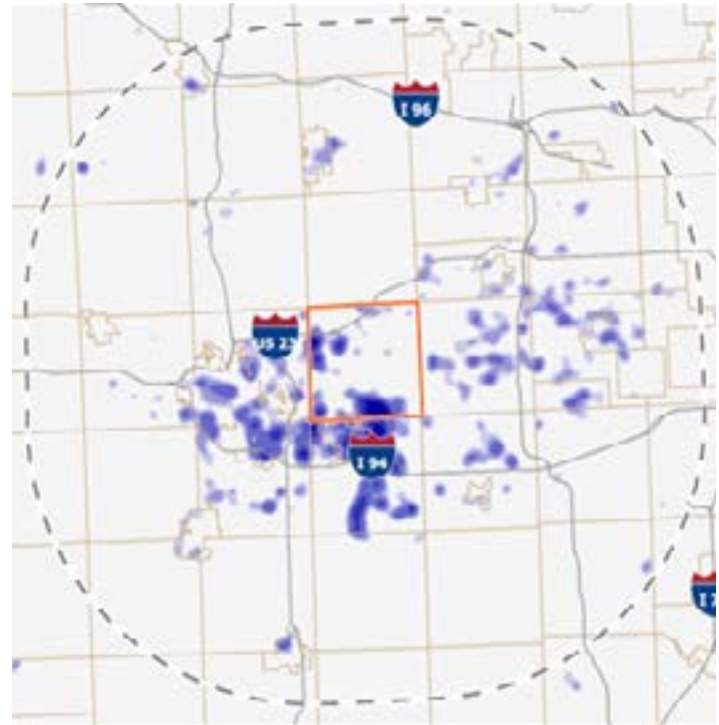
Source: U.S. Census Bureau, 2017-2021 American Community Survey 5-Year Estimates

Table 6. Distance Traveled to Work, Superior Charter Township Workers, 2019

	Count	Share
Total All Jobs	2,582	100.0%
Less than 10 miles	1,062	41.1%
10 to 24 miles	1,027	39.8%
25 to 50 miles	362	14.0%
Greater than 50 miles	131	5.1%

Source: U.S. Census Bureau, 2015-2019 American Community Survey 5-Year Estimates

Figure 15. Home Destinations for People Who Work in the Township, 15-Mile Radius, 2019



Transportation

The principal arterial roads in the Township are Ford, Prospect, Plymouth-Ann Arbor, Geddes, and Clark Roads. Geddes and Prospect Roads are likely to increase in importance because of their roles in the area-wide road network.

Excluding the arterial roads north of Geddes, most roads in the Township are gravel roads. Due to the low volume of traffic produced by the existing and planned development in this area, these roads are sufficient to provide for the transportation needs in those areas. In addition to passenger vehicles that use these roads to access the very low-density housing in this area, these roads are used to move farm equipment, transport farm products and are frequently used for recreation by walkers, bikers, and even equestrians. However, increased vehicle speeds on these roads make them less safe for farm use and recreation.

Traffic volume from development in adjoining jurisdictions will continue to put pressure on these arterials. Planning actions that work to retain the rural character of these areas, limit traffic, and reduce speeds align with the Township growth management and development goals.

Table 7. Road Type Inventory, Superior Charter Township

Road Type	Miles
County Local	68.96
County Primary	32.18
Non Act 51 Certified	32.42
State Trunkline	15.83
Total	149.39

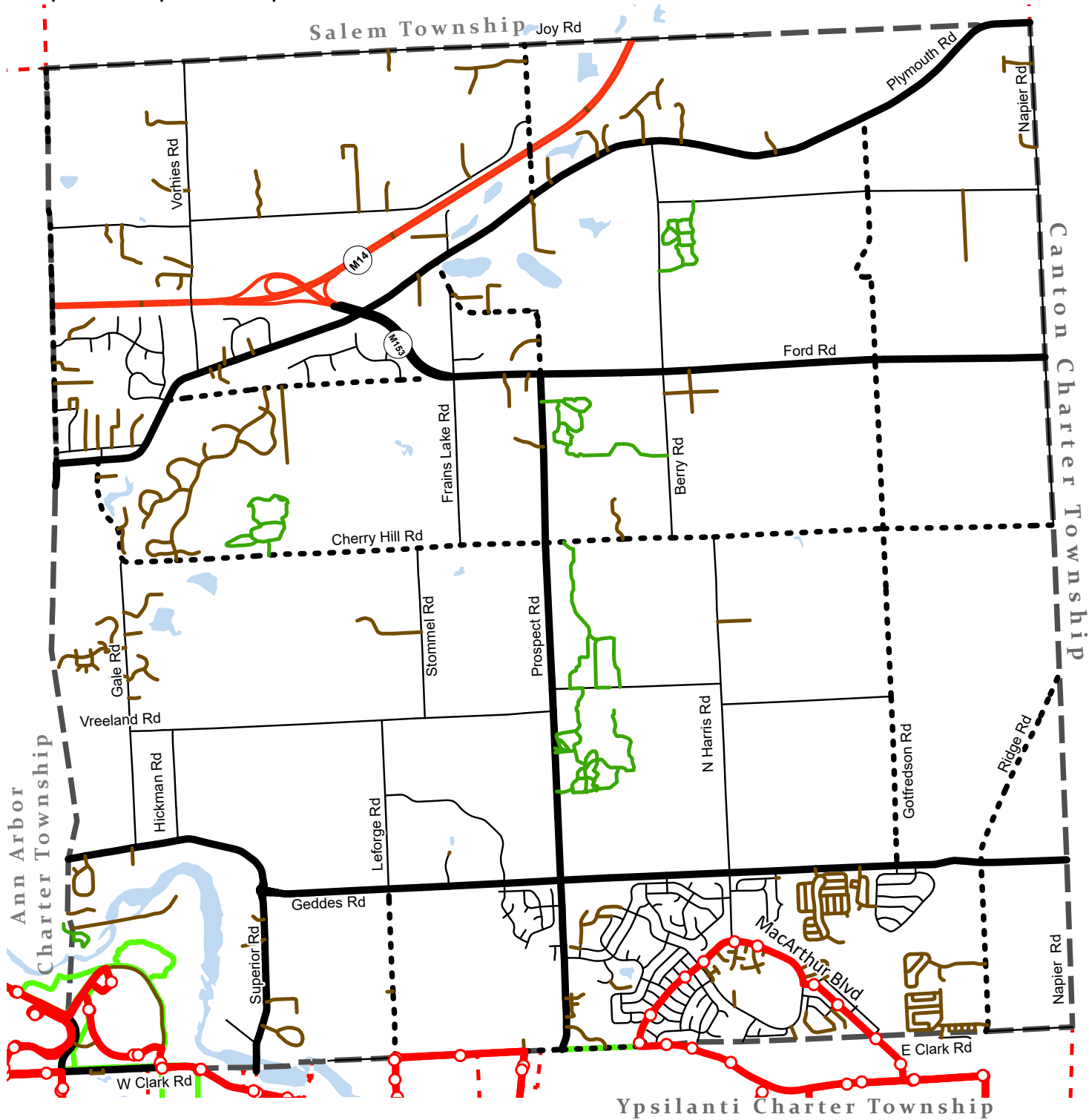
Geddes Road Corridor

One of the most significant east/west transportation routes in Superior Charter Township, north of the Ann Arbor-Ypsilanti urban area, is Geddes Road. Geddes Road has historically served as a regional arterial connector from rural areas to urban centers and other transportation networks. Within Superior Charter Township, Geddes Road passes through significant land holdings of the Ford Motor Company, highly productive farmlands, the Township's Technology/Research Village area anchored by the Hyundai-Kia Motors Technical Center, and notable residential areas. Farther to the west, within Ann Arbor Township, Geddes Road intersects with the Dixboro Road corridor, an area becoming increasingly urbanized, and with an interchange with US-23. The two-lane rural character of Geddes Road is enhanced as it passes through long stretches of flat agricultural lands in the eastern and central portions of the Township and then turns into a winding roadway over gentle hills in the western portion of the Township.

Geddes Road will continue to increase in importance because east/west transportation is restricted within the southern portion of the Township. The Huron River is located south of Geddes Road. University of Michigan properties, including Radrick Farms and Matthaei Botanical Gardens, are located west of Gale Road and north of Geddes Road. Other north/south roadways intersect with Geddes Road, thus directing additional traffic onto Geddes Road. Previous planning policies have recognized that Geddes Road is a logical physical barrier to buffer rural lands to the north from encroaching urban development from the south.

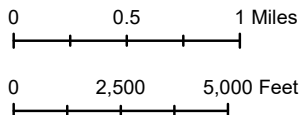
In recognition of the dynamic pressures that will be placed on Geddes Road in the future, policies in the Master Plan will be directed toward maintaining the unique rural character of Geddes Road and retaining it as a physical barrier to buffer land uses. This will include an initiative to plant trees along each side of the road, and to construct a separate non-motorized trail along the road.

Map 2. Transportation Map



Road National Functional Classification (NFC)

- Other Freeways
- Arterial Roads
- Collector Roads
- Local roads
- Private roads
- Border to Border Trail
- Superior Township Boundary
- Adjacent Community Boundaries
- Paths and Trails
- Waterways
- TheRide Stops
- TheRide Routes



Transportation

Superior Charter Township
Washtenaw County

Roads, Tax Parcel, and Rivers Data
from Washtenaw County GIS

October 16, 2023
Carlisle/Wortman Associates, Inc.
Ann Arbor, Michigan



The M-14 Corridor

The M-14 freeway, opened to traffic in 1979, will continue to increase pressure for development in the area along the freeway and Plymouth-Ann Arbor Road, especially for rural housing. Fortunately for the preservation of agricultural land, the freeway corridor does not pass through the Township's best farmland. The freeway will also increase the importance of Ford Road east of the freeway. To a lesser extent it will also increase the importance of Plymouth and Prospect Roads. M-14 has become a preferred route for commuters traveling from north and west of Ann Arbor to work in the Metro Detroit region. As a result, it is becoming more frequently congested during peak hours, which results in vehicles diverting to Plymouth-Ann Arbor or Ford Roads.

Transit and Non-Motorized Transportation

An expanded public transportation system will also be an important issue in the next 20 years. The pattern and density of future development in the urban part of the Township should take this issue into account. In addition, the non-motorized circulation system must be increased. At a minimum, non-motorized trails or sidewalks are essential along existing arterials and collectors south of Geddes Road and on Prospect Road, as well as along all new streets in subdivisions and condominium developments.

Conservation efforts in the Township have resulted in a growing trail network. This Master Plan includes initiatives which seek to expand the growing trail network and improve non-motorized connections throughout the Township. A Non-Motorized Plan may facilitate greater progress toward a more robust non-motorized trail network in Superior Charter Township.

Transit accessibility and sidewalk coverage is limited and is concentrated in the southern part of the Township. Three AAATA TheRide bus routes travel through the Township. However, all three routes are concentrated in the southernmost portion of the Township and do not fully cover the residential communities south of Geddes Road. Increasing Township residents' accessibility to bus routes will require coordinated efforts with neighboring jurisdictions.



Natural Features

Geology & Topography

The existing terrain in and around Superior Charter Township was shaped by the Wisconsin ice sheet, which retreated from the region about 13,000 years ago. The substrate consists mainly of sandstone, limestone, shale, salt, and gypsum. Superior is characterized as flat to moderately hilly with bands of gently rolling topography from the southwest to the northeast corner of the Township. Elevation changes from a high of 938 feet in the far northwestern corner of the Township to 708 feet near the intersection of Ridge Road and Geddes Road. Fleming Creek, which roughly parallels Plymouth-Ann Arbor Road, forms a gentle valley running from the northeast to the southwest, before ultimately meeting with the Huron River south of Stark Strasse Street. Smaller tributaries including Fowler Creek flow southeast into Wayne County as part of the greater Rouge River watershed. Map 3 on page 28 provides a visual representation of topography in the Township.

Soils

Two major soil associations are identified in the Washtenaw County Soil Survey for Superior Charter Township: Morley-Blount and St. Clair-Nappanee-Hoytville. These soils are fine to medium texture loams and clay. They have a moderate water capacity and slow permeability. Around 75% of the soils are suitable for agriculture with the remaining composed of wetlands or steep slopes.

Water Resources

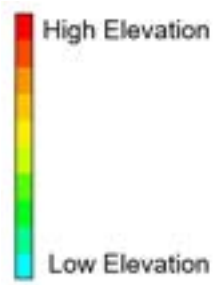
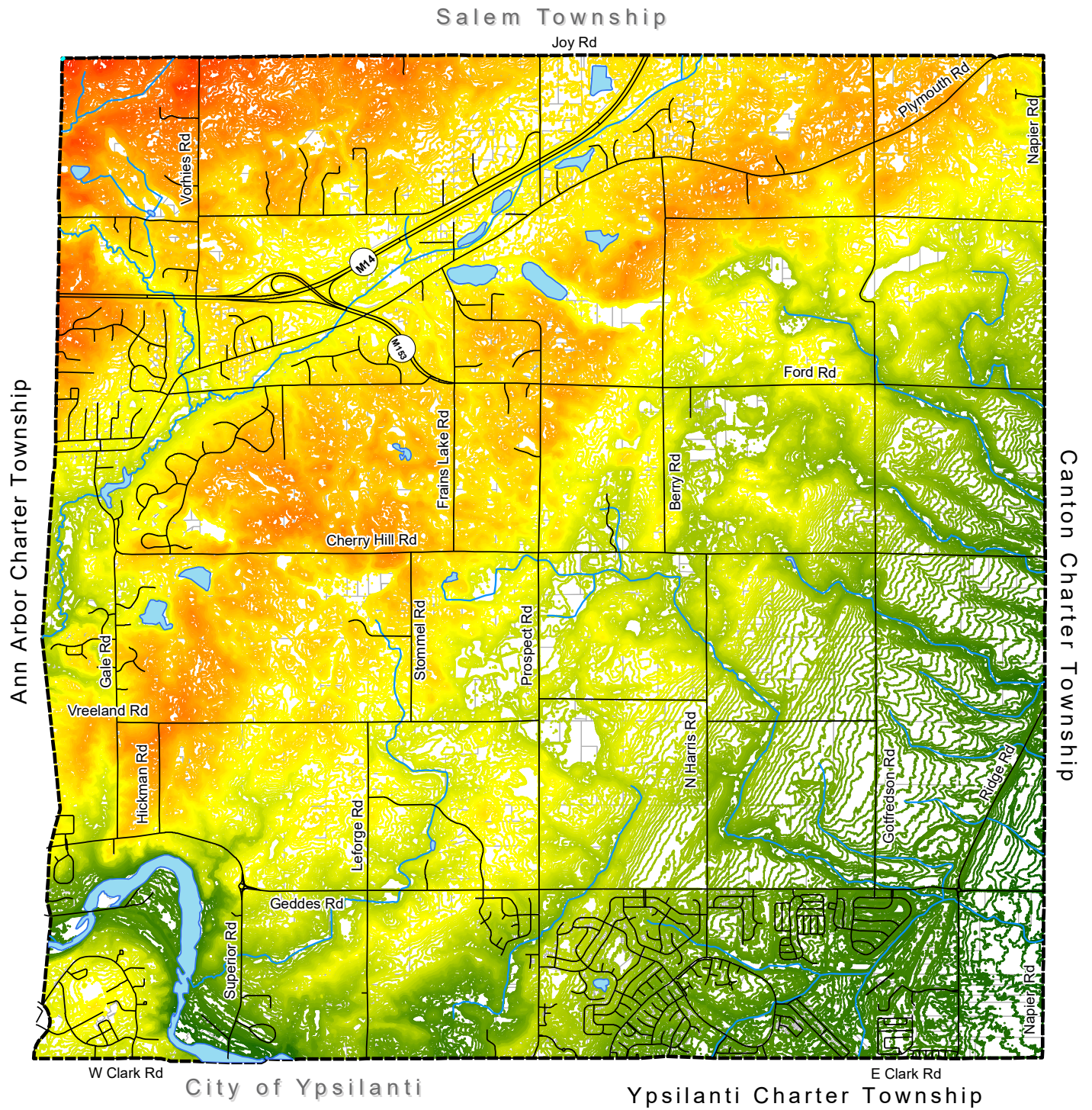
Superior Charter Township is within the Huron River and Rouge River basins. The Huron River basin captures flow from the western portion of the Township and the Rouge River basin captures flow from the eastern portion. The Huron River, specifically its tributary Fleming Creek, is the Township's largest waterway. Precipitation is the major source of groundwater recharge for the Huron River basin. The northeastern portion of the Township generally has adequate groundwater access, but the southeastern area is sometimes in low supply. Sensitive groundwater recharge areas exist near Fleming Creek, the Huron River, and the eastern edges of the Township. The exact location of underground aquifers is difficult to establish, and new development or uses may or may not adversely affect local water supplies.

Wetlands

Wetlands are prevalent throughout the community, particularly in the central and northern sections. The Michigan Department of Environment, Great Lakes, and Energy (EGLE) wetland maps show a widespread network of hydric soils and wetlands; Map 5 on page 30 highlights the location of confirmed wetlands only. Some of the largest examples can be found in the Matthaei Botanical Gardens, the northern portion of LeFurge Woods Nature Preserve, and in Harvest Moon Park. The composition of the wetlands varies from location to location, but scrub-shrub wetlands, wet prairies, and hardwood swamps are common. Superior Charter Township enacted a wetlands ordinance in 1998 to protect these delicate features of the Township.



Map 3. Topographic Map

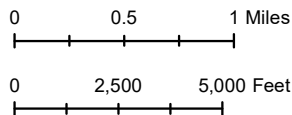


Elevation Map

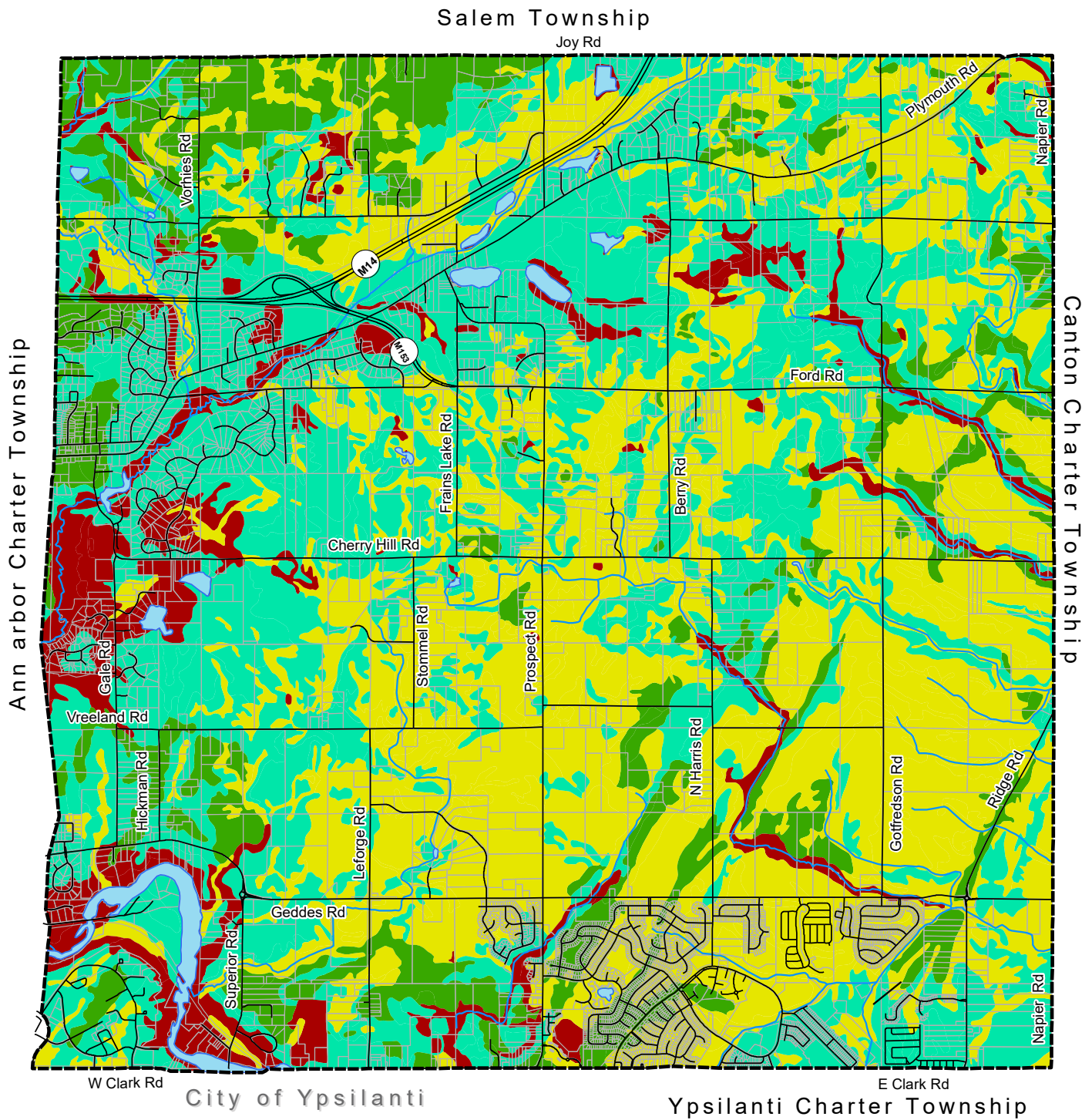
Superior Charter Township
Washtenaw County

Roads, Tax Parcel, and Rivers Data
from Washtenaw County GIS

January 5, 2022
Carlisle/Wortman Associates, Inc.
Ann Arbor, Michigan



Map 4. Soils Map



- Prime Farmland
Land that has the best combination of physical and chemical characteristics for producing
- Farmland of Local Importance
May be designated for agriculture by local ordinance
- Not Prime Farmland
- Prime Farmland (If Drained)



0 0.5 1 Miles

0 2,500 5,000 Feet

Agricultural Soils
 Superior Charter Township
 Washtenaw County
 Roads, Tax Parcel, and Rivers Data
 from Washtenaw County GIS
 Soils Data from USDA
 February 9, 2022
 Carlisle/Wortman Associates, Inc.
 Ann Arbor, Michigan



6 - Dixboro Special Area Plan

5 - Strategies & Implementation

4 - Growth Management & Future Land Use

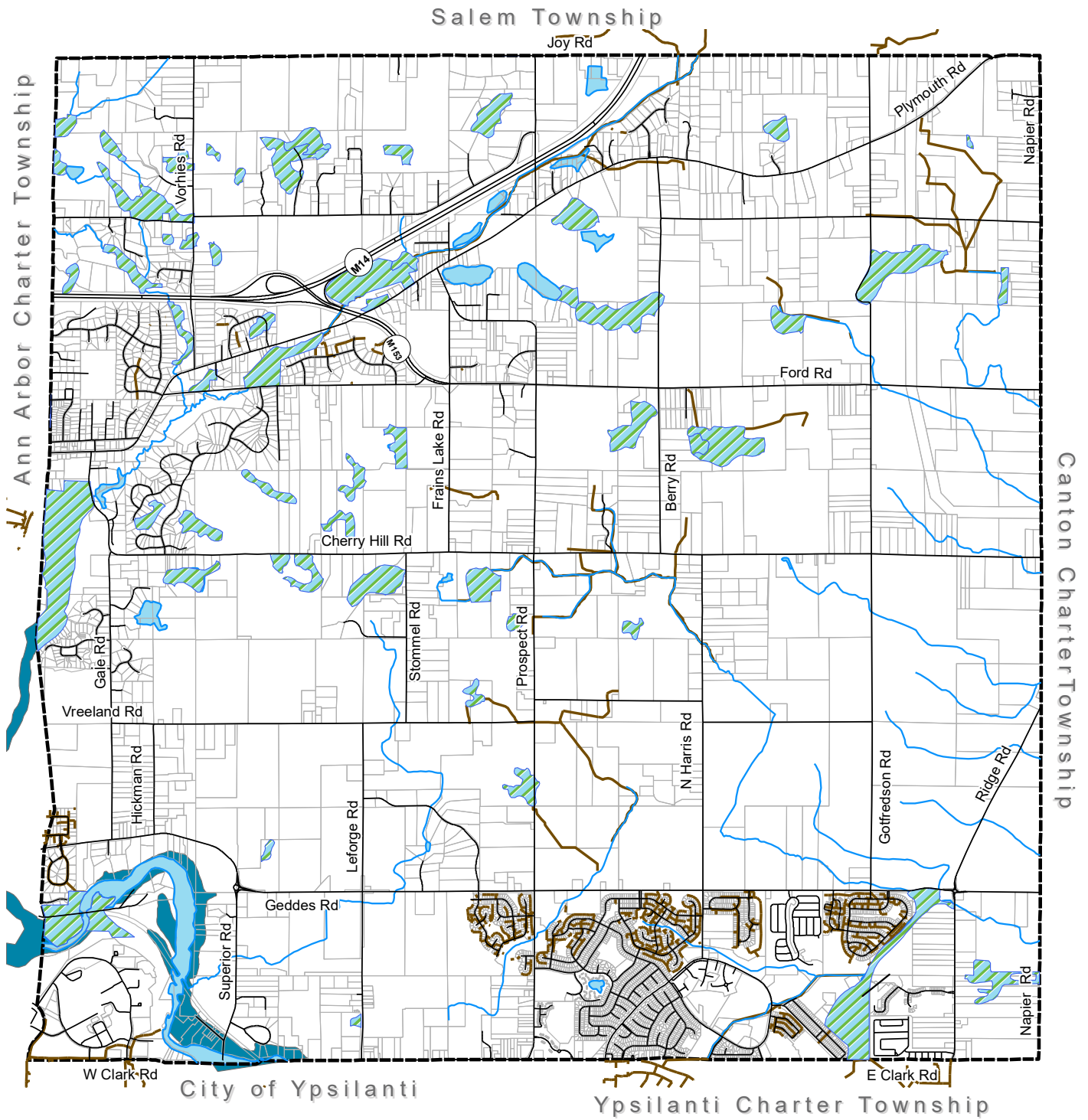
3 - Vision & Policies






2 - Community Profile

1 - Introduction

Table of Contents

Map 5. Wetlands and Water Bodies



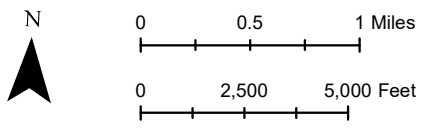
-  Wetlands
-  Rivers/Streams
-  Lakes/Ponds
-  Drains
-  Floodplains

Natural Features - Water Bodies

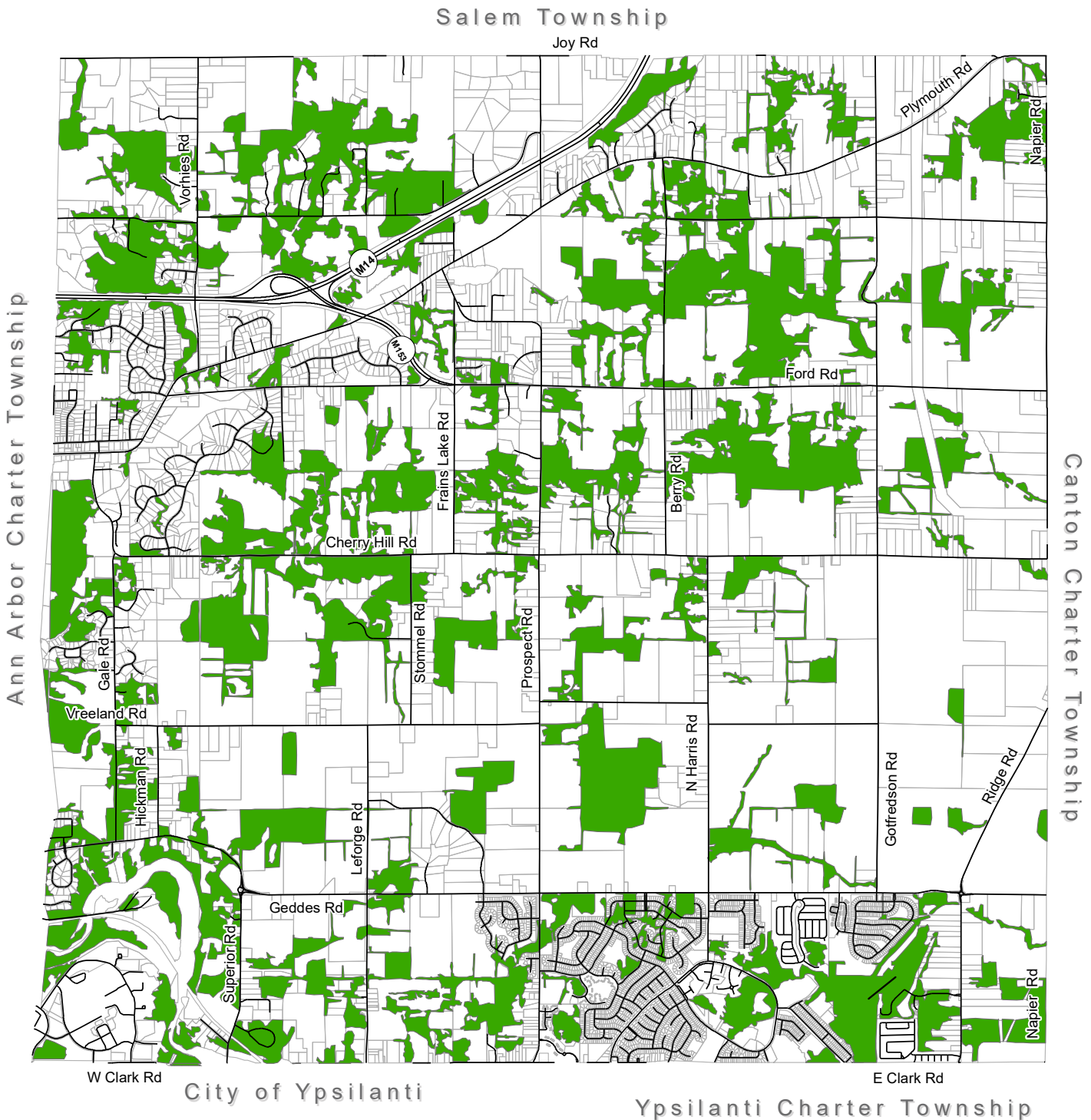
Superior Charter Township
Washtenaw County

*Roads, Tax Parcel, and Rivers Data
from Washtenaw County GIS*

June 30, 2023
Carlisle/Wortman Associates, Inc.
Ann Arbor, Michigan



Map 6. Woodland Areas




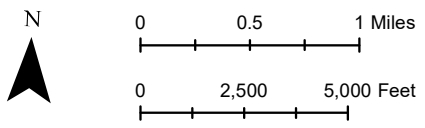
 Woodlands

Natural Features - Woodlands

Superior Charter Township
Washtenaw County

*Roads, Tax Parcel, and Rivers Data
from Washtenaw County GIS*

January 5, 2022
Carlisle/Wortman Associates, Inc.
Ann Arbor, Michigan 



6 - Dixboro Special Area Plan

5 - Strategies & Implementation

4 - Growth Management & Future Land Use

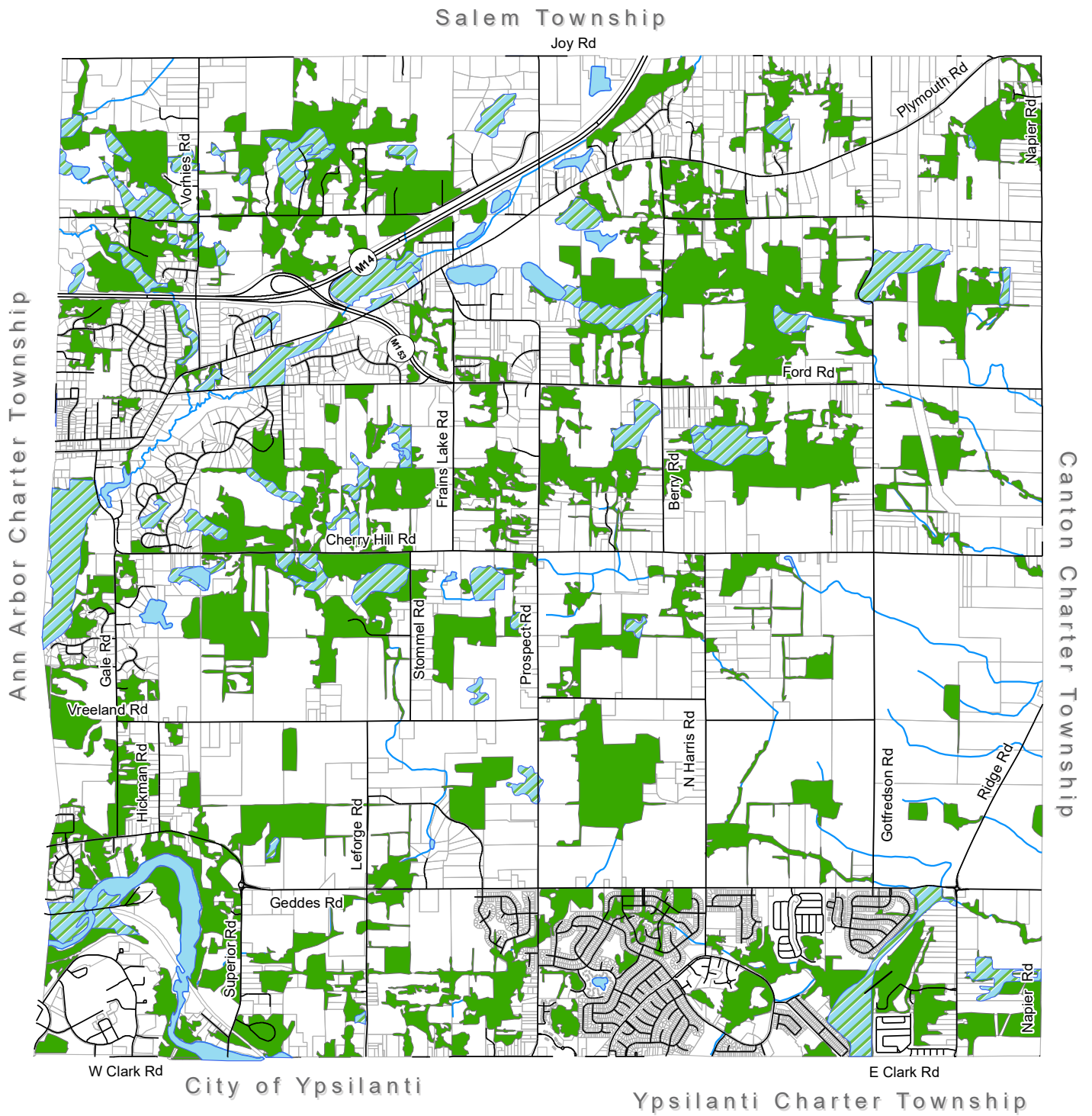
3 - Vision & Policies





2 - Community Profile

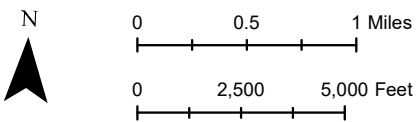
1 - Introduction

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Map 7. Natural Features Map



-  Lakes/Ponds
-  Wetlands
-  Woodlands
-  Rivers/Streams



Natural Features

Superior Charter Township
Washtenaw County

Roads, Tax Parcel, and Rivers Data
from Washtenaw County GIS

January 5, 2022
Carlisle/Wortman Associates, Inc.
Ann Arbor, Michigan



Environmentally Sensitive Areas

Environmentally sensitive areas (ESAs) are areas of natural features which are vital to the long-term maintenance of biological diversity, soil, water, or other natural resources both on the site and in a regional context. They include wildlife habitat areas, steep slopes, wetlands, watercourses, woodlands, and prime agricultural lands.

ESAs have special environmental attributes worthy of retention or special care in order to:

- a. Maintain habitat, open space, and wildlife corridors;
- b. Provide stormwater management, filtration, and flood and erosion control benefits; and
- c. Protect surface and groundwater quality.

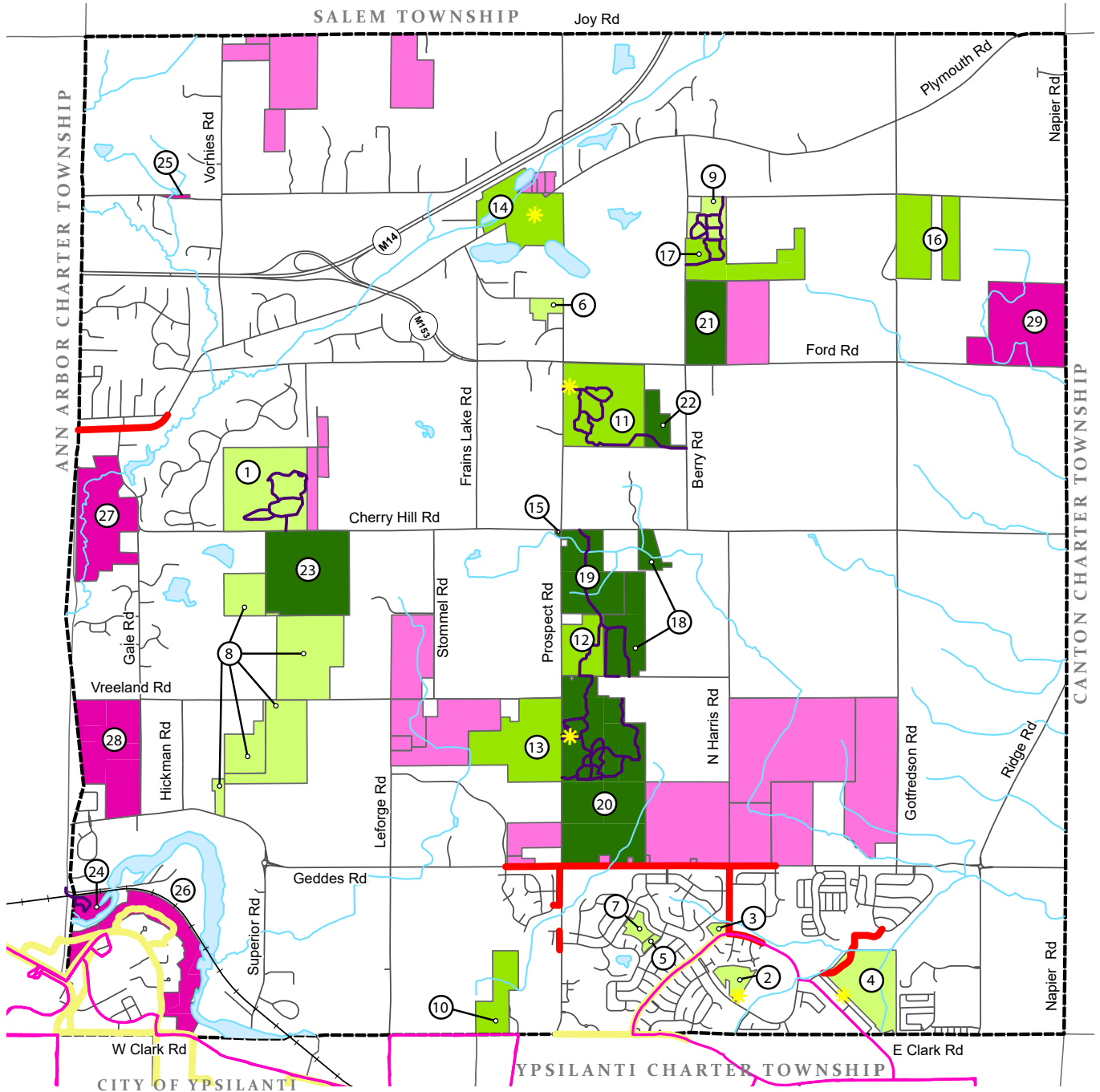
ESAs range in size from small patches to extensive landscape features. They can include rare or common habitats, plants, and animals.

When ESAs are interconnected, they can form greenway corridors consisting of networks of linked natural area elements that provide ecological, recreational, and cultural benefits to a community. By implication, the planning process which communities use in protecting ESAs can serve as a template for developing greenway corridors.

Strategies for protecting identified, environmentally sensitive areas are reflected in the Township policies, specifically in the future land use plan. The maps beginning on page 28 and running through page 32 provide a high level view of the natural features that help to define ESAs. Map 8 on page 34 shows all of the local, county, and other recreational and preserved properties in the area which form the Superior Greenway and the overall network of protected properties in the Township.



Map 8. Recreation & Conservation Properties Map



- Superior Charter Township
- Washtenaw County Parks & Rec
- SE Michigan Land Conservancy
- Purchase of Development Rights
- Other Recreation / Conservation
- B2B Trail
- Superior Twp Trails
- Trails 2023
- Public Access Parking Lots
- Roads
- Lakes/Ponds
- Rivers/Streams
- AAATA Routes

SUPERIOR CHARTER TOWNSHIP

1. Cherry Hill Nature Preserve
2. Community Park
3. Fireman's Park
4. Harvest Moon Park
5. Norfolk Park
6. North Prospect Park
7. Oakbrook Park
8. Rock Superior Properties
9. Schroeter Park

SE MICHIGAN LAND CONSERVANCY

18. Conservancy Farm
19. Jack R. Smiley Nature Preserve
20. LeFurge Woods Nature Preserve
21. Secrest Nature
22. Springhill Nature Preserve
23. Unnamed Preserve

WASHTENAW COUNTY

10. Highland Preserve
11. Kosch Headwaters Preserve
12. Myer Preserve East
13. Meyer Preserve West
14. Staebler Farm County Park
15. Superior Center County Park
16. Lost Wagon Lake Preserve
17. Weatherbee Woods Preserve

OTHER RECREATION / CONSERVATION

24. Forest Nature Area
25. Wing Nature Preserve
26. St. Joe's Nature Area
27. Matthaei Botanical Gardens
28. Radrick Farms Golf Course
29. Hickory Creek Golf Course

Recreation & Conservation Properties
Superior Charter Township
Washtenaw County, Michigan

Data: Superior Charter Township, Washtenaw County, State of Michigan
Carlisle/Wortman Associates
12/7/2023



0 0.5 1 Miles

Chapter 3: Vision & Policy Statements



Image Source: Detroit Free Press

A necessary element to the Superior Charter Township Master Plan is the articulation of a vision for the Township's future and the formulation of policies. The vision for the future is influenced by the challenges of the present, including loss of agricultural services and land, pressure from urban growth in surrounding communities, and the need for development that supports the current and future residents' needs and preferences. The vision, mission, goals, and strategies were crafted as part of the community-based process. The vision statement in this Master Plan represents the long-term aspirational vision of what the community desires to be. The vision is based on the existing community character, its assets, and how the residents and stakeholders would like the Township to look and function in the future. The vision is based on shared community ideals and represents a starting point for the policy direction in this plan. All policies, strategies and actions should be aligned to achieve this vision.

Vision

Superior Charter Township's community vision is rooted in strong neighborhoods, land preservation, sensible economic development, and environmental preservation to ensure a livable, sustainable community for all residents. In the context of the Master Plan, the Township defines sustainability as development that meets the needs of the present without compromising the ability of future generations to meet their own needs. The community envisions a future where housing needs of the community are met; various high quality efficient means of transportation are available that provide community members access to jobs and resources; open space, agricultural land, and natural features are preserved; and there is an appropriate level of commercial and industrial development that provides employment opportunities and financial benefits to the community.

Superior Charter Township strives to find the right balance between preservation and development and considers social, environmental, and economic impacts in guiding development while achieving carbon neutrality; preserving open space; protecting natural resources, including air, water, natural habitats, and public lands; and maintaining viable agricultural land and rural character.

Policies

Policies are a set of statements which are based on the community vision that can be used as tools to guide decision-makers such as Township staff, the Planning Commission, and the Township Board in their deliberations on zoning, land preservation, economic development, capital investment, and other matters relating to land use and development. This will provide a stable, long-term basis for decision-making. The policy statements attempt to balance the various interests and ensure that each decision is consistent with the overall vision for the Township. They articulate preferred development patterns and influence development strategies and means of preservation that are appropriate for the Township.

The policies presented in this chapter were developed with input from residents, property and business owners, the Planning Commission, the Township Board of Trustees, and other Township officials.

Policies are organized around five major themes including Growth Management, Open Space and Land Preservation, Housing, Environmental Protection, and Transportation.

Growth Management Policies

Growth management has been an effective strategy implemented by the Township since its inception. Growth management is an effective land use planning approach to implement where unrestrained development would impede natural and conserved areas, alter community character, and threaten to outpace the provision of adequate infrastructure. The Township recognizes that different growth management strategies are necessary in different portions of the Township. Historically, the Township has found that growth management tools are necessary because there has been pressure to convert agricultural lands and natural areas to other uses, which is contrary to community goals and desires. However, growth management doesn't mean no growth, rather it attempts a balanced approach to provide for appropriate and desired growth in areas that have the necessary infrastructure, are consistent with existing land uses, contribute to community character, and do not conflict with the Township vision.

- Policy 1:** Superior Charter Township supports the long-standing Township policies that have established the existing general development pattern in the Township.
- Policy 2:** The type and density of new development should remain consistent with existing types and densities of nearby land uses.
- Policy 3:** Maintaining the existing agricultural preservation and rural character of the community is essential to Superior Charter Township.
- Policy 4:** Superior Charter Township supports its robust and historical agricultural base.
- Policy 5:** Superior Charter Township supports existing and planned development that provides jobs in the community.
- Policy 6:** Superior Charter Township supports diverse land uses that provide residents convenient access to housing, goods, and services.
- Policy 7:** Superior Charter Township believes that any new development (Residential/Commercial/Industrial) should be focused within designated and planned areas.
- Policy 8:** Superior Charter Township believes that any new development (Residential/Commercial/Industrial) should be done in a sustainable manner.
- Policy 9:** Superior Charter Township strives to recognize and protect historic assets.
- Policy 10:** Superior Charter Township's land use goals support regional land use goals.

Open Space, Land Preservation, and Agricultural Preservation Policies

Superior Charter Township has a rich agricultural heritage that has yielded the rural landscape which we see today and that largely defines the Township. Protecting agricultural heritage is important to the community, and it is also important from a state and national perspective. Agriculture is Michigan's second-largest industry, and Michigan agriculture is the second most diverse in the nation, trailing only California. Protecting farmland enables farmers to continue their operations and maintain a viable local food system which reduces reliance on distant sources. Superior Charter Township's farmland is among the best in Michigan, and it is our responsibility to protect it for present and future generations.

Conserving farmland along with woods, meadows, and wetlands also provides habitat for wildlife, promotes biodiversity, and contributes to the overall health of ecosystems. Woodlands and fields permit greater groundwater recharge and maintain water quality. Streams, wetlands, and small lakes host buffer vegetation that protects and enhances water quality. Protecting farmland, fields, and woods can also mitigate the impacts of climate change by sequestering carbon dioxide and reducing greenhouse gas emissions. The coordinated retention of these natural and open space areas supports ecological corridors which enhance recreation opportunities and provide scenic views throughout the township.

Due to long-standing adopted Township policies, the most common landscape in Superior Charter Township north of Geddes Road continues to be a mix of woods, meadows, wetlands, and farmland. The central area of the Township remains largely undeveloped, and neighborhoods still retain a rural and natural character within all but the southern edge of the Township.

Policy 1: Natural features, land preservation, and open space are key components of Superior Charter Township's community character and quality of life.

Policy 2: Superior Charter Township actively strives to protect, preserve, and acquire additional open space and natural features.

Policy 3: Superior Charter Township actively strives to protect, preserve, and grow agricultural lands.

Policy 4: Superior Charter Township strives to strengthen zoning for agricultural land to protect the land base required for local food production.

Environmental Protection Policies

The Township is endowed with an abundance of significant natural features, which have been preserved due to long-standing Township policies. These natural features include wooded areas, streams, wetlands, and a varied topography. It is important that preservation of these features be integrated into the development pattern to ensure clean water, clean air, and maintenance of the rural and natural character within the Township. Actions which enhance the Township's long-term environmental resiliency are also of great importance.

Policy 1: Superior Charter Township actively strives to protect clean water.

Policy 2: Superior Charter Township actively strives to provide and incentivize renewable energy and energy efficiency.

Policy 3: Protection of natural features including rivers, streams/tributaries, wetlands, woodlands, groundwater recharge areas, areas of noted threatened and endangered species, steep slopes, natural areas, and wildlife habitat are of utmost importance in land use decisions and Township policies.

Policy 4: Superior Charter Township advances the improvement of natural features including rivers, streams/tributaries, wetlands, woodlands, groundwater recharge areas, areas of noted threatened and endangered species, steep slopes, natural areas, and wildlife habitat.

Housing Policies

The presence of a wide variety of housing options in Superior Charter Township encourages a vibrant community. Housing needs and desires are changing, and this change should be reflected by the housing options within the community. Since Superior Charter Township hosts a lower median household income and a lower housing vacancy rate than greater Washtenaw County, an affordable and attainable housing stock is in high demand and should be made available to community residents. Rather than concentrating more affordable and higher density housing in areas removed from the rest of the Township community, green spaces and neighborhood commercial land uses should be intermixed with these residential neighborhoods to increase connectivity and provide a greater sense of place for Superior Charter Township’s most vulnerable residents.

- Policy 1:** Superior Charter Township recognizes that the existing neighborhoods and the existing housing stock are an essential part of the community’s character.
- Policy 2:** Superior Charter Township recognizes the need for a diversity in housing stock to support the housing needs of all its residents, including young people, families, and seniors aging in place.
- Policy 3:** Superior Charter Township supports the development of senior housing options.
- Policy 4:** Superior Charter Township supports housing densities where additional population will not overburden the existing or planned infrastructure.
- Policy 5:** Superior Charter Township promotes residential development in a manner which will create, preserve, and enhance a quality living environment for existing and future Township residents and workers.
- Policy 6:** Superior Charter Township recognizes that the voices of all existing and even potential future residents are not always at the table and extra effort may be needed to consider all housing needs, not just existing property owners.
- Policy 7:** Superior Charter Township supports increased housing density in planned areas, where feasible, to promote maximum retention of open space and natural features in other portions of the Township and region.
- Policy 8:** Superior Charter Township supports neighborhood commercial development that provides higher density residential neighborhoods with convenient access to day-to-day businesses and employment.

Transportation Policies

Transportation policies for Superior Charter Township include motorized and non-motorized transportation networks. All improvements to the transportation system should be considered opportunities to improve safety, access, and mobility for all travelers within the Township and throughout the region. Future road improvements should include non-motorized transportation facilities to accommodate the needs of walkers, bicyclists, and public transportation riders of all ages and abilities. These facilities should be included during planning, programming, policy development, design, construction, reconstruction, retrofit, operations, and maintenance activities and during product selection. Future road improvements should be compatible with and supportive of the Township's land use policies. Too often land use policies must be adjusted to fit road improvement plans. Planning for traffic flows and necessary road improvements should be consistent with transportation policies of the County. Road improvements should respect natural features, especially trees and brush, and the natural character of road corridors. Existing residential areas should be protected from road widening and realignment.

- Policy 1:** Superior Charter Township supports safe and convenient transportation options for all uses and modes including pedestrians, bicyclists, motorists, and transit riders.
- Policy 2:** Superior Charter Township recognizes that transportation facilities must be contextually appropriate to the unique areas of the Township that they serve.
- Policy 3:** Superior Charter Township promotes the continued maintenance of roads.
- Policy 4:** Superior Charter Township supports traffic calming and the mitigation of traffic congestion.
- Policy 5:** Superior Charter Township believes both motorized and non-motorized transportation facilities must be enhanced within planned growth areas.
- Policy 6:** Superior Charter Township supports the enhancement and protection of opportunities for bicycling throughout the community.
- Policy 7:** Superior Charter Township promotes the enhancement of pedestrian facilities, including trails, sidewalks, and crosswalks.
- Policy 8:** Superior Charter Township promotes increased transit options, particularly to serve underserved populations, significant shopping areas, employment destinations, and regional coordination.
- Policy 9:** Superior Charter Township promotes increased safety of non-motorized transportation.

Chapter 4: Growth Management & Future Land Use



Growth management includes multiple strategies used to guide the type, intensity, location, and timing of new development. The Growth Management Plan described herein lists the necessary strategies to manage development and future growth within the Township. Growth management goes beyond traditional land use planning and zoning. Other factors such as the protection of natural spaces, sufficient and affordable housing, delivery of utilities, preservation of buildings and places of historical value, and areas for employment and commerce are considered.

A major premise of this approach is to recognize that there are various areas within the Township that should be contextually planned based on their location, existing features, existing land use, and existing and intended character. These areas are identified as Planning sub-areas within the Township.

This chapter starts with an inventory of existing land use. Building off the existing land use, sub-areas are identified and described. The sub-area section draws connections between various policies and strategies identified in this plan that are appropriate to apply to each specific area. This chapter also includes a section on community infrastructure that directly affects the development potential of each area in the community. Finally, this chapter provides a future land use plan that depicts the future intended use for every parcel of land in the Township as is appropriate based on the policies and strategies in this Master Plan.

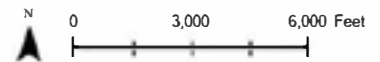




 Superior Charter Township Boundary

2020 Aerial Map

Superior Charter Township Washtenaw County, Michigan



This map is for reference only. Data layers that appear on this map may not be accurate. The information is provided with the understanding that the conclusions drawn from such information are solely the responsibility of the user. Any assumption of legal status of this data is hereby disclaimed.

Data: Superior Charter Township, Washtenaw County,
Michigan Department of Transportation (MDOT)
Prepared by: Carlisle/Wortman Associates, Inc. Date:
March 22, 2023



Existing Land Use

When planning for the future it is critical to understand what currently exists. The future land use plan should be based on the existing land use patterns. Because of Superior Charter Township’s history of planning and commitment to their plans, a clear development pattern based on sound planning principles is evident in the community.

The predominant land uses in Superior Charter Township are agriculture and single-family dwellings, covering approximately 33% and 35% of land within the Township, respectively. Generally, more diversity and density in land use development has occurred south of Geddes Road and around the Dixboro area. Conservation efforts have resulted in the permanent protection of a significant amount of agricultural land and recreation/open space areas, particularly in the central portions of the Township.

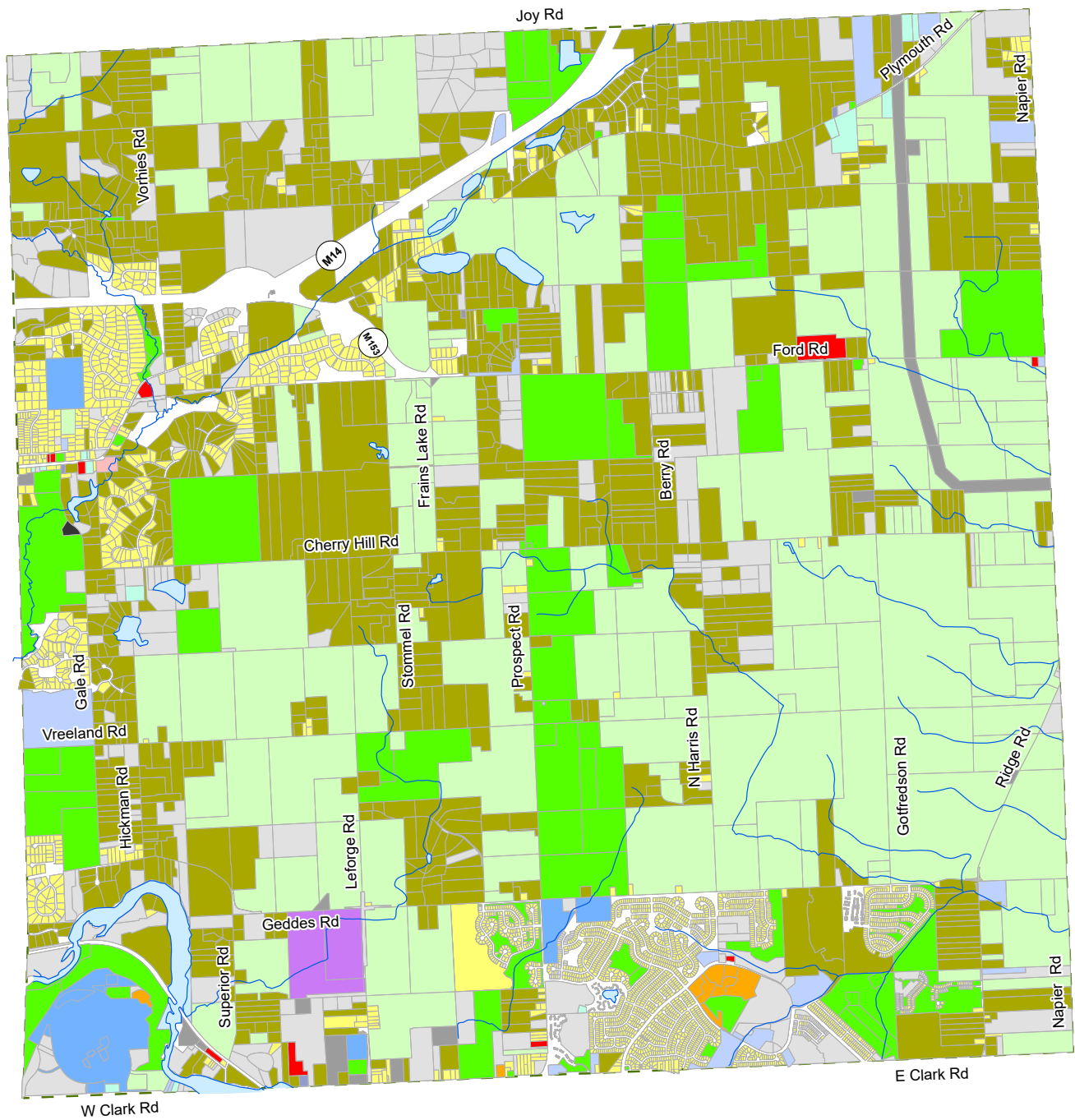
Table 8. Existing Land Use, Superior Charter Township

Land Use	Acres	Percent
Agriculture	7,867	35.5%
Single-Family Housing	7,446	33.6%
Vacant	3,058	13.8%
Recreation/Open Space/ Cemetery	2,235	10.1%
Institutional	435	2.0%
Water	352	1.6%
Medical	298	1.3%
Industrial	68	0.3%
Multi-Family Housing	57	0.3%
Retail/Hospitality	53	0.2%
Office/Commercial	47	0.2%
Mixed use	4	0.0%
Total (approximate)	22,162	100.0%



Image Source: realtor.com

Map 10. Existing Land Use

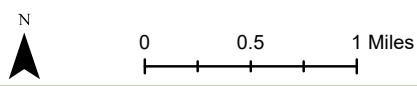


- | | | |
|---|---|--|
| Agricultural | Medical | Single Family Housing (Small Lot) |
| Recreation / Conservation / Open Space | Mixed Use | Single Family Housing (Large Lot) |
| Hospitality | Multi-Family Housing | Telecommunications / Utilities |
| Industrial | Office / Commercial | Vacant |
| Institutional | Parking | Water |
| | Retail | |

Existing Land Use

Superior Charter Township
Washtenaw County

Roads, Tax Parcel, and Rivers Data from Washtenaw County GIS



July 24, 2023
Carlisle/Wortman Associates, Inc.
Ann Arbor, Michigan



Infrastructure

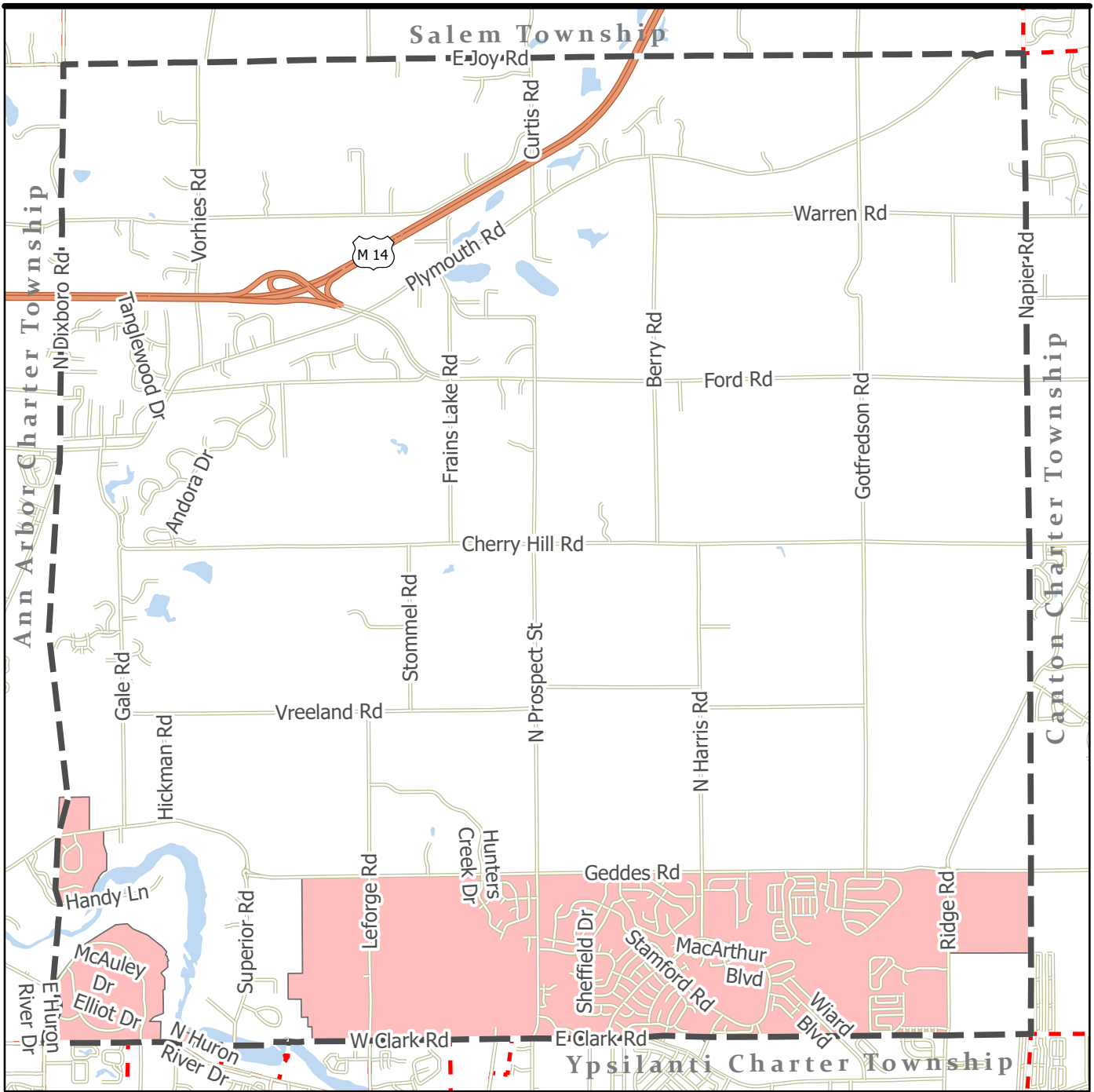
Infrastructure plays a critical role in the growth management and future land use designation of the Township. The community's infrastructure includes all transportation facilities (roads, sidewalks, pathways, transit routes, and transit stops), public utilities (sewer, water and storm water), public safety, parks and recreation facilities, schools, community institutions and facilities (post office, library, public and government buildings). The type, the quality, and the presence or lack of infrastructure has a tremendous effect on the community from quality of life to the type and intensity of development that can be supported in certain areas. Higher density and higher intensity uses need more sustainable infrastructure, such as public utilities to provide for the needs of residents and businesses on smaller lots, fiber optic and robust transit facilities to support industry, or parks, schools, and libraries to support neighborhoods. Conversely, areas that are not intended for higher density developments or more intense uses do not need public utilities or high-capacity roads. In fact, maintaining gravel roads and ensuring that municipal utilities are not provided in certain areas of the Township will help to maintain the intended rural character and desired intensity level in those areas of the Township. Historically, Superior Charter Township has done a good job of planning infrastructure to support the needs of the areas where growth is planned and avoiding the extension of infrastructure to areas where it is not needed.







Publicly Owned and Operated Sewer and Water:

The Urban Service Area has been planned to provide areas that have or are intended to have more intense development. The Township presently provides public sanitary sewer and public water services within designated service areas under contracts with the Ypsilanti Community Utilities Authority and Ann Arbor Township. These service areas cover several square miles in the area south of Geddes Road. There is a very limited capacity to extend such services to any other areas of the Township. The policies of this Master Plan and Township utility plans are based upon maintaining the designated Urban Service Area boundaries, as defined in Map 11 on page 47.

The majority of the land within the Township is served by private on-site well and septic for their water and sanitary needs. This is suitable for uses on larger lots. Due to the amount of natural open spaces and natural features such as woodlands and wetlands, groundwater in these areas should be safe and clean. The Washtenaw County Health Department is responsible for issuing well and septic permits and monitoring their activity.

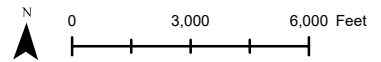
Map 11. Urban Service Area



-  Superior Charter Township Boundary
-  Adjacent Community Boundaries
-  Highways
-  Roads
-  Waterways
-  Urban Service Area

Urban Service Area

Superior Charter Township Washtenaw County, Michigan



Data: Superior Charter Township, Washtenaw County, Michigan Department of Transportation (MDOT)
 Prepared by: Carlisle/Wortman Associates, Inc.
 Date: December 6, 2023



This map is for reference only. Data layers that appear on this map may not be accurate. The information is provided with the understanding that the conclusions drawn from such information are solely the responsibility of the user. Any assumption of legal status of this data is hereby disclaimed.

Future Land Use Plan

The Future Land Use Plan is a basic element of the Master Plan, it designates the future use or reuse of the land within the community, and the policies and reasoning used in arriving at the decisions in the plan. The future land use plan is sometimes considered the most important part of a Master Plan because it serves as a guide to official decisions in regard to the proposed location and intensity of future land development for varying types of residential, commercial, industrial, agricultural, recreational, educational and other public and private purposes. The land use plan is intrinsically related to all other aspects of the plan including but not limited to transportation and other infrastructure, recreation and entertainment, economic development, and community character.

The land use strategy in this plan presents a development and land use pattern which is based on existing development patterns, existing infrastructure including especially utilities and roadways, environmental concerns, and the preservation of farmland and open space. Most importantly, however, the land use strategy aims to preserve the Township's community character and quality of life. These strategies rely on implementation via existing regulatory tools, specifically, the Superior Charter Township Zoning Ordinance. The Ordinance defines the regulations for development related to density, form, location, and type of use allowed.

The Future Land Use Strategy recognizes and encourages the continued use of the agricultural zoning designation in most of the Township while focusing higher density residential, commercial, and industrial development south of Geddes Road.

The Future Land Use Map in this plan has been updated using the latest technology in order to make the map a more accurate and useful tool. By including the Township base map and parcel lines it allows a more exact recognition of where proposed use categories are in relation to actual parcel delineations. While this map is a general policy guide for land use decision, accuracy is important when comparing various other mapped features such as utilities, farmland, or natural features.

The land use strategy identifies different future land use categories than those used in previous plans. These categories have been refined to be more consistent with existing zoning districts. However, there will be a need to update the Zoning Ordinance to reflect the direction of various components of this Master Plan specifically to make the zoning categories and zoning map more consistent with the planned future land use categories.

The Future Land Use Plan reflects future land patterns at an area-wide scale. The map (Map 12 on page 50) uses color-coded sub-area land uses to express public policy on future land patterns - it is not a zoning map. It is built around the concept of sub-areas, that have established characteristic development patterns that recognize the context of each area but also provide guidance on desired improvements. Sub-areas identify desired uses, design concepts and considerations to guide the relationships and physical improvements needed to create the types of places that are part of Superior Charter Township's long-range vision. Historically, the Township has recognized six major sub-areas for planning purposes. Each has distinct characteristics that make planning for each area appropriate.

Sub-areas have been assigned to areas based upon the context of existing build form, physical conditions, environmental conditions, land uses, development patterns, and community input, goals, and strategies. The intent of the Future Land Use Map is not to predetermine land uses or zoning on a specific parcel or at specific locations. Rather, individual properties or projects can be considered within the context of the location and surrounding properties, and not by a strict set of land use categories.

What is the purpose of the future land use map?

- A place-based development strategy tailored to Superior Charter Township's unique strengths, challenges, and opportunities.
- Clearly articulates the Township's vision of environmental preservation, open space protection, and maintaining neighborhood and community character.
- Serves as a guide for future decisions about zoning, development, and infrastructure investments.
- Describes intended use and character attributes for future development throughout the Township.
- Is related to zoning, but serves a different purpose.

Future Land Use Map

Each sub-area has been identified based on the common geographic and land use characteristics. The character of each of the sub-areas has been long established and maintained through careful planning and growth management. The Growth Management Strategy uses these sub-areas to outline future land use strategies and planned public improvements. Each sub-area is described in detail with associated growth management strategies. While many general polices and strategies apply throughout the Township, those that are more specific to each sub-area are identified here.

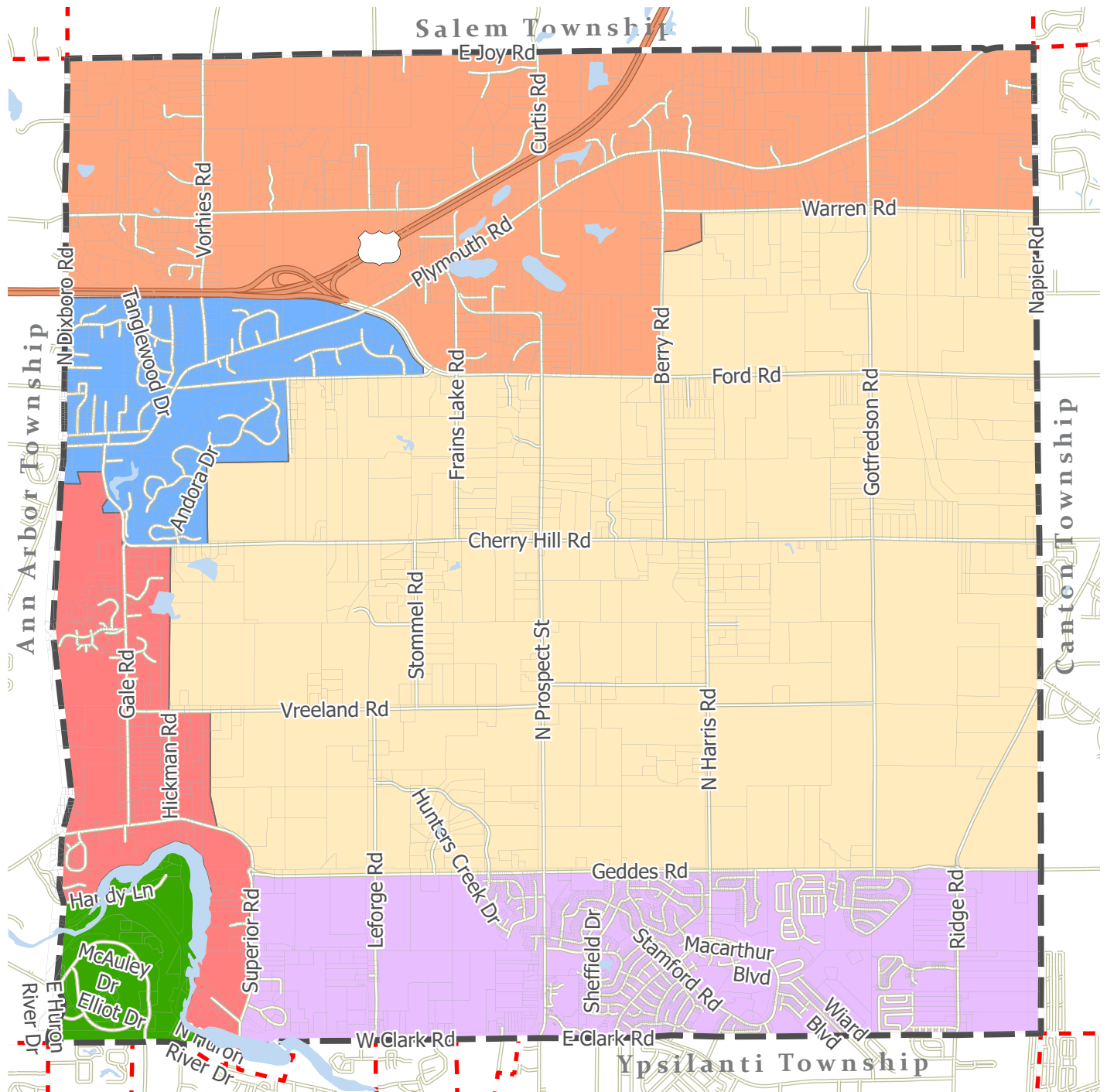
- Geddes Road Urban Sub-area
- Hospital Sub-area
- Gale Road Sub-area
- Dixboro Sub-area
- Rural Plymouth Road/M-14 Sub-area
- Central Sub-area



Aerial view of Superior Township.
Photo Credit: Thomas Brennan, III



Map 12. Future Land Use Map

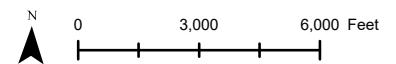


Sub-Areas

- Central Sub-Area
- Dixboro Sub-Area
- Geddes Rd. Urban Sub-Area
- Hospital Sub-Area
- Gale Road Sub-Area
- Rural Plymouth Road/M-14 Sub-Area

- Superior Township Boundary
- Adjacent Community Boundaries
- Highways
- Roads
- Waterways

Future Land Use Map
Superior Township
Washtenaw County, Michigan

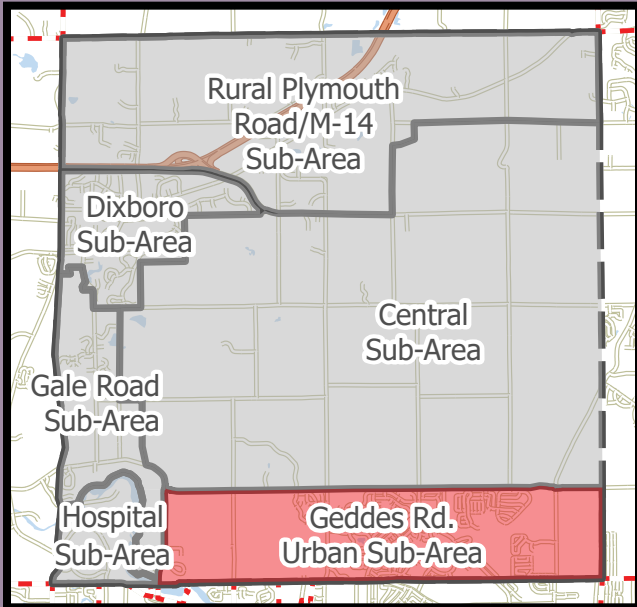


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Data: Superior Township, Washtenaw County, Michigan Department of Transportation (MDOT)
 Prepared by: Carlisle/Wortman Associates, Inc.
 Date: February 21, 2023



GEDDES ROAD URBAN SUB-AREA



Area: 4.8 square miles

Estimated Population*: 10,452 residents

Density: 2,178/sq mile

Key Amenities:

- Ypsilanti District Library - Superior
- Superior Charter Township Fire Department
- Community, Fireman's, Harvest Moon, Norfolk, and Oakbrook Parks
- Approximately 5.2 miles of trails
- Highland Preserve
- Former Cheney School Property (possible community center location)
- South Point Scholars Charter School
- Dense single-family and multi-family housing

**Estimate developed from Census 2020 block data and Washtenaw County parcel information*

Geddes Road Urban Sub-Area

This area of about one mile by four and one-half miles is located on the southern boundary of the Township. The southern border of this sub-area abuts both the City of Ypsilanti and Ypsilanti Township. The north side of the sub-area is bound by Geddes Road. This is the most densely and intensely developed area within the Township, containing about 65% of the Township population. The development and land use patterns in this area is reflected by the fact that this area is served with public utilities. The established public utility boundary south of Geddes Road is long standing policy and planned to continue into the future.

This area also has the beginning of a planned employment center with the development of the Hyundai-Kia America Technical Center at the southwest corner of Geddes and LeForge Roads. Scattered throughout this area there are also several community/institutional uses including churches, parks, the library, and municipal facilities. This sub area currently contains a range of zoning designations including several that are unique to this area: Planned Manufactured, Neighborhood Commercial, and Multi-Family Residential.

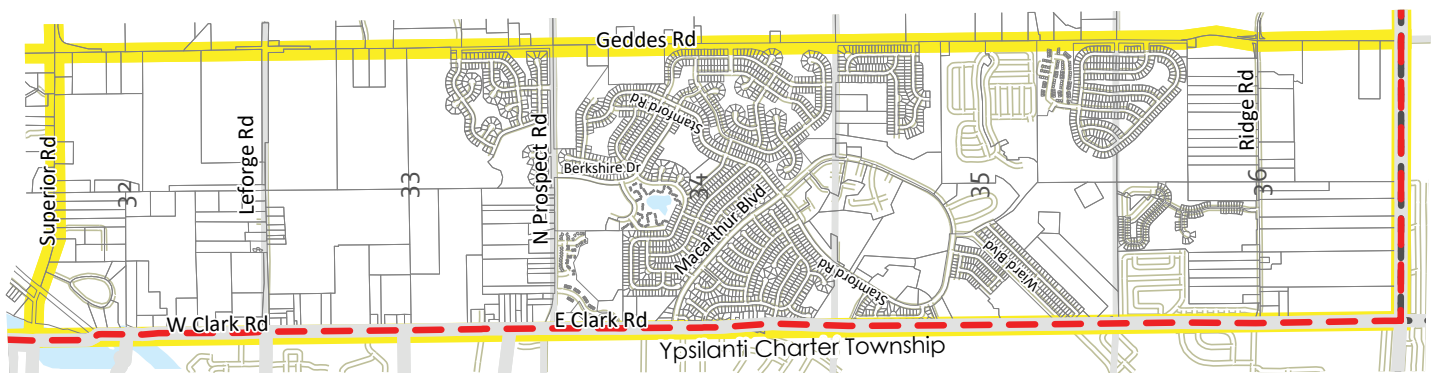
This sub-area provides a wide range of housing types and affordability. There is a mix of well-established and new single-family neighborhoods, multi-family developments, and manufactured neighborhoods. Existing housing ranges in age from many decades old to new construction and varies in size from small apartment units to large homes. This sub-area includes designated affordable, assisted living, and co-op housing all of which help to support the community's more vulnerable residents.

In recent years, stalled or partially completed housing developments in this sub-area, which had previously received preliminary or final approval from the Township, have received updated approvals and construction has once again begun. Additionally, undeveloped land in this sub-area has received interest in new residential development. This sub-area is very important to the Township as it provides a variety of housing types at densities that would not be possible without the availability of a municipal sewer and water system.

This sub-area includes the majority of land designated as the Urban Service Area of the Township (see Map 13 on page 52 52). There is still undeveloped land within this sub-area which represents much of the major development opportunity within the Township because utilities are not available or planned for other areas of the Township. In addition to areas planned for housing, there are also some existing and planned employment centers in the sub-area. In order to implement other development policies and strategies such as natural feature preservation, rural housing provision, and open space preservation in other portions of the Township, this sub-area is designed for the most density in the Township.



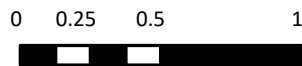
Map 13. Geddes Road Urban Sub-Area



- Sub-Area Boundary
- Parcels
- Superior Township Boundary
- Roads
- Water Bodies

Geddes Road Urban Sub-Area

Superior Charter Township
Washtenaw County, Michigan



Data: Superior Charter Township, Washtenaw County,
State of Michigan
Prepared by: Carlisle/Wortman Associates
July 2023



Technology Center Development Potential

The portion of the Urban Service Area south of Geddes Road and centered around the LeForge Road intersection is the Township’s “Technology Center,” and is intended to serve as an “employment center” for the Township (See “Map 12. Future Land Use Map” on page 50). The Hyundai-Kia Motors North American Technical Center occupies 55 acres on the west side of LeForge Road, with additional land reserved for future expansion of this facility. Future development of this Technology Center is intended to establish an integrated, campus-like development pattern consistent with the desired character of the Urban Service Area. Development of this area will take place in a coordinated manner, with preservation of significant natural features in accordance with Township Zoning Ordinance requirements, provision of an integrated road network, pedestrian and vehicular connections between sites, and extension of public utilities only in accordance with Township utility plans and the “Urban Service Area” section of this Master Plan. Planned future land uses include research and development (R&D) operations, high technology operations, light manufacturing associated with R & D, and accessory support businesses intended to serve the needs of employees in the area. Such support businesses are intended to be subordinate to the principal “Technology Center” operations and should be clustered and arranged to support such operations. This portion of the Urban Service Area is not intended to become a principal commercial center.

Residential Development Potential

A large amount of land remains to be developed in this designated Urban Service Area (See Map 11 on page 47). East of Prospect Road and south of Geddes Road, the undeveloped land could be used for multiple-family residential developments. Some approved residential projects have multi-year buildout plans. The diverse population in this area will benefit from diverse housing options. This is the most developed area within the Township, but there are still wooded lots, wetlands, and other natural resources which warrant protection. A special effort will be made to ensure preservation of open space and significant natural features in this area as it is developed. In addition to housing, commercial projects which offer area residents convenient access to goods and services and increase the neighborhood vibrancy will be prioritized. Concentrating new development on vacant lots with minimal or no wooded areas and preserving heavily wooded areas will ensure that residents enjoy the natural character that is a key component of Superior Charter Township’s identity. The average density of new development in this area will vary between developments to ensure a diverse availability of housing types.



Image Source: Hyundai

Uses

- Single-family residential developed in a traditional neighborhood pattern.
- Public and institutional facilities such as schools, places of worship, police stations, and community centers, that support the surrounding residential properties.
- Attached residential and multiple-family residential along neighborhood edges and adjacent to arterial corridors.
- General and medical office.
- Day-to-day neighborhood scale retail and services such as grocery and convenience stores, dry cleaners, pharmacies, banks, and beauty services.
- Restaurants and cafes that offer various food options.
- Mixed-use that includes uses noted above.
- Public parks and open space.

Design Characteristics

- New development shall be reviewed on a case-by-case basis to respect the existing scale and character of the surrounding area.
- Maintain traditional neighborhood development pattern.
- Each individual neighborhood has a unique character that must be respected and preserved.
- Walkability and non-motorized connections are essential to maintain neighborhood character and access to daily needs and services.
- Ensure appropriate transition of intensity of uses and scale to adjacent single-family neighborhoods.
- Peripheral attached residential and multiple-family residential along neighborhood edges and arterial corridors should be at a scale and density consistent with the surrounding area.
- Non-residential buildings in neighborhoods can be adaptively re-used when the use and design are assets to the surrounding neighborhood.
- Ensure appropriate transition of intensity of uses and scale to adjacent single-family neighborhoods.
- Varied mix of uses is encouraged.
- Single and lower multi-story structures oriented toward the street.
- Parking should be located at the side and rear of buildings.
- Architectural design must create an interesting visual experience for both sidewalk users and automobiles.
- Infill development should be encouraged to support existing infrastructure.
- Public transit amenities should be considered including shelters, signage, benches, and route information.

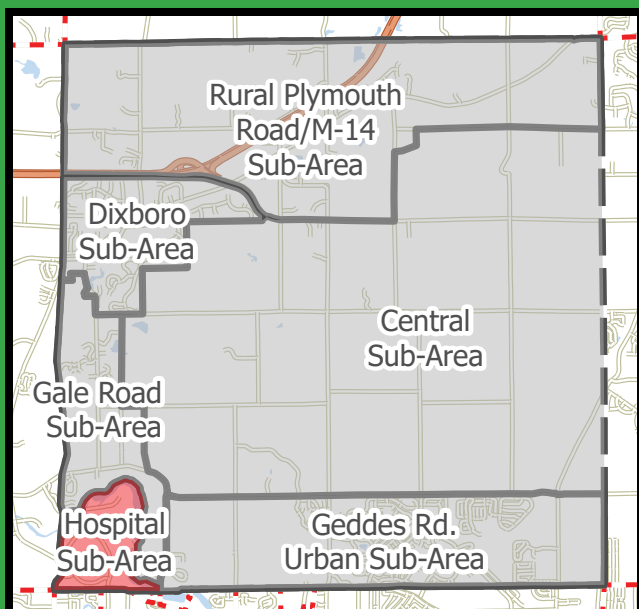


Attached residences that place parking in the rear instead of the front allow homes to be more directly connected to the sidewalk and community. Design features inspired by agricultural buildings can pay homage to Superior Charter Township’s rural character.



Infill development concentrates new buildings within existing neighborhoods rather than on the exterior perimeters.
Image Source: City Koh

HOSPITAL SUB-AREA



Area: 1.2 square miles

Estimated Population*: 106 residents

Density: 88/sq mile

Key Amenities:

- Trinity Health Hospital
- Huron River
- Forest Nature Area
- Trinity Health Nature Area
- Portions of Border-to-Border Trail

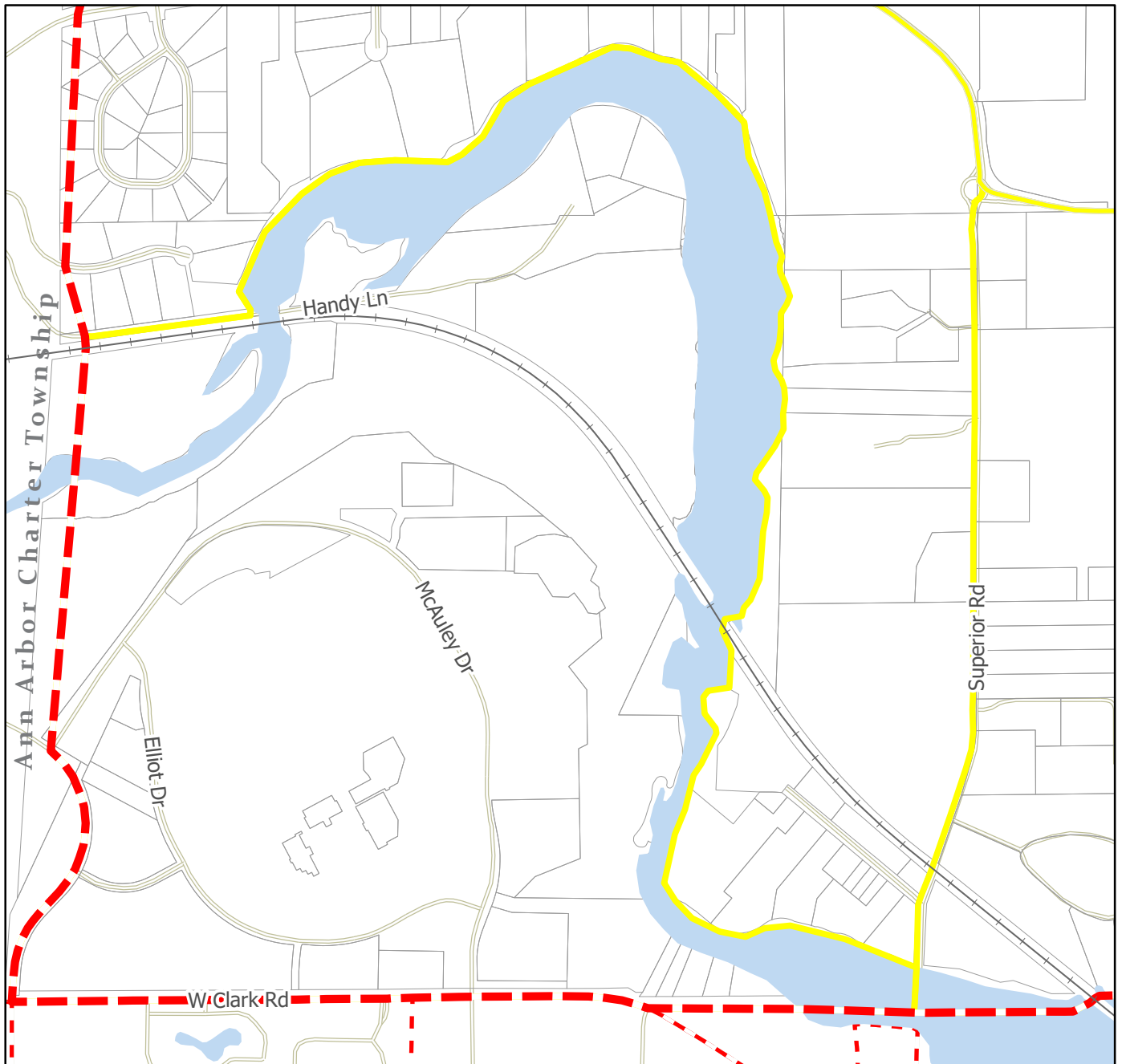
**Estimate developed from Census 2020 block data and Washtenaw County parcel information*

Hospital Sub-Area

This is the southwestern corner of Superior Charter Township, which is generally shaped by the Huron River. Amtrak railroad tracks bisect the area, crossing the Huron River twice. North of the railroad and east of the river are rural residential lots that are not within the Urban Service Area. The majority of this area, however, is characterized by the Trinity Health hospital campus. This area is adjacent to Washtenaw Community College located just to the west in Ann Arbor Township. The hospital area has full urban services and is intensively developed with most development in a campus-like setting with lots of green landscaping. There is a substantial nature area that surrounds the hospital between the developed area and the river and railroad, and portions of the Border-to-Border Trail travel through this area.

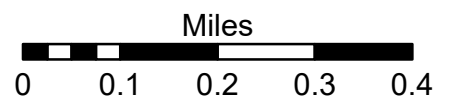
This sub-area around the hospital includes a number of undeveloped parcels that present future development opportunity. Additionally, some of the existing facilities surrounding the hospital may be prime for new uses or redevelopment. Careful consideration will be necessary to ensure that future uses within this area are compatible with surrounding land uses, with landscape and sign design to minimize visual impact, and access managed to reduce congestion and automobile and pedestrian conflicts. Additionally, this area is serviced by bus lines.

The existing uses in this sub-area and adjacent uses in neighboring communities, the presence of urban services, and access to transportation make this area suitable for development for a variety of complementary land uses that could be compatible with the existing development. This could include senior living facilities, multiple family dwellings or small-scale commercial uses intended to serve the needs of the medical center, associated office uses, and Washtenaw Community College employees and students. Commercial uses would be of a scale and intensity appropriate to serve the day-to-day convenience needs of a localized market, generally consisting of employees and visitors from the hospital and adjacent medical offices, along with students and faculty at Washtenaw Community College, and commuters who travel from Ypsilanti to Ann Arbor along AAATA TheRide bus route 3. Future development in this area should not have adverse impacts on other areas in the Township because it is buffered from the balance of the community by the river.



- Parcels
- Superior Charter Township Boundary
- Roads
- Waterbodies
- Railroads
- Hospital Sub-Area

Hospital Sub-Area Superior Charter Township Washtenaw County, Michigan



Data: Superior Charter Township, Washtenaw County, Michigan Department of Transportation (MDOT)
Prepared by: Carlisle/Wortman Associates, Inc.
Date: December 6, 2023



Uses

- Hospital and associated uses
- General and medical office.
- Senior living facilities
- Day-to-day neighborhood scale retail and services such as grocery and convenience stores, dry cleaners, pharmacies, banks, and beauty services.
- Restaurants and cafes that offer various food options.
- Attached residential and multiple-family residential adjacent to Clark Road / Huron River Drive.

Design Characteristics

- Large single and multi-story structures that may be freestanding or integrated as part of a connected retail or campus pattern.
- Buildings may be set back to allow room for on-site parking and automobile access from the street.
- Large parking lots shall be screened, landscaped, and provided with pedestrian connections and other design amenities to break up excessive pavement and reduce visual impact of parking areas.
- Architectural design must create an interesting visual experience for both sidewalk users and automobiles.
- Ensure appropriate transition to adjacent neighborhoods.
- Infill development should be encouraged to support existing infrastructure.
- Design creativity with regards to materials is encouraged, although low quality materials or building designs that inhibit activity on Clark Road and Huron River Drive will not be permitted.
- Public transit amenities should be considered including shelters, signage, benches, and route information.
- Walkability and non-motorized connections within and to Clark Road and Huron River Drive is essential to create character and access for all residents and visitors.





Rendering which shows how busy streets can accommodate multiple modes of traffic.

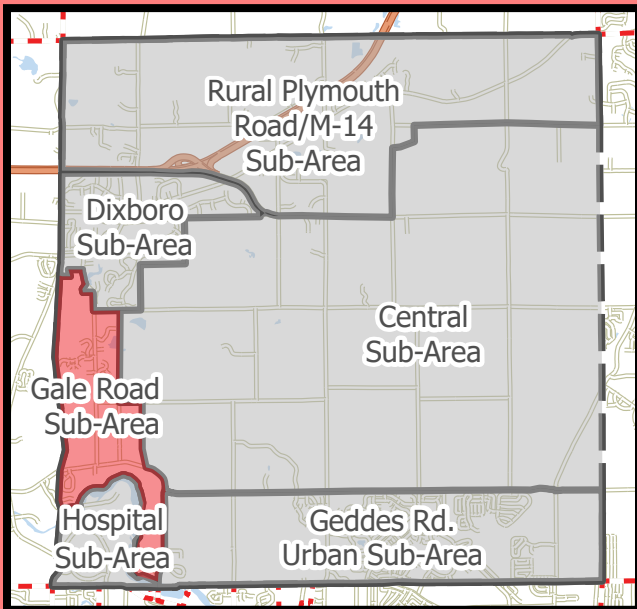
Image Source: Randy Garbin



Transitional areas can encourage a mixture of compatible uses including residential, retail, and office in appropriate areas as determined by the rezoning decision-making criteria from the Future Land Use map.

Image Source: William P. Wright

GALE ROAD SUB-AREA



Area: 1.7 square miles

Estimated Population*: 720 residents

Density: 424/sq mile

Key Amenities:

- Matthaei Botanical Gardens
- Radrick Farms Golf Course

**Estimate developed from Census 2020 block data and Washtenaw County parcel information*

Gale Road Sub-Area

This sub-area is located along the western side of the Township adjacent to Ann Arbor Township between the Hospital sub-area and Dixboro sub-area. This sub-area is unique in that it is nearly fully developed. Large land uses in this area include the Radrick Farms Golf Course, and Matthaei Botanical Gardens owned by the University of Michigan, which are not expected to change. The balance of the area is already fragmented by single-family homes, and therefore there is limited development opportunity.

Generally, homes are single-family on large lots but there are a few newer suburban neighborhood developments within the area with lots that are generally 1/2 acre in size or larger. This sub-area provides a transition between the denser residential development and the business park style development along North Dixboro Road in Ann Arbor Township and the central sub-area within Superior Charter Township.

The Gale Road corridor, an unpaved road, lined with mature trees and underbrush, has a very rural feel, completing the transition between golf course and subdivisions to the west and large lot residential and farmland to the east. In order for the Gale Road sub-area to retain its natural beauty, traffic volumes must remain low as higher volumes would require road improvements that would spoil the character of the area. It is also important to ensure that the road and roadside vegetation are maintained in their present state. Along the eastern edge of this sub-area is an extensive groundwater recharge area within the Central sub-area. These factors strongly support retention of a very low-density rural character to this area. This area is not intended to change.

Map 15. Gale Road Sub-Area

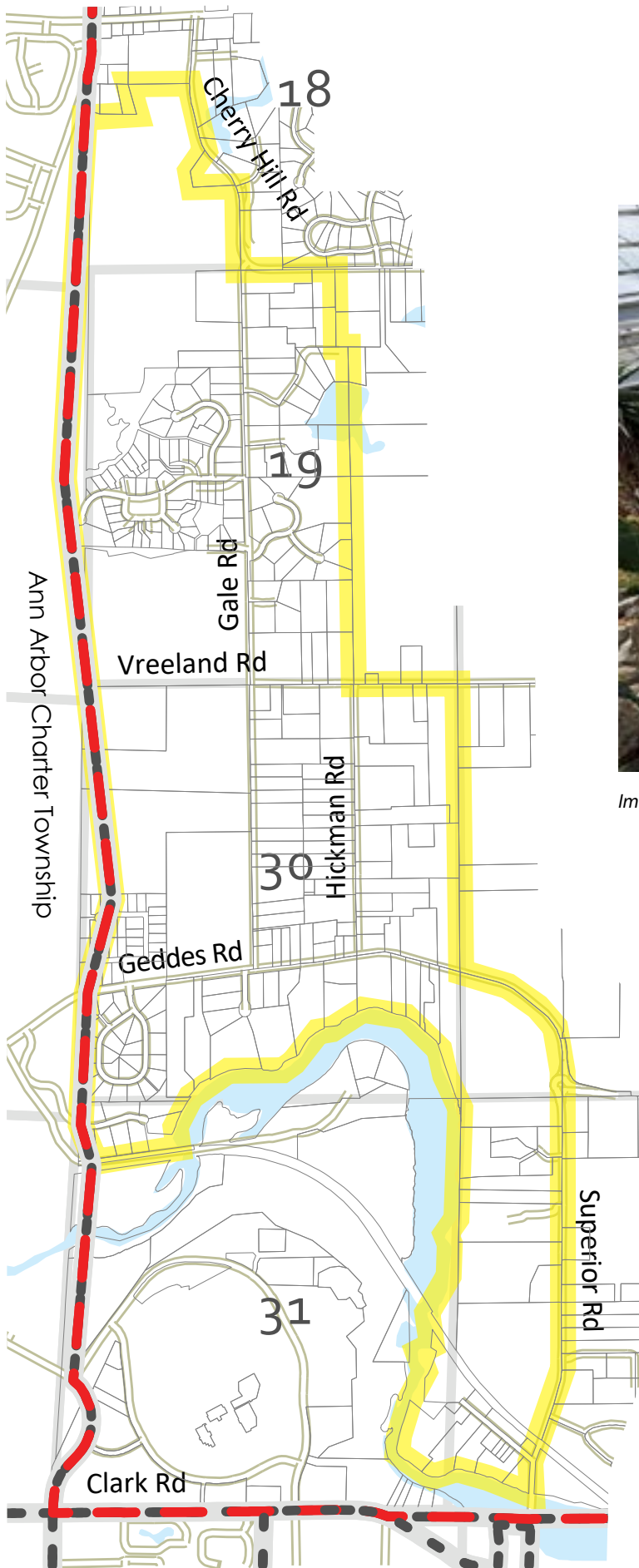
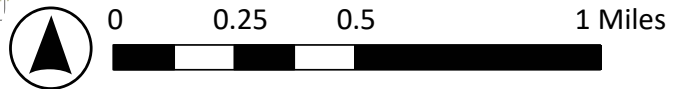


Image Source: Matthaei Botanical Gardens

Gale Road Sub-Area Superior Charter Township Washtenaw County, Michigan

- Sub-Area Boundary
- Parcels
- Superior Charter Township Boundary
- Roads
- Water Bodies



Data: Superior Charter Township, Washtenaw County
State of Michigan
Prepared by: Carlisle/Wortman Associates
March 7, 2024



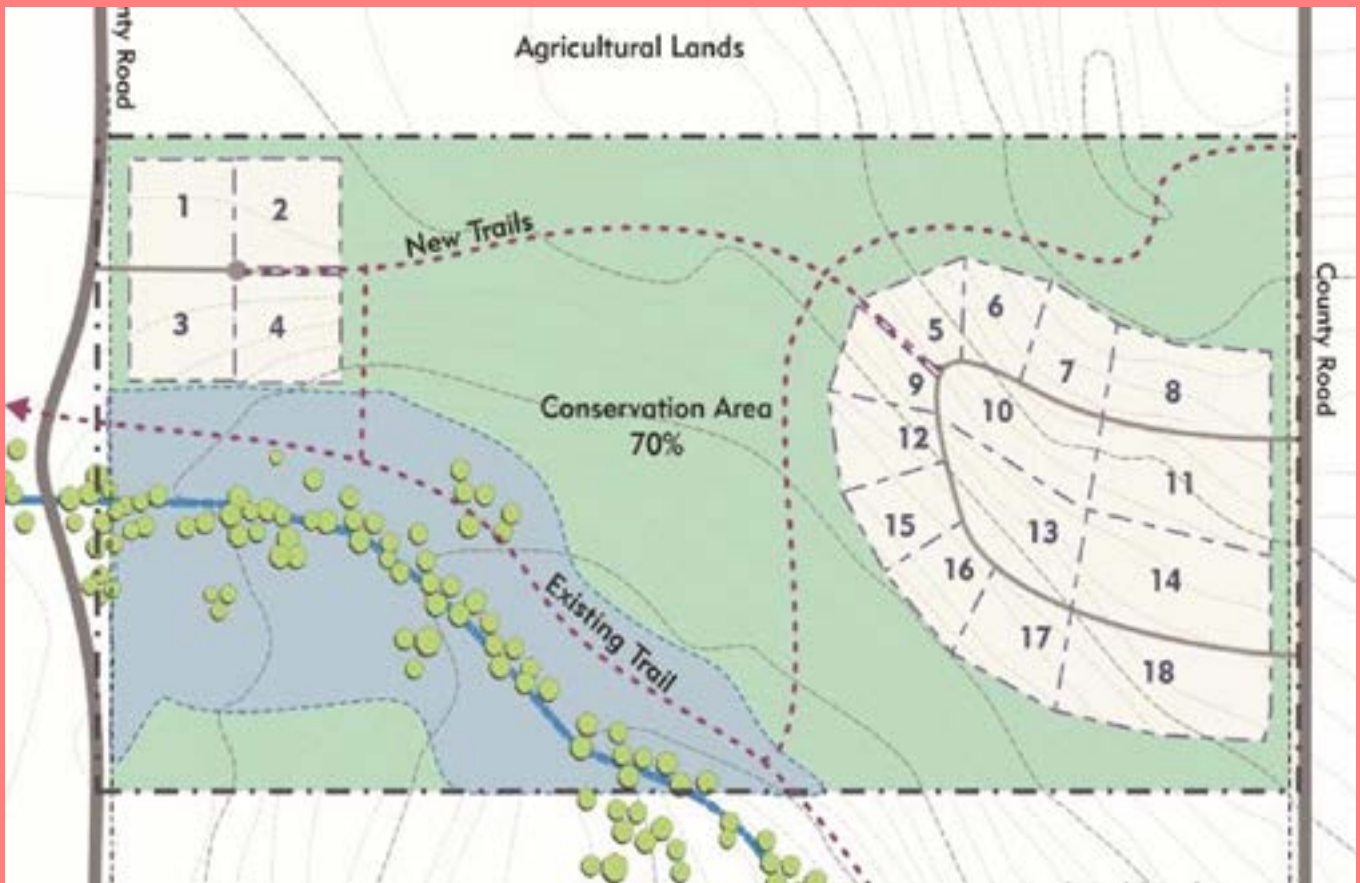
Uses

- Single-family residential developed in a traditional neighborhood pattern.
- Single-family cluster residential that preserves open space and natural features.
- Rural residential
- Open space and natural areas that preserve the natural landscape and help mitigate the effects of agricultural uses and development including soil erosion and stormwater runoff.
- Public and institutional facilities such as schools, places of worship, police stations, community centers, that support the surrounding residential properties.

Design Characteristics

- Large single and multi-story structures that may be freestanding or integrated as part of a connected retail or campus pattern.
- Buildings may be set back to allow room for on-site parking and automobile access from the street.
- Large parking lots shall be screened, landscaped, and provided with pedestrian connections and other design amenities to break up excessive pavement and reduce visual impact of parking areas.
- Architectural design must create an interesting visual experience for both sidewalk users and automobiles.
- Ensure appropriate transition to adjacent neighborhoods.
- Infill development should be encouraged to support existing infrastructure.
- Design creativity with regards to materials is encouraged, although low quality materials or building designs that inhibit activity on the corridor will not be permitted.
- Public transit amenities should be considered including shelters, signage, benches, and route information.
- Walkability and non-motorized connections within and to corridors is essential to create character and access for all residents and visitors.



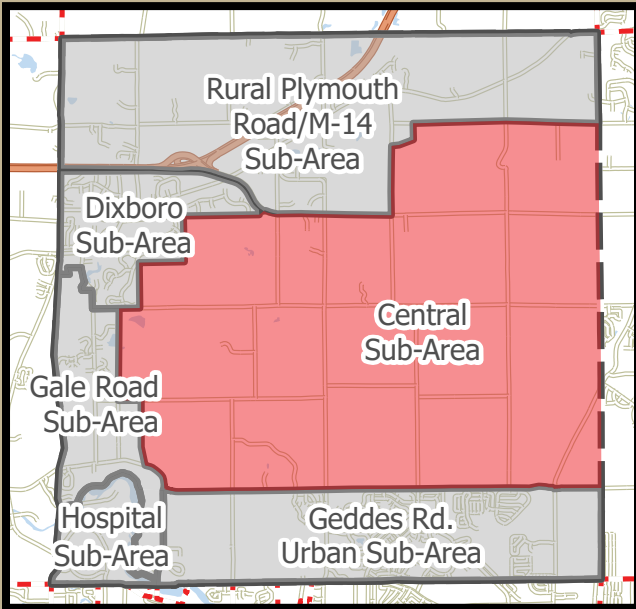


Clustering single-family residences in new developments and having dedicated open spaces for conservation aligns with the Township's housing, preservation, and environmental goals. *Source: Clarion Associates*



Parking lot screening can provide opportunities to create visually-appealing features and landscape design that benefits both vehicle and adjacent-sidewalk users. *Source: Clarion Associates*

CENTRAL SUB-AREA



Area: 17.3 square miles

Estimated Population*: 620 residents

Density: 36/sq mile

Key Amenities:

- Township Hall
- Cherry Hill Nature Preserve, Rock Superior Properties (future park)
- Kosch Headwaters and Meyer Preserves, Superior Center County Park
- Secret Nature Preserve, Conservancy Farm, Jack R. Smiley, LeFurge Woods, and Springhill Nature Preserves, and a still unnamed nature preserve south of Cherry Hill Road

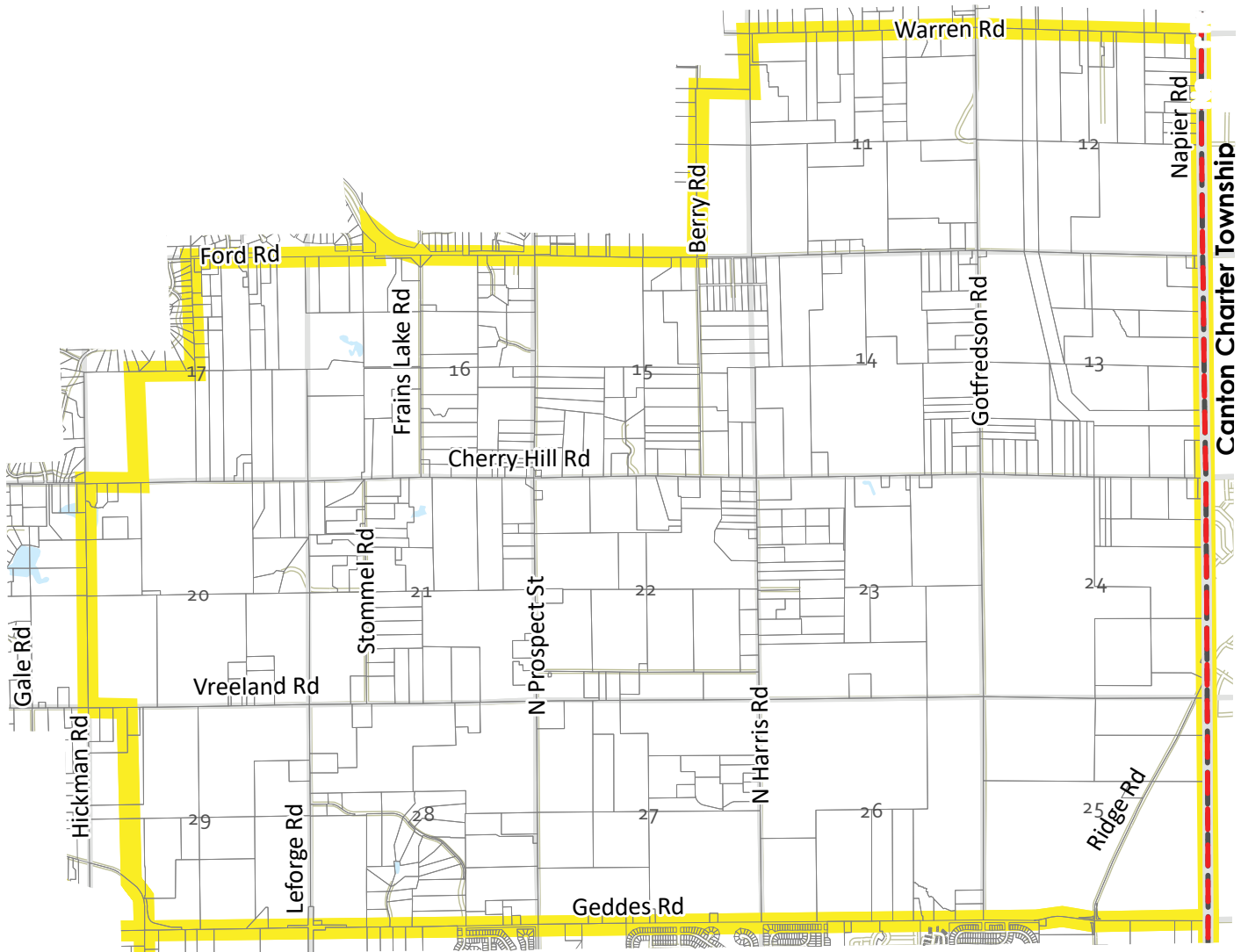
**Estimate developed from Census 2020 block data and Washtenaw County parcel information*






Central Sub-Area

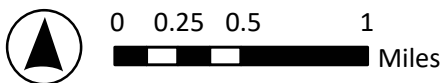
This area makes up the majority of Superior Charter Township. This area is identified by its rural/agricultural character. The area is characterized by its open space which includes active farmland and preserved natural features. Many of the primary roads in the Township cut through or border this sub area; however, most roads in this area remain unpaved. The Central area has the lowest population density of the Township, and it is proposed to remain that way, permanently.

The sub-area is primarily a farming area, although rural homes on large lots are scattered throughout. Landscape nurseries, private stables and riding arenas, wetlands, woodlands, and permanently preserved open space are also found within this sub area. The southern and eastern part of this area is generally flat, with many farm fields, pastures, and woodlots. Small creeks flow from north to south in this area, dividing between the Rouge River and Huron River watersheds. The northern and western parts of this area are more rolling and there are more woods and rural homes on five- to twenty-acre lots. This area also contains about a half dozen historic homes.

There is roughly 3,000 acres of farms and natural areas that have been permanently protected in the Township, the majority of which are located in this sub-area. The majority of this preserved land is identified on the Township's Official Zoning Map as part of the Open Space Preservation Overlay District (OSP). The Township will continue to protect farming and open spaces in the center of the Township, leaving this area with a natural character, viable wildlife habitat, and relatively undeveloped.



-  Sub-Area Boundary
-  Parcels
-  Superior Charter Township Boundary
-  Roads
-  Water Bodies



Central Sub-Area

Superior Charter Township
Washtenaw County, Michigan

Data: Superior Charter Township, Washtenaw County,
State of Michigan
Prepared by: Carlisle/Wortman Associates
June 30, 2023



Uses

- Rural residential
- Single-family cluster residential that preserves open space and natural features.
- Production farms and nurseries.
- Accessory retail uses in conjunction with an agricultural operation. Examples of accessory retail uses may include farmers' markets, roadside stands, nurseries and greenhouses, wineries with sales and tasting rooms, and other similar uses.
- Open space and natural areas that preserve the natural landscape and help mitigate the effects of agricultural uses and development including soil erosion and stormwater runoff.
- Public and institutional facilities such as schools, places of worship, police stations, community centers, that support the surrounding residential properties.

Design Characteristics

- Farming operations between 10 and 30 acres are desired.
- New development shall reduce conflicts between farm and non-farm uses.
- Buildings should be agricultural or residential in character.
- Non-motorized connections should be provided as necessary to connect the township's agricultural land, and open and green spaces to other residential and recreational areas in the township.
- Future development of single-family cluster density should be no more than 0.5 units per acre.
- Ensure new development can be served by infrastructure including roads, well, and septic.
- New development shall respect existing open space and natural areas.



Image Source: AllTrails, Cherry Hill Nature Preserve

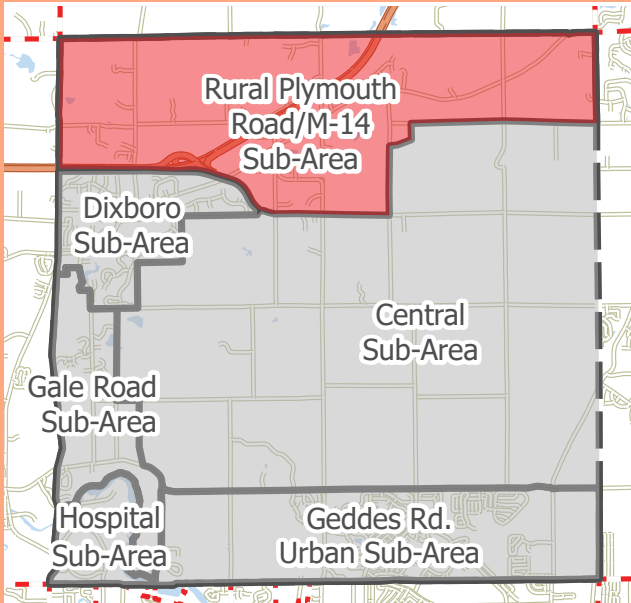


Small agricultural operations with accessory retail uses preserve the agricultural landscape while providing greater economic and amusement opportunities for Township residents.



Maintaining trails in the open space and natural areas preserves the surrounding ecosystem while encouraging trail use and enjoyment.

RURAL PLYMOUTH ROAD / M-14 SUB-AREA



Area: 8.3 square miles

**Estimated
Population*:** 1,404 residents

Density: 169/sq mile

Key Amenities:

- M-14 and Ford Road
- Plymouth Orchards and Cider Mill
- English Gardens
- North Prospect and Schroeter Parks (Township-owned)
- Staebler Farm
- Wing Nature Preserve (Washtenaw Audubon)

**Estimate developed from Census 2020 block data and Washtenaw County parcel information*

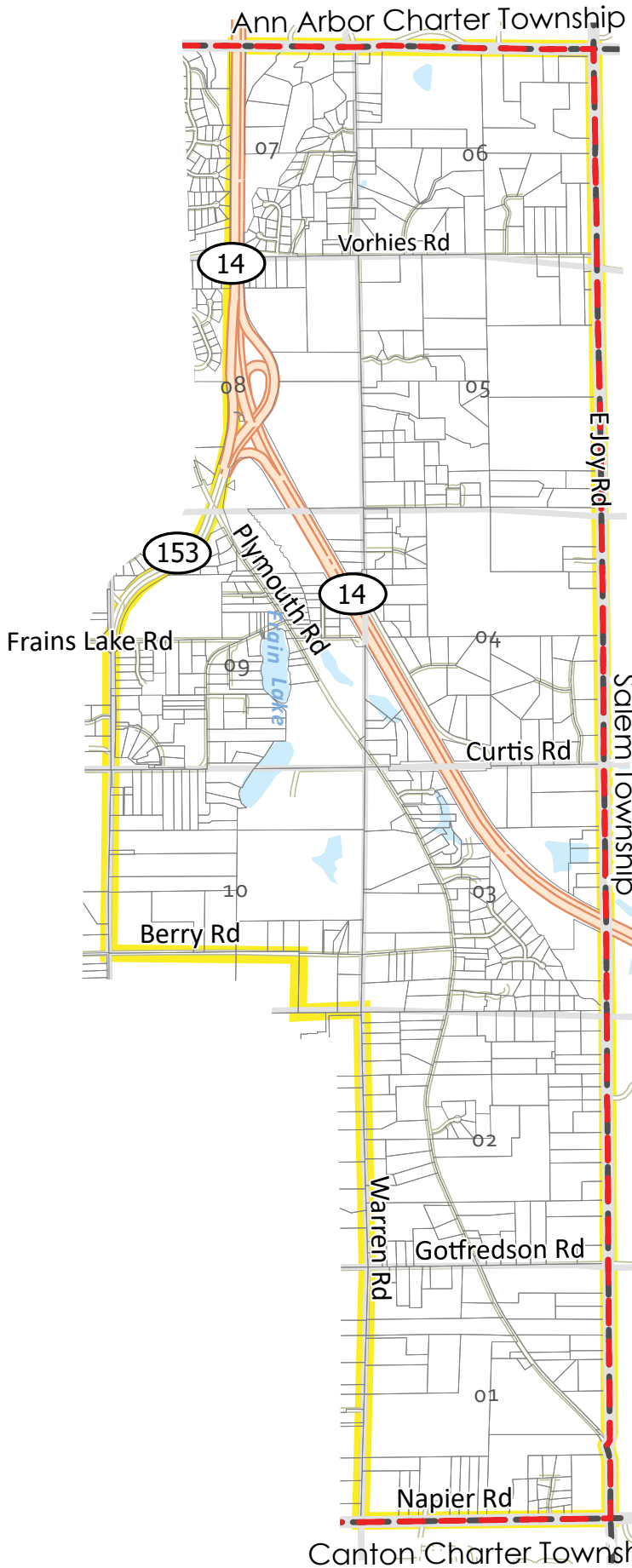
Rural Plymouth Road/M14 Sub-Area

This sub-area has scattered homes on parcels carved from former farms. Among these homes are several historic houses on Plymouth-Ann Arbor Road. Many of the lots are five to ten acres in size although there are larger parcels and a few small platted, subdivisions and site condominium developments. There is a small residential hamlet at Frains Lake.

While portions of this area have open, active farm fields or grassy pastures that are no longer actively farmed, there are also many wooded areas. A few ponds, small lakes, and wetlands dot the area. Additionally, this area has a considerable amount of publicly owned recreation land and preserved land. The northeast part of this sub-area predominantly consists of large lot residential dwellings along Plymouth-Ann Arbor, Ford, and Gotfredson Roads north of Plymouth-Ann Arbor Road that may be impacted by additional traffic from potential future development of Salem Township's Urban Services District on Gotfredson Road at the M-14 interchange. Some parcels around the Plymouth-Ann Arbor Road and Gotfredson Road intersection are planned and zoned for commercial and office land uses.



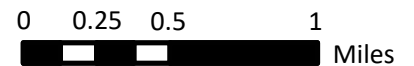
Image Source: MichiganHauntedHouses.com



Rural Plymouth Road / M-14 Road Sub-Area

Superior Charter Township
Washtenaw County, Michigan

- Sub-Area Boundary
- Parcels
- Superior Charter Township Boundary
- Roads
- Water Bodies



Data: Superior Charter Township, Washtenaw County,
State of Michigan
Prepared by: Carlisle/Wortman Associates
September 21, 2022



Canton Charter Township

Uses

- Rural residential
- Single-family cluster residential that preserves open space and natural features.
- Production farms and nurseries.
- Accessory retail uses in conjunction with an agricultural operation. Examples of accessory retail uses may include farmers' markets, roadside stands, nurseries and greenhouses, wineries with sales and tasting rooms, and other similar uses.
- Open space and natural areas that preserve the natural landscape and help mitigate the effects of agricultural uses and development including soil erosion and stormwater runoff.
- Public and institutional facilities such as schools, places of worship, police stations, community centers, that support the surrounding residential properties.

Design Characteristics

- Farming operations between 10 to 30 acres are desired.
- New development shall reduce conflicts between farm and non-farm uses.
- Buildings should be agricultural or residential in character.
- Non-motorized connections should be provided as necessary to connect the township's agricultural land, and open and green spaces to other residential and recreational areas in the township.
- Future development of single-family cluster density should be no more than 0.5 units per acre.
- Ensure new development can be served by infrastructure including roads, well, and septic.
- New development shall respect existing open space and natural areas.



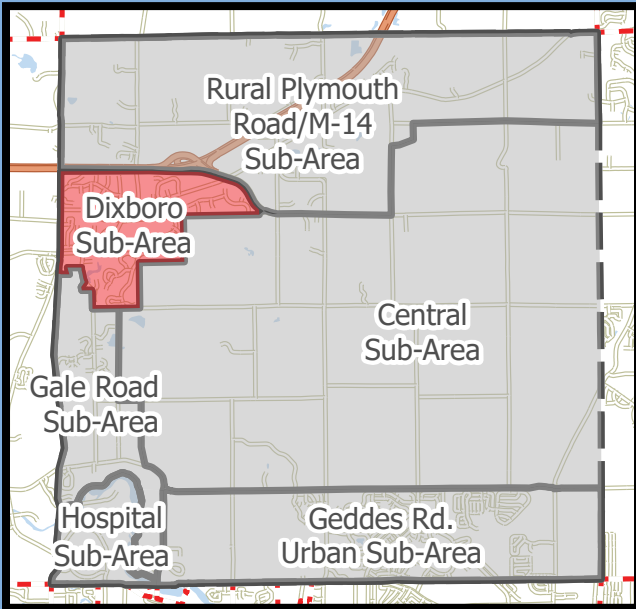
Image Source: AnnArbor.org



Non-motorized pathways through rural residential areas can connect the Township's agricultural landscape to the more-developed areas.
Image Source: Pat & Chuck Blackley



DIXBORO SUB-AREA



Area: 2.0 square miles

Estimated Population*: 1,515 residents

Density: 758/sq mile

Key Amenities:

- Village of Dixboro
- Historic Dixboro United Methodist Church and schoolhouse
- Dixboro Village Green
- Dixboro Farmers' Market
- Huron Valley Tennis Club
- Fleming Creek
- Humane Society of Huron Valley

**Estimate developed from Census 2020 block data and Washtenaw County parcel information*

Dixboro Sub-Area

The centerpiece of this sub-area is the historic settlement of Dixboro along Plymouth-Ann Arbor Road between Dixboro Road and Ford Road. It has houses dating to the 1830's.

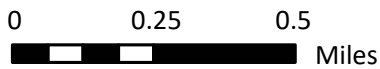
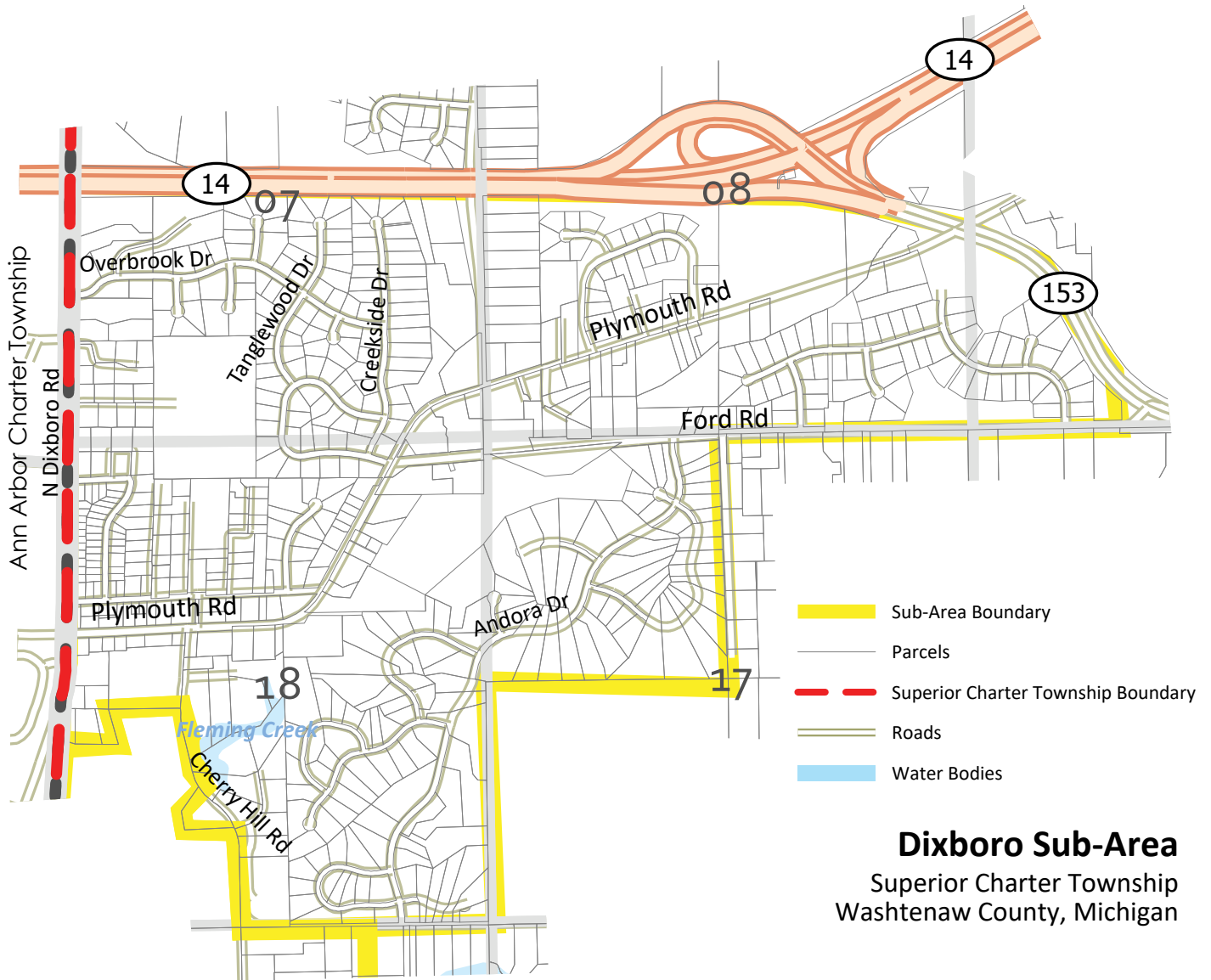
There are a few commercial establishments and offices on Plymouth and at the Plymouth-Ann Arbor and Ford Roads intersection. The settlement is on a grid pattern with a "village green" and an adjacent church as the focus. Surrounding Dixboro are two large subdivisions of late 20th century and very early 21st century vintage. The adjacent subdivisions are more spread out on curvilinear streets with large lots. Fleming Creek parallels Plymouth-Ann Arbor Road in this area, flowing northeast to southwest, just to the south of Dixboro. Bordering the southeast part of this sub-area is the Cherry Hill Nature Preserve: a 160-acre Township-owned parcel. The Township has a separate sub-area plan detailing future development parameters in the Dixboro sub-area. The general thrust of that sub-area plan is:

- Preservation of the water quality of the Fleming Creek and the natural character of abutting lands;
- Preservation of the historic character of Dixboro; and
- Traffic calming on Plymouth Road as it goes through Dixboro.

For more details see Dixboro Special Area Plan on page 83.



Image Source: Sue Pais



Data: Superior Charter Township, Washtenaw County, State of Michigan
Prepared by: Carlisle/Wortman Associates
June 30, 2023



Zoning Plan Table

The Zoning Plan Table shows what zoning districts in the Superior Charter Township Zoning Ordinance, in effect at the time of this plan’s adoption, relate to the future land categories described in this chapter. A Comprehensive Rewrite to the Zoning Ordinance is a catalyst project, expected to be completed within one year of the adoption of this plan. The revised zoning ordinance is expected to revise, replace and streamline the zoning districts in Superior Charter Township.

Table 9. Zoning Plan Table

Future Land Use Area	Zoning Equivalent
Geddes Road Urban Sub-area	R1 - Single-Family Residential District, R2 - Single-Family Residential District, R3 - Single-Family Residential District, R4 - Single-Family Residential District, R6 - Manufactured Housing Park District, R7 - Multiple-Family Residential District, C1 - Neighborhood Commercial District, C2 - General Commercial District, A2 - Agricultural District
Hospital Sub-area	R7 - Multiple-Family Residential District, C1 - Neighborhood Commercial District, C2 - General Commercial District, O1 - Office District
Gale Road Sub-area	R-C Recreation-Conservation District, R-1 Single-Family Residential District, PSP - Public/ Semi Public Services District
Dixboro Sub-area	See Dixboro Plan
Rural Plymouth Road/M-14 Sub-area	R-C Recreation-Conservation District, A-1 Agricultural District, A-2 Agricultural District, R-1 Single-Family Residential District
Central Sub-area	R-C Recreation-Conservation District, A-1 Agricultural District, A-2 Agricultural District, R-1 Single-Family Residential District

Chapter 5: Strategies & Implementation



Achieving the vision of Superior Charter Township's Master Plan will take significant time, effort, and in many cases, funding to achieve. Township government will not be able to do it alone. An engaged community – that works together, combines resources and shares success – and committed partners are essential for Superior Charter Township to be a thriving community of healthy and sustaining neighborhoods, lasting livelihoods, and great places. This chapter outlines actions for Township officials and staff as well as partners and the community.

The purpose of this chapter is to identify strategies that the Township can initiate or continue to use that will achieve the community's vision for the future of the Township articulated in this Master Plan. Each strategy has been developed to support the policies established in the Plan. Each strategy supports one or more of the policy statements and is intended to achieve ends that are consistent with the Township's vision. The strategies are a set of tools and initiatives that include existing efforts, best practices, and unique approaches that have been conceived specifically for Superior Charter Township.

The success of the Township's plan will depend heavily on citizens' understanding of the planning process and the plan's specific vision and policies. An engaged population that endorses the future vision for the Township and has ownership of the community policies will be more likely to support zoning decisions, development proposals, preservation initiatives and even advocate for bond proposals or special assessments that are consistent with the identified strategies. The Township must effectively communicate the importance of long-range planning and encourage citizen participation in ongoing planning efforts.



Strong Partnerships

Partnerships, formal and informal, are critical to successful implementation of this plan. The Township will continue to strengthen existing partnerships, pursue new partnerships, and maintain open lines of communication. Existing and potential partners are listed on this page. As new opportunities arise, the Township should not hesitate to engage organizations, groups or businesses not included here to achieve the vision of Superior Charter Township 2040.

POTENTIAL PARTNERS

- **Local Government:** Washtenaw County Road Commission, Washtenaw County Water Resources Commissioner, Washtenaw County Office of Economic and Community Development, Washtenaw County Parks and Recreation Commission, Washtenaw County Sheriff, Ypsilanti Community Utilities Authority, Ann Arbor Area Transportation Authority.
- **State Government:** Michigan Department of Transportation; Michigan Department of Environment, Great Lakes, and Energy; Michigan Economic Development Corporation; Michigan State Housing Development Authority.
- **School Districts:** Ypsilanti Community Schools, Ann Arbor Public Schools, Plymouth-Canton Community Schools, Washtenaw Intermediate School District.
- **Neighborhood Organizations:** Neighborhood Watch Groups, Homeowners' Associations.
- **Community Partners:** Ypsilanti District Library, Places of Worship, SPARK, Washtenaw Community College Entrepreneurship Center, Small Business Development Center at Washtenaw Community College; local nonprofits.
- **Major Employers:** Trinity Health System and Hyundai-Kia.
- **Local Institutions:** Eastern Michigan University, University of Michigan, Washtenaw Community College, Concordia University, Matthaei Botanical Gardens & Nichols Arboretum, Radrick Farms Golf Course.
- **Development Community:** local builders, developers, architects, planners, landscape architects, engineers and financing institutions.

Funding Sources

The Township will need to pursue multiple and creative sources of funding to implement this plan. These funding sources may change over time. The Township must continually investigate and pursue new sources of funding.

Funding sources fall into four categories:

1. Township Funded

- a. General Fund
- b. Special Assessment

2. Economic Programs

- a. Brownfield Tax Increment Financing
- b. Community Development Block Grant (CDBG)
- c. Michigan Community Revitalization Program (MCRP)
- d. Public Spaces Community Places (PSCP)
- e. Redevelopment Ready Communities (RRC)
- f. SmartZones
- g. Transformational Brownfield Plans (TBP)
- h. Opportunity Zone
- i. Corridor Improvement Authority

3. Transportation and Non-Motorized Infrastructure

- a. Transportation Alternative Programs (TAP) Grants
- b. Stormwater, Asset Management, and Wastewater (SAW) Grants
- c. Washtenaw County Connecting Communities Grants
- d. Transportation Economic Development Fund (TEDF) Grants
- e. Michigan Department of Natural Resources Grants - Land & Water Conservation Fund, Michigan Natural Resources Trust Fund, and Recreation Passport
- f. Southeast Michigan Council of Governments (SEMCOG)

4. Parks, Trails, and Open Spaces

- a. Land and Water Conservation Fund
- b. Michigan Natural Resources Trust Fund
- c. Recreation Passport Grants
- d. Forestry Grants
- e. Recreation Improvement Grants
- f. Recreational Trails Program Grants
- g. Washtenaw County Natural Areas Preservation Program
- h. Ann Arbor Greenbelt Program
- i. Legacy Land Conservancy
- j. Southeast Michigan Land Conservancy

Implementation Matrix

The following implementation matrix includes actions for implementation. The table is grouped around overarching topics of Growth Management (GM); Open Space and Land Preservation (OP); Environmental Protection (EP); Housing (H); and Transportation (T). For additional information, each action relates directly to the associated policy outlined Chapter 3, Vision and Policies.

The code in the Related Policy column indicates the policy topic and policy number from chapter 3.

Time Frame Guide:

- Immediate: 0-2 Years
- Mid: 2-5 years
- Long: 5 years +

Table 10. Implementation Matrix

Growth Management / Environmental Protection / Open Space and Land Preservation		
Action	Related Policy	Time Frame
Update Zoning Ordinance to ensure implementation of the Master Plan.	All	Immediate
Review all new development to ensure that it is consistent with adopted Growth Management Plan and Future Land Use Plan.	GM-1, GM-2	Immediate
Utilize the policies in the Master Plan to review zoning petitions and zoning policies to implement the growth management plan and future land use plan	GM-1, GM-2	Immediate
Maintain the long-identified Urban Service Area boundary to support the distinction between urban and rural areas, and to protect the designated rural area from intrusion by urban development.	GM-3, GM-9, H-4, OP-1	Immediate
Update township codes and ordinances to preserve and enhance the existing streams, water bodies, watersheds and wetlands to be used as part of the drainage system of the Township.	OP-1, OP-2, EP-3	Immediate
Update township codes and ordinances to require development reviews to determine detailed information about environmental impact including steep slopes, woodlands, stream corridors, wetlands, groundwater recharge areas, and any other identified natural feature.	OP-2, EP-1, EP-3, GM-8	Immediate
Update township codes and ordinances to require protective buffer strips within new developments along stream corridors and wetlands.	EP-1, EP-3	Immediate
Update township codes and ordinances to enact surface run-off rate restrictions to prevent overloading of streams and prevent erosion.	EP-1, EP-3	Immediate
Update and enforce Tree Preservation Ordinance to minimize lot clearing, focus farmland on existing farm lots, minimize development impacts, and enhance the natural character of the township.	OP-1, EP-3	Immediate
Update township codes and ordinances to require that natural features will be utilized as boundaries between different use areas or to separate development areas from agricultural areas.	OP-3, GM-4, GM-7	Immediate
Update township codes and ordinances to limit development in areas that are unsuitable for development: <ol style="list-style-type: none"> Lands that cannot be developed in their natural state, such as flood plains and wetlands. Lands that are essential to the continuity and preservation of natural systems. Lands on which development would result in environmental destruction of a larger natural system or create hazards to the environment or the public. 	EP-1, EP-3, GM-4, GM-9, GM-10	Immediate

Identify important wildlife corridors to minimize impact on animal habitats and adopt necessary policies and ordinances to protect them.	EP-3, EP-4, OP-1	Mid
Inventory and identify sensitive environmental areas for potential purchase or enhanced protection .	EP-3, EP-4, OP-1	Mid
Explore the establishment of a zoning district that permits renewable energy development while preserving the rural character of the Township.	EP-2, GM-10	Mid
Amend existing codes and ordinances to allow for installation of energy generation systems as a permitted or conditional use in all zoning districts.	EP-2	Mid
Participate in and support the Washtenaw Metro Alliance document “Green Places: Open Spaces - A Plan for Coordinated Parkland and Open Space.”	GM-10, OP-2	Mid
Work with Washtenaw County Water Resources Commissioner and update township codes and ordinances to require greater use of green infrastructure and limit impervious surfaces.	EP-1, GM-8, GM-9	Long
Work with large property owners to educate and regulate the use of phosphorus fertilizers, increased use of native landscaping, and awareness about watersheds, wetlands, and other natural features.	EP-1, EP-3	Long
Continue to work with township policy makers and legal representation to protect the long-established growth management plan and Urban Service Area boundary.	EP-1, GM-8, GM-9	Long

Housing		
Action	Related Policy	Time Frame
Update Zoning Ordinance to allow for a variety of housing types consistent with adopted growth management plan and future land use plan.	GM-7, GM-8, H-2, H-6	Immediate
Update Zoning Ordinance to buffer existing neighborhoods from inconsistent uses and to thoughtfully integrate neighborhood commercial development into residential communities through design and development standards.	H-1, H-2, GM-6, H-8	Immediate
Create standards that allow for and regulate creative “missing middle” housing types.	H-1	Immediate
Create design standards that require duplexes and multiple family buildings to match the existing architectural style and scale of the surrounding housing stock.	H-1, H-5	Immediate
Monitor changing demographics and ensure policies and zoning which permit housing to meet those needs.	GM-2, H-4, H-6	Mid
Provide information to residents and builders on Universal Design and aging in place concepts.	H-1	Mid
Establish program to market the community assets to potential investors, new businesses, residents, and visitors to establish more commercial opportunities within the higher-density portions of the Township.	H-6, H-7, H-8	Mid
Establish program to provide incentives to encourage redevelopment and higher intensity of development in vacant areas within higher-density portions of the Township.	H-7, H-8	Mid
Identify areas and draft regulations to support senior housing.	H-2, H-3	Mid
Establish program to encourage and assist in home ownership and home improvements especially for specific neighborhoods.	H-1, H-2	Mid
Establish neighborhood improvement program that works directly with neighborhoods to identify needed improvements such as programming needs, community gardens, blight reduction, and infrastructure updates.	H-1, H-2	Mid
Establish a rental inspection program.	H-1, H-5	Mid
Encourage or incentivize housing types for seniors, lower-income families, and young people in areas with convenient access to services, businesses, and transit.	H-2, H-3, H-6, H-8, T-2, T-8, GM-2	Mid
Develop building regulations that permit expansion and modernization of structures while at the same time preserving the established character of neighborhoods.	H-1, H-5	Mid
Establish benchmarks that permit regular review of the quality of service and infrastructure provided. Services and infrastructure that should be reviewed include: <ul style="list-style-type: none"> a. Utilities (sewer, water, and rubbish) b. Public safety (police, fire, E-911 dispatch) c. Transportation (roads, pathways, sidewalks) d. Parks and Recreation e. Wireless and fiber optic communications and internet 	H-4, GM-2	Long
Maintain and upgrade existing utilities in areas that are currently developed as or planned for higher intensity land uses.	H-4, GM-2, H-7	Long
Review neighborhoods to determine infrastructure improvements such as sidewalks, paths, and parks.	H-5, T-5	Long

Transportation		
Action	Related Policy	Time Frame
Adopt recreation and non-motorized plans that require new developments along major roadways to install a non-motorized pathway.	T-1, T-7, T-9	Immediate
Adopt recreation and non-motorized plans that identifies gaps between existing trails and sidewalks.	T-1, T-7, T-9	Immediate
Enhance Geddes Road as a buffer between agricultural/open space to the north and new development to the south by planting or preserving trees along the roadway and expanding the non-motorized trailway alongside it.	GM-1, T-6, T-7, T-9	Immediate
Work with Washtenaw County Road Commission to improve safety for bicyclists along roadways in areas of high need, where a designated non-motorized pathway is not readily available.	T-6, T-9	Mid
Encourage expanded AAATA bus service from Ypsilanti Township and Ann Arbor Township into high-density areas in Superior Charter Township.	T-1, T-2, T-8	Mid
Work with AAATA to review bus routes to ensure they most efficiently link neighborhoods to shopping areas and employment areas.	T-8, H-8	Mid
Work with DTE to improve and maintain streetlights in residential neighborhoods.	T-9	Mid
Establish program to fill gaps between existing trails and sidewalks.		Mid
Support the “Ten Minute Walk” initiative by expanding sidewalks and non-motorized pathways in more developed areas of the Township.	T-5, T-7, GM-6	Mid
Update township codes and ordinances to require shared access among adjoining property.	EP-1, OP-1, GM-8, H-7	Mid
Work with Washtenaw County Road Commission to establish local road improvement plan.	T-3	Long
Implement traffic-calming and traffic alleviation measures in the Dixboro Special Area.	T-4, T-6, T-7, T-9	Long

Chapter 6: Dixboro Special Area Plan

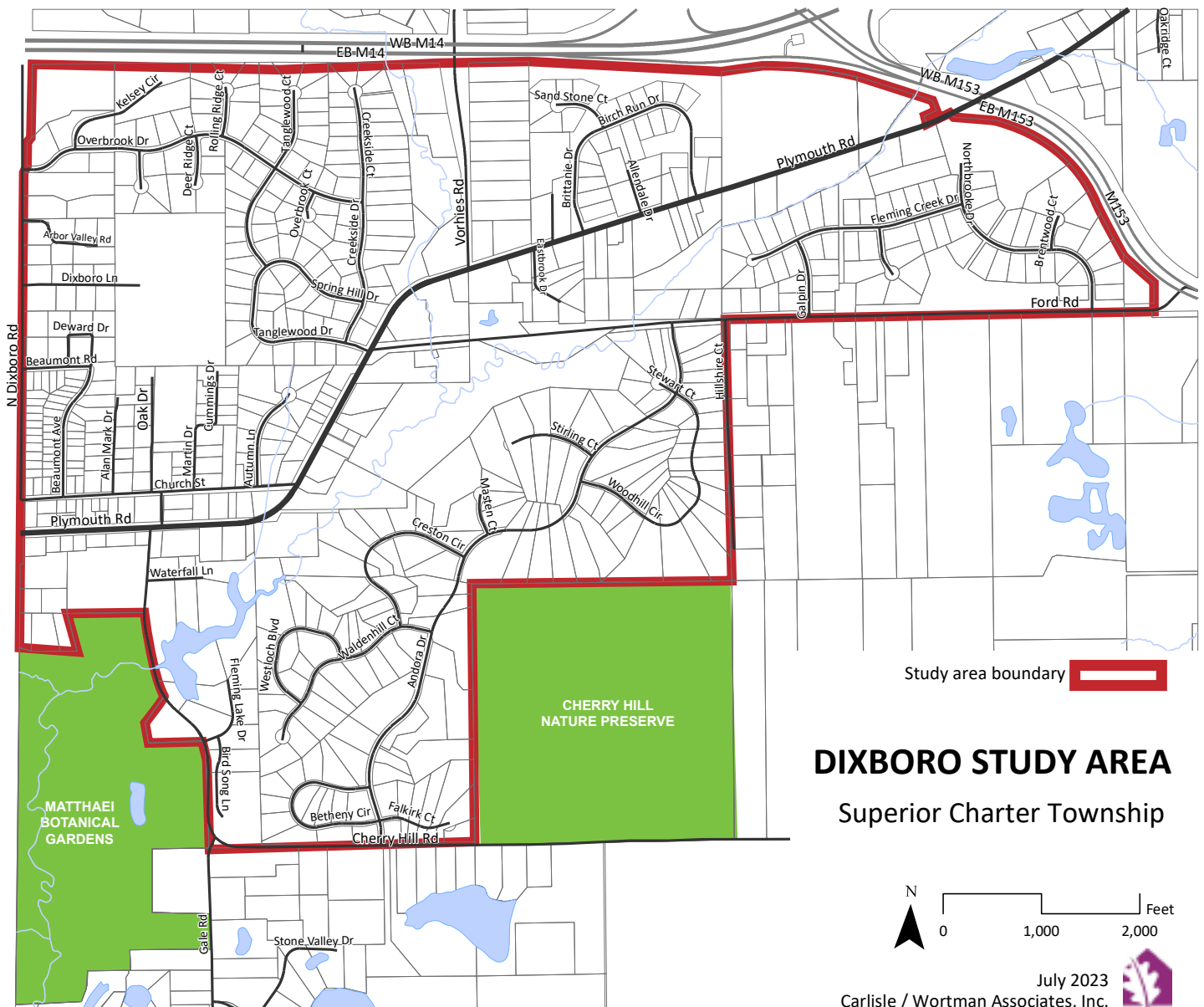


Dixboro is a special area within Superior Charter Township. It is often unofficially referred to as the Dixboro Village or the Dixboro Hamlet. Dixboro is a neighborhood with a long history supported by a strong sense of community. This is perpetuated by its notable character and the community members that call it home. The area consists of well-established residential neighborhoods with mature trees and small, local commercial establishments along Plymouth Road which runs through the heart of the area.

use corridor along Plymouth Road and the immediate surrounding neighborhoods. This area is generally bound by North Dixboro Road to the west, M-14 to Ford Road to the north, Cherry Hill to the south, and the edge of the adjacent neighborhoods to the southeast.

While there are no official borders to the area, and there are many community members who identify with Dixboro, a study area has been designated for the purposes of this special area plan. This area includes the small mixed-

Map 19. Dixboro Planning Area



Community Engagement

During the Master Planning development process, special attention was paid to the Dixboro area, as it has been long recognized as a special planning area within the Township. To receive input on the future plan for this area, a series of three meetings was held. The first was an open house with activity stations designed to garner feedback on preferred community character, general land use, housing, and transportation. This activity was open to the public. A second meeting was held with Dixboro community stakeholders where the feedback from the open house was shared and ideas were refined. Finally, a presentation, which was open to the public, was given to provide findings and direction from the input that was received. There appears to be a consensus on the vision for the future for the Dixboro area.

Vision

Character

Generally, people in Dixboro like the area as it is. Any future growth or development in the area should be consistent with the current character and scale of the area. The following character elements focus on commercial uses or mixed commercial/residential uses along Plymouth-Ann Arbor Road. This is the most outward facing area in Dixboro. Any new commercial development should be focused along the Plymouth Road corridor, from the area where commercial uses currently start on the west end to the intersection of Tanglewood Drive and Ford Road. Such commercial development should be small scale and designed to serve the needs of the local neighborhoods. The following elements are identified as being consistent with the vision for the area's community character:

1. Buildings on the corridor should be no taller than 2.5 to 3 stories.
2. Commercial or mixed-use buildings may be in converted houses.
3. New buildings should be designed to look like village commercial style buildings. There are existing commercial buildings in Dixboro that people recognize as being consistent with the style and scale that is desired for any new development.
4. Well-defined outdoor seating areas are desired.
5. The streetscape should include sidewalks, buffers between pedestrian space and vehicular lanes, street trees, traditional style benches, and streetlights.



Housing

The bulk of the Dixboro area consists of single-family neighborhoods. While the area is generally built out, there are still areas that could be developed for new housing. It is recognized that the large undeveloped area close to M-14/M-153 interchange will likely be developed as a suburban-style neighborhood consistent with the surrounding neighborhoods. There may be smaller parcels that have some infill potential. There is desire to see availability of smaller, more affordable housing options. These could be duplexes within existing neighborhoods whose designs are consistent with the neighboring single-family homes. Townhomes or second-floor flats could be developed along the Plymouth-Ann Arbor Road corridor if their design and scale could complement the neighboring village commercial uses. Additionally, if space is available along the corridor, slightly larger parcels could be developed as bungalow courts.

Transportation

Like the rest of the Township, Dixboro was designed to accommodate vehicular traffic, with little if any consideration to non-motorized or pedestrian traffic. Plymouth-Ann Arbor Road's 45-mph speed limit is a relic of the road's status as a trunk line, although that status was discontinued after completion of M-14 in 1979. The road has been under the control of the Washtenaw County Road Commission (WCRC) since that time. Traffic is heavy along the Plymouth Road corridor, especially during morning and evening rush hours. It is common to see drivers cutting through surrounding neighborhoods to bypass traffic, frequently traveling at speeds well above the posted limits.

Residents expressed a strong desire to change this auto-centric character and focus instead on walkability and non-motorized transportation alternatives. Reduction of the speed limit is key: residents hope to see the speed limit lowered to 35 mph or less. Pedestrian amenities such as sidewalks, pathways, and new street lighting were commonly-requested features, and traffic calming devices such as on-street parking, bump-outs, and mid-block crossings were viewed favorably for the downtown Dixboro corridor. These features provide visual cues for drivers to reduce speeds, ultimately making it easier for the County to officially lower the posted limit. The alignment concept preferred by the Dixboro session participants is shown in Figure 16 on page 87.

An eight-foot-wide pathway is currently in the final design stages. The route will start at the Dixboro/Plymouth Road intersection, connecting with the recently completed



A duplex is a two-unit house that can be designed to match the style and scale of other houses within a neighborhood.



Second story apartments in commercial buildings provide additional housing options within the context of neighborhood commercial use.



A bungalow court is a style of development featuring smaller single family housing units arranged around a central garden or courtyard.

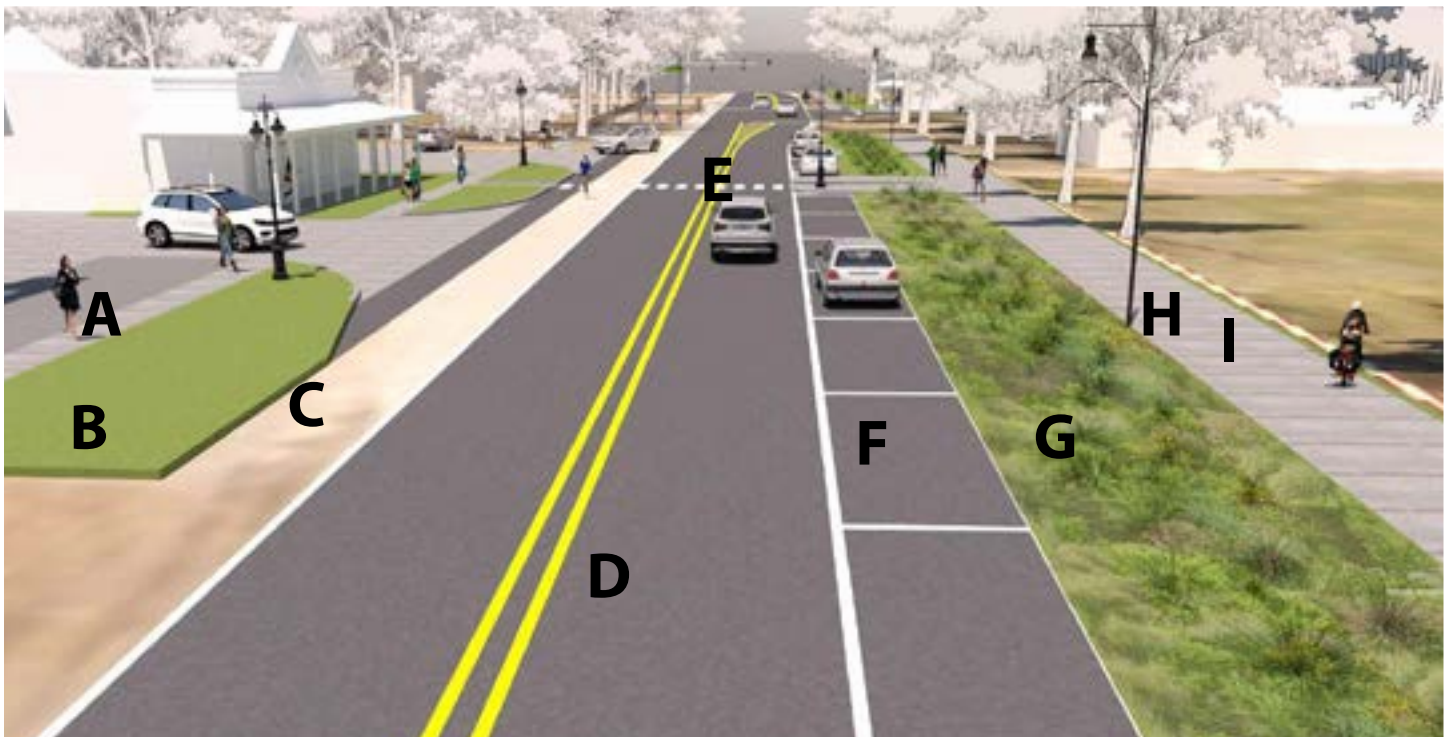
pathway south to Matthaei Botanical Gardens, and travel approximately 2,500 feet east along the south side of Plymouth-Ann Arbor Road to the Dixboro Project Restaurant at the first bend in the road. While this segment does not incorporate all of the traffic calming and street design features desired by residents, it represents an important first step in development of the sub-area. As the region develops, this pathway will begin to form a connection to existing trails in the Northbrooke/Fleming Creek subdivision, creating a loop which returns to the hamlet, and greatly improves walkability and safety.

Full-scale implementation of non-motorized amenities and traffic calming devices will require buy-in from and cooperation with the Washtenaw County Road Commission (WCRC). It is critical that Township officials continue to communicate their vision with WCRC and regional transportation planning authorities so the project can be incorporated into long-term planning efforts. Inclusion of traffic calming options such as mini-roundabouts in the Tanglewood neighborhood should also be considered to discourage cut-through drivers.

Working with the WCRC on road development also offers opportunities for achieving economies of scale. By carefully phasing activities and incorporating improvements with other planned road activities, the Township can realize their ambitions while remaining fiscally prudent. Coordination with regional authorities also ensures that trails have the broadest possible reach, and form a network that connects neighborhoods and adjacent communities. In the Village, priority should be placed on developing the segment along Plymouth between North Dixboro and Church Street, building on current trail activities and expanding to incorporate the placemaking features desired by residents.

Finally, several residents expressed a desire to see bus service extended into Dixboro, with connections west to the Park-and-Ride at US-23 and Plymouth-Ann Arbor Road. The Ann Arbor Area Transportation Authority (AAATA) currently does not offer service around the village. Communities that desire service outside of AAATA's core area negotiate a fee to create the route and stops. It may be desirable for Superior Charter Township to coordinate with Ann Arbor Township to create a route from the Park-and-Ride east to Dixboro Road, and south to Geddes, with stops at the Matthaei Botanical Gardens and downtown Dixboro.

Figure 16. Preferred Configuration for Plymouth-Ann Arbor Road



- A. Sidewalk widened to 6-foot
- B. Buffer remains intact except to accommodate expanded sidewalk and lighting
- C. Existing shoulder left intact
- D. 11-foot travel lanes
- E. New mid-block crosswalks with bump-out
- F. On-street parking
- G. Bioswale with native plantings
- H. New lighting
- I. 8-foot multi-use safety path shared by cyclists and pedestrians.

Figure 17. Cross-Section of Multi-Use Roadway

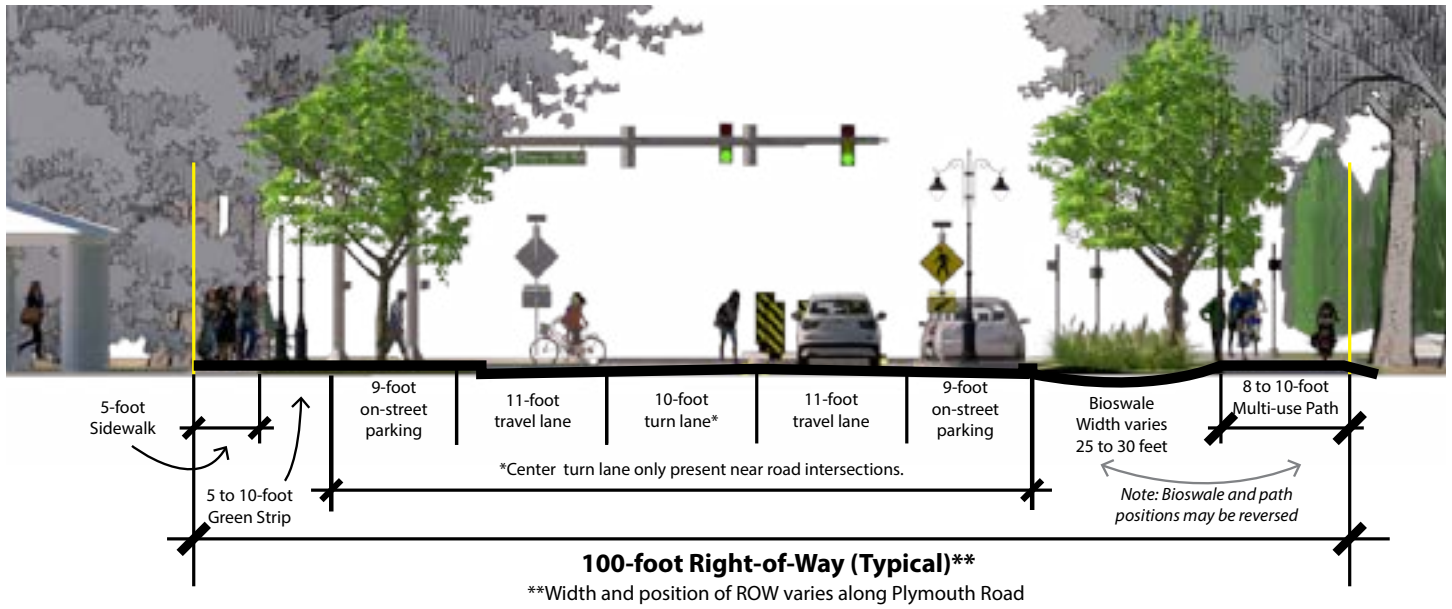


Figure 18. Non-Motorized Transportation Development Phasing

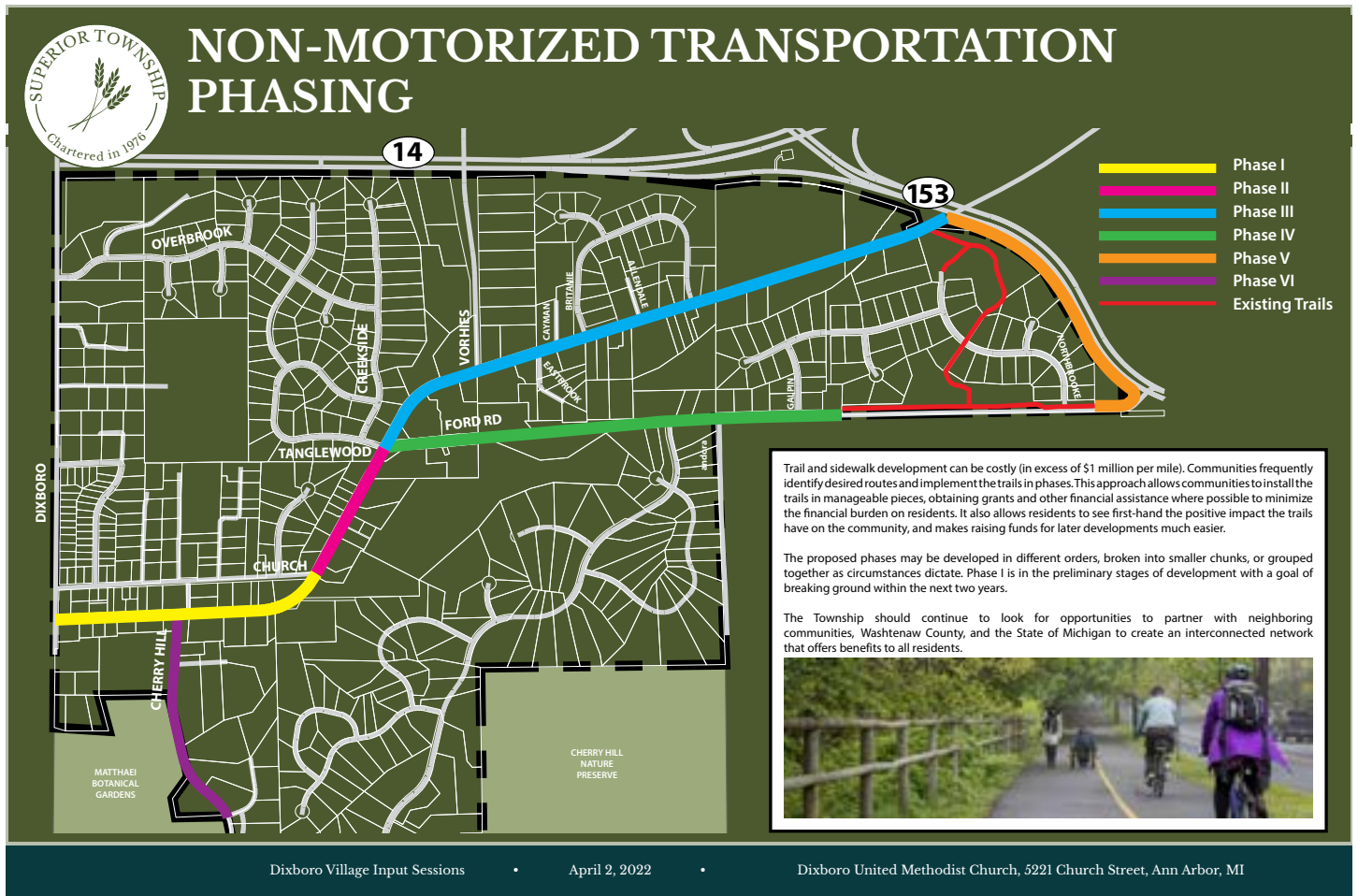


Figure 19. Desired Streetscape and Traffic Calming Elements



Roundabouts

Raised islands placed at unsignalized intersections around which traffic circulates. Acts to slow traffic while allowing unimpeded circulation.



Bump-outs / Chokers

A narrowing of a roadway through the use of curb extensions or roadside islands. Chokers are considered appropriate for arterials, collectors, or local streets.



Mid-block Crossings

Sometimes used in conjunction with traffic islands, mid-block crossings shorten travel distances and increase safety for pedestrians between signaled intersections.



On-street Parking

On-street parking narrows road travel lanes and increases side friction to traffic flow. Can be used on alternating sides of the road for a "chicane effect."



Sidewalks

Typically five to six feet in width, sidewalks primarily serve pedestrians and provide separation from vehicular traffic.



Safety Paths / Trails

Typically eight to ten feet in width, but wider in locations with heavier traffic. Designed to accommodate both pedestrian and bicycle traffic.



Bioswales

Help to control stormwater runoff and, when done properly, can beautify the surrounding neighborhood.



Textured Paving

Changes in surface texture can be used to alert drivers to crosswalks or special use areas.



Street Lighting

Street lighting is both a way to illuminate pedestrians and a visual cue to drivers of a potential change in traffic patterns and uses.

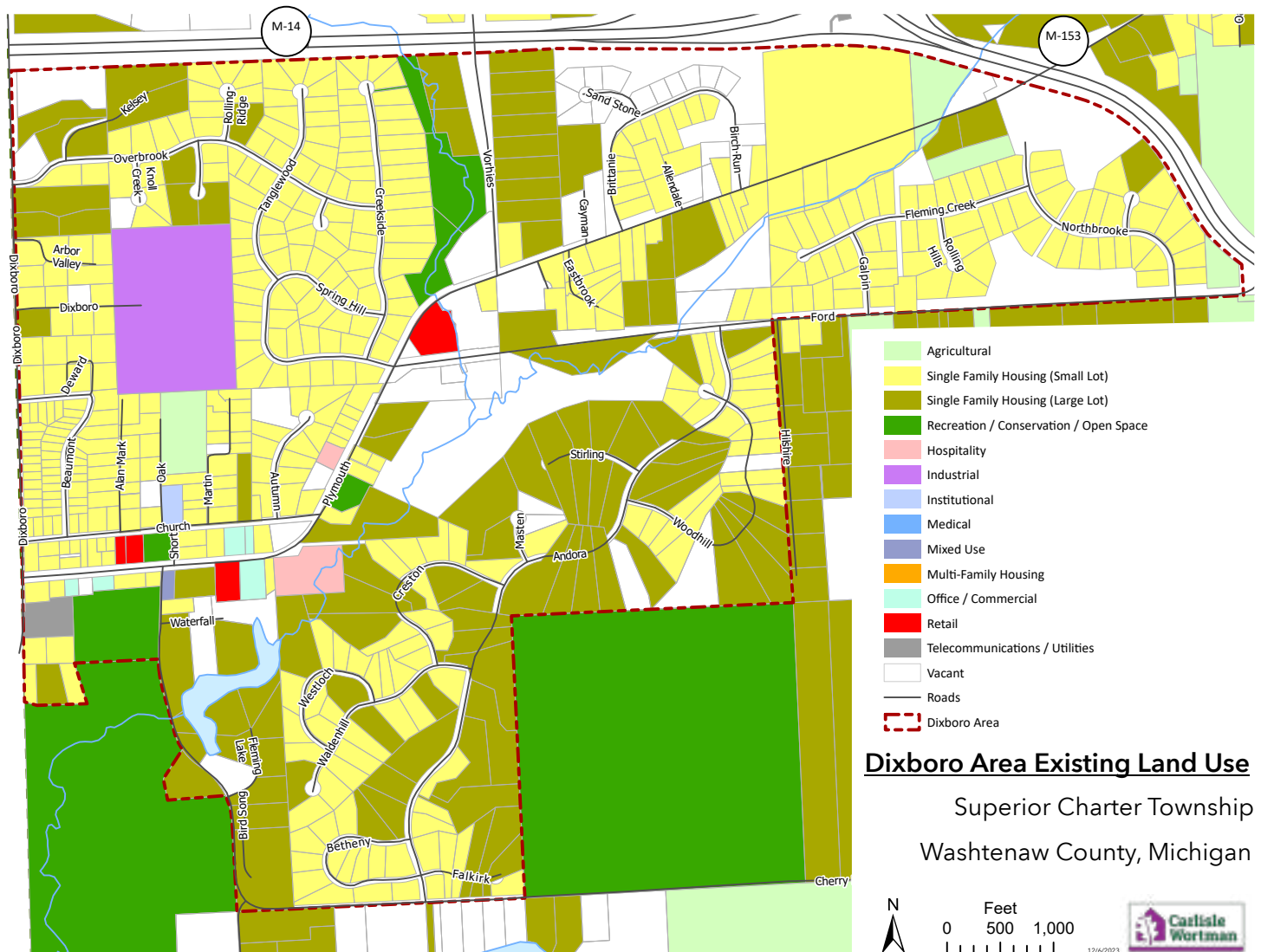
Land Use

Existing Land Use

Over the past 60 years Dixboro has been converted from active farmland and farmsteads to single-family subdivisions. The predominant land use remains single family residential including small-lot, less than 1 acre, and large-lot, greater than 1 acre. The southern portion of the Dixboro study area adjoins two large conservation

areas, Matthaei Botanical Gardens and Cherry Hill Nature Preserve. Along the Plymouth-Ann Arbor Road corridor, there are scattered mixed uses including some office, hospitality, retail, and institutional. Furthermore, there are a number of vacant and/or undeveloped parcels in the study area.

Map 20. Dixboro - Existing Land Use



Future Land Use

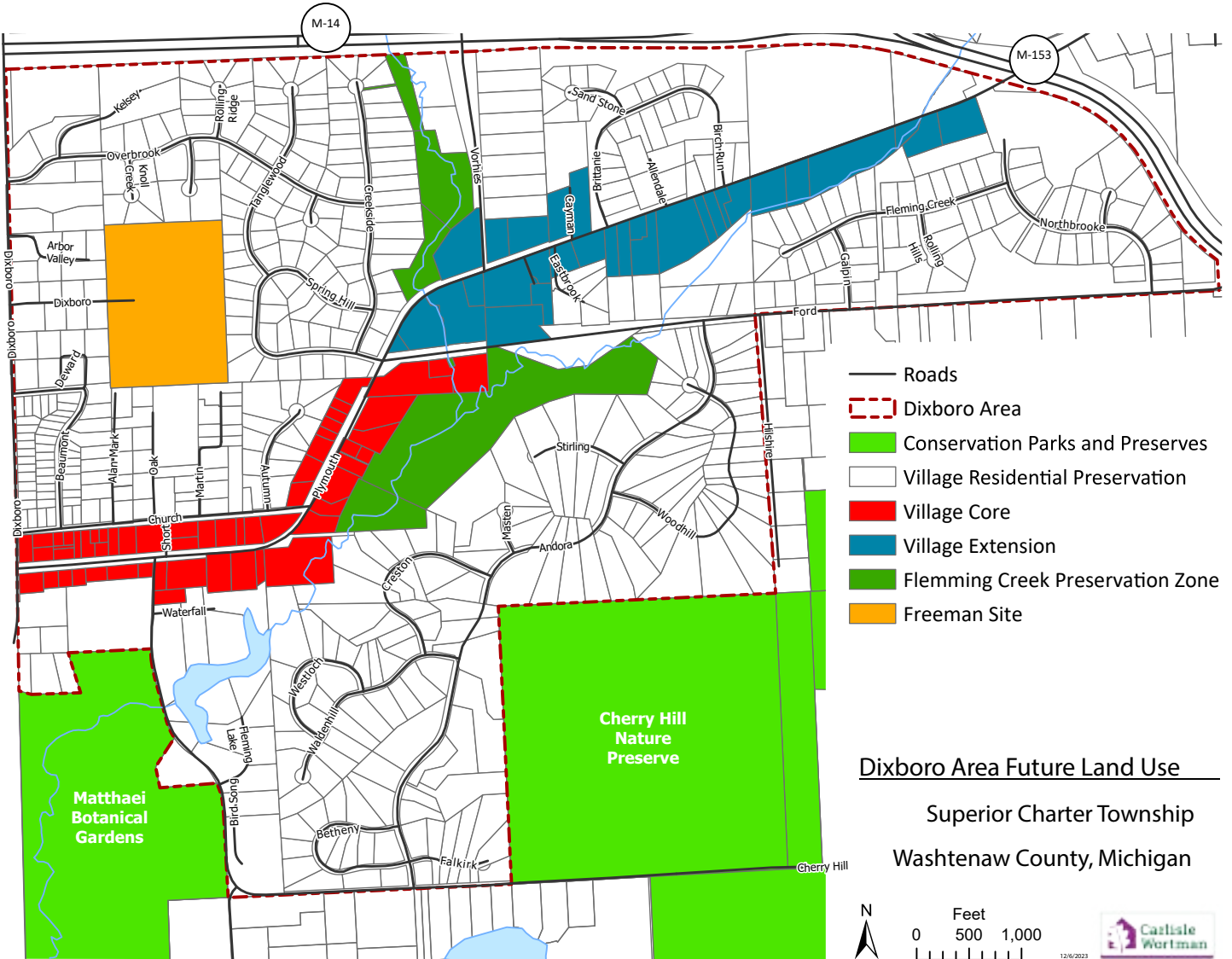
The Future Land Use Map reflects future land use patterns at an area-wide scale. The map uses color-coded “place types” to express public policy on future land use patterns— it is not a zoning map. It is built around the concept of place types – characteristic development patterns that recognize the context of each area but also provide guidance on desired improvements. Place types identify desired uses, design concepts and considerations to guide the relationships and physical improvements needed to create the types of places that are part of Dixboro’s long-range vision.

Areas within Dixboro have been divided into five place types. Place types have been assigned to areas based upon the context of existing build form, physical conditions, environmental conditions, land uses, development patterns, and community input, goals, and strategies.

The intent of the Future Land Use Map is not to predetermine land uses or zoning on a specific parcel or at specific locations. Rather, individual properties or projects can be considered within the context of the location and surrounding properties, and not by a strict set of land use categories.

The purpose of the Future Land Use Map is to create a place-based development strategy tailored to Dixboro’s unique characteristics, strengths, challenges, and opportunities.

Map 21. Dixboro Future Land Use Map



VILLAGE CORE

Historic core of the Hamlet. Intended to accommodate the convenience shopping, food service, office, and personal service needs of the community. The Village Core supports the creation and growth of neighborhood-oriented businesses, heightened sense of place, and encourages pedestrian and other forms of non-motorized travel.

VILLAGE EXTENSION

Intended to accommodate primarily low-density residential uses that retain the desired character of the area. The Village Core Extension would include a mix of single-family homes on both small and large lots, bungalow courts, small scale duplexes. Historically contextual design qualities are desired for residential developments. Non-motorized facilities and pedestrian connectivity are emphasized.

FREEMAN SITE

Ann Arbor Public School District property to be maintained in its current state unless the property is sold by the District. Should site become available for development, the new owners should work in partnership with adjacent neighbors to create a site that retains the character of the surrounding area. Lower traffic generation will be required due to the lack of utilities in the area

VILLAGE RESIDENTIAL PRESERVATION

Maintain and seek continuing reinvestment in the existing housing stock. Any new development must fit the character of the area. Preservation of the historic Dixboro church is critical.

FLEMING CREEK PRESERVATION ZONE

Critical ecological zone including Fleming Creek and its adjacent wetlands and woodlands. Most of these parcels are currently under private ownership. The Township should actively seek development rights agreements and outright acquisition as opportunities present themselves.

USES

Mixed-use, neighborhood commercial, office, personal services, residential (including small square footage homes, bungalow courts, duplexes, small scale tri- and four-plex units), institutional uses, and open space/parks.

Large- and small-lot single-family homes, bungalow courts, small scale duplexes, and open space / park.

Institutional, planned neighborhood, open space / park.

Large- and small-lot single-family homes, open space / park.

Preservation, passive-use recreation.

Table 11. Policies and Strategies, Dixboro Special Area Plan

Leading Policies	Strategies
Strive to recognize and protect historic assets.	Enforce design standards to preserve historic character of buildings along Plymouth-Ann Arbor Road in the Dixboro special sub-area.
Strive to recognize and protect historic assets.	Establish a program to permit outdoor dining areas for businesses in the Dixboro special sub-area.
Strive to recognize and protect historic assets. Support neighborhood commercial development that provides higher density residential neighborhoods with convenient access to day-to-day businesses.	Encourage new commercial businesses to occupy converted single-family homes along Plymouth Road in the Dixboro special sub-area.
Recognize that transportation facilities must be contextually appropriate to the unique areas of the Township that they serve.	Provide for on street parking along Plymouth Road in the core area as well as along connecting side streets where space is available within the public right-of-way.
Focus new development within designated areas and conduct it in a sustainable manner.	Update zoning to allow a variety of housing types in appropriate locations.
Promote residential development in a manner which will create, preserve, and enhance a quality living environment for existing and future Township residents and workers.	Update the Zoning Ordinance to create design standards that require duplexes and multiple family buildings to match the existing architectural style and scale of the surrounding housing stock.
Promote residential development in a manner which will create, preserve, and enhance a quality living environment for existing and future Township residents and workers.	Create standards that allow for and regulate bungalow court development. Such regulations should ensure that the architectural style of housing is consistent with existing neighboring housing.
Both motorized and non-motorized transportation facilities must be enhanced within planned growth areas.	Review neighborhoods to determine infrastructure improvements such as sidewalks, paths, and parks.
Recognize that the existing neighborhoods and the existing housing stock are an essential part of the community's character.	Provide information to residents and builders on Universal Design.
The existing housing stock is an essential part of the community's character.	Establish a program to encourage and assist in home ownership and home improvements especially for specific neighborhoods.
The need for a diversity in housing stock to support the housing needs of all residents, including young people, families, and seniors aging in place.	Encourage and assist in home ownership and home improvements.
Support clean water protection. Natural features, land preservation, and open space are key components of Superior Charter Township's community character.	Provide incentives for adjoining property owners to incorporate shared access drives and parking lots into all new redevelopment projects.
The existing neighborhoods and the existing housing stock are an essential part of the community's character.	Establish a rental inspection program.
Support diverse land uses that provide residents convenient access to goods and services.	Update the Zoning Ordinance to buffer existing neighborhoods from inconsistent uses and to thoughtfully integrate neighborhood commercial development into residential communities through design and development standards.

Leading Policies	Strategies
Promote residential development in a manner which will create, preserve, and enhance a quality living environment for existing and future Township residents and workers.	Develop building regulations that permit expansion and modernization of structures while at the same time preserving the established character of these neighborhoods.
Maintain existing and planned future housing densities where additional population will not over burden the existing or planned infrastructure. The type and density of new development should remain consistent with existing types and densities of nearby land uses.	Establish benchmarks that permit regular review of the quality of service and infrastructure provided. Services and infrastructure that should be reviewed include: <ol style="list-style-type: none"> a. Utilities (sewer, water, and rubbish) b. Public safety (police, fire, E-911 dispatch) c. Transportation (roads, pathways, sidewalks) d. Parks and Recreation e. Schools f. Wireless and fiber optic communications and internet
Promote increased transit options, particularly to serve underserved populations, significant shopping areas, and employment destinations.	Ensure bus routes link neighborhoods to shopping areas and employment areas.
Promote increased safety of non-motorized transportation.	Improve and maintain streetlights in residential neighborhoods.
Promote the continued maintenance of roads.	Invest in strategic traffic and road improvements.
Support increased density in planned housing developments, where feasible, to promote maximum retention of open space and natural features in other portions of the Township and region.	Promote mixed-use, walkable, development patterns in more developed areas of the Township.
Support traffic calming and the mitigation of traffic congestion.	Implement traffic-calming and traffic alleviation measures.
Support safe and convenient transportation options for all uses and modes including pedestrians, bicyclists, motorists, and transit riders.	Require new developments along major roadways to install a non-motorized pathway.
Promote increased safety of non-motorized transportation	Encourage connections between existing pathways and sidewalks.
Support the enhancement and protection of opportunities for bicycling throughout the community.	Improve safety for bicyclists along roadways in areas of high need, where a designated non-motorized pathway is not readily available.
Promote the enhancement of pedestrian facilities, including pathways, sidewalks, and crosswalks.	Support the “Ten Minute Walk” initiative by expanding sidewalks and non-motorized pathways in more developed areas of the Township.

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

RESOLUTION TO APPROVE KINSLEY DEVELOPMENT AGREEMENT

RESOLUTION NUMBER: 2024-15

DATE: MARCH 18, 2024

WHEREAS, the Developer desires to develop a one-phase project, with an overall parcel of a size totaling approximately 35.16 acres located north of Plymouth-Ann Arbor Road and south of M-14 in the southeast quarter of Section 8, in accordance with the approved Final Site Plan dated January 12, 2024 (the "Development") as more particularly described in the attached Exhibit A; and

WHEREAS, the Developer is developing the residential development pursuant to the Charter Township of Superior Zoning Ordinance No. 174, as amended, and other applicable law; and

WHEREAS, the Developer desires to build all necessary on-site infrastructure for the Development, including but not limited to: open space, storm sewers and storm water management system, dry fire hydrant, private roads with shoulders, landscaping, and similar amenities in the Development (the "Site Improvements"); and

WHEREAS, the Developer desires to install grading and soil erosion and sedimentation control improvements to facilitate the drainage of storm water from the Development in such a manner as is not expected to result in damage to any adjacent property outside of the Development or any site, building, or residential unit within the Development from an increase in the flow of storm water or decrease in water quality of storm water from the Development, as more fully set forth in the final engineering plans approved by the Township ("Engineering Plans"); and

WHEREAS, all agreements, approvals, and conditions agreed to by the Developer and the Township remain in effect for the Development, including, but not limited to, conditions of all approvals by the Township regarding zoning and site plan approval for the Development and permits that may have been issued by appropriate governmental review agencies for the Development; and

WHEREAS, on February 28, 2024, the Township approved, by action of the Charter Township of Superior Planning Commission, the Final Site Plan for the STPC #22-04, Kinsley Development, with conditions, ("Final Site Plan"), and all conditions of the Final Site Plan have been satisfactorily met; and

WHEREAS, the approved Final Site Plan for the Development is consistent with the purposes and objectives of the Township's Zoning Ordinance pertaining to the use and development of the Development; and

WHEREAS, Section 10.05(G) of the Charter Township of Superior Zoning Ordinance requires the execution of a Development Agreement in connection with the approval of the Final Site Plan for the Development; and

WHEREAS, the Development Agreement shall be binding upon the Township, the Developer of the Development, their successors-in-interest, and assigns.

NOW, THEREFORE BE IT RESOLVED, in consideration of the premises and the mutual covenants of the parties described in this Agreement, and with the express understanding that this Agreement contains important and essential terms as part of the approval of the Developer's Final Site Plan for the Development, the parties hereby agree as follows:

ARTICLE I. GENERAL TERMS

Section 1.01 Recitals Part of Agreement.

Developer and the Township acknowledge and represent that the foregoing recitals are true, accurate and binding on the respective parties and are an integral part of this Agreement.

Section 1.02 Zoning District.

The Township acknowledges and represents that the property is zoned R-2 (Rural Residential) for the Development and, for purposes of recordation, shall be referred to as Kinsley Development, and that the Developer's intended use as described herein is a permitted use under the R-2 (Rural Residential) zoning district designation.

Section 1.03 Approval of Final Site Plan.

The Final Site Plan dated January 12, 2024, attached hereto as **Exhibit B** has been approved pursuant to the authority granted to and vested in the Township pursuant to the Michigan Public Act 110 of the 2006 Zoning Enabling Act, as amended.

Section 1.04 Conditions of Final Site Plan Approval.

The Developer and the Township acknowledge that the approved Final Site Plan for the Development referenced in Section 1.03 incorporates the Township's complete and final approved conditions and requirements for the Final Site Plan that were adopted by the Township Planning Commission pursuant to recommendations by the consultants and departments of the Township.

Section 1.05 Agreement Running with the Land.

The terms, provisions and conditions of this Agreement shall be deemed to be of benefit to the Development described herein, shall be deemed a restrictive covenant which shall run with the land and be binding upon and inure to the benefit of the parties and their successors and assigns, and binding upon the successors-in-interest to any portion of the Development, and may not be modified or rescinded except as provided in Section 3.01 below.

Section 1.06 Developer Responsibilities for Improvements and Assessments.

Except as otherwise provided for in this Agreement and except as dedicated by the Developer to the Township or other governmental authorities after approval of the Township, the Developer shall be responsible for the maintenance of all Site Improvements.

**ARTICLE II.
PROVISIONS REGARDING DEVELOPMENT**

Section 2.01 Permitted Principal Uses.

The permitted principal uses within the Development shall conform to the list of allowable land uses specified on the adopted Site Plan for the Development, along with any other accessory uses and/or amenities permitted under the Township's ordinances.

Section 2.02 Payment of Fees and Invoices.

Developer shall pay all such applicable fees and invoices as may be due and payable prior to the issuance of building permits. Construction permit fees for buildings to be constructed within the Development shall be the responsibility of the party requesting such permits.

Section 2.03 Common Elements.

As used in this Agreement the term Common Elements refers to the following items:

- (a) Open space
- (b) Detention areas
- (c) Storm water drainage; and
- (d) Any other items depicted in the Final Site Plan and designated as a Common Element.

Section 2.04 Use of Detention Areas; Use of Open Space and Park Areas.

Certain portions of the Development are to be used for storm water detention and drainage, open space, floodplain as depicted in the approved drainage plan and/or Final Site Plan.

Section 2.05 Changes and Improvements.

Incidental changes to the Development, the Final Site Plan, or to the Site Improvements may be installed or constructed with the prior approval of the Township Building Official, Planning &

Zoning Administrator, and the Township Supervisor per Section 10.02(C), Administrative Approval, of Zoning Ordinance No. 174, which approval shall not unreasonably be withheld. All other improvements and changes must be approved by the Township Planning Commission.

Section 2.06 Performance Guarantees.

Prior to the commencement of any work on the Site Improvements in the Development, the Developer shall deliver to the Township financial security by means of a certified check, cash, or an irrevocable letter of credit (hereafter referred to as the "**Security**") that names the Township as the beneficiary thereof in an amount equal to the estimated costs as approved by the Township consulting engineers, which approval may not be unreasonably withheld for the following items with respect to the Development:

- (a) All Site Improvements to be installed pursuant to the Final Site Plan and approved Engineering Plans.

The Security may be amended or replaced from time to time as expressly provided in this Agreement.

The Security may be drawn upon by the Township only as expressly permitted in this Agreement. The Security shall be fully returned by the Township to the Developer when all of the conditions to its release set forth in **Exhibit C** (the "**Security Itemization**"), attached hereto, have been satisfied.

The Security shall be reduced from time to time as those items in (a) through (b) above are completed by the Developer and approved by the Township. Further, the Developer shall receive partial reductions in the amount of the Security and/or partial returns of the Security when individual units within the Development to which the Security pertains, receives a final certificate of occupancy. The Developer shall provide written notice of completion to the Township and the Township shall inspect the items as soon as reasonably possible. The reduction or return of the Security shall be made annually and be based on the percentage of dwellings within the phase to which such the Security pertains that have received final certificates of occupancy.

Section 2.07 Completion of Site Improvements.

Site Improvements shall be installed, as depicted on the Final Site Plan and approved final Engineering Plans by no later than the time of application for the building permit for the construction of the first building. The first building permit may be issued if the franchise utilities (gas, electric, telephone, cable TV) are not installed, but no certificate of occupancy will be issued until the franchise utilities have been completed.

Section 2.08 Responsibility to Preserve, Retain, and Maintain the Development and Common Elements.

The Developer shall regularly remove, but no less frequently than once a month, all construction debris and rubbish within the Development and for maintaining the function of all Common Elements. The Developer shall be responsible for the function and maintenance of all Common Elements. No burning of any kind will be allowed on the site, including the burning of trees, brush, stumps, or vegetative materials while clearing the site, or of construction materials during construction.

In the event the Developer fails at any time to preserve, retain, or maintain the function of the Common Elements, the Township may serve written notice upon the Developer setting forth the manner in which the Developer has failed to maintain or preserve the Common Element. Such notice shall include a demand that deficiencies in maintenance or preservation be cured within thirty (30) days of the notice. If the deficiencies set forth in the original notice, or any modification thereof, are not cured within such thirty (30) day period or any extension thereof, the Township, in order to prevent the Common Element from becoming a nuisance, may, but is not obligated to, enter upon the Common Element and perform the required maintenance or otherwise cure the deficiencies. The Township's reasonable cost to perform any such maintenance or cure, together with a surcharge equal to fifteen percent (15%) for administrative costs, shall be assessed against the Developer, on the Township's tax rolls for the Development.

Section 2.09 Private Roads.

All roads within the Development shall be private roads as depicted on the approved Final Site Plan and approved Engineering Plans.

Section 2.10 Storm Water Management.

The Developer shall notify the Township in writing within thirty (30) days of the date the Washtenaw County Water Resources Commission (WCWRC) becomes responsible for the storm water management system, including its related detention basin areas, inlet and outlet areas (the "**Storm Water Management System**") as depicted on the Final Site Plan. Notwithstanding the dedication and acceptance of the Storm Water Management System by the WCWRC, the Developer shall be responsible for the maintenance and appearance of the Storm Water Management System. The detention basin(s) or components thereof, shall not be maintained in an unkempt manner.

Section 2.11 Escrow Amounts.

Prior to the pre-construction meeting, the Developer shall pay the Township an amount to be established by the Township's engineers as an escrow to cover the costs of construction administration, Site Improvements, and other related infrastructure in the Development. The Developer will deposit additional funds from time to time to cover the costs of inspections

performed by the Township's consultants, as outlined in the Zoning Ordinance and engineering standards, or when the escrow amount has been depleted prior to final approval of the Public Utilities, Site Improvements, and other related infrastructure in the Development.

Section 2.12 Engineering Approval of Plans.

In accordance with Superior Township Ordinance and Superior Township Engineering Design Specifications, no construction work or grading shall be performed on the Development until Engineering Plans are reviewed and approved.

Section 2.13 Driveways.

All driveways shall be constructed of Portland Cement Concrete. Driveways shall be 4-inches thick through the drive approach to the garage as shown on the Engineering Plans. All driveways shall have a maximum grade of eight percent (8%) as shown on the Engineering Plans.

Section 2.14 Landscaping Improvements and Replacement Trees.

The Developer shall be responsible for installing landscaping improvements and replacement trees as indicated on the Final Site Plan. The Developer shall inform the Township in writing of the date of the planting of landscaping improvements and replacement trees and shall be responsible for replacing any plant material that does not survive in a healthy condition for the time period indicated in Section 14.05(F)(6) of Zoning Ordinance No. 174. The Township shall reserve the right to use the Security to pay the out-of-pocket cost incurred by the Township in replacing any such trees that the Developer fails to replace as required per Section 14.05(F)(6) and as permitted under Section 2.06 of this Agreement.

Section 2.15 Construction Access.

Developer shall take all reasonable measures requested by the Township to reduce any dirt, mud and dust created by trucks traveling to and from the Development during construction. This may include regular cleaning of streets, cleaning and replacement of the mud mat at the entrance to the Development, as well as deploying a water truck on site when dust conditions create a nuisance during the site development stage of construction, the expense of which shall be borne exclusively by the Developer.

Section 2.16 Construction Work Schedule.

Construction work within the Development (including excavation, demolition, alteration, and erection) and construction noises shall be prohibited at all times other than:

Monday through Saturday from 7:00 A.M. to 6:00 P.M.

The Township may issue a work permit for hours other than those identified immediately above upon written request of the owner or owner's representative. The request must demonstrate unusual or unique circumstances relating to the proposed construction hours.

Section 2.17 Engineering and Certification.

- (a) Developer shall furnish as-built drawing plans signed and sealed by an engineer licensed in the State of Michigan indicating that the site grading, storm water conveyance, soil erosion/ sedimentation and detention/retention facilities have been constructed in substantial accordance with the approved Engineering Plans. Format shall be as requested by Township Engineer. All inspections for storm sewer installations are to be performed by the Township engineers, with applicable fees paid by Developer. The Township will review and approve improvements in accordance with the Township "Engineering Design Specification for Site Improvements" and other applicable laws and ordinances.
- (b) Developer shall furnish as-built drawing plans in digital format that is in conformance with the Charter Township of Superior Standards for Submitting Digital As-Built Drawings, Revised March 2007 as amended.

Section 2.18 Underground Utilities.

The Developer shall install all electric, telephone and other communication systems underground in accordance with requirements of the applicable utility company and applicable Township Ordinances. No underground utility structures, i.e. manholes, shall be permitted in sidewalks or driveways per Superior Charter Township Engineering Standards.

Section 2.19 Site Grading.

- (a) The Developer or the Developer's representative shall submit as-built plot plans and certify that the as-built lot grading conforms to the Township approved site and engineering drawings within industry standards, and that building setbacks conform to the Township approved site and engineering drawings. This certification shall be prepared by and bear the seal of a professional land surveyor licensed in the State of Michigan.
- (b) The Township shall have the right to spot-check certification grades at its own discretion. The final certificate of use and occupancy of each building shall be withheld until the lot grading/setback certification is received and approved by the Township. The Township shall have the right, at its own discretion, to waive some or all of the lot grading and building setback certification requirements.

**ARTICLE III.
MISCELLANEOUS PROVISIONS**

Section 3.01 Amendment and Modifications.

No amendment or modification to or of this Agreement shall be binding upon any party hereto until such amendment or modification is reduced to writing and executed by all parties.

Section 3.02 Governing Law.

This Agreement shall be governed in all respects, whether as to validity, construction, performance and otherwise, by the laws of the State of Michigan.

Section 3.03 Township Approval.

This Agreement has been approved through action of the Township Board at a duly scheduled meeting.

Section 3.04 Developer Approval.

The signers on behalf of the Developer below represent by their signatures that they represent and have authority to bind all owners of legal and equitable title in the Development.

Section 3.05 Execution in Counterparts.

This Agreement may be executed in multiple counterparts, each of which shall be deemed an original and all of which shall constitute one Agreement. The signature of any party to any counterpart shall be deemed to be a signature to, and may be appended to, any other counterpart.

Section 3.06 Preconstruction Meeting with Contractors.

Prior to the commencement of any grading on the Development, the Developer or such other third parties shall schedule a meeting as per the Township's engineering standards with its general contractor, construction manager and the Township's applicable departments, officials, and consultants to review the applicable policies, procedures, and requirements of the Township with respect to construction of the Development.

Section 3.07 Fees.

The Developer shall pay for any reviews reasonably necessary to determine conformance of the Development to this Agreement. This fee would include review time by the Township Engineer, Planner or Attorney.

Section 3.08 Recordation of Agreement.

The Township shall record this Agreement with the Washtenaw County Register of Deeds and shall provide a true copy to the Developer. All costs associated with the recording of this Agreement shall be borne by the Developer. This Agreement will run with the land.

Section 3.09 Mutual Cooperation.

Each party to this Agreement shall (i) take all actions required of it by the terms of this Agreement as expeditiously as possible; (ii) cooperate, to the fullest extent possible, with the other party to this Agreement and with any individual, entity or governmental agency involved in

or with jurisdiction over the engineering, design, construction or operation of the Development, or any other improvements which are undertaken in connection with the foregoing, in the granting and obtaining of all easements, rights of way, permits, licenses, approvals and any other consents or permissions necessary for the construction or operation thereof, and including cooperation reasonably necessary to obtain loans or grants; (iii) execute and deliver all reasonable documents necessary to accomplish the purposes and intent of this Agreement, including, but not limited to, such documents or agreements as may be required by the lenders with respect to the Development to secure the financing from such lenders; and (iv) use its reasonable efforts to assist the other party to this Agreement in the discharge of their respective obligations hereunder.

**CHARTER TOWNSHIP OF SUPERIOR
DEVELOPMENT AGREEMENT**

Kinsley Development

THIS DEVELOPMENT AGREEMENT (the "**Agreement**") is made this ____ day of _____, 2024, by and between Diverse Real Estate, LLC, whose address is 13001 23 Mile Road, Suite 200, Shelby Township, MI 48315 (the "**Developer**"), and the Charter Township of Superior, a Michigan municipal corporation, whose address is 3040 N. Prospect Road, Ypsilanti, Michigan 48198 (the "**Township**").

RECITALS:

A. WHEREAS, the Developer desires to develop a one-phase project, with an overall parcel of a size totaling approximately 35.16 acres located north of Plymouth-Ann Arbor Road and south of M-14 in the southeast quarter of Section 8, in accordance with the approved Final Site Plan dated January 12, 2024 (the "**Development**") as more particularly described in the attached **Exhibit A**; and

B. WHEREAS, the Developer is developing the residential development pursuant to the Superior Township Zoning Ordinance No. 174, as amended, and other applicable law; and

C. WHEREAS, the Developer desires to build all necessary on-site infrastructure for the Development, including but not limited to: open space, storm sewers and storm water management system, dry fire hydrant, private roads with shoulders, landscaping, and similar amenities in the Development (**the "Site Improvements"**); and

D. WHEREAS, the Developer desires to install grading and soil erosion and sedimentation control improvements to facilitate the drainage of storm water from the Development in such a manner as is not expected to result in damage to any adjacent property outside of the Development or any site, building, or residential unit within the Development from an increase in the flow of storm water or decrease in water quality of storm water from the Development, as more fully set forth in the final engineering plans approved by the Township ("**Engineering Plans**"); and

E. WHEREAS, all agreements, approvals, and conditions agreed to by the Developer and the Township remain in effect for the Development, including, but not limited to, conditions of all approvals by the Township regarding zoning and site plan approval for the Development and permits that may have been issued by appropriate governmental review agencies for the Development; and

F. WHEREAS, on February 28, 2024, the Township approved, by action of the Superior Township Planning Commission, the Final Site Plan for the STPC #22-04, Kinsley Development, with conditions, ("**Final Site Plan**"), and all conditions of the Final Site Plan have been satisfactorily met; and

H. WHEREAS, the approved Final Site Plan for the Development is consistent with the purposes and objectives of the Township's Zoning Ordinance pertaining to the use and development of the Development; and

I. WHEREAS, Section 10.05(G) of the Superior Township Zoning Ordinance requires the execution of a Development Agreement in connection with the approval of the Final Site Plan for the Development; and

J. WHEREAS, the Development Agreement shall be binding upon the Township, the Developer of the Development, their successors-in-interest, and assigns.

NOW, THEREFORE, in consideration of the premises and the mutual covenants of the parties described in this Agreement, and with the express understanding that this Agreement contains important and essential terms as part of the approval of the Developer's Final Site Plan for the Development, the parties hereby agree as follows:

**ARTICLE I.
GENERAL TERMS**

Section 1.01 Recitals Part of Agreement.

Developer and the Township acknowledge and represent that the foregoing recitals are true, accurate and binding on the respective parties and are an integral part of this Agreement.

Section 1.02 Zoning District.

The Township acknowledges and represents that the property is zoned R-2 (Rural Residential) for the Development and, for purposes of recordation, shall be referred to as Kinsley Development, and that the Developer's intended use as described herein is a permitted use under the R-2 (Rural Residential) zoning district designation.

Section 1.03 Approval of Final Site Plan.

The Final Site Plan dated January 12, 2024, attached hereto as **Exhibit B** has been approved pursuant to the authority granted to and vested in the Township pursuant to the Michigan Public Act 110 of the 2006 Zoning Enabling Act, as amended.

Section 1.04 Conditions of Final Site Plan Approval.

The Developer and the Township acknowledge that the approved Final Site Plan for the Development referenced in Section 1.03 incorporates the Township's complete and final approved conditions and requirements for the Final Site Plan that were adopted by the Township Planning Commission pursuant to recommendations by the consultants and departments of the Township.

Section 1.05 Agreement Running with the Land.

The terms, provisions and conditions of this Agreement shall be deemed to be of benefit to the Development described herein, shall be deemed a restrictive covenant which shall run with the land and be binding upon and inure to the benefit of the parties and their successors and assigns, and binding upon the successors-in-interest to any portion of the Development, and may not be modified or rescinded except as provided in Section 3.01 below.

Section 1.06 Developer Responsibilities for Improvements and Assessments.

Except as otherwise provided for in this Agreement and except as dedicated by the Developer to the Township or other governmental authorities after approval of the Township, the Developer shall be responsible for the maintenance of all Site Improvements.

**ARTICLE II.
PROVISIONS REGARDING DEVELOPMENT**

Section 2.01 Permitted Principal Uses.

The permitted principal uses within the Development shall conform to the list of allowable land uses specified on the adopted Site Plan for the Development, along with any other accessory uses and/or amenities permitted under the Township’s ordinances.

Section 2.02 Payment of Fees and Invoices.

Developer shall pay all such applicable fees and invoices as may be due and payable prior to the issuance of building permits. Construction permit fees for buildings to be constructed within the Development shall be the responsibility of the party requesting such permits.

Section 2.03 Common Elements.

As used in this Agreement the term Common Elements refers to the following items:

- (a) Open space
- (b) Detention areas
- (c) Storm water drainage; and
- (d) Any other items depicted in the Final Site Plan and designated as a Common Element.

Section 2.04 Use of Detention Areas; Use of Open Space and Park Areas.

Certain portions of the Development are to be used for storm water detention and drainage, open space, floodplain as depicted in the approved drainage plan and/or Final Site Plan.

Section 2.05 Changes and Improvements.

Incidental changes to the Development, the Final Site Plan, or to the Site Improvements may be installed or constructed with the prior approval of the Township Building Official, Planning & Zoning Administrator, and the Township Supervisor per Section 10.02(C), Administrative

Approval, of Zoning Ordinance No. 174, which approval shall not unreasonably be withheld. All other improvements and changes must be approved by the Township Planning Commission.

Section 2.06 Performance Guarantees.

Prior to the commencement of any work on the Site Improvements in the Development, the Developer shall deliver to the Township financial security by means of a certified check, cash, or an irrevocable letter of credit (hereafter referred to as the "**Security**") that names the Township as the beneficiary thereof in an amount equal to the estimated costs as approved by the Township consulting engineers, which approval may not be unreasonably withheld for the following items with respect to the Development:

- (a) All Site Improvements to be installed pursuant to the Final Site Plan and approved Engineering Plans.

The Security may be amended or replaced from time to time as expressly provided in this Agreement.

The Security may be drawn upon by the Township only as expressly permitted in this Agreement. The Security shall be fully returned by the Township to the Developer when all of the conditions to its release set forth in **Exhibit C** (the "**Security Itemization**"), attached hereto, have been satisfied.

The Security shall be reduced from time to time as those items in (a) through (b) above are completed by the Developer and approved by the Township. Further, the Developer shall receive partial reductions in the amount of the Security and/or partial returns of the Security when individual units within the Development to which the Security pertains, receives a final certificate of occupancy. The Developer shall provide written notice of completion to the Township and the Township shall inspect the items as soon as reasonably possible. The reduction or return of the Security shall be made annually and be based on the percentage of dwellings within the phase to which such the Security pertains that have received final certificates of occupancy.

Section 2.07 Completion of Site Improvements.

Site Improvements shall be installed, as depicted on the Final Site Plan and approved final Engineering Plans by no later than the time of application for the building permit for the construction of the first building. The first building permit may be issued if the franchise utilities (gas, electric, telephone, cable TV) are not installed, but no certificate of occupancy will be issued until the franchise utilities have been completed.

Section 2.08 Responsibility to Preserve, Retain, and Maintain the Development and Common Elements.

The Developer shall regularly remove, but no less frequently than once a month, all construction debris and rubbish within the Development and for maintaining the function of all Common Elements. The Developer shall be responsible for the function and maintenance of all Common Elements. No burning of any kind will be allowed on the site, including the burning of trees, brush,

stumps, or vegetative materials while clearing the site, or of construction materials during construction.

In the event the Developer fails at any time to preserve, retain, or maintain the function of the Common Elements, the Township may serve written notice upon the Developer setting forth the manner in which the Developer has failed to maintain or preserve the Common Element. Such notice shall include a demand that deficiencies in maintenance or preservation be cured within thirty (30) days of the notice. If the deficiencies set forth in the original notice, or any modification thereof, are not cured within such thirty (30) day period or any extension thereof, the Township, in order to prevent the Common Element from becoming a nuisance, may, but is not obligated to, enter upon the Common Element and perform the required maintenance or otherwise cure the deficiencies. The Township's reasonable cost to perform any such maintenance or cure, together with a surcharge equal to fifteen percent (15%) for administrative costs, shall be assessed against the Developer, on the Township's tax rolls for the Development.

Section 2.09 Private Roads.

All roads within the Development shall be private roads as depicted on the approved Final Site Plan and approved Engineering Plans.

Section 2.10 Storm Water Management.

The Developer shall notify the Township in writing within thirty (30) days of the date the Washtenaw County Water Resources Commission (WCWRC) becomes responsible for the storm water management system, including its related detention basin areas, inlet and outlet areas (the "**Storm Water Management System**") as depicted on the Final Site Plan. Notwithstanding the dedication and acceptance of the Storm Water Management System by the WCWRC, the Developer shall be responsible for the maintenance and appearance of the Storm Water Management System. The detention basin(s) or components thereof, shall not be maintained in an unkempt manner.

Section 2.11 Escrow Amounts.

Prior to the pre-construction meeting, the Developer shall pay the Township an amount to be established by the Township's engineers as an escrow to cover the costs of construction administration, Site Improvements, and other related infrastructure in the Development. The Developer will deposit additional funds from time to time to cover the costs of inspections performed by the Township's consultants, as outlined in the Zoning Ordinance and engineering standards, or when the escrow amount has been depleted prior to final approval of the Public Utilities, Site Improvements, and other related infrastructure in the Development.

Section 2.12 Engineering Approval of Plans.

In accordance with Superior Township Ordinance and Superior Township Engineering Design Specifications, no construction work or grading shall be performed on the Development until Engineering Plans are reviewed and approved.

Section 2.13 Driveways.

All driveways shall be constructed of Portland Cement Concrete. Driveways shall be 4-inches thick through the drive approach to the garage as shown on the Engineering Plans. All driveways shall have a maximum grade of eight percent (8%) as shown on the Engineering Plans.

Section 2.14 Landscaping Improvements and Replacement Trees.

The Developer shall be responsible for installing landscaping improvements and replacement trees as indicated on the Final Site Plan. The Developer shall inform the Township in writing of the date of the planting of landscaping improvements and replacement trees and shall be responsible for replacing any plant material that does not survive in a healthy condition for the time period indicated in Section 14.05(F)(6) of Zoning Ordinance No. 174. The Township shall reserve the right to use the Security to pay the out-of-pocket cost incurred by the Township in replacing any such trees that the Developer fails to replace as required per Section 14.05(F)(6) and as permitted under Section 2.06 of this Agreement.

Section 2.15 Construction Access.

Developer shall take all reasonable measures requested by the Township to reduce any dirt, mud and dust created by trucks traveling to and from the Development during construction. This may include regular cleaning of streets, cleaning and replacement of the mud mat at the entrance to the Development, as well as deploying a water truck on site when dust conditions create a nuisance during the site development stage of construction, the expense of which shall be borne exclusively by the Developer.

Section 2.16 Construction Work Schedule.

Construction work within the Development (including excavation, demolition, alteration, and erection) and construction noises shall be prohibited at all times other than:

Monday through Saturday from 7:00 A.M. to 6:00 P.M.

The Township may issue a work permit for hours other than those identified immediately above upon written request of the owner or owner's representative. The request must demonstrate unusual or unique circumstances relating to the proposed construction hours.

Section 2.17 Engineering and Certification.

- (a) Developer shall furnish as-built drawing plans signed and sealed by an engineer licensed in the State of Michigan indicating that the site grading, storm water conveyance, soil erosion/ sedimentation and detention/retention facilities have been constructed in substantial accordance with the approved Engineering Plans. Format shall be as requested by Township Engineer. All inspections for storm sewer installations are to be performed by the Township engineers, with applicable fees paid by Developer. The Township will review and approve improvements in accordance with the Township "Engineering Design Specification for Site Improvements" and other applicable laws and ordinances.
- (b) Developer shall furnish as-built drawing plans in digital format that is in conformance with

the Charter Township of Superior Standards for Submitting Digital As-Built Drawings, Revised March 2007 as amended.

Section 2.18 Underground Utilities.

The Developer shall install all electric, telephone and other communication systems underground in accordance with requirements of the applicable utility company and applicable Township Ordinances. No underground utility structures, i.e. manholes, shall be permitted in sidewalks or driveways per Superior Charter Township Engineering Standards.

Section 2.19 Site Grading.

- (a) The Developer or the Developer's representative shall submit as-built plot plans and certify that the as-built lot grading conforms to the Township approved site and engineering drawings within industry standards, and that building setbacks conform to the Township approved site and engineering drawings. This certification shall be prepared by and bear the seal of a professional land surveyor licensed in the State of Michigan.

- (b) The Township shall have the right to spot-check certification grades at its own discretion. The final certificate of use and occupancy of each building shall be withheld until the lot grading/setback certification is received and approved by the Township. The Township shall have the right, at its own discretion, to waive some or all of the lot grading and building setback certification requirements.

**ARTICLE III.
MISCELLANEOUS PROVISIONS**

Section 3.01 Amendment and Modifications.

No amendment or modification to or of this Agreement shall be binding upon any party hereto until such amendment or modification is reduced to writing and executed by all parties.

Section 3.02 Governing Law.

This Agreement shall be governed in all respects, whether as to validity, construction, performance and otherwise, by the laws of the State of Michigan.

Section 3.03 Township Approval.

This Agreement has been approved through action of the Township Board at a duly scheduled meeting.

Section 3.04 Developer Approval.

The signers on behalf of the Developer below represent by their signatures that they represent and have authority to bind all owners of legal and equitable title in the Development.

Section 3.05 Execution in Counterparts.

This Agreement may be executed in multiple counterparts, each of which shall be deemed an original and all of which shall constitute one Agreement. The signature of any party to any counterpart shall be deemed to be a signature to, and may be appended to, any other counterpart.

Section 3.06 Preconstruction Meeting with Contractors.

Prior to the commencement of any grading on the Development, the Developer or such other third parties shall schedule a meeting as per the Township's engineering standards with its general contractor, construction manager and the Township's applicable departments, officials, and consultants to review the applicable policies, procedures, and requirements of the Township with respect to construction of the Development.

Section 3.07 Fees.

The Developer shall pay for any reviews reasonably necessary to determine conformance of the Development to this Agreement. This fee would include review time by the Township Engineer, Planner or Attorney.

Section 3.08 Recordation of Agreement.

The Township shall record this Agreement with the Washtenaw County Register of Deeds and shall provide a true copy to the Developer. All costs associated with the recording of this Agreement shall be borne by the Developer. This Agreement will run with the land.

Section 3.09 Mutual Cooperation.

Each party to this Agreement shall (i) take all actions required of it by the terms of this Agreement as expeditiously as possible; (ii) cooperate, to the fullest extent possible, with the other party to this Agreement and with any individual, entity or governmental agency involved in or with jurisdiction over the engineering, design, construction or operation of the Development, or any other improvements which are undertaken in connection with the foregoing, in the granting and obtaining of all easements, rights of way, permits, licenses, approvals and any other consents or permissions necessary for the construction or operation thereof, and including cooperation reasonably necessary to obtain loans or grants; (iii) execute and deliver all reasonable documents necessary to accomplish the purposes and intent of this Agreement, including, but not limited to, such documents or agreements as may be required by the lenders with respect to the Development to secure the financing from such lenders; and (iv) use its reasonable efforts to assist the other party to this Agreement in the discharge of their respective obligations hereunder.

[Signatures appear on the following page]

IN WITNESS WHEREOF, the parties have executed this Agreement as the year and date set forth above.

DEVELOPER:

DIVERSE REAL ESTATE, LLC,
A Michigan Limited Liability Company

By: Anthony Lombardo
Its: Authorized Agent

TOWNSHIP:

CHARTER TOWNSHIP OF SUPERIOR,
a Michigan Municipal Corporation

By: Kenneth Schwartz
Its: Supervisor

By: Lynette Findley
Its: Clerk

STATE OF MICHIGAN)
) ss
COUNTY OF MACOMB)

The foregoing instrument was acknowledged before me this ____ day of _____, 2024, by Anthony Lombardo, Authorized Agent of Diverse Real Estate, LLC, a Michigan Limited Liability Company, on behalf of the company.

_____, Notary Public
_____ County, Michigan
My Commission Expires: _____
Acting in _____ County, MI

EXHIBIT A

Legal Description of the "Development"

Land located in the Charter Township of Superior, Washtenaw County, Michigan and legally described as follows:

LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN:

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE N02°03'13"W (RECORDED AS N00°58'12"E) 1311.23 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 8 FOR A PLACE OF BEGINNING; THENCE CONTINUING N02°03'13"W (RECORDED AS N00°58'12"E) 1205.45 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 8; THENCE ALONG THE SOUTHERLY RIGHT OF WAY LINE OF HIGHWAY M-14 (VARIABLE WIDTH) THE FOLLOWING FOUR (4) COURSES: N81°12'05"E 367.74 FEET, N88°32'15"E (RECORDED AS S88°26'20"E) 200.59 FEET, THENCE 1127.17 FEET ALONG THE ARC OF A 3716.72 FOOT RADIUS CURVE TO THE RIGHT, HAVING A CHORD BEARING S82°46'28"E 1122.86 FEET AND S74°06'52"E 321.73 FEET; THENCE ALONG THE CENTERLINE OF FLEMING CREEK THE FOLLOWING THREE (3) COURSES: S35°44'06"W 100.93 FEET, S34°50'20"W 379.31 FEET, AND S26°25'46"W 71.96 FEET; THENCE S70°30'49"W (RECORDED AS S73°32'14"W) 705.74 FEET ALONG THE CENTERLINE OF PLYMOUTH ROAD (100 FEET WIDE); THENCE N18°30'54"W 287.27 FEET; THENCE S88°02'25"W 150.00 FEET; THENCE S87°58'21"W 150.00 FEET; THENCE S02°01'54"E 153.68 FEET; THENCE S02°01'19"E 241.96 FEET; THENCE S70°30'49"W (RECORDED AS S73°32'14"W) 630.17 FEET ALONG THE CENTERLINE OF SAID PLYMOUTH ROAD TO THE PLACE OF BEGINNING, CONTAINING 35.155 ACRES OF LAND, MORE OR LESS, BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THAT PORTION AS OCCUPIED BY SAID PLYMOUTH ROAD AND ALSO BEING SUBJECT TO EASEMENTS, CONDITIONS, RESTRICTIONS AND EXCEPTIONS OF RECORD, IF ANY.

EXHIBIT B

Kinsley Development Final Site Plan

A copy of this Final Site Plan is also on file with
Charter Township of Superior,
located at 3040 N. Prospect Road, Ypsilanti, MI 48198.

KINSLEY

A SINGLE FAMILY DEVELOPMENT

SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

FINAL SITE PLAN

PROJECT CONTACTS

DEVELOPER / APPLICANT
 DIVERSE REAL ESTATE LLC
 13001 23 MILE ROAD, SUITE 200
 SHELBY TWP, MICHIGAN 48315
 CONTACT: JOE KLEE
 PHONE: (248) 721-2072

CIVIL ENGINEER
 ATWELL, LLC
 311 NORTH MAIN STREET
 ANN ARBOR, MICHIGAN 48104
 CONTACT: MATT BUSH, P.E.
 PHONE: (810) 923-6878

SITE DATA

GROSS SITE AREA: 47 ACRES
 PROPOSED ROW: 3.99 ACRES
 EXCLUDED PARKS AREA: 7.61 ACRES
 NET SITE AREA: 35.40 ACRES

EXISTING ZONING: R2 - SINGLE FAMILY RESIDENTIAL (APPROVED JUNE 2022)
 PROPOSED ZONING: R2 - SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL SITE

NUMBER OF PROP. LOTS TOTAL: 21
 PROPOSED DENSITY (GROSS): 0.45
 PROPOSED DENSITY (NET): 0.59

LOT AREA PER DWELLING UNIT: 43,560 SF (MIN)
 MINIMUM LOT WIDTH: 150'

LOT SETBACKS:
 FRONT- 50'
 SIDE- 15' MIN. (50' TOTAL)
 REAR- 50'

PROPOSED LOT COVERAGE: MAX 25%

PROPOSED GENERAL COMMON ELEMENT (G.C.E.): 10.58 ACRES

WETLAND IMPACTS:
 REGULATED 0.0 ACRES
 NON-REGULATED 0.0 ACRES

*FIRE DEPARTMENT NOTE: ROADWAYS AND BRIDGES TO BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING 80,000 POUNDS

LEGAL DESCRIPTION

EXHIBIT "A" DESCRIPTION PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY STEWART TITLE GUARANTY COMPANY, ISSUING AGENT: ATA NATIONAL TITLE GROUP, LLC, ISSUING OFFICE FILE NUMBER: 81-21796648-GCM, COMMITMENT DATE: JULY 30, 2021:

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS: TOWNSHIP OF SUPERIOR, COUNTY OF WASHTENAW, STATE OF MICHIGAN

PARCEL 1

TRACT A
 COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE NORTH 00 DEGREES 58 MINUTES 12 SECONDS EAST ALONG THE NORTH AND SOUTH 1/4 LINE 933.09 FEET TO A POINT IN THE CENTER OF FLEMING CREEK; SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00 DEGREES 58 MINUTES 12 SECONDS ALONG SAID NORTH AND SOUTH 1/4 LINE 378.14 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD; THENCE NORTH 73 DEGREES 32 MINUTES 14 SECONDS EAST ALONG SAID CENTERLINE 332.78 FEET; THENCE SOUTH 01 DEGREES 02 MINUTES 14 SECONDS WEST 411.82 FEET TO A POINT IN THE CENTER OF FLEMING CREEK; THENCE SOUTH 79 DEGREES 12 MINUTES 25 SECONDS WEST 323.81 FEET TO THE POINT OF BEGINNING.

TRACT B
 COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE NORTH 00 DEGREES 58 MINUTES 12 SECONDS EAST ALONG THE NORTH AND SOUTH 1/4 LINE 1252.41 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF M-14 EXPRESSWAY; THENCE SOUTH 88 DEGREES 26 MINUTES 20 SECONDS EAST ALONG SAID RIGHT OF WAY LINE 565.80 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE 789.28 FEET ALONG THE ARC OF A 3716.72 FOOT RADIUS CIRCULAR CURVE CONCAVE SOUTHWESTERLY THROUGH A CENTRAL ANGLE OF 12 DEGREES 10 MINUTES 02 SECONDS, HAVING A CHORD WHICH BEARS SOUTH 82 DEGREES 21 MINUTES 19 SECONDS EAST 787.79 FEET TO A POINT ON THE EAST LINE OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 8; THENCE SOUTH 00 DEGREES 40 MINUTES 14 SECONDS WEST ALONG SAID EAST LINE 731.45 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD; THENCE SOUTH 73 DEGREES 32 MINUTES 14 SECONDS WEST ALONG SAID CENTERLINE 1417.16 FEET TO THE POINT OF BEGINNING.

TRACT C
 COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE NORTH 00 DEGREES 58 MINUTES 12 SECONDS EAST ALONG THE NORTH AND SOUTH 1/4 LINE 1311.23 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD; THENCE NORTH 73 DEGREES 32 MINUTES 14 SECONDS EAST ALONG SAID CENTERLINE 572.78 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 73 DEGREES 32 MINUTES 14 SECONDS EAST ALONG SAID CENTERLINE 1163.76 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD OVER FLEMING CREEK; THENCE ALONG THE BOUNDARY LINE BETWEEN THE LAND OF HANRY TO THE NORTH AND GALPIN TO THE SOUTH IN THE FOLLOWING COURSES: SOUTH 28 DEGREES 03 MINUTES 30 SECONDS WEST 21.00 FEET; SOUTH 16 DEGREES 26 MINUTES 00 SECONDS WEST 115.27 FEET TO A POINT ON THE NORTHWESTERLY BANK OF FLEMING CREEK; SOUTH 46 DEGREES 37 MINUTES 30 SECONDS WEST 145.29 FEET TO A POINT ON THE SOUTHERLY BANK OF SAID CREEK; SOUTH 52 DEGREES 16 MINUTES 00 SECONDS WEST 172.87 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 54 DEGREES 59 MINUTES 00 SECONDS WEST 159.72 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 63 DEGREES 32 MINUTES 00 SECONDS WEST 119.48 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 71 DEGREES 54 MINUTES 00 SECONDS WEST 127.92 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 63 DEGREES 02 MINUTES 00 SECONDS WEST 285.51 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 66 DEGREES 26 MINUTES 30 SECONDS WEST 258.24 FEET TO POINT ON THE NORTHERLY BANK OF SAID CREEK; THENCE NORTH 02 DEGREES 36 MINUTES 24 SECONDS EAST 424.34 FEET TO THE POINT OF BEGINNING.

PARCEL 2

TRACT A
 ALL THAT PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST LYING NORTH OF PLYMOUTH ROAD, NORTHWESTERLY OF THE CENTERLINE OF FLEMING CREEK AND WESTERLY OF A LINE BEARING SOUTH 24 DEGREES 32 MINUTES EAST FROM A POINT ON THE EAST AND WEST 1/4 LINE LOCATED 724.89 FEET WEST OF THE EAST 1/4 CORNER OF SAID SECTION 8; EXCEPT

TRACT B
 THAT PART OF TRACT "A" LYING NORTH OF A LINE 103 FEET SOUTH OF, MEASURED AT RIGHT ANGLES AND PARALLEL WITH, THE REFERENCE LINE OF EASTBOUND ROADWAY OF LIMITED ACCESS HIGHWAY M-14, TOGETHER WITH ALL RIGHT OF INGRESS AND EGRESS, IF ANY THERE BE, TO, FROM AND BETWEEN THE HIGHWAY ON TRACT "B" AND THE REMAINDER OF TRACT "A"; THE REFERENCE LINE OF EASTBOUND ROADWAY IS DESCRIBED AS FOLLOWS: BEGINNING 2609.83 FEET SOUTH 2 DEGREES 37 MINUTES 29 SECONDS EAST ALONG SECTION LINE FROM NORTHWEST CORNER AND 62.82 FEET NORTHERLY FROM WEST 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST; THENCE NORTH 88 DEGREES 57 MINUTES 38 SECONDS EAST 3180.88 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 17 DEGREES 25 MINUTES 12 SECONDS AND A RADIUS OF 3819.72 FEET; THENCE SOUTHEAST ALONG THE ARC OF SAID CURVE 1161.33 FEET TO ITS POINT OF TANGENT; THENCE SOUTH 73 DEGREES 37 MINUTES 10 SECONDS EAST 898.97 FEET TO A POINT OF ENDING IN CENTERLINE OF PLYMOUTH ROAD, SAID POINT OF ENDING LYING 459.16 FEET SOUTH 02 DEGREES 07 MINUTES 17 SECONDS EAST; THENCE 151.11 FEET SOUTH 61 DEGREES 32 MINUTES 20 SECONDS WEST FROM EAST 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST, TOWNSHIP OF SUPERIOR, WASHTENAW COUNTY, MICHIGAN.

SCHEDULE B, PART II EXCEPTIONS PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY STEWART TITLE GUARANTY COMPANY, ISSUING AGENT: ATA NATIONAL TITLE GROUP, LLC, ISSUING OFFICE FILE NUMBER: 81-21796648-GCM, COMMITMENT DATE: JULY 30, 2021:

8. EASEMENT GRANTED TO THE DETROIT EDISON COMPANY FOR CONSTRUCTION, OPERATION AND MAINTENANCE OF ELECTRIC LIGHT AND POWER LINES, INCLUDING THE TRIMMING OF TREES ALONG SAID LINES, AS DISCLOSED BY AGREEMENT RECORDED IN LIBER 1 OF GRANTS, PAGE 106, WASHTENAW COUNTY RECORDS.
 RESPONSE: COVERS A PORTION OF SUBJECT PROPERTY AND ADDITIONAL LAND, EASEMENT AS SHOWN HEREON, NO WIDTH DEFINED, APPEARS TO BE BLANKET IN NATURE.
9. RELEASE OF RIGHT OF WAY TO THE STATE OF MICHIGAN FOR HIGHWAY PURPOSES RECORDED IN LIBER 266, PAGE 574, WASHTENAW COUNTY RECORDS.
 RESPONSE: AS SHOWN HEREON.
10. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN AGREEMENT RECORDED IN LIBER 1058, PAGE 381, WASHTENAW COUNTY RECORDS.
 RESPONSE: AS SHOWN HEREON.
11. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN, AND EASEMENT(S) CREATED BY, DECLARATION OF TAKING RECORDED IN LIBER 1417, PAGE 840, WASHTENAW COUNTY RECORDS.
 RESPONSE: TRACT "A" COVERS PARCEL 1 TRACT B, RIGHT OF WAY TAKING AND EASEMENT AS SHOWN HEREON.
12. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN MEMORANDUM OF LICENSE RECORDED IN LIBER 5399, PAGE 760, WASHTENAW COUNTY RECORDS.
 RESPONSE: COVERS A PORTION OF SUBJECT PROPERTY AND ADDITIONAL LAND, EASEMENT AS SHOWN HEREON.



OVERALL DEVELOPMENT MAP

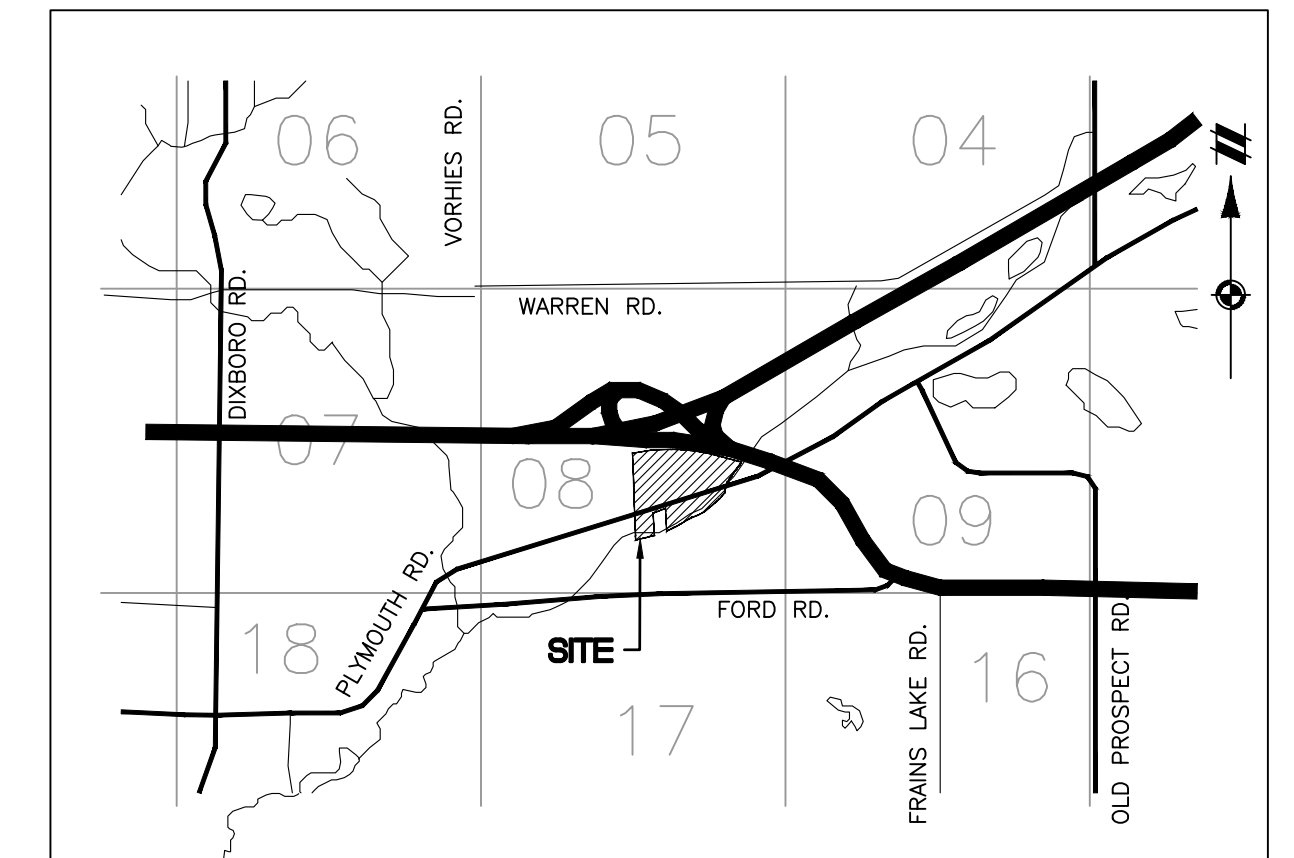
SCALE: 1" = 150 FEET

PERMITS/APPROVALS REQUIRED STATUS

WASHTENAW COUNTY ROAD COMMISSION IN PROCESS
 WASHTENAW COUNTY WATER RESOURCES COMMISSIONER'S OFFICE IN PROCESS
 WASHTENAW COUNTY HEALTH DEPARTMENT IN PROCESS
 SUPERIOR TOWNSHIP ENGINEERING IN PROCESS
 SUPERIOR TOWNSHIP PLANNING IN PROCESS
 SUPERIOR TOWNSHIP UTILITIES IN PROCESS
 SUPERIOR TOWNSHIP SOIL EROSION & SOIL CONTROL IN PROCESS
 EGLE WETLANDS IN PROCESS

PROJECT NARRATIVE

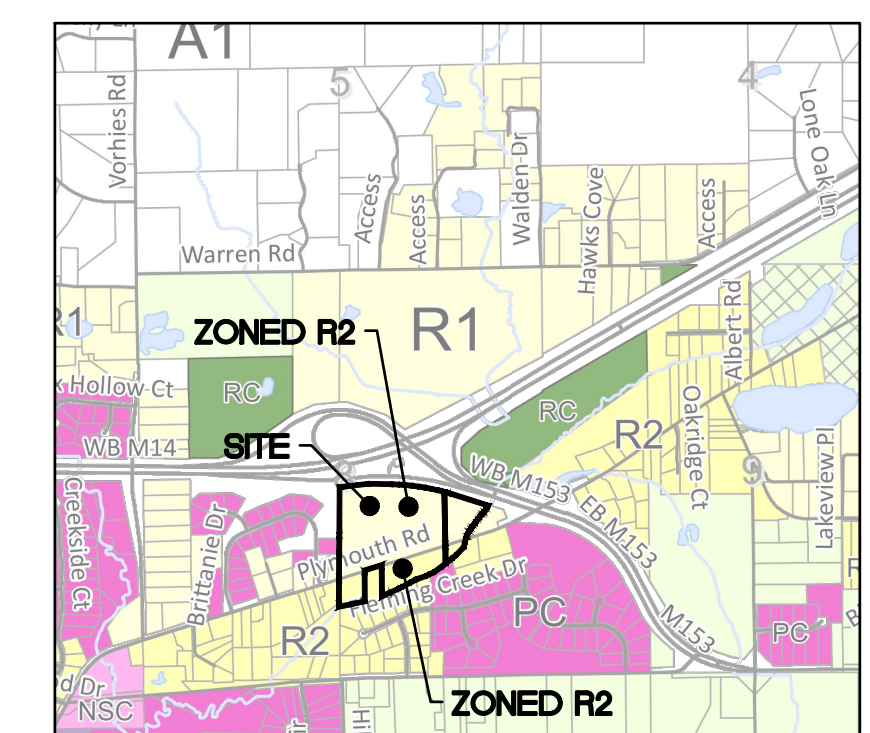
KINSLEY IS LOCATED ON THE NORTH SIDE OF PLYMOUTH ROAD, JUST WEST OF FORD ROAD AND SOUTH OF M-14 IN SUPERIOR TOWNSHIP. THE SITE IS APPROXIMATELY 47 ACRES AND IS ZONED R-2, SINGLE FAMILY RESIDENTIAL. THE APPLICANT IS PROPOSING TO DEVELOP THE PARCEL AS A 21 UNIT SITE CONDOMINIUM. PORTIONS OF THE EXISTING PARCEL ARE TO BE EXCLUDED FROM THIS SITE CONDOMINIUM AS NOTED. THE PROPOSED LOTS HAVE A MINIMUM WIDTH OF 150' AND MINIMUM LOT SIZE OF 43,560 SQUARE FEET (1.0 ACRES). THE HOMES WILL RANGE FROM 2,700 TO 6,200 SQUARE FEET WITH SALES PRICES STARTING IN THE HIGH \$60,000S. THE DEVELOPMENT WILL BE CONSTRUCTED IN A SINGLE PHASE. KINSLEY WILL CONTAIN PRIVATE ROADS AND WILL CONTAIN PRIVATE WELLS AND SEPTIC SYSTEMS. SITE DEVELOPMENT IS ANTICIPATED TO BEGIN IN 2023, WITH VERTICAL CONSTRUCTION BEGINNING IN 2024 AND CONSTRUCTION COMPLETING IN 2026.



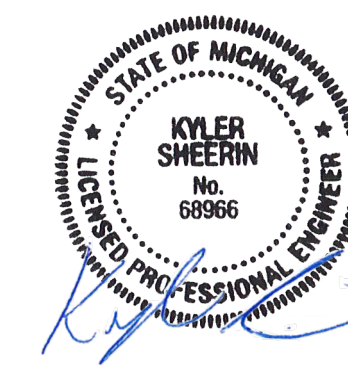
VICINITY MAP
 1" = 20,000 FEET

SHEET INDEX

- 01 COVER SHEET
- 02 OVERALL EXISTING CONDITIONS
- 03 EXISTING CONDITIONS AREA 1
- 04 EXISTING CONDITIONS AREA 2
- 05 EXISTING CONDITIONS AREA 3
- 06 EXISTING CONDITIONS AREA 4
- 07 NATURAL FEATURES PLAN
- 08 OVERALL LAYOUT PLAN
- 09 LAYOUT PLAN AREA 1
- 10 LAYOUT PLAN AREA 2
- 11 LAYOUT PLAN AREA 3
- 12 LAYOUT PLAN AREA 4
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- 16 GRADING PLAN AREA 2
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- 23 UTILITY PLAN AREA 4
- 24 ROAD PLAN & PROFILE STA.0+00 TO 11+50
- 25 ROAD PLAN & PROFILE STA. 11+50 TO 21+58
- 26 DRY HYDRANT PLAN AND PROFILE
- 27 STORM SEWER PLAN & PROFILE 1
- 28 STORM SEWER PLAN & PROFILE 2
- 29 STORM SEWER PLAN & PROFILE 3
- 30 STORM SEWER PLAN & PROFILE 4
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- L-1 LANDSCAPE PLAN
- L-2 GREENBELT PLAN
- L-3 DETENTION POND
- L-4 LANDSCAPE DETAILS



ZONING MAP



Know what's below.
 Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
 866.850.4200 www.atwell-group.com
 311 N. MAIN ST.
 ANN ARBOR, MI 48104
 734.994.4600

SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN
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CLIENT	LOMBARDO HOMES	KINSLEY DEVELOPMENT	FINAL SITE PLAN	COVER SHEET
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DATE: APRIL 18, 2023

5/30/23	PER WCWR
7/11/23	PER TWP
8/10/23	PER WCH/WCRC/WCRC
10/27/23	PER WCH/WCRC
11/30/23	PER WCRC
1/12/24	PER WCWR

REVISIONS	SCALE 0 AS NOTED
DR. SK CH. MC	P.M. MC
BOOK ---	JOB 21002863
SHEET NO.	01



Know what's below.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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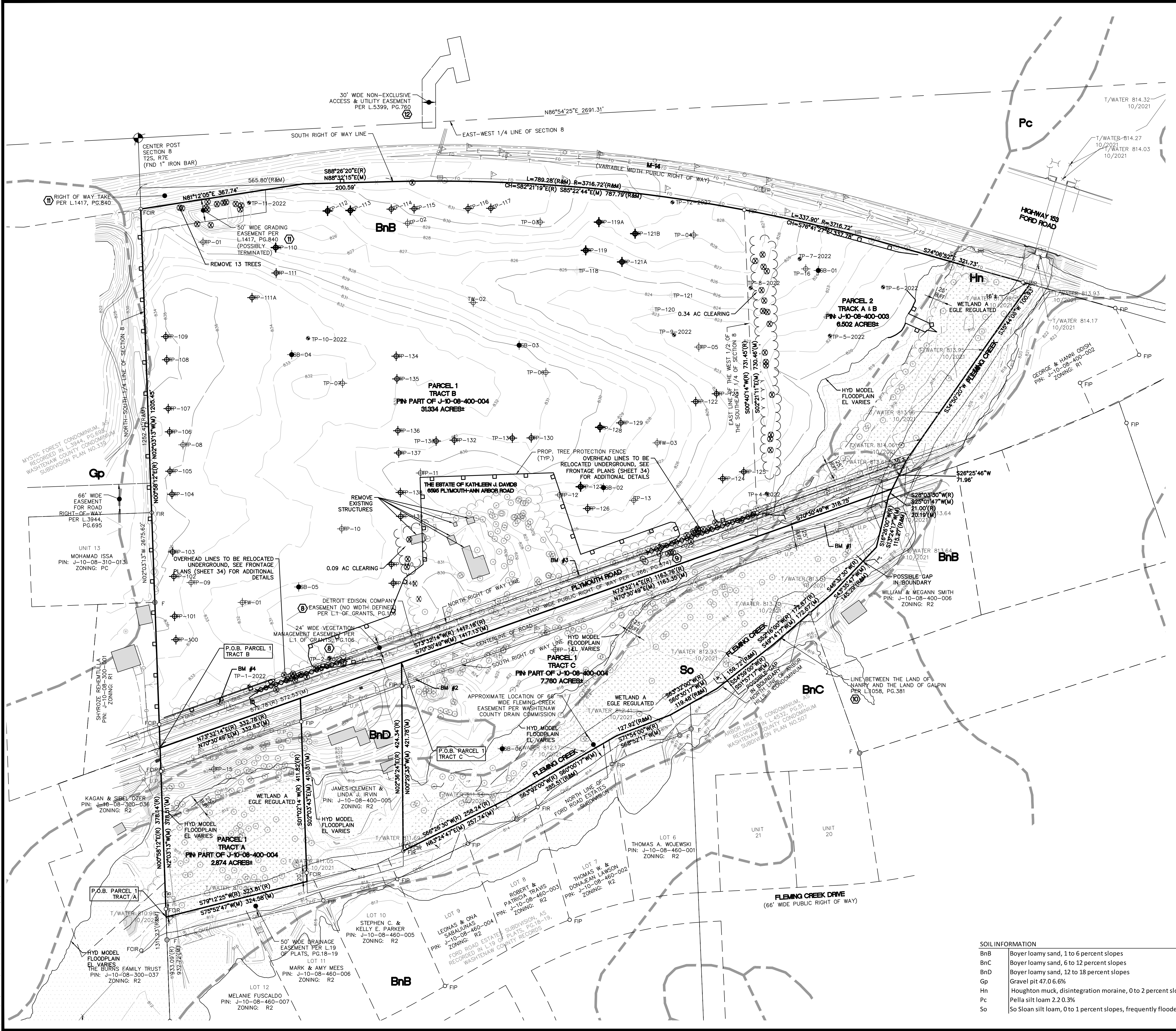
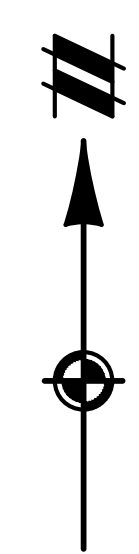
SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN

DATE
APRIL 18, 2023

REVISIONS	DATE	DESCRIPTION
5/30/23	PER WCRC	
7/11/23	PER TWP	
8/10/23	PER WCD/WCRC	
10/27/23	PER WCD/WCRC	
11/30/23	PER WCD	
1/12/24	PER WCRC	

SCALE 0 50 100
1" = 100 FEET
DR. SK CH. MC
BOOK --
JOB 21002863
SHEET NO. 02



NOTE
1. SEE SHEET 38 FOR SOIL BORING & TEST PIT LOGS

LEGEND	
	BOUNDARY LINE
	EXISTING EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXISTING CONTOUR
	EXISTING TREE LINE
	EXISTING CURB AND GUTTER
	EXISTING FENCE
	EXISTING BUILDING
	EXISTING WETLAND
	EXISTING WETLAND BUFFER
	EXISTING STRUCTURE
	EXISTING WALL
	EXISTING WATER MAIN
	EXISTING SANITARY
	EXISTING GAS
	EXISTING STORM
	EXISTING OVERHEAD ELECTRICAL LINE
	EXISTING OVERHEAD TELEPHONE LINE
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	EXIST. UNSPECIFIED UTILITY
	EXISTING FLOODPLAIN
	EXISTING SOILS LIMIT
	EXISTING SOILS TYPE
	EXISTING SOIL BORING
	TEST PIT LOCATION (NOVEMBER 2021)
	TEST PIT LOCATION (SEPTEMBER 2022)
	EXISTING TEST WELL
	TEST PIT LOCATION - NOT GOOD
	PROP. TREE PROTECTION FENCE

SOIL INFORMATION	
BnB	Boyer loamy sand, 1 to 6 percent slopes
BnC	Boyer loamy sand, 6 to 12 percent slopes
BnD	Boyer loamy sand, 12 to 18 percent slopes
Gp	Gravel pit 47.0 6.6%
Hn	Houghton muck, disintegration moraine, 0 to 2 percent slopes
Pc	Pella silt loam 2.2 0.3%
So	So Sloan silt loam, 0 to 1 percent slopes, frequently flooded



Know what's below.
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NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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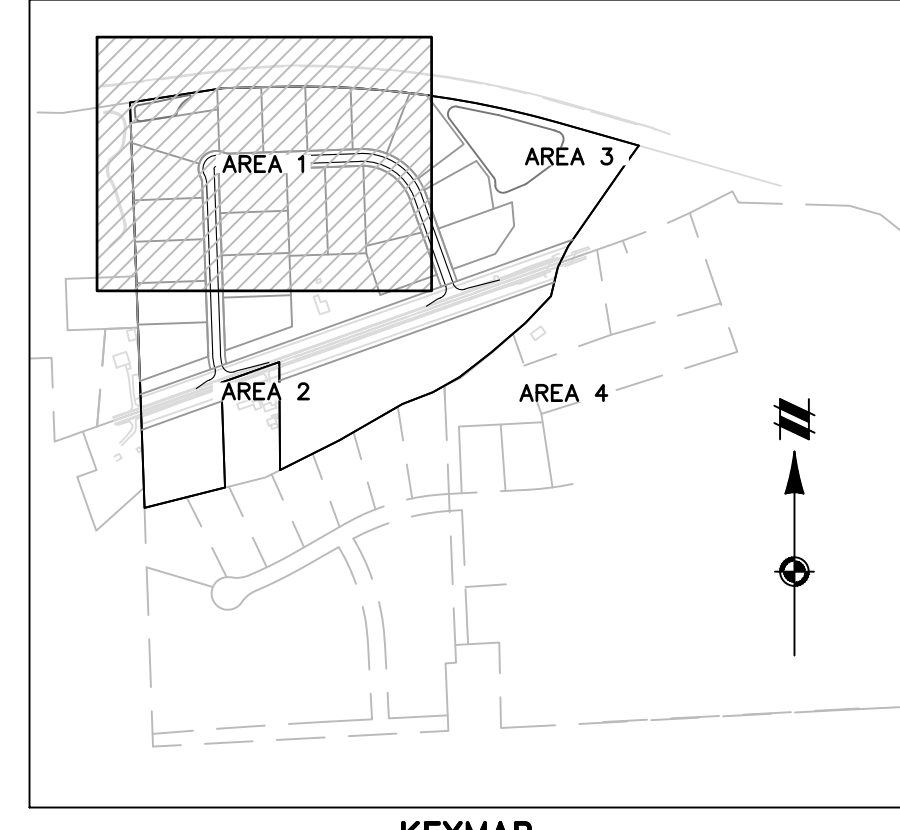


SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
EXISTING CONDITIONS AREA 1

DATE	REVISIONS
APRIL 18, 2023	0
5/30/23	PER WCRC
7/11/23	PER TWP
8/10/23	PER WCHD/WCRC
10/27/23	PER WCHD/WCRC
11/30/23	PER WCRC
1/12/24	PER WCRC

SCALE	REVISIONS
0 25 50	0
1" = 50 FEET	
DR. SK	CH. MC
P.M. MC	
BOOK --	
JOB 21002863	
SHEET NO.	03



KEYMAP
SCALE: 1" = 750 FEET

BENCHMARK NOTES:

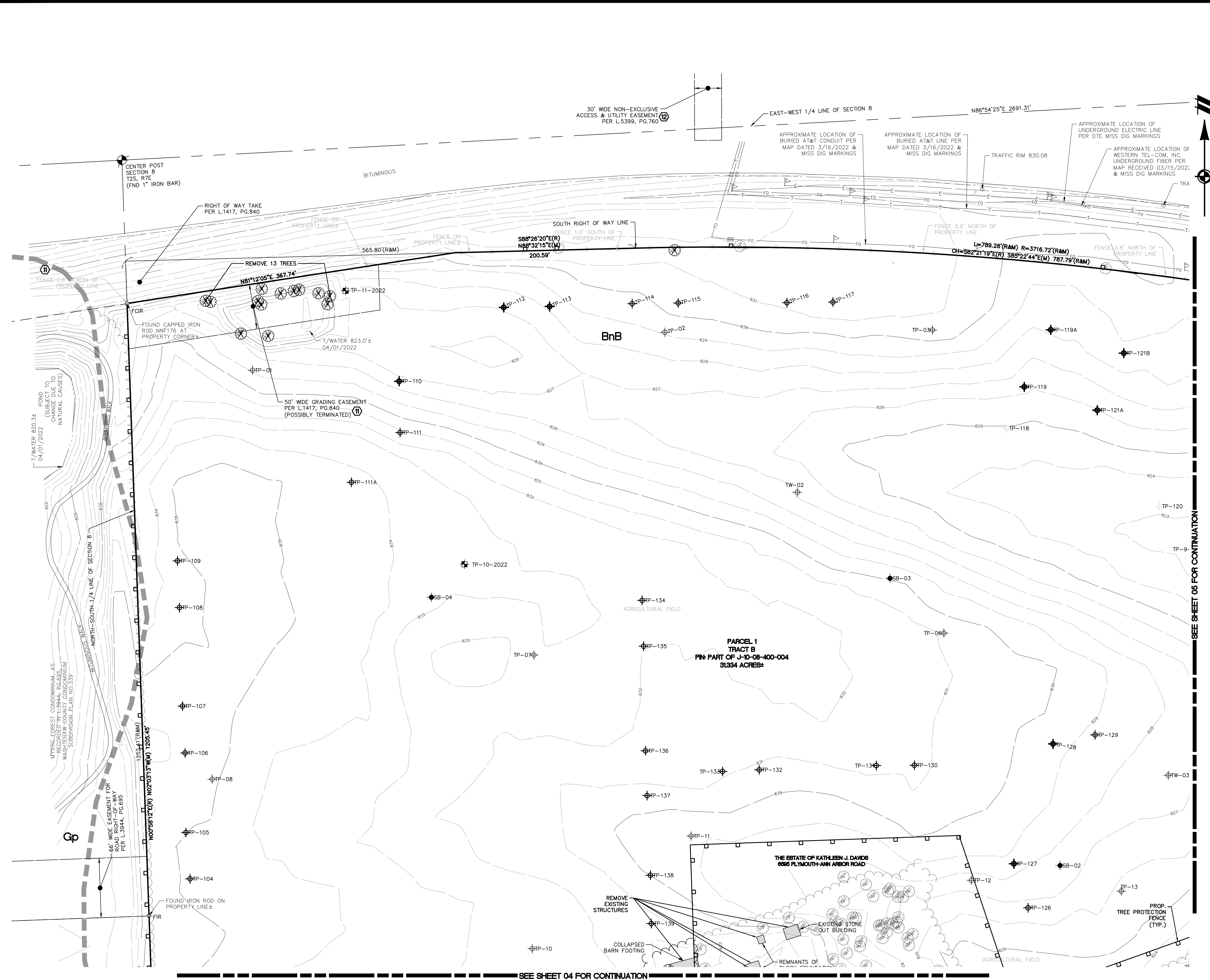
- BM #1: SET MAG NAIL ON TOP OF WESTERLY MOST GUARDRAIL POST ON SOUTH SIDE OF PLYMOUTH ROAD
ELEVATION: 821.64 (NAVD88)
- BM #2: FOUND BENCHMITE IN NORTH FACE OF UTILITY POLE IN SOUTH RIGHT OF WAY OF PLYMOUTH ROAD
ELEVATION: 827.67 (NAVD88)
- BM #3: SET MAG NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD
ELEVATION: 825.47 (NAVD88)
- BM #4: SET PK NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD
ELEVATION: 833.44 (NAVD88)

SURVEY NOTES:

- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATES (NAD83), SOUTH ZONE, GROUND DISTANCES, INTERNATIONAL FEET. MEASURED BEARINGS DIFFER FROM TITLE. VERTICAL DATUM IS BASED ON NAVD88.
 - THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND ZONE A (NO BASE FLOOD ELEVATIONS DETERMINED) ACCORDING TO MAP NUMBER 26161C0260E OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE APRIL 3, 2012.
 - WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.
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LEGEND

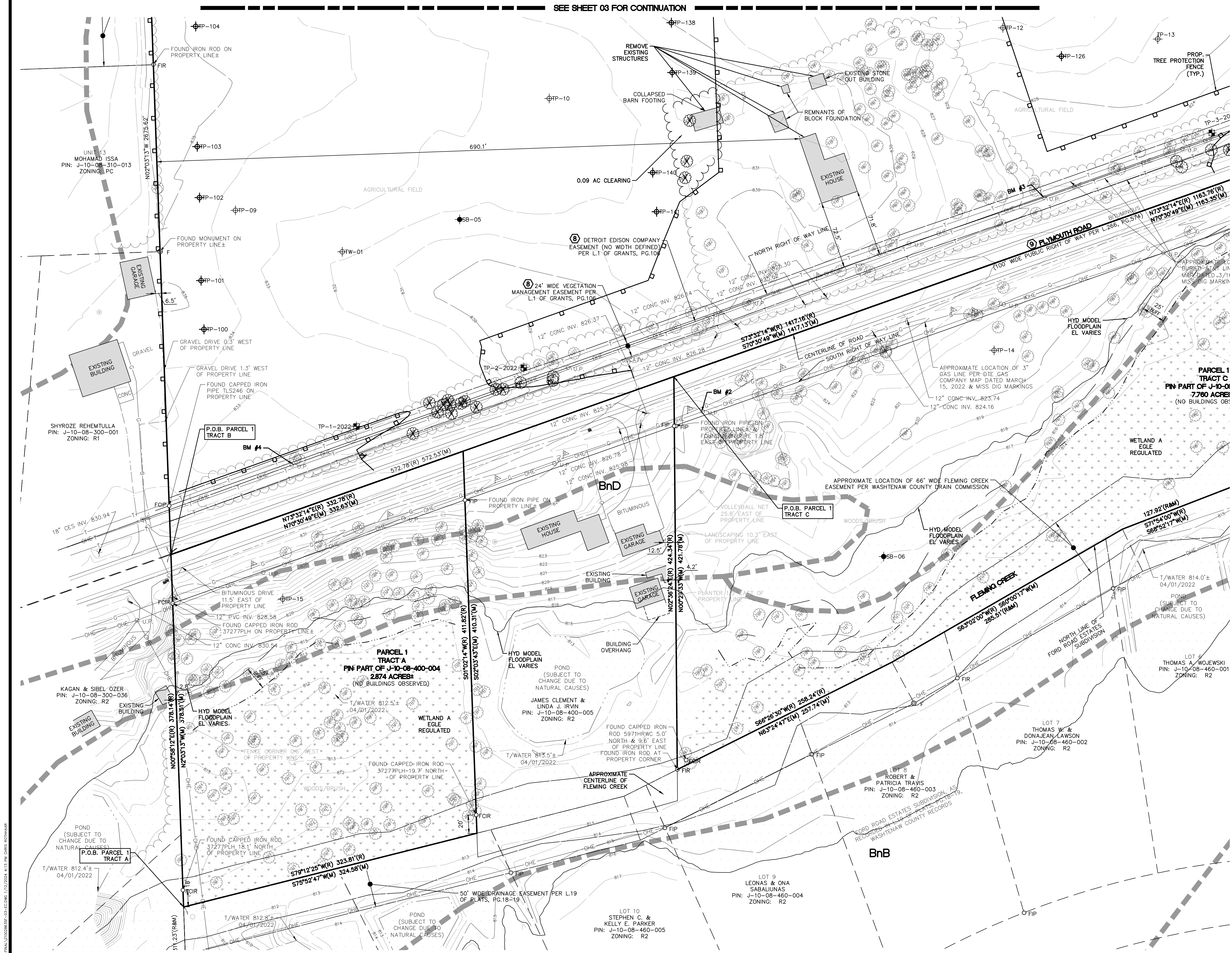
	BOUNDARY LINE
	EXISTING EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXISTING SETBACK
	EXISTING CONTOUR
	EXISTING TREE LINE
	EXISTING CURB AND GUTTER
	EXISTING FENCE
	EXISTING BUILDING
	EXISTING WETLAND
	EXISTING WETLAND BUFFER
	EXISTING WATER MAIN
	EXISTING SANITARY
	EXISTING GAS
	EXISTING STORM
	EXISTING OVERHEAD ELECTRICAL LINE
	EXISTING OVERHEAD TELEPHONE LINE
	EXISTING CULVERT
	EXISTING CATCH BASIN/INLET
	EXISTING VALVE
	EXISTING SANITARY SEWER
	EXISTING UNSPECIFIED UTILITY
	EXISTING SIGN
	EXISTING LIGHT POLE
	EXISTING EDGE OF WATER
	EXISTING FLOODPLAIN
	EXISTING SOIL BORING
	TEST PIT LOCATION (NOVEMBER 2021)
	TEST PIT LOCATION (SEPTEMBER 2022)
	EXISTING TEST WELL
	TEST PIT LOCATION - NOT GOOD
	SOILS BOUNDARY
	SOILS TEXT
	PROP. TREE PROTECTION FENCE



SEE SHEET 04 FOR CONTINUATION

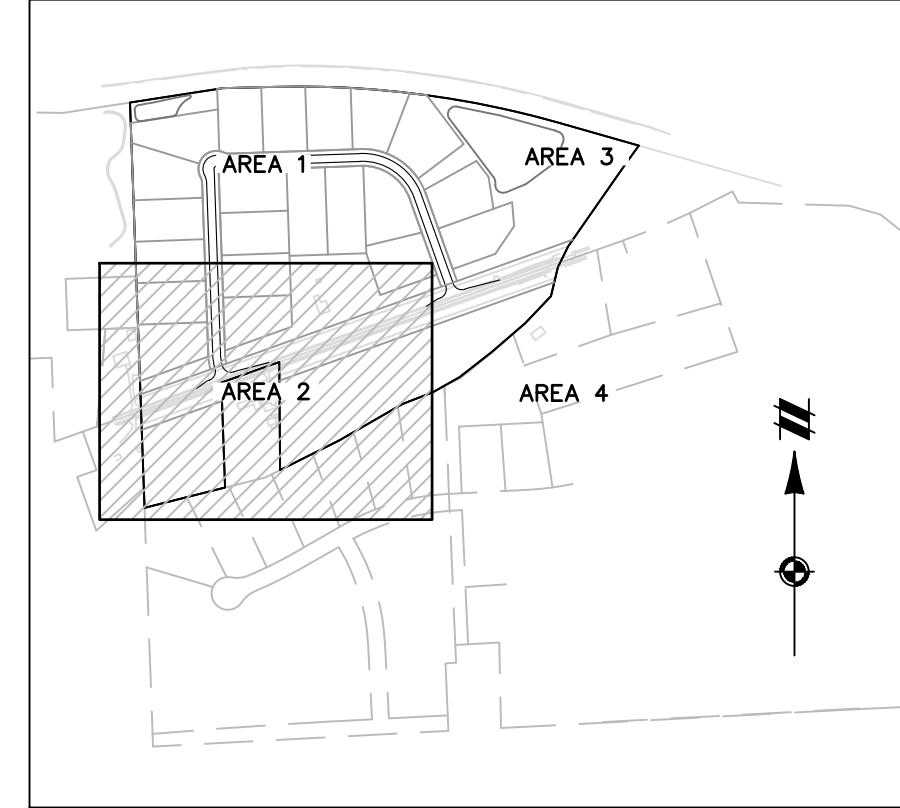
SEE SHEET 05 FOR CONTINUATION

K:\21002863\PLAN\SET\UTIL-FINAL\21002863-03-EC-236-177/2024-4-13-PM-DMS-HOTHMAN



SEE SHEET 03 FOR CONTINUATION

SEE SHEET 06 FOR CONTINUATION



KEYMAP
SCALE: 1" = 750 FEET

- BENCHMARK NOTES:**
- BM #1: SET MAG NAIL ON TOP OF WESTERLY MOST GUARDRAIL POST ON SOUTH SIDE OF PLYMOUTH ROAD ELEVATION: 821.64 (NAVD88)
 - BM #2: FOUND BENCHITE IN NORTH FACE OF UTILITY POLE IN SOUTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 827.67 (NAVD88)
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- SURVEY NOTES:**
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LEGEND

	BOUNDARY LINE
	EXISTING EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXISTING SETBACK
	EXISTING CONTOUR
	EXISTING TREE LINE
	EXISTING CURB AND GUTTER
	EXISTING FENCE
	EXISTING BUILDING
	EXISTING WETLAND
	EXISTING WETLAND BUFFER
	EXISTING WATER MAIN
	EXISTING SANITARY
	EXISTING GAS
	EXISTING STORM
	EXISTING OVERHEAD ELECTRICAL LINE
	EXISTING OVERHEAD TELEPHONE LINE
	EXISTING CULVERT
	EXISTING CATCH BASIN/INLET
	EXISTING HYDRANT
	EXISTING SANITARY SEWER
	EXISTING UNSPECIFIED UTILITY
	EXISTING SIGN
	EXISTING LIGHT POLE
	EXISTING EDGE OF WATER
	EXISTING FLOODPLAIN
	EXISTING SOIL BORING
	TEST PIT LOCATION (NOVEMBER 2021)
	TEST PIT LOCATION (SEPTEMBER 2022)
	EXISTING TEST WELL
	TEST PIT LOCATION - NOT GOOD
	SOILS BOUNDARY
	SOILS TEXT
	PROP. TREE PROTECTION FENCE

811
Know what's below.
Call before you dig.

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SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
EXISTING CONDITIONS AREA 2

DATE: APRIL 18, 2023

5/30/23	PER WCWRC
7/11/23	PER TWP
8/10/23	PER WCHD/WCRC
10/27/23	PER WCHD/WCRC
11/30/23	PER WCRC
1/12/24	PER WCWRC

REVISIONS

SCALE: 0 25 50
1" = 50 FEET

DR. SK CH. MC
P.M. MC
BOOK --
JOB 21002863
SHEET NO. 04



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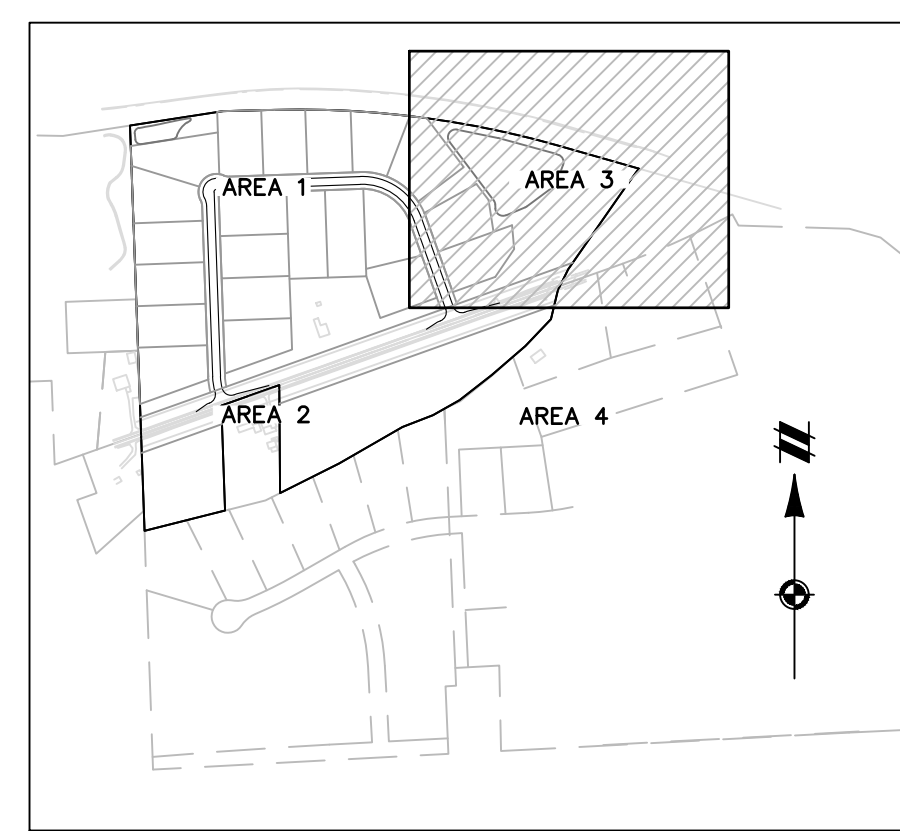
SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHENAW COUNTY, MICHIGAN

CLIENT: LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
EXISTING CONDITIONS AREA 3

DATE: APRIL 18, 2023

5/30/23	PER WCRC
7/11/23	PER TWP
8/10/23	PER WCD/WCRC/WCRC
10/27/23	PER WCD/WCRC
11/30/23	PER WCRC
1/12/24	PER WCRC

REVISIONS	
SCALE	0 25 50
	1" = 50 FEET
DR.	SK CH. MC
P.M.	MC
BOOK	--
JOB	21002863
SHEET NO.	05



KEYMAP
SCALE: 1" = 750 FEET

BENCHMARK NOTES:

- BM #1: SET MAG NAIL ON TOP OF WESTERLY MOST GUARDRAIL POST ON SOUTH SIDE OF PLYMOUTH ROAD
ELEVATION: 821.64 (NAVD88)
- BM #2: FOUND BENCHITE IN NORTH FACE OF UTILITY POLE IN SOUTH RIGHT OF WAY OF PLYMOUTH ROAD
ELEVATION: 827.67 (NAVD88)
- BM #3: SET MAG NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD
ELEVATION: 825.47 (NAVD88)
- BM #4: SET PK NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD
ELEVATION: 833.44 (NAVD88)

SURVEY NOTES:

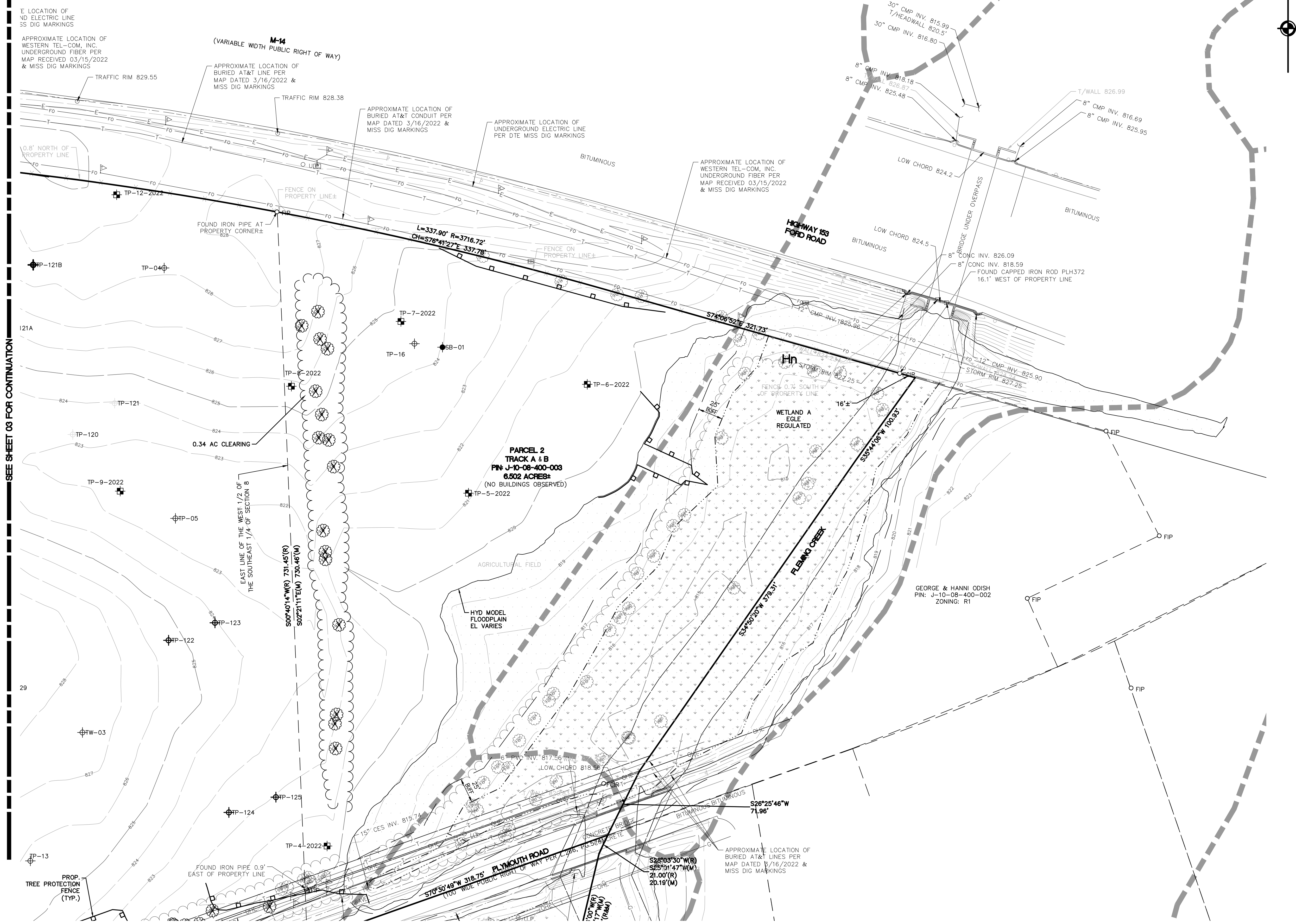
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LEGEND

	BOUNDARY LINE
	EXISTING EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXISTING SETBACK
	EXISTING CONTOUR
	EXISTING TREE LINE
	EXISTING CURB AND GUTTER
	EXISTING FENCE
	EXISTING BUILDING
	EXISTING WETLAND
	EXISTING WETLAND BUFFER
	EXISTING WATER MAIN
	EXISTING SANITARY
	EXISTING GAS
	EXISTING STORM
	EXISTING OVERHEAD ELECTRICAL LINE
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	EXISTING SANITARY SEWER
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	TEST PIT LOCATION (NOVEMBER 2021)
	TEST PIT LOCATION (SEPTEMBER 2022)
	EXISTING TEST WELL
	TEST PIT LOCATION - NOT GOOD
	SOILS BOUNDARY
	SOILS TEXT
	PROP. TREE PROTECTION FENCE



SEE SHEET 03 FOR CONTINUATION

SEE SHEET 06 FOR CONTINUATION

K:\V\2023\21002863\PLAN SET\UTIL-FINAL\21002863-05-EC-236-1/27/2023-4.13 PM.DWG (R) (M)



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Call before you dig.

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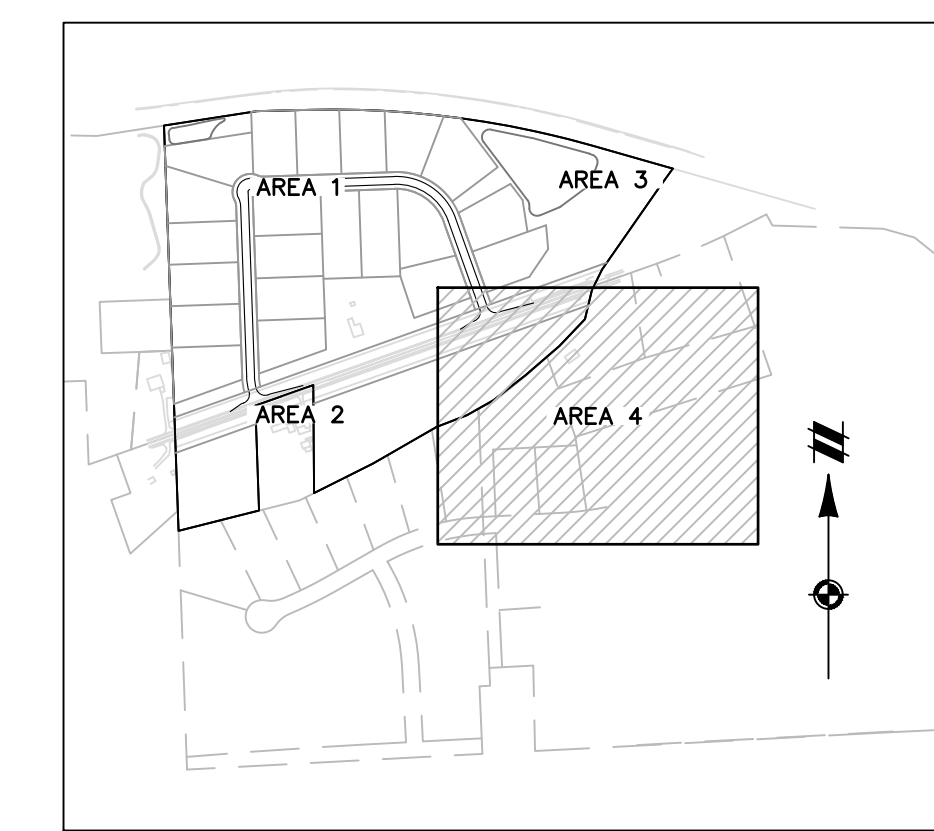
SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
EXISTING CONDITIONS AREA 4

DATE
APRIL 18, 2023

5/30/23	PER WCWRC
7/11/23	PER TWP
8/10/23	PER WCHD/WCRC/WCRC
10/27/23	PER WCHD/WCRC
11/30/23	PER WCRC
1/12/24	PER WCWRC

REVISIONS	
SCALE	0 25 50
1" = 50 FEET	
DR.	SK CH. MC
P.M.	MC
BOOK	--
JOB	21002863
SHEET NO.	06



KEYMAP
SCALE: 1" = 750 FEET

BENCHMARK NOTES:

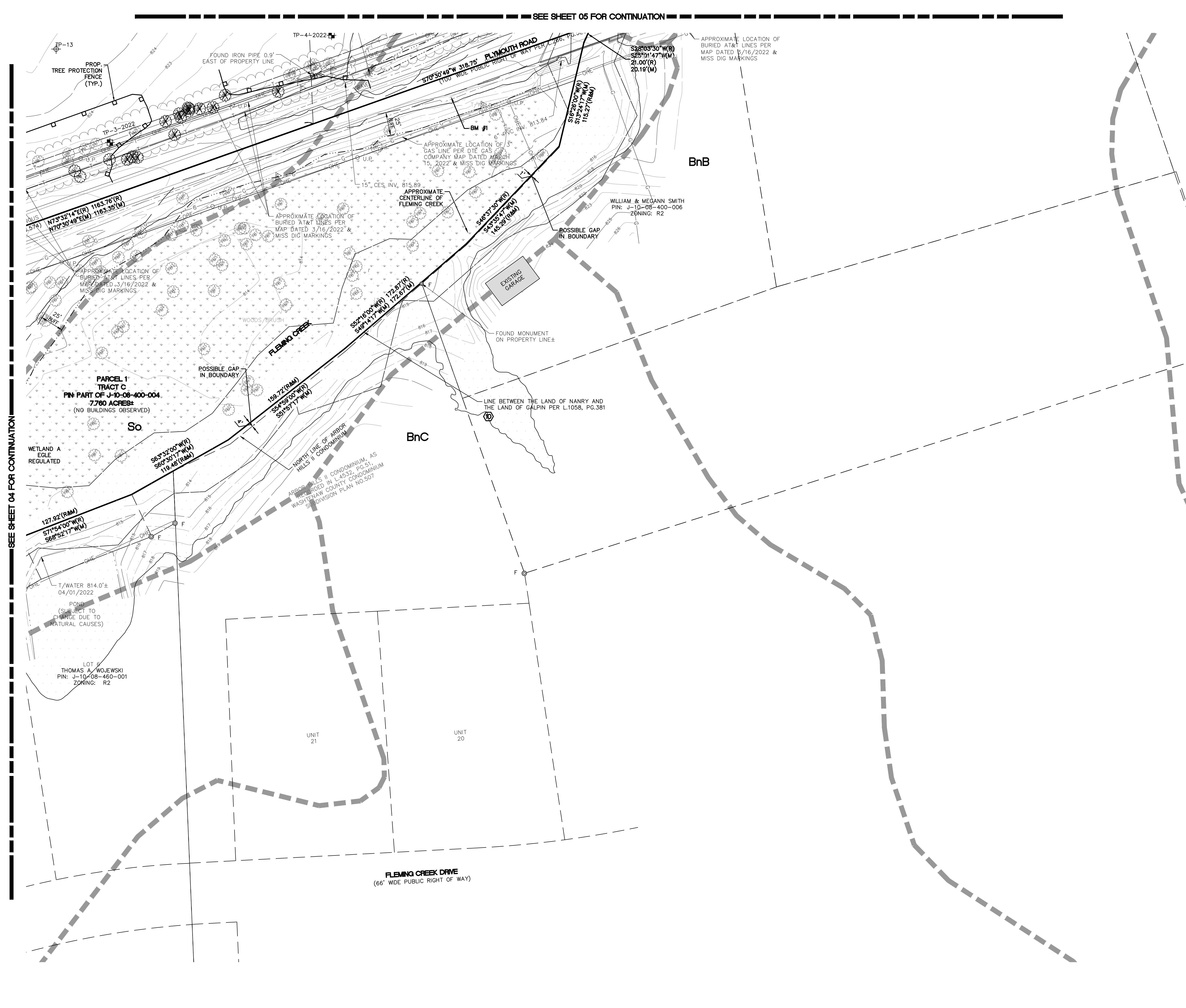
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LEGEND

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	EXISTING EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXISTING SETBACK
	EXISTING CONTOUR
	EXISTING TREE LINE
	EXISTING CURB AND GUTTER
	EXISTING FENCE
	EXISTING BUILDING
	EXISTING WETLAND
	EXISTING WETLAND BUFFER
	EXISTING WATER MAIN
	EXISTING SANITARY
	EXISTING GAS
	EXISTING STORM
	EXISTING OVERHEAD ELECTRICAL LINE
	EXISTING OVERHEAD TELEPHONE LINE
	EXISTING CULVERT
	EXISTING CATCH BASIN/INLET
	EXISTING VALVE
	EXISTING HYDRANT
	EXISTING SANITARY SEWER
	EXISTING UNSPECIFIED UTILITY
	EXISTING SIGN
	EXISTING LIGHT POLE
	EXISTING EDGE OF WATER
	EXISTING FLOODPLAIN
	EXISTING SOIL BORING
	TEST PIT LOCATION (NOVEMBER 2021)
	TEST PIT LOCATION (SEPTEMBER 2022)
	EXISTING TEST WELL
	TEST PIT LOCATION - NOT GOOD
	SOILS BOUNDARY
	SOILS TEXT
	PROP. TREE PROTECTION FENCE



SEE SHEET 05 FOR CONTINUATION

SEE SHEET 04 FOR CONTINUATION

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NATURAL FEATURES NOTE

NATURAL FEATURES ON THE SITE CONSIST OF WETLAND, TREES, SLOPES AND AGRICULTURAL FIELD. WITH TWO MAIN HIGH POINTS ON THE SITE, ONE IN THE NORTHWEST PORTION AND THE SECOND SOUTHWEST, THE TOPOGRAPHY GENERALLY SLOPES NORTHEAST TO SOUTHWEST TOWARD THE FLEMING CREEK IN THE LOWER THIRD OF THE PROPERTY. THERE IS APPROXIMATELY 20 FEET OF TOPOGRAPHIC RELIEF ACROSS THE SITE. THE SITE IS RELATIVELY FLAT WITH THE STEEPEST SLOPE AT ROUGHLY 8%.

THERE ARE 2 WETLANDS ON THE SITE. THE LARGE CONTIGUOUS RIVERINE WETLAND (A) RUNNING WEST TO EAST ALONG FLEMING CREEK ALONG THE SOUTH (IN THE WEST) AND NORTH (IN THE EAST) SIDES OF PLYMOUTH ROAD, CROSSING AT THE APPROXIMATE SPLIT OF PARCELS 1 AND 2. WETLAND B IS A FORESTED SCRUB SHRUB WETLAND AND IS LOCATED IN THE SOUTH CENTER OF PARCEL 1 ON THE EXISTING HOME SITE THAT IS TO REMAIN. THE ON SITE DETENTION BASIN IS PROPOSED TO OUTLET UPSTREAM OF WETLAND A.

TREES ON THE SITE ALTHOUGH IN GOOD CONDITION, ARE NOT NECESSARILY HIGH QUALITY WITH RESPECT TO SPECIES. THE TREES EXIST LARGELY IN HEDGE ROWS AND SCATTERED CLUSTERS. THE PREDOMINANT SPECIES ARE ELM AND BOXELDER RANGING FROM 6"-57" WITH THE VAST MAJORITY IN THE 7"-17" RANGE.

SOIL INFORMATION

- BnB Boyer loamy sand, 1 to 6 percent slopes
- BnC Boyer loamy sand, 6 to 12 percent slopes
- BnD Boyer loamy sand, 12 to 18 percent slopes
- Gp Gravel pit 47.0 6.6%
- Hn Houghton muck, disintegration moraine, 0 to 2 percent slopes
- Pc Pella silt loam 2.2 0.3%
- So So Sloan silt loam, 0 to 1 percent slopes, frequently flooded

WETLAND NOTE

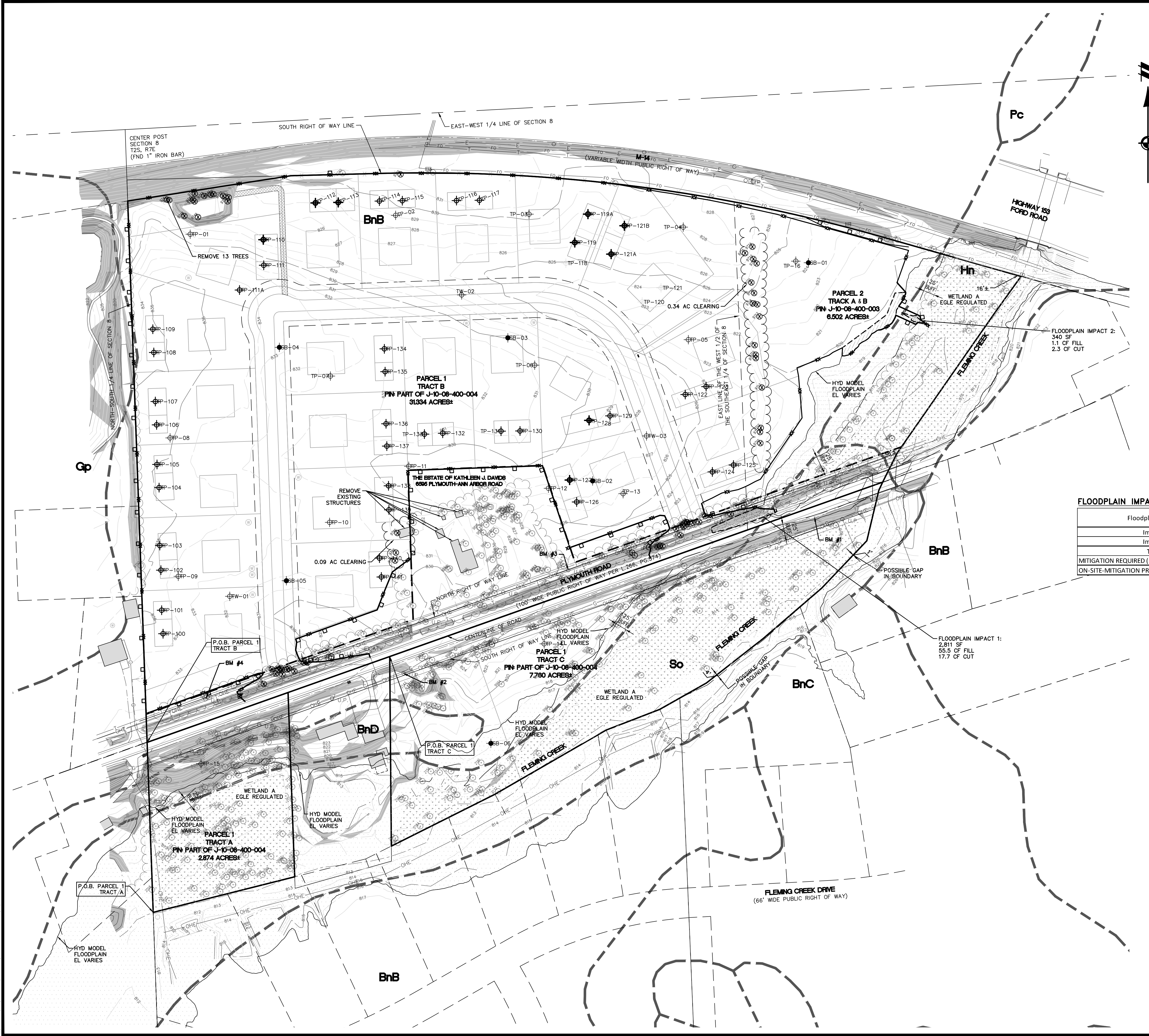
THERE ARE REGULATED WETLANDS ONSITE BUT THERE ARE NO PROPOSED IMPACTS WITHIN THE BOUNDARIES.

FLOODPLAIN IMPACTS AND MITIGATION SUMMARY

Floodplain Impacts	Estimated Floodplain Fill (CY)	Estimated Floodplain Cut (CY)	Estimated Net Impact Volume (cubic yards)
Impact 1	55.5	17.7	38 FILL
Impact 2	1.1	2.3	1 CUT
Total	57	20	37 FILL
MITIGATION REQUIRED (1" TOTAL FLOODPLAIN FILL)	-	-	37 CF OF MITIGATION
ON-SITE MITIGATION PROVIDED	-	-	62 CF

LEGEND

- BOUNDARY LINE
- EXISTING EASEMENT
- SECTION LINE
- BOUNDARY/PROPERTY LINE
- EXISTING SETBACK
- EXISTING CONTOUR
- EXISTING TREE LINE
- EXISTING CURB AND GUTTER
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING WETLAND
- EXIST. WETLAND BUFFER
- EXISTING WATER MAIN
- EXISTING SANITARY
- EXISTING GAS
- EXISTING STORM
- EXISTING OVERHEAD ELECTRICAL LINE
- EXISTING OVERHEAD TELEPHONE LINE
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- EXIST. CATCH BASIN/INLET
- EXIST. HYDRANT
- EXIST. VALVE
- EXIST. SANITARY SEWER
- EXIST. UNSPECIFIED UTILITY
- EXIST. SIGN
- EXIST. LIGHT POLE
- EXISTING EDGE OF WATER
- EXISTING TEST PIT LOCATION
- SOILS BOUNDARY
- SOILS TEXT
- 25%+ SLOPES
- 12%-25% SLOPES
- FLOOD PLAN
- EXISTING WETLAND
- FLOOD PLAN IMPACT AREA
- FLOOD PLAN MITIGATION AREA
- PROP. SILT FENCE
- PROP. TREE PROTECTION FENCE



SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
NATURAL FEATURES PLAN

DATE: APRIL 18, 2023

- 5/30/23 PER WCRC
- 7/11/23 PER TWP
- 8/10/23 PER WCD/WCRC/WCRC
- 10/27/23 PER WCD/WCRC
- 11/30/23 PER WCRC
- 1/12/24 PER WCRC

REVISIONS

SCALE 0 50 100
1" = 100 FEET

DR. SK CH. MC

BOOK --

JOB 21002863

SHEET NO. 07



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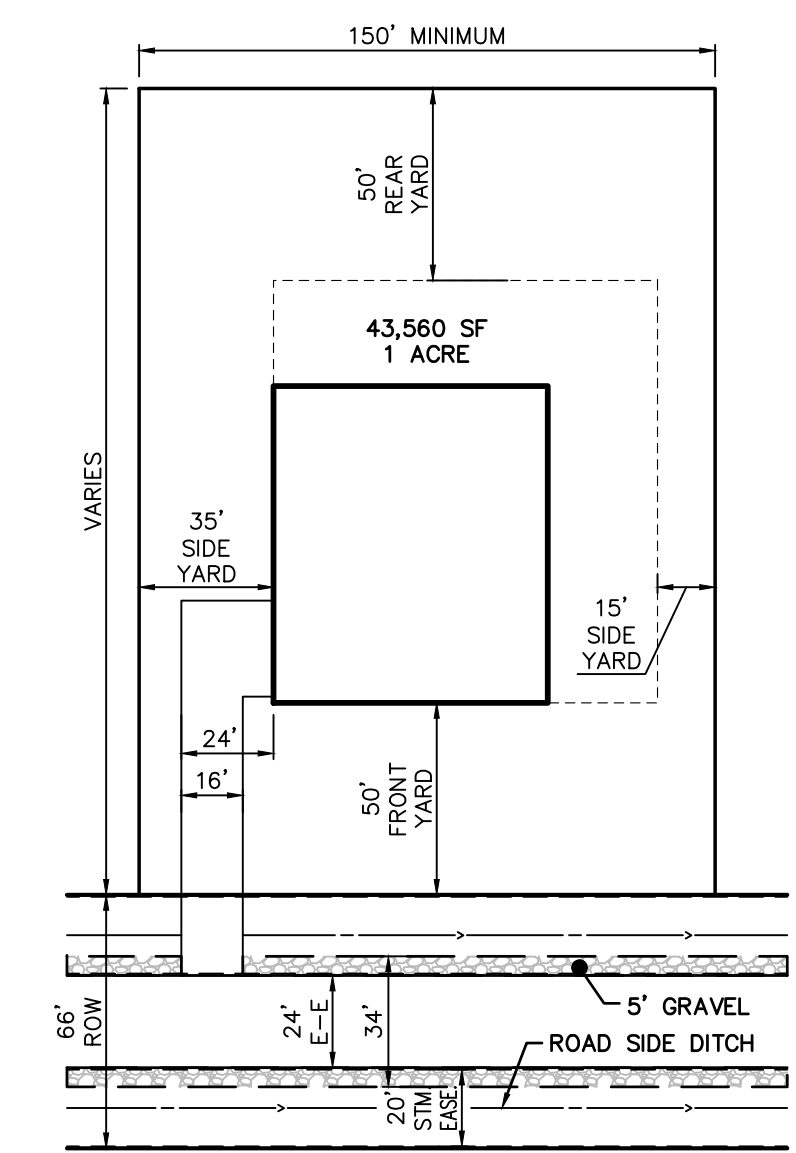
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SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
OVERALL LAYOUT PLAN

DATE
APRIL 18, 2023
5/30/23 PER WCWRC
7/11/23 PER TWP
8/10/23 PER WCHD/WCWR
10/27/23 PER WCHD/WCWR
11/30/23 PER WCRC
1/12/24 PER WCWRC
REVISIONS
SCALE 0 50 100
1" = 100 FEET
DR. SK CH. MC
P.M. MC
BOOK --
JOB 21002863
SHEET NO. 08



UNIT DETAIL
SCALE: 1" = 50 FEET

LOT NO.	AREA	FRONTAGE
1	48566.67	153'
2	43795.96	162'
3	43808.00	162'
4	43820.03	162'
5	47485.38	150'
6	49769.54	150'
7	43837.13	172'
8	43678.30	172'
9	43620.12	177'
10	43579.06	153'
11	55514.66	185'
12	43596.12	169'
13	45718.01	174'
14	44934.40	187'
15	48406.47	285'
16	51220.43	150'
17	51208.03	150'
18	43742.07	165'
19	43724.90	165'
20	43725.64	165'
21	44604.36	194'

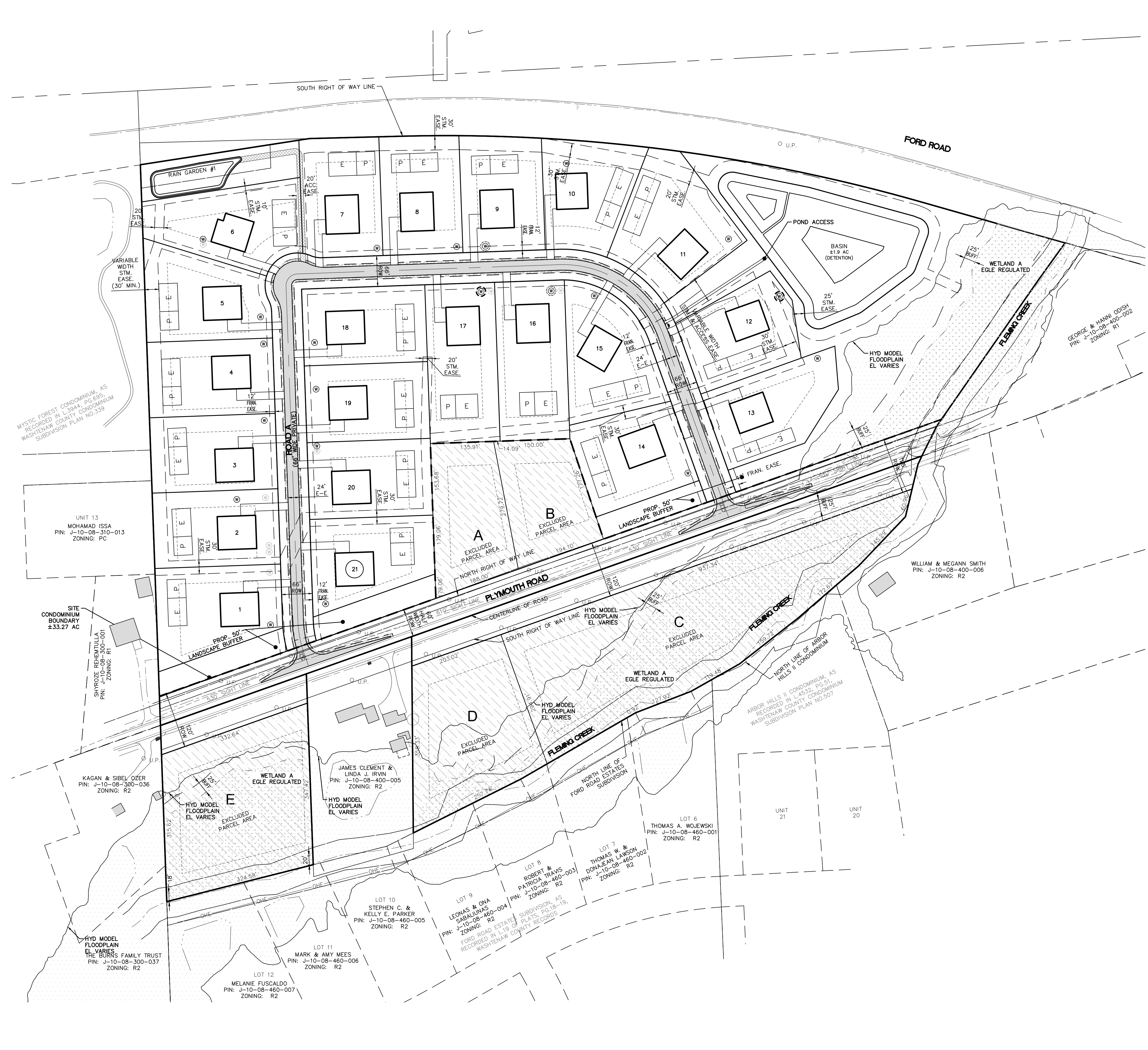
LOT NO.	AREA	FRONTAGE
A	48613.56	180'
B	44721.51	188'
C	186812.20	905'
D	82214.95	220'
E	105222.60	332'

LAYOUT NOTES

- THE DEVELOPMENT WILL CONTAIN PRIVATE ROADS. THE PROPOSED CONNECTION WILL BE COORDINATED WITH THE WASHTENAW COUNTY ROAD COMMISSION.
- NO ON-STREET PARKING IS PROPOSED. UNIT GARAGE AND DRIVEWAY PARKING EXCEEDS CITY PARKING REQUIREMENTS. NO PARKING SIGNAGE TO BE PLACED IN AREAS OF ROAD CURVE RADI LESS THAN 230'.
- ALL ON-SITE SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE MMUTCD.
- BUILDING SIZES SHOWN ARE FOR REPRESENTATIVE PURPOSES AND ARE SUBJECT TO CHANGE DURING PLOT PLAN CREATION.
- SEE SHEET 36 FOR OPEN SPACE EXHIBIT.
- SEE SHEET 36 FOR FIRE TRUCK PATH EXHIBIT
- NO OUTDOOR STREET LIGHTING IS PROPOSED ONSITE.

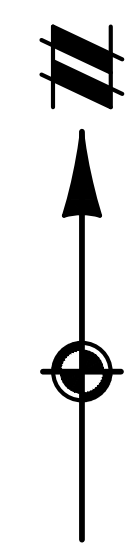
LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	PROP. SETBACK
	PROP. LOT LINE
	PROP. ROAD CENTERLINE
	PROP. BACK OF CURB
	PROP. ASPH.
	PROP. DETENTION
	PROP. EASEMENT
	PROP. WELL
	PROP. OBSERVATION WELL
	PROP. TEST WELL
	DRY/ABANDONED WELL
	PROP. SEPTIC FIELD
	P = PRIMARY
	E = EXPANSION
	PROP. CONDOMINIUM BOUNDARY
	EXCLUDED PARCEL AREA
	EXISTING FLOODPLAIN

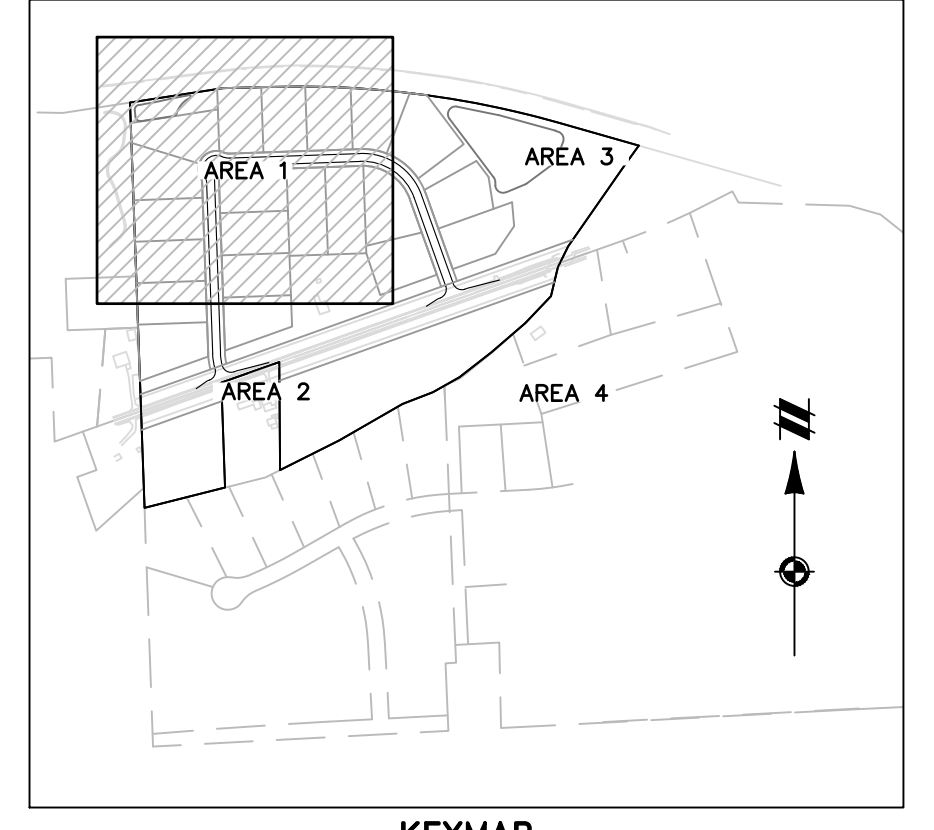


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SEE SHEET 11 FOR CONTINUATION



KEYMAP
SCALE: 1" = 750 FEET

LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
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	PROP. LOT LINE
	PROP. ROAD CENTERLINE
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	PROP. ASPH.
	PROP. GRAVEL
	PROP. DETENTION
	PROP. EASEMENT
	PROP. WELL
	PROP. OBSERVATION WELL
	PROP. TEST WELL
	DRY/ABANDONED WELL
	PROP. SEPTIC FIELD
	P = PRIMARY
	E = EXPANSION
	PROP. CONDOMINIUM BOUNDARY

SEE SHEET 10 FOR CONTINUATION

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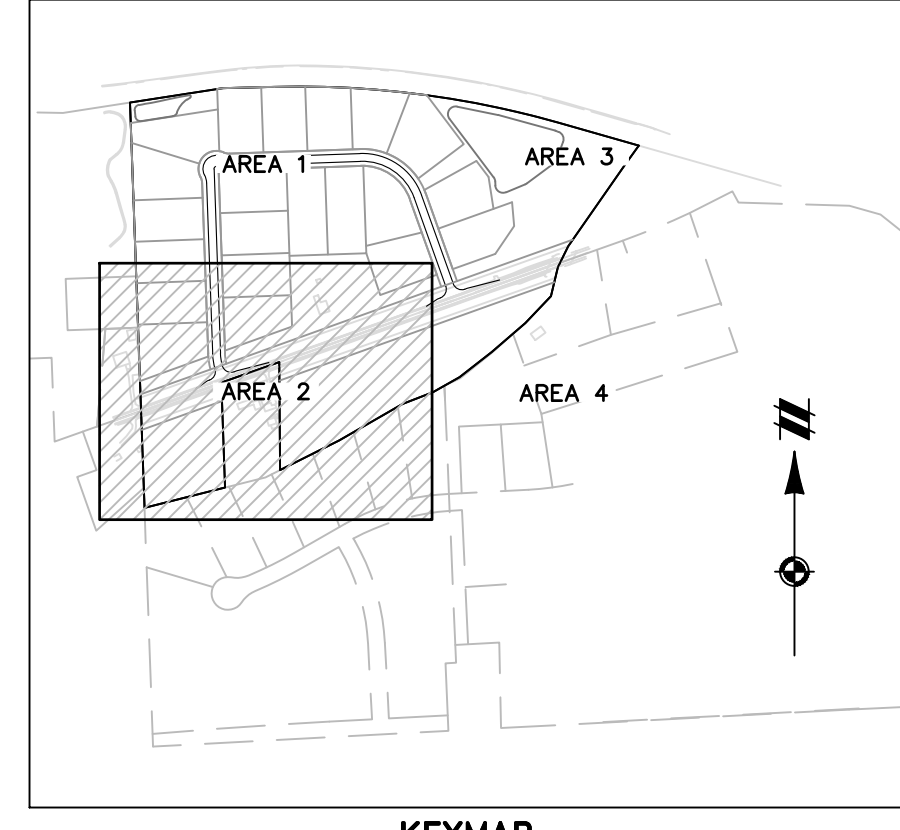
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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST																		
CLIENT	LOMBARDO HOMES																		
DATE	APRIL 18, 2023																		
REVISIONS	<table border="0" style="width: 100%;"> <tr> <td style="width: 10%;">5/30/23</td> <td style="width: 10%;">PER</td> <td style="width: 80%;">WCWRC</td> </tr> <tr> <td>7/11/23</td> <td>PER</td> <td>TWP</td> </tr> <tr> <td>8/10/23</td> <td>PER</td> <td>WCHD/WCRC/WCRC</td> </tr> <tr> <td>10/27/23</td> <td>PER</td> <td>WCHD/WCRC</td> </tr> <tr> <td>11/30/23</td> <td>PER</td> <td>WCRC</td> </tr> <tr> <td>1/12/24</td> <td>PER</td> <td>WCWRC</td> </tr> </table>	5/30/23	PER	WCWRC	7/11/23	PER	TWP	8/10/23	PER	WCHD/WCRC/WCRC	10/27/23	PER	WCHD/WCRC	11/30/23	PER	WCRC	1/12/24	PER	WCWRC
5/30/23	PER	WCWRC																	
7/11/23	PER	TWP																	
8/10/23	PER	WCHD/WCRC/WCRC																	
10/27/23	PER	WCHD/WCRC																	
11/30/23	PER	WCRC																	
1/12/24	PER	WCWRC																	
SCALE	<p>0 25 50 1" = 50 FEET</p>																		
DR. SK	CH. MC																		
BOOK	---																		
JOB	21002863																		
SHEET NO.	09																		



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SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
LAYOUT PLAN AREA 2

DATE
APRIL 18, 2023

5/30/23	PER WCRC
7/11/23	PER TWP
8/10/23	PER WCHD/WCRC/WCRC
10/27/23	PER WCHD/WCRC
11/30/23	PER WCRC
1/12/24	PER WCRC

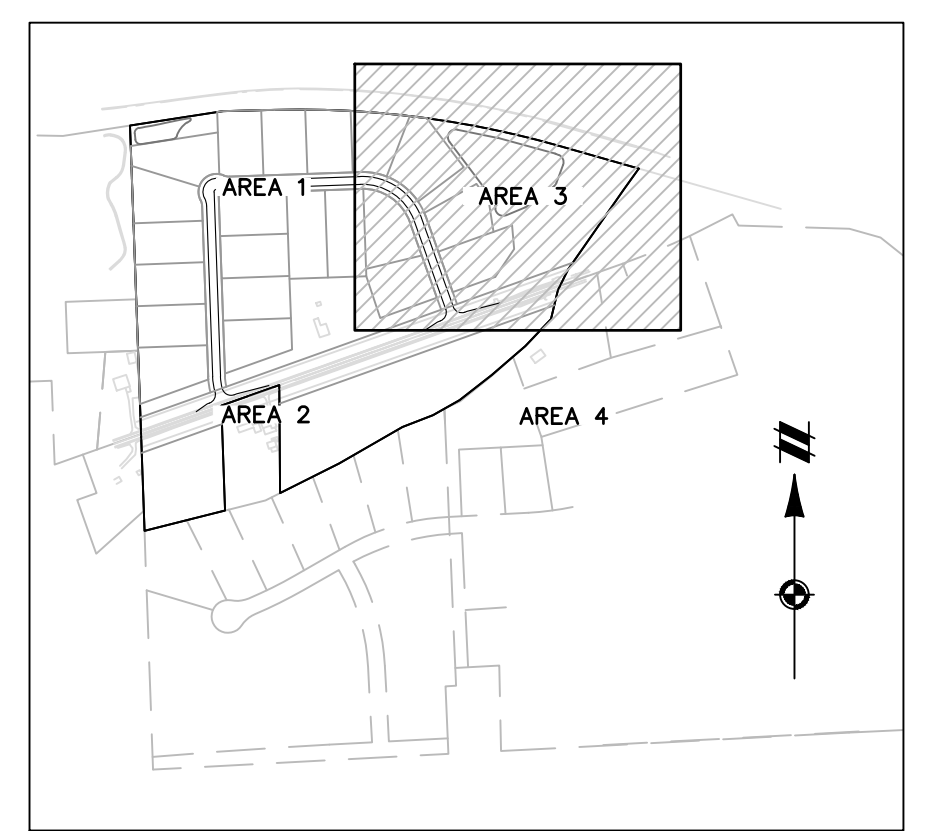
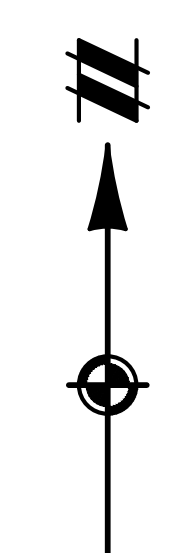
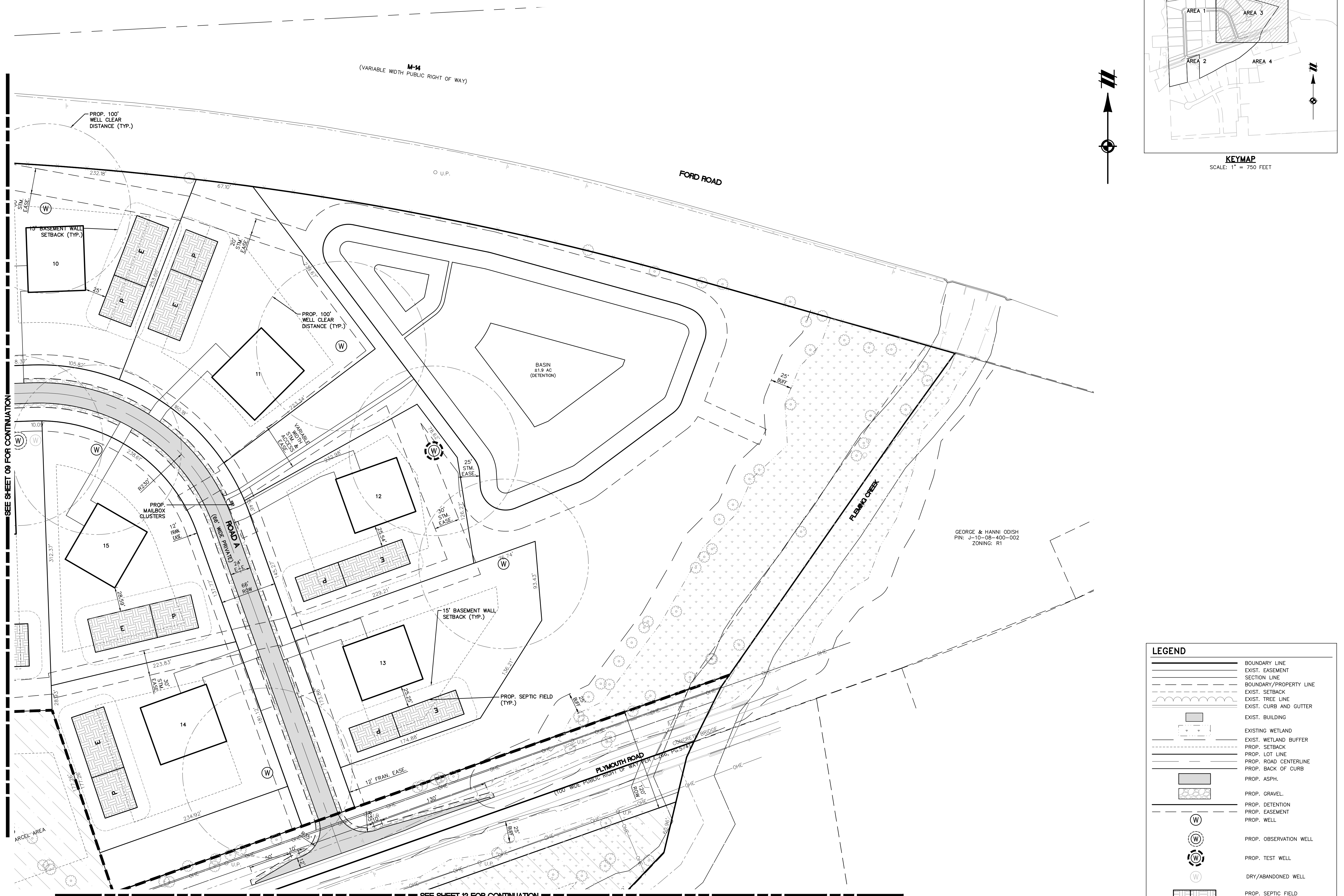
REVISIONS

SCALE	0	25	50
	1" = 50 FEET		
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P.M.	MC		
BOOK	---		
JOB	21002863		
SHEET NO.	10		

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SEE SHEET 09 FOR CONTINUATION

SEE SHEET 12 FOR CONTINUATION



KEYMAP
SCALE: 1" = 750 FEET

LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	PROP. SETBACK
	PROP. LOT LINE
	PROP. ROAD CENTERLINE
	PROP. BACK OF CURB
	PROP. ASPH.
	PROP. GRAVEL
	PROP. DETENTION
	PROP. EASEMENT
	PROP. WELL
	PROP. OBSERVATION WELL
	PROP. TEST WELL
	DRY/ABANDONED WELL
	PROP. SEPTIC FIELD
	P = PRIMARY
	E = EXPANSION
	PROP. CONDOMINIUM BOUNDARY

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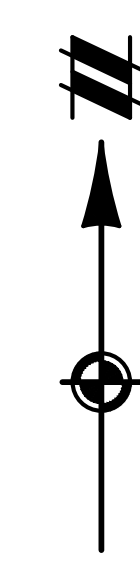
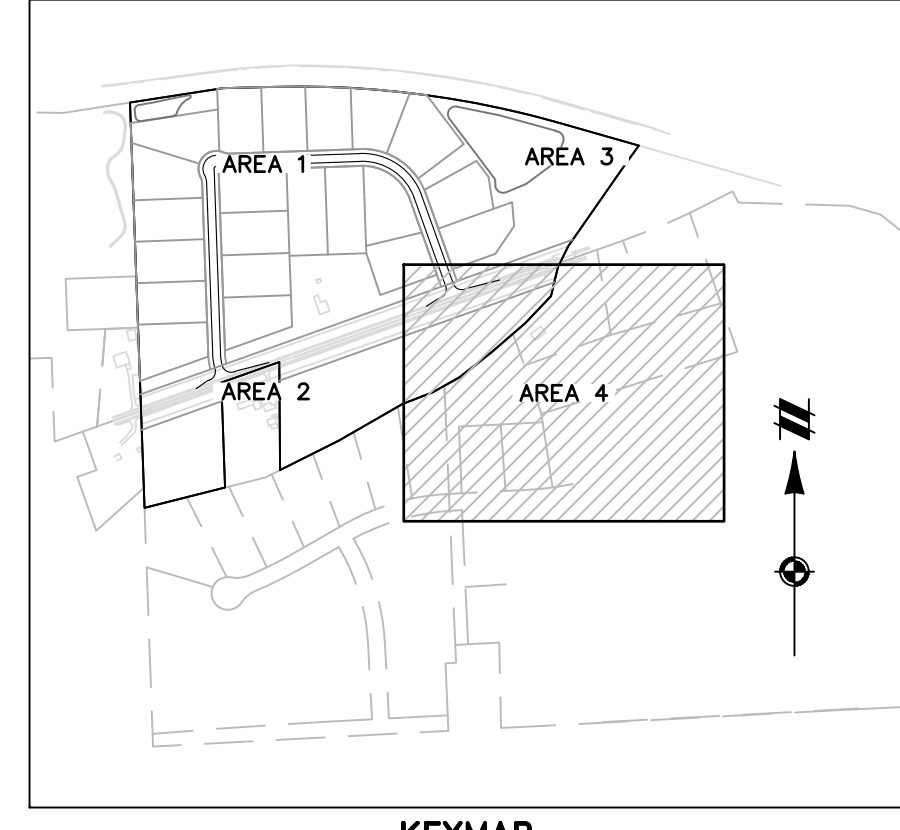
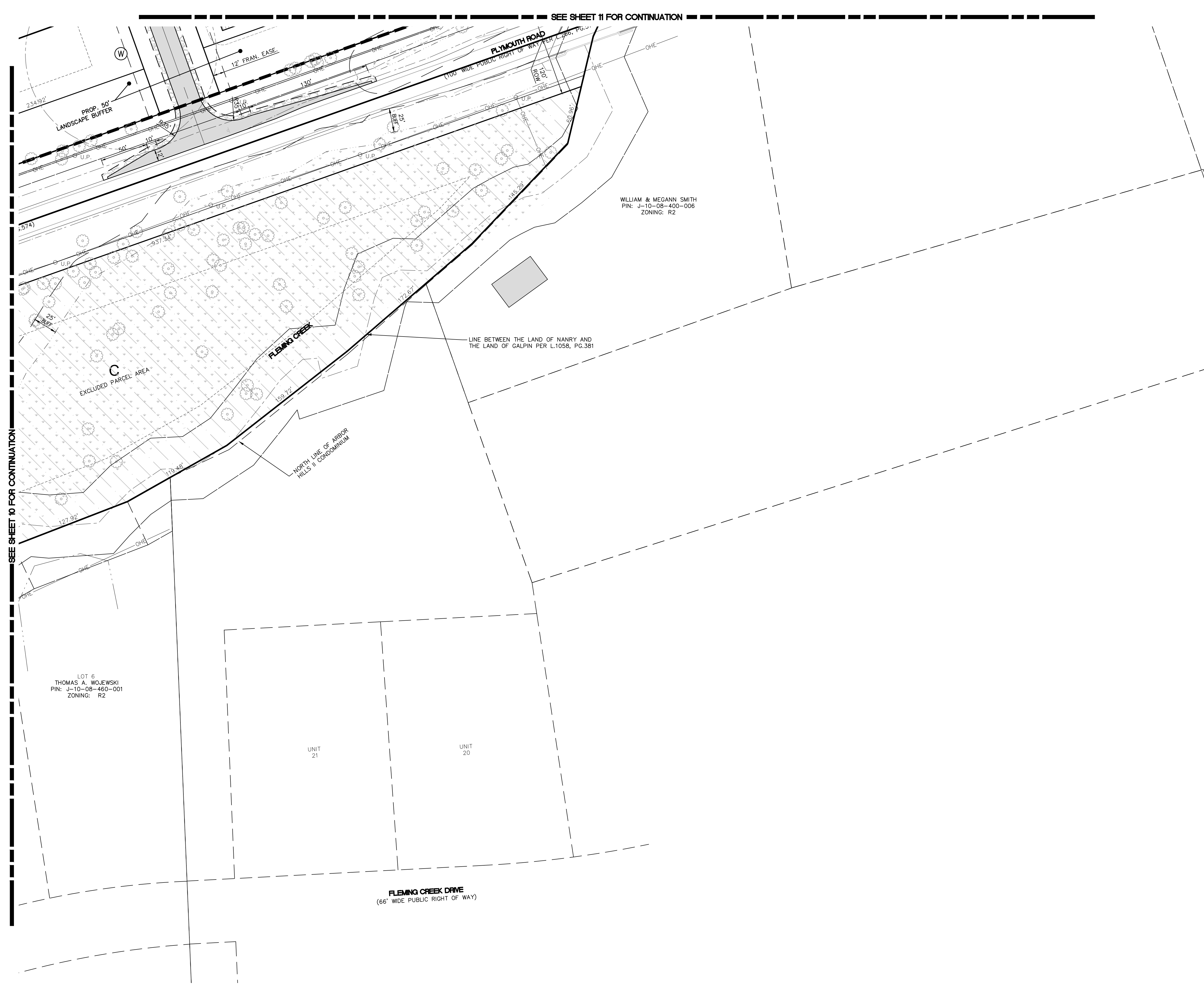
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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	CLIENT
SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN	LOMBARDO HOMES
KINSLEY DEVELOPMENT	FINAL SITE PLAN	DATE
LAYOUT PLAN AREA 3	APRIL 18, 2023	5/30/23 PER WCRC
		7/11/23 PER TWP
		8/10/23 PER WCD/WCRC
		10/27/23 PER WCD/WCRC
		11/30/23 PER WCRC
		1/12/24 PER WCRC
		REVISIONS
		SCALE 0 25 50
		1" = 50 FEET
		DR. SK CH. MC
		P.M. MC
		BOOK ---
		JOB 21002863
		SHEET NO.
		11



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SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
LAYOUT PLAN AREA 4

DATE
APRIL 18, 2023

5/30/23 PER WCWRC
7/11/23 PER TWP
8/10/23 PER WCHD/WCRC
10/27/23 PER WCHD/WCRC
11/30/23 PER WCRC
1/12/24 PER WCWRC

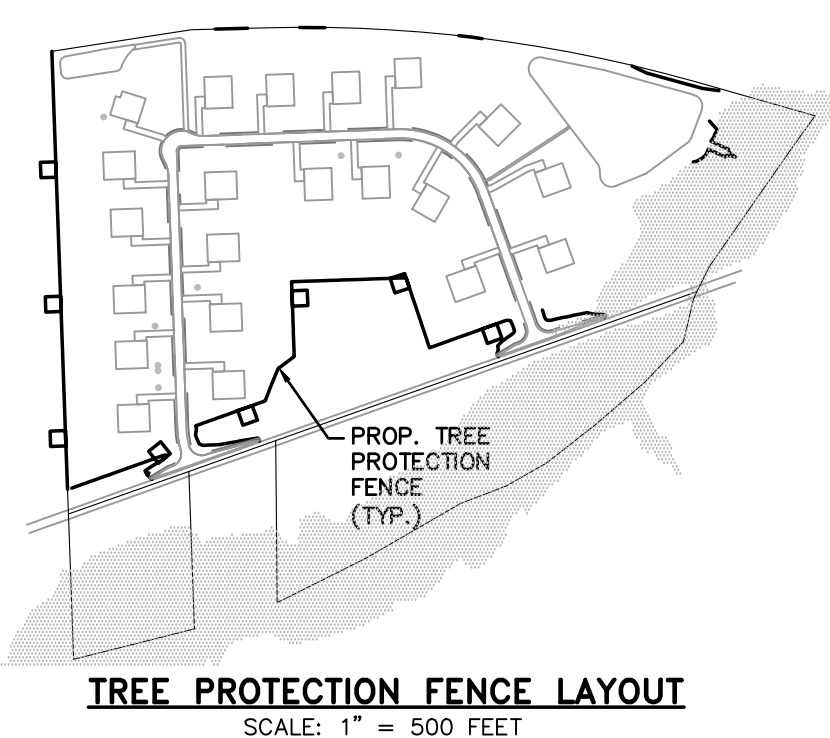
REVISIONS

SCALE	0	25	50
1" =			50 FEET
DR.	SK	CH.	MC
P.M.	MC		
BOOK	--		
JOB	21002863		
SHEET NO.			

12

LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	PROP. SETBACK
	PROP. LOT LINE
	PROP. ROAD CENTERLINE
	PROP. BACK OF CURB
	PROP. ASPH.
	PROP. GRAVEL
	PROP. DETENTION
	PROP. EASEMENT
	PROP. WELL
	PROP. OBSERVATION WELL
	PROP. TEST WELL
	DRY/ABANDONED WELL
	PROP. SEPTIC FIELD
	P = PRIMARY
	E = EXPANSION
	PROP. CONDOMINIUM BOUNDARY



LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
	EXIST. GAS
	EXIST. STORM
	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	PROP. SETBACK
	PROP. EDGE OF ASPHALT
	PROP. LOT LINE
	PROP. DETENTION
	PROP. EASEMENT
	PROP. CONTOUR
	GRADING LIMITS
	PROP. STORM SEWER
	PROP. CULVERT
	PROP. CATCH BASIN/INLET
	PROP. BUILDING
	PROP. EROSION FILTER
	PROP. TREE PROTECTION FENCE
	PROP. SILT FENCE

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

1. THE CONDOMINIUM ASSOCIATION SHALL BE FIRST IN LINE OF RESPONSIBILITY FOR MAINTAINING ALL OF ROAD STORM SEWERS AND DETENTION BASINS.
2. A CHAPTER 18 DRAINAGE DISTRICT WILL BE ESTABLISHED FOR THE ENTIRE PROJECT GIVING THE WCRC STATUTORY AUTHORITY FOR ULTIMATE RESPONSIBILITY.
3. SILT SACKS TO BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS. BEAVER DAMS ARE TO BE USED IN ADDITION TO SILT SACKS FOR ALL CURB-STYLE CATCH BASINS. STORM SEWER CATCH BASINS ARE TO BE PROTECTED WITH THE FOLLOWING PRODUCT OR APPROVED EQUAL:
 - 3.1. REGULAR FLOW SILT SACK (FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF).
 - 3.2. HI-FLOW SILT SACK (FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF).
 - 3.3. OIL-ABSORBANT SILT SACK (FOR AREAS WHERE THERE IS A CONCERN FOR OIL RUN-OFF OR SPILLS).
4. DETENTION BASINS SHALL BE SEEDDED AND STABILIZED IMMEDIATELY UPON ACHIEVING FINAL GRADE AND FOLLOWING WCRC APPROVED SPECIFICATIONS.
5. RESTORATION AND STABILIZATION OF ALL DISTURBED AREAS, INCLUDING PLACEMENT OF TOPSOIL, SOIL, SEED, FERTILIZER AND MULCH AND/OR SOD SHALL BE COMPLETED WITHIN FIVE (5) DAYS OF THE COMPLETION OF FINAL GRADE.
6. IF SOIL STOCKPILING IS NECESSARY AND/OR CREATED, SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE PERIMETER OF THE STOCKPILE IF THE STOCKPILE WILL BE ON-SITE FOR AN EXTENDED PERIOD OF TIME.
7. EROSION CONTROL BLANKET TO BE UTILIZED ON ALL DISTURBED SLOPES WITH A FINISHED GRADE STEEPER THAN 4:1.
8. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.
9. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHALL BE KEPT TO THE SHORTEST PERIOD OF TIME.
10. TEMPORARY VEGETATION AND/OR MULCHING SHALL BE USED TO PROTECT CRITICAL AREAS EXPOSED DURING DEVELOPMENT.
11. THE PERMANENT FINAL VEGETATION AND STRUCTURES SHALL BE INSTALLED AS SOON AS PRACTICAL IN DEVELOPMENT.
12. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP AND THE WASHTENAW COUNTY DRAIN COMMISSIONER.
13. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR. PERIODIC INSPECTIONS MAY BE MADE BY THE OWNER/PROJECT ENGINEER/TOWNSHIP TO DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES. ANY NECESSARY CORRECTIONS SHALL BE MADE WITHOUT DELAY BY THE ON-SITE RESPONSIBLE INDIVIDUAL.
14. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
15. EROSION AND ANY SEDIMENTATION CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
16. A WATER TRUCK SHALL BE AVAILABLE TO WATER DOWN THE SITE ON A DAILY BASIS FOR DUST CONTROL.
17. ALL MUD/DIRT TRACKED ONTO EXISTING COUNTY ROADS FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR/BUILDER, AS DIRECTED BY THE TOWNSHIP. MUD MAT DAILY MAINTENANCE WILL INCLUDE THE ADDITION OF EXTRA LAYERS OF STONE AS NECESSARY.
18. DURING CONSTRUCTION OF THE STORM SEWER SYSTEM, STRAW BALES, STONE FILTERS OR OTHER APPROVED MEANS, WILL PROTECT THE ENDS OF ALL OPEN PIPES.
19. PROMPTLY UPON THE BACKFILLING OF STORM STRUCTURES, INLET FILTERS WILL BE PLACED AROUND THE STRUCTURE PER DETAILS.
20. ANY REMAINING DENuded AREA SHALL BE SEEDDED AND MULCHED WITHIN 5 DAYS AFTER COMPLETION OF FINAL GRADING. SEED MIX AND APPLICATION RATES SHALL BE PER MDOT CLASS A SED.
21. SHOULD DEWATERING BE NECESSARY, DISCHARGE SHALL BE ROUTED THROUGH A SEDIMENT FOREBAY, FILTER BAG OVER A WELL VEGETATED AREA OR OTHER APPROVED FILTERING MECHANISM PRIOR TO BEING DISCHARGED FROM THE SITE. DISCHARGE MUST BE LIMITED TO A NON-EROSIVE VELOCITY.
22. SOIL EROSION WILL BE CONTROLLED DURING AND AFTER CONSTRUCTION TO PROTECT ADJACENT PROPERTIES OR FACILITIES.
23. ALL EXISTING AND PROPOSED CULVERTS AND STORM PIPES ALONG ANN ARBOR-SALINE ROAD MUST BE KEPT FREE OF SEDIMENT.
24. SEED AND STABILIZE DETENTION BASINS IMMEDIATELY UPON ACHIEVING FINAL GRADE, AND FOLLOW WASHTENAW COUNTY WATER RESOURCE COMMISSION (WCRC) APPROVED SPECIFICATIONS.
25. STEEP SLOPES THAT DO NOT TAKE UPON INITIAL SEEDING MUST BE RE-SEEDDED AND STABILIZED WITH EROSION CONTROL BLANKET.
26. WHERE EXCAVATION HAS BEEN THROUGH LAWN AREAS, THE CONTRACTOR SHALL RESTORE THE DISTURBED AREA BY PLACING TOPSOIL AND SEEDING OR SODDING OVER THE FINAL BACKFILL MATERIAL.
27. IF DEWATERING IS NECESSARY, A DEWATERING PLAN MUST BE SUBMITTED PRIOR TO CONSTRUCTION.
28. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN THE SOIL EROSION CONTROL MEASURES AS SHOWN ON THE SESC PLANS AT ALL TIMES DURING CONSTRUCTION ON THIS PROJECT. ANY MODIFICATIONS OR ADDITIONS TO THE SOIL EROSION CONTROL MEASURE DUE TO CONSTRUCTION OR CHANGED CONDITIONS, SHALL BE COMPLIED WITH AS REQUIRED OR DIRECTED BY THE OWNER, PROJECT ENGINEER, OR SUPERIOR TOWNSHIP.
29. ALL SOIL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE PERMIT REQUIREMENTS OF SUPERIOR TOWNSHIP AND THE LAWS OF THE STATE OF MICHIGAN.
30. AN NPDES CONSTRUCTION ACTIVITY PERMIT IS REQUIRED FOR ALL SITES GREATER THAN FIVE (5) ACRES.
31. CONSTRUCTION OPERATIONS SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE SOIL EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION IN CRITICAL AREAS, AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING OPERATIONS.
32. SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND REMOVAL OF SOME UPON AUTHORIZED COMPLETION OF PROJECT. COMPLETION OF PROJECT WILL NOT BE AUTHORIZED UNTIL ALL SITE WORK, HOME BUILDING, ROAD WORK, AND UTILITY CONSTRUCTION IS COMPLETE AND ALL SOILS ARE STABILIZED.
34. THE CONTRACTOR SHALL NOT GRADE IN EXISTING WETLAND OR CONSERVATION AREAS TO BE PROTECTED. SILT FENCE SHALL BE INSTALLED AND MAINTAINED ADJACENT TO EXISTING WETLAND AND CONSERVATION AREAS TO PREVENT GRADING, EROSION, AND SEDIMENTATION INTO THEM.
35. TREE PROTECTION FENCING MUST REMAIN INTACT UNTIL RESTORATION OF THE SITE IS COMPLETE.
36. SEED OR SOD IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
37. ALL AREAS OF DISTURBED EARTH THAT ARE NOT TO BE PAVED OR SODDED SHALL HAVE 4 INCHES OF TOPSOIL, SEED, FERTILIZER AND MULCH.
38. IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDDED AREAS WITH UNWEATHERED SMALL GRAIN STRAW (PREFERABLY WHEAT) OR HAY SPREAD, SPREAD UNIFORMLY AT THE RATE OF 1-1/2 TO 2 TONS OR 100 POUNDS (2 TO 3 BALES) PER 1,000 SQUARE FOOT. THIS MULCH SHOULD BE ANCHORED WITH A DISC-TYPE MULCH-ANCHORING TOOL.
39. ANY DISTURBED AREA NOT PAVED, SEEDDED OR MULCHED, SODDED OR BUILT UPON ON OR AFTER NOVEMBER 15TH, IS TO BE MULCHED IN THE MANNER AS SPECIFIED ABOVE, IN ORDER TO PROVIDE SOIL EROSION PROTECTION DURING THE WINTER AND EARLY SPRING.
40. ALL EROSION AND SEDIMENTATION CONTROL PREVENTION PROCEDURES AND STRUCTURES ARE TO COMPLY WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR THE WASHTENAW COUNTY SOIL CONSERVATION DISTRICT.
41. DURING CONSTRUCTION, ALL ROADS SHALL BE PROTECTED FROM UNVEGETATED AREAS WASHING ONTO ROAD SURFACES BY PLACEMENT OF SILT FENCE BEHIND CURB OR A 10-FOOT WIDE STRAW MULCH BANK BEHIND THE CURB OR OTHER APPROVED METHOD AND/OR AS SHOWN ON THE PLANS.
42. DURING CONSTRUCTION OF ANY PORTION OF THE PROJECT, ROADS SHALL BE MAINTAINED FREE OF DIRT, SILT, AND CONSTRUCTION.
43. AT THE TIME OF PLANT AND SEED DELIVERY, A WCRC LANDSCAPE REVIEWER MUST BE PRESENT. THE QUANTITY AND SPECIES DELIVERED WILL BE REVIEWED ON SITE. CONTACT CATIE WYTYCHAK AT WYTYCHAK@WASHTENAW.ORG OR (734) 222-6813 TO COORDINATE.

SITE INFORMATION

SITE LOCATION: SECTION 08, T.2S., R.7E., SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN
 ULTIMATE RECEIVING WATER: FLEMING CREEK
 1. SITE SOILS INFORMATION: PER THE NATIONAL RESOURCES CONSERVATION SERVICE (NRCS) SOIL SURVEY, WASHTENAW COUNTY, MICHIGAN.
 2. APPROXIMATE AREA OF DISTURBANCE: ±30.0 ACRES
 3. A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR AND WASHTENAW COUNTY SOIL EROSION OFFICE WILL BE REQUIRED PRIOR TO CONSTRUCTION ACTIVITIES.

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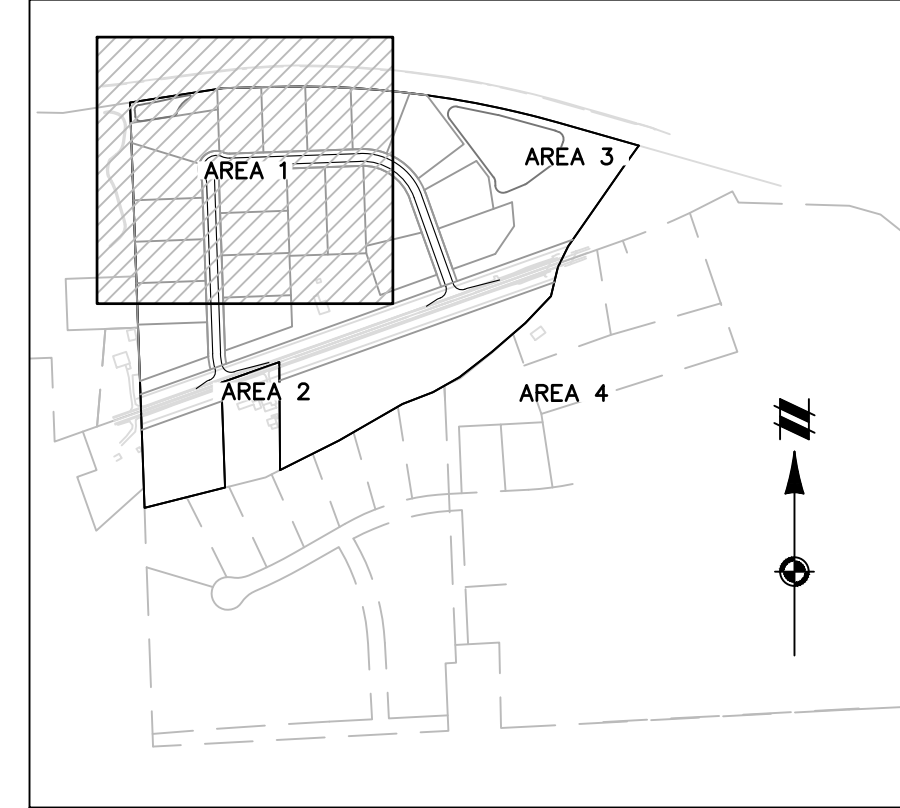
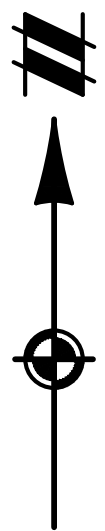
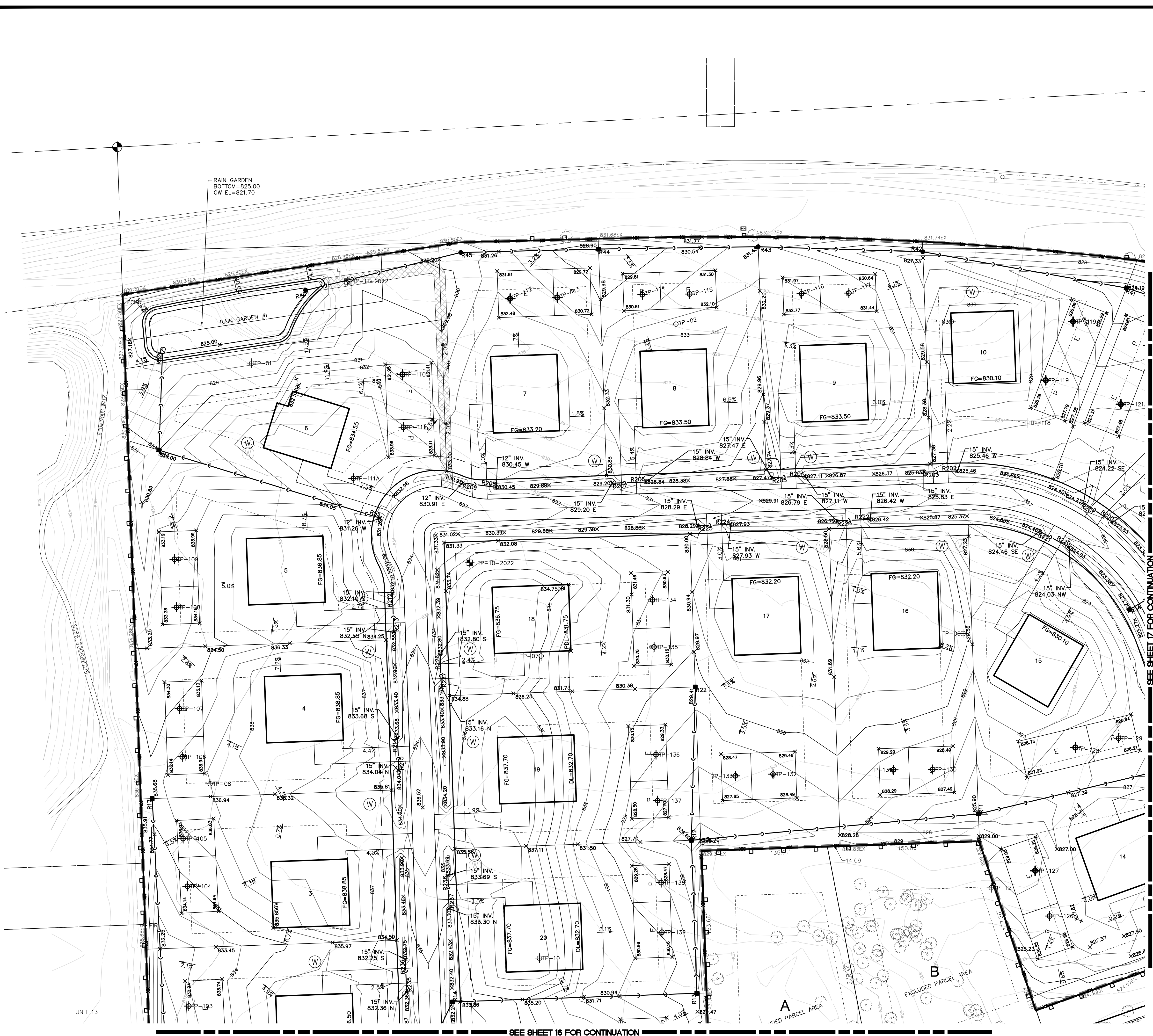
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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN																					
CLIENT	LOMBARDO HOMES	KINSLEY DEVELOPMENT	FINAL SITE PLAN																					
DATE	APRIL 18, 2023																							
REVISIONS	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>5/30/23</td> <td>PER WCRC</td> <td></td> </tr> <tr> <td>7/11/23</td> <td>PER TWP</td> <td></td> </tr> <tr> <td>8/10/23</td> <td>PER WCHD/WCRC/WCRC</td> <td></td> </tr> <tr> <td>10/27/23</td> <td>PER WCHD/WCRC</td> <td></td> </tr> <tr> <td>11/30/23</td> <td>PER WCRC</td> <td></td> </tr> <tr> <td>1/12/24</td> <td>PER WCRC</td> <td></td> </tr> </tbody> </table>			NO.	DATE	DESCRIPTION	5/30/23	PER WCRC		7/11/23	PER TWP		8/10/23	PER WCHD/WCRC/WCRC		10/27/23	PER WCHD/WCRC		11/30/23	PER WCRC		1/12/24	PER WCRC	
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DR.	SK	CH.	MC																					
P.M. MC																								
BOOK																								
JOB	21002863																							
SHEET NO.	13																							



KEYMAP
SCALE: 1" = 750 FEET

SEE SHEET 7 FOR CONTINUATION

SEE SHEET 16 FOR CONTINUATION

- NOTES:**
- REFER TO SHEET 36 FOR DRIVEWAY CULVERT DETAIL.
 - BASEMENT FLOOR ELEVATION BASED ON A 7'10" BASEMENT WALL HEIGHT.

LEGEND	
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	SECTION LINE
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	PROP. WELL

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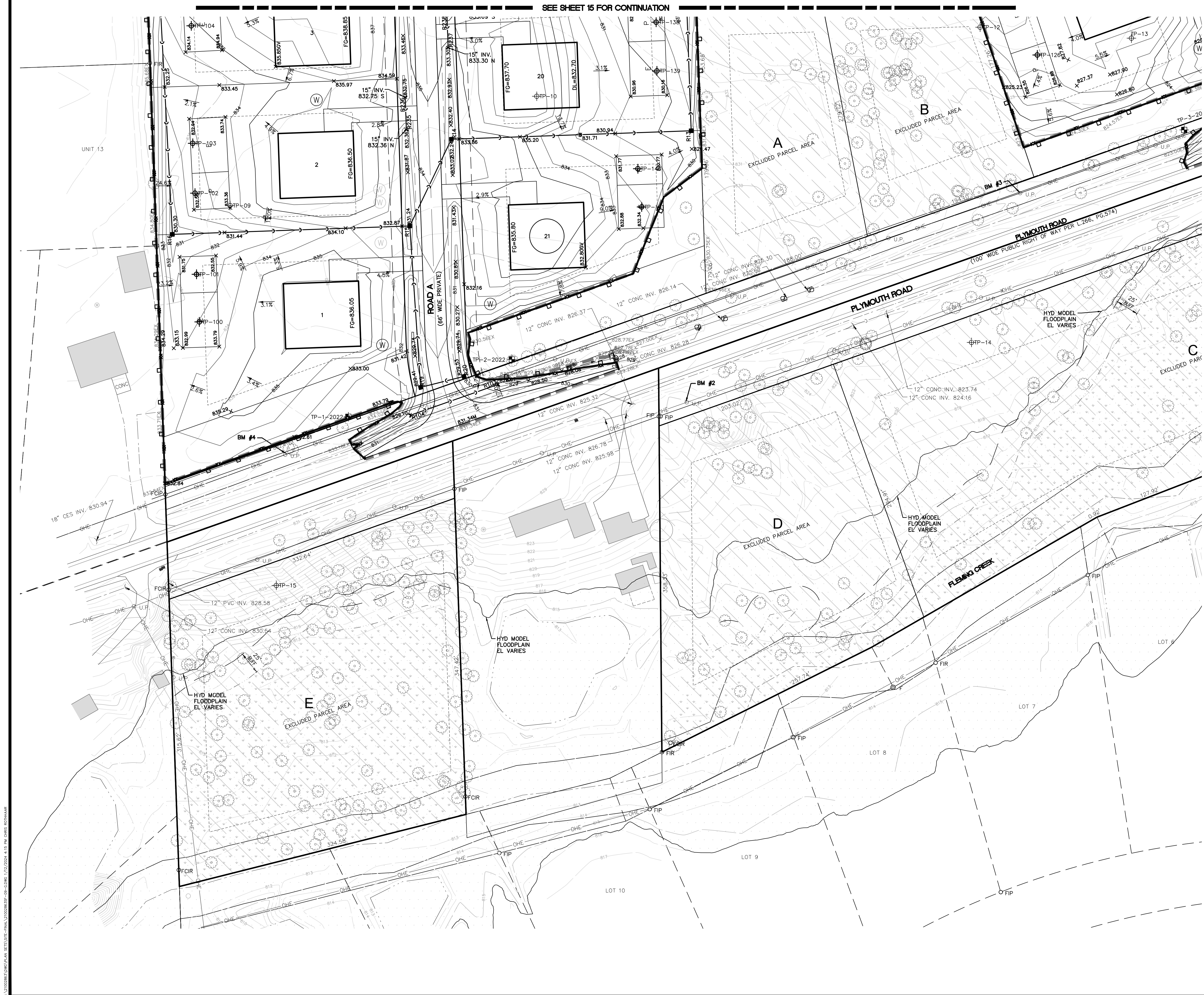
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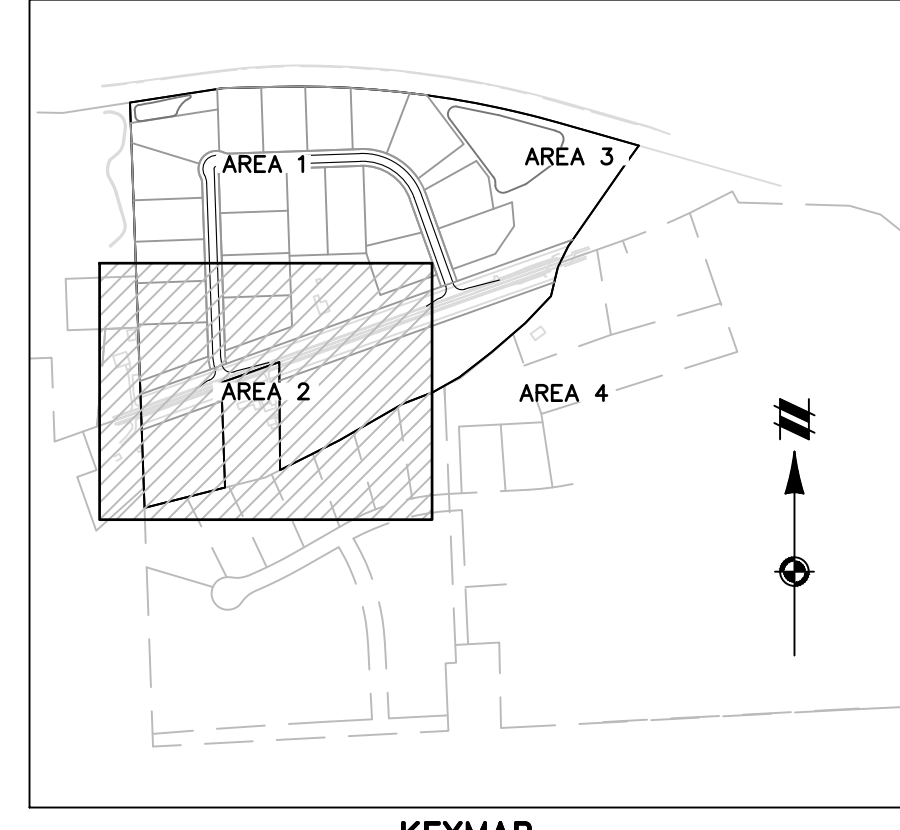
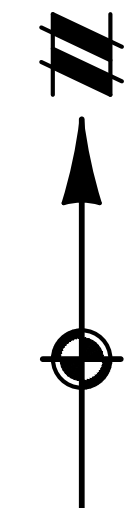
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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	SUPERIOR TOWNSHIP
CLIENT	LOMBARDO HOMES KINSLEY DEVELOPMENT	GRADING PLAN AREA 1
DATE	APRIL 18, 2023	
	5/30/23 PER WCRC	
	7/11/23 PER TWP	
	8/10/23 PER WCD/WCRC/WCRC	
	10/27/23 PER WCD/WCRC	
	11/30/23 PER WCRC	
	1/12/24 PER WCRC	
REVISIONS		
SCALE 0 25 50 1" = 50 FEET		
DR. SK	CH. MC	
P.M. MC		
BOOK ---		
JOB 21002863		
SHEET NO. 15		



SEE SHEET 15 FOR CONTINUATION



KEYMAP
SCALE: 1" = 750 FEET

SEE SHEET 18 FOR CONTINUATION

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 - BASEMENT FLOOR ELEVATION BASED ON A 7'10" BASEMENT WALL HEIGHT.

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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST
LOMBARDO HOMES	SUPERIOR TOWNSHIP
KINSLEY DEVELOPMENT	WASHTENAW COUNTY, MICHIGAN
FINAL SITE PLAN	GRADING PLAN AREA 2

CLIENT: LOMBARDO HOMES

DATE: APRIL 18, 2023

5/30/23	PER WCRC
7/11/23	PER TWP
8/10/23	PER WCHD/WCRC
10/27/23	PER WCHD/WCRC
11/30/23	PER WCRC
1/12/24	PER WCRC

REVISIONS

SCALE	0	25	50
	1" = 50 FEET		

DR. SK CH. MC
BOOK --
JOB 21002863
SHEET NO. 16



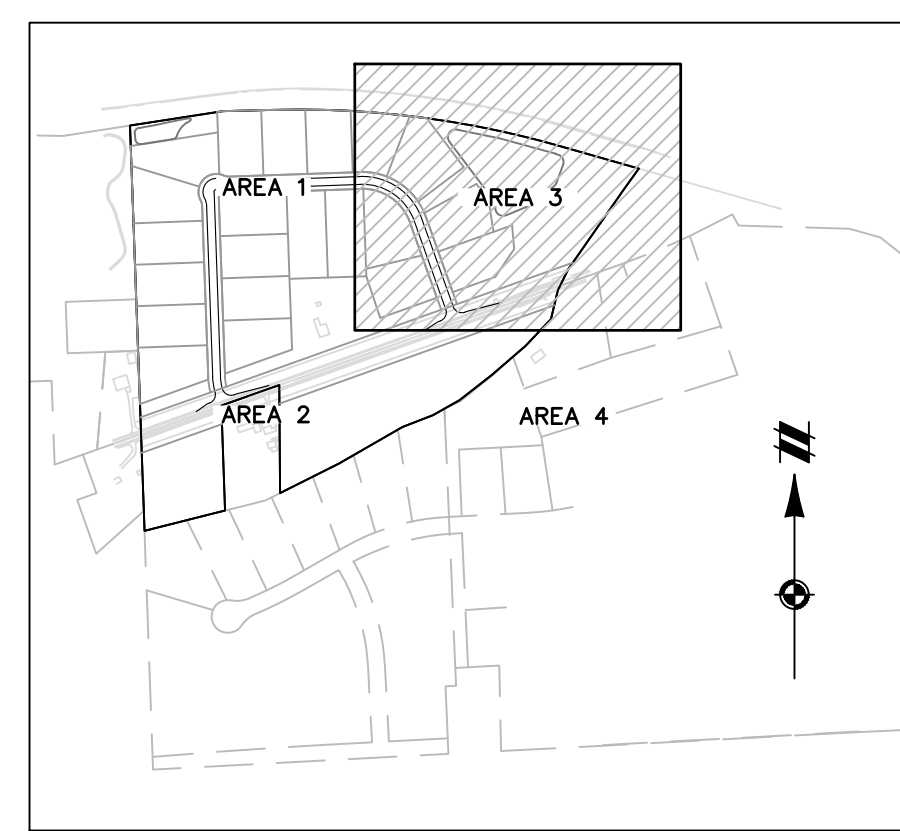
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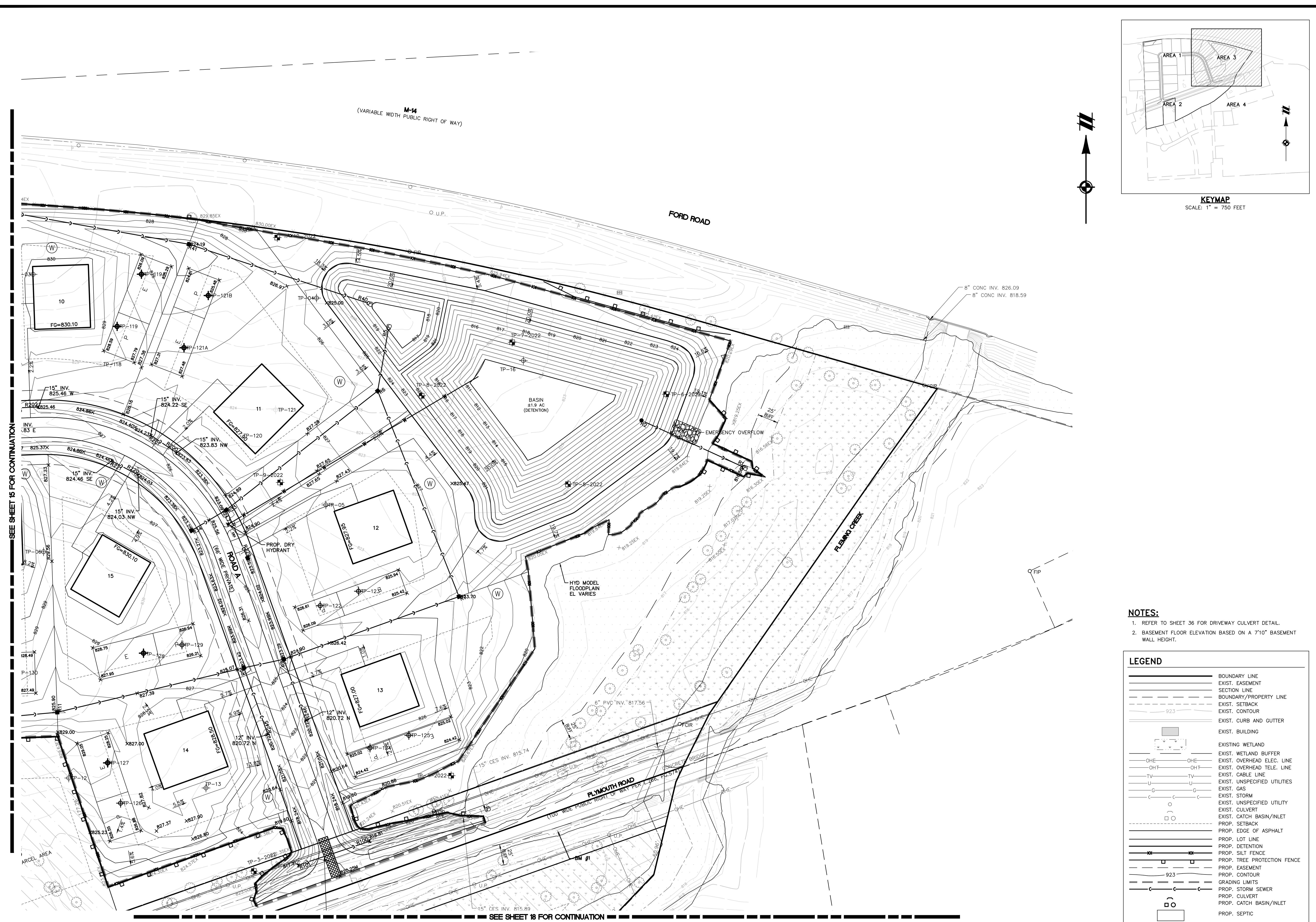
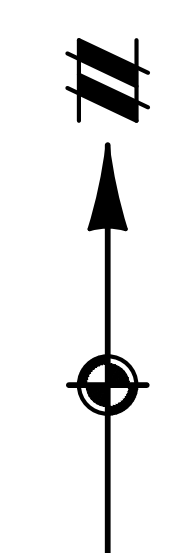
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KEYMAP
SCALE: 1" = 750 FEET



SEE SHEET 18 FOR CONTINUATION

SEE SHEET 18 FOR CONTINUATION

NOTES:

- REFER TO SHEET 36 FOR DRIVEWAY CULVERT DETAIL.
- BASEMENT FLOOR ELEVATION BASED ON A 7'10" BASEMENT WALL HEIGHT.

LEGEND

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SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
GRADING PLAN AREA 3

DATE
APRIL 18, 2023

5/30/23	PER WCRC
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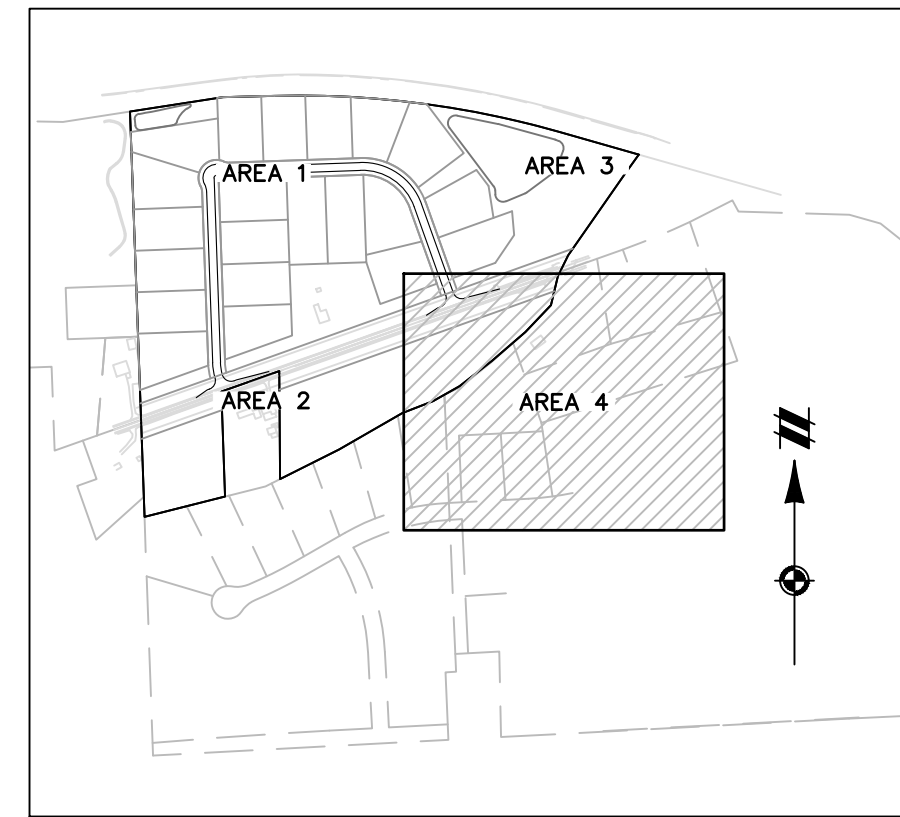
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SCALE	0	25	50
	1" = 50 FEET		
DR.	SK	GH	MC
BOOK	---		
JOB	21002863		
SHEET NO.	17		



SEE SHEET 16 FOR CONTINUATION

SEE SHEET 17 FOR CONTINUATION



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 - BASEMENT FLOOR ELEVATION BASED ON A 7'10" BASEMENT WALL HEIGHT.

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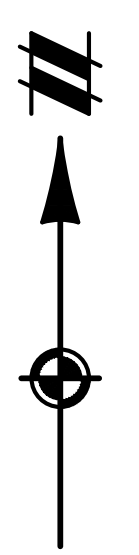
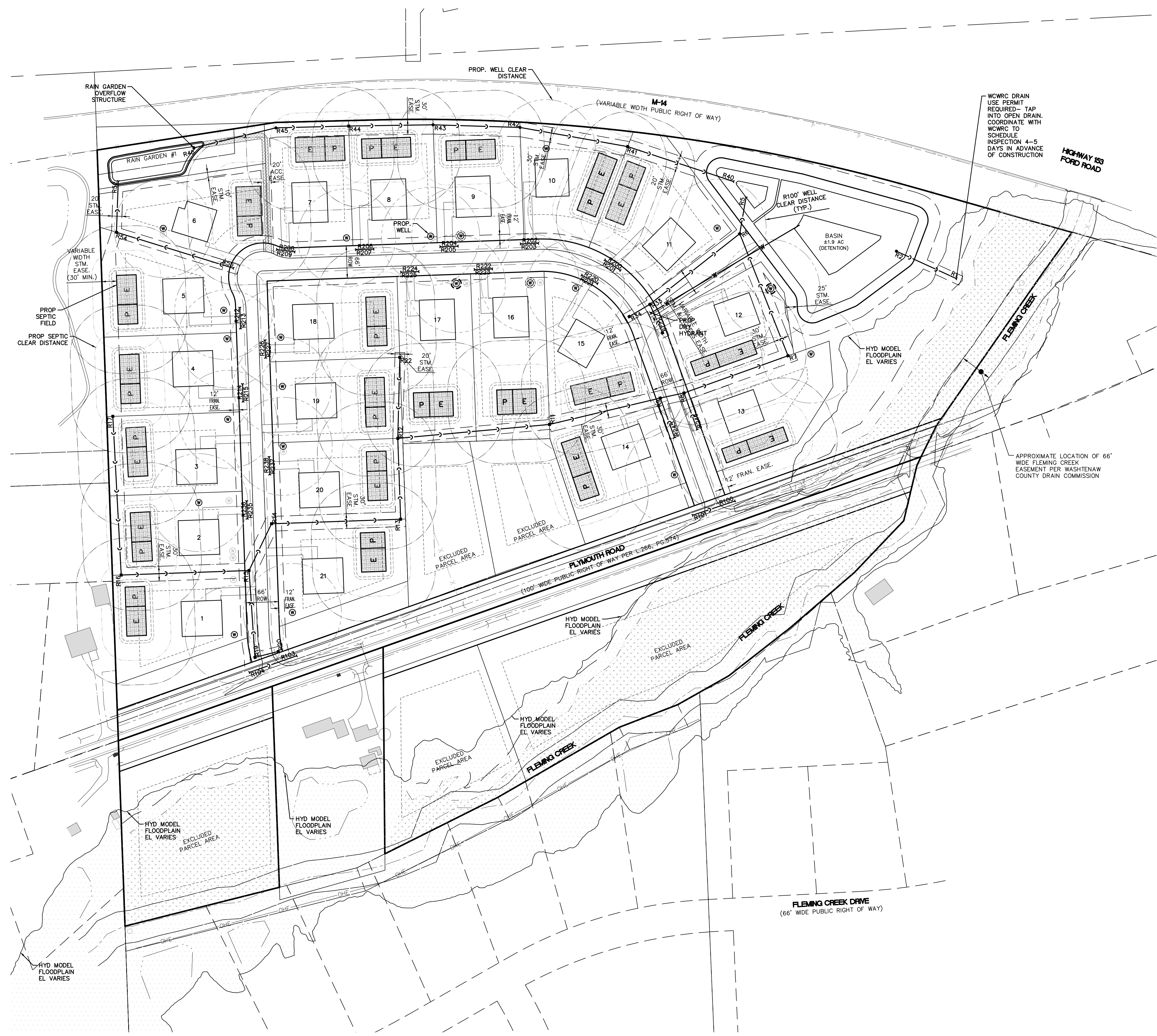
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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	CLIENT																		
SUPERIOR TOWNSHIP	LOMBARDO HOMES	KINSLEY DEVELOPMENT																		
WASHTENAW COUNTY, MICHIGAN	FINAL SITE PLAN	GRADING PLAN AREA 4																		
DATE																				
APRIL 18, 2023																				
<table border="0" style="width: 100%;"> <tr> <td style="width: 33%;">5/30/23</td> <td style="width: 33%;">PER WCWRC</td> <td style="width: 33%;"></td> </tr> <tr> <td>7/11/23</td> <td>PER TWP</td> <td></td> </tr> <tr> <td>8/10/23</td> <td>PER WCHD/WCRC</td> <td></td> </tr> <tr> <td>10/27/23</td> <td>PER WCHD/WCRC</td> <td></td> </tr> <tr> <td>11/30/23</td> <td>PER WCRC</td> <td></td> </tr> <tr> <td>1/12/24</td> <td>PER WCWRC</td> <td></td> </tr> </table>			5/30/23	PER WCWRC		7/11/23	PER TWP		8/10/23	PER WCHD/WCRC		10/27/23	PER WCHD/WCRC		11/30/23	PER WCRC		1/12/24	PER WCWRC	
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SCALE	0 25 50																			
	1" = 50 FEET																			
DR. SK	CH. MC	P.M. MC																		
BOOK																				
JOB	21002863																			
SHEET NO.	18																			



UTILITY NARRATIVE
 ALL STORM SEWER, BMP'S AND DETENTION BASIN WILL BE INSTALLED DURING MASS GRADING OF THE SITE. SEPTIC TANKS AND FIELDS AND WELLS WILL BE INSTALLED DURING INDIVIDUAL HOME CONSTRUCTION.

NOTES
 1. ALL STORM SEWER SHALL BE PLACED IN MINIMUM 20' WIDE DRAINAGE EASEMENTS.
 2. WCWRC DRAIN USE PERMIT REQUIRED - TAP INTO OPEN DRAIN. COORDINATE WITH WCWRC TO SCHEDULE INSPECTION 4-5 DAYS IN ADVANCE OF CONSTRUCTION.

LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
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	PROP. SCH 40 WATER MAIN
	PROP. DRY HYDRANT
	PROP. SEPTIC
	PROP. WELL
	PROP. OBSERVATION WELL
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SECTION 08
 TOWN 02 NORTH, RANGE 07 EAST
 SUPERIOR TOWNSHIP
 WASHTEENAW COUNTY, MICHIGAN

CLIENT: LOMBARDO HOMES
 KINSLEY DEVELOPMENT
 FINAL SITE PLAN
 OVERALL UTILITY PLAN

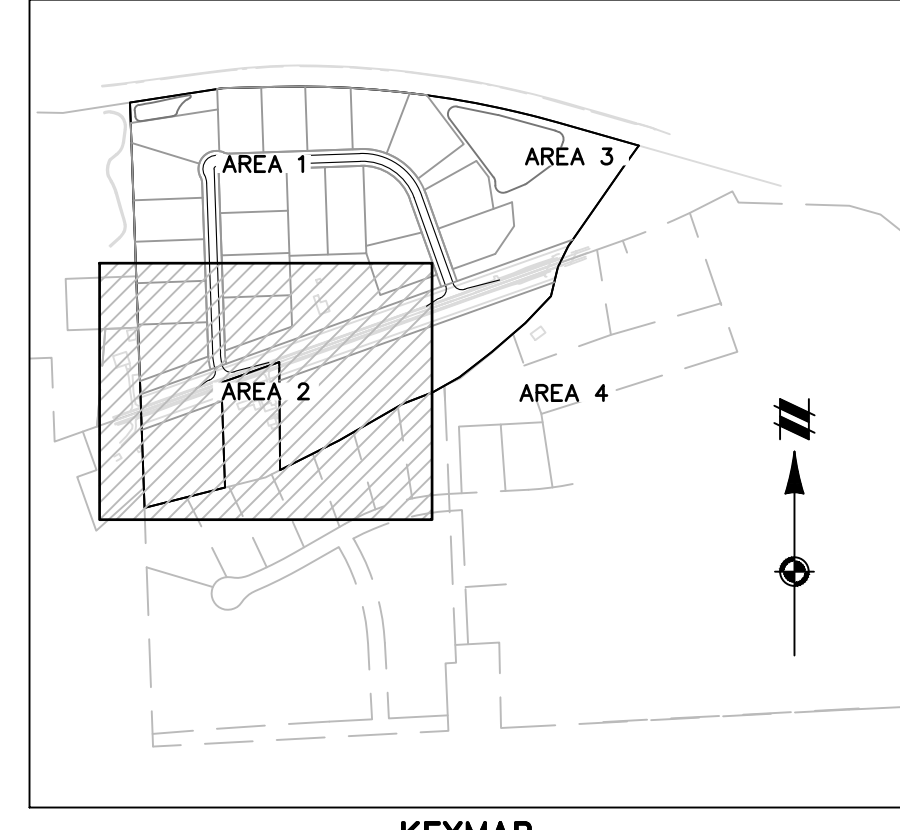
DATE: APRIL 18, 2023

5/30/23	PER WCWRC
7/11/23	PER TWP
8/10/23	PER WCD/WCRC/WCRC
10/27/23	PER WCD/WCRC
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1/12/24	PER WCWRC

REVISIONS

SCALE	0	50	100
1" = 100 FEET			
DR.	SK	CH.	MC
BOOK	---		
JOB	21002863		
SHEET NO.	19		

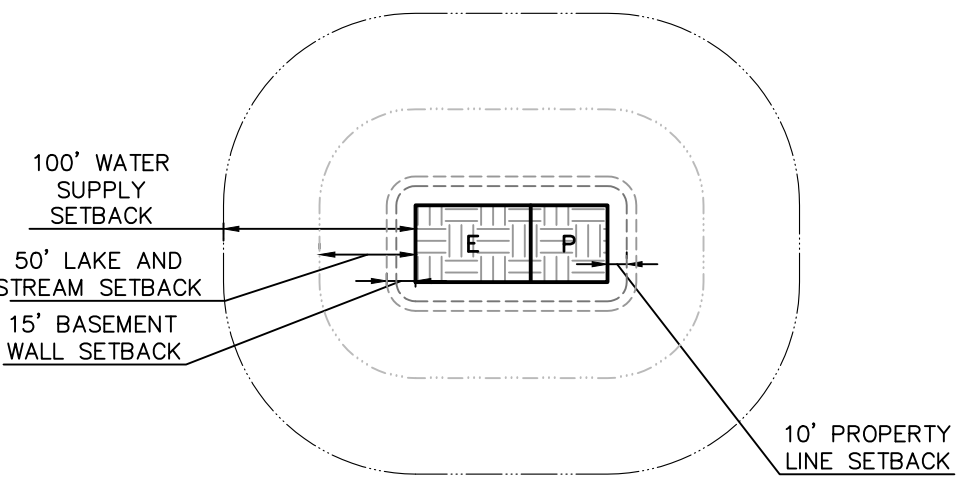
SEE SHEET 20 FOR CONTINUATION



KEYMAP
SCALE: 1" = 750 FEET



SEE SHEET 20 FOR CONTINUATION



SEPTIC SETBACK DETAIL
NO SCALE

LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
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	EXIST. SETBACK
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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	CLIENT	LOMBARDO HOMES
		DATE	APRIL 18, 2023
		REVISIONS	
		SCALE	0 25 50 1" = 50 FEET
		DR.	SK CH. MC
		BOOK	---
		JOB	21002863
		SHEET NO.	21

TOWNSHIP SUPERIOR
COUNTY WASHTEENAW, MICHIGAN

UTILITY PLAN AREA 2



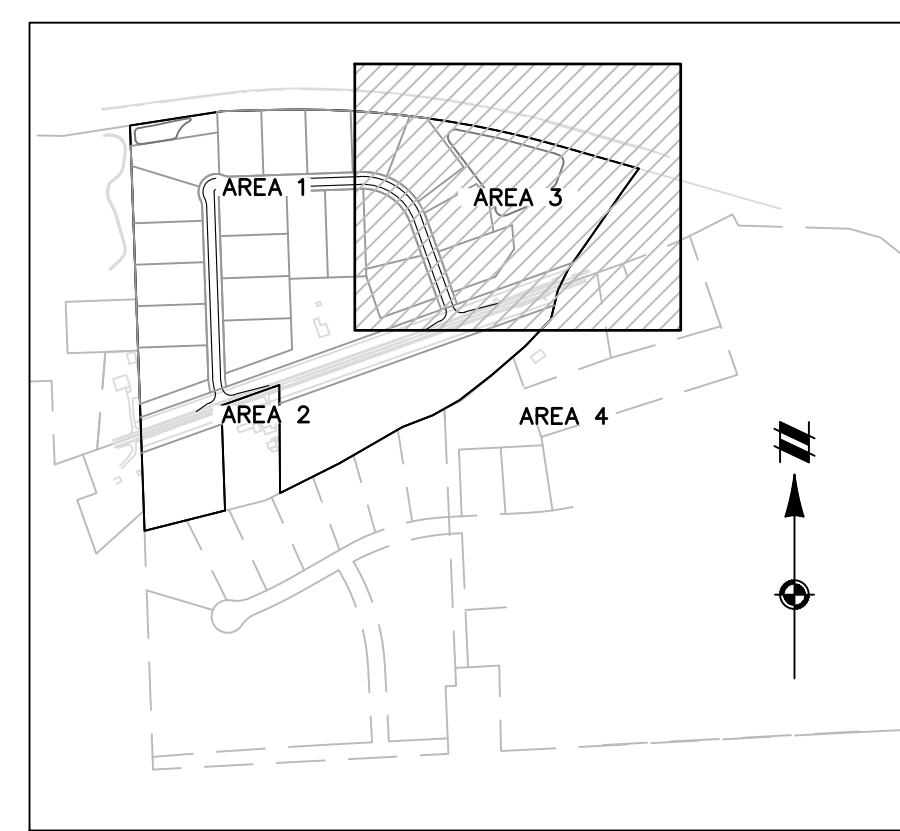
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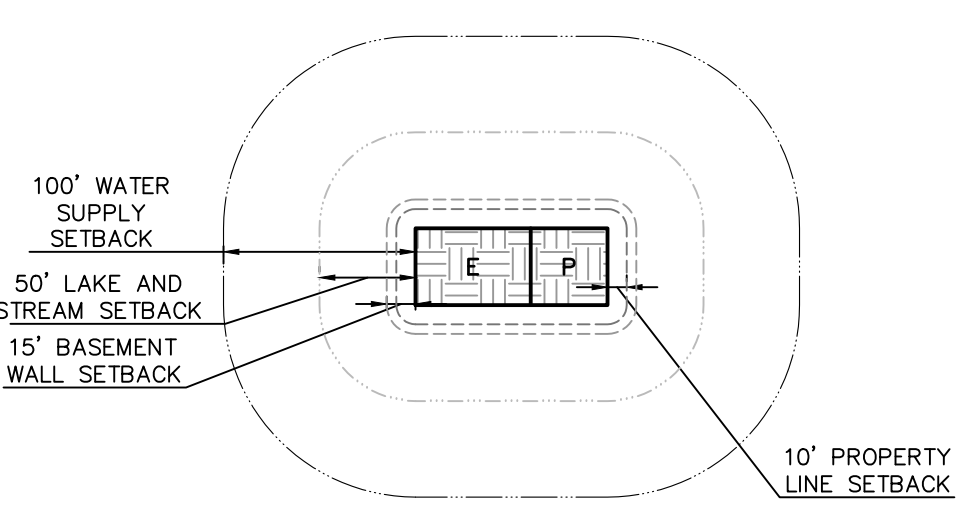
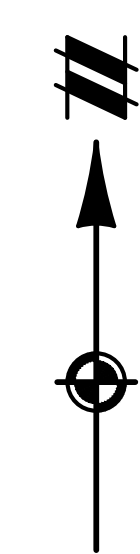
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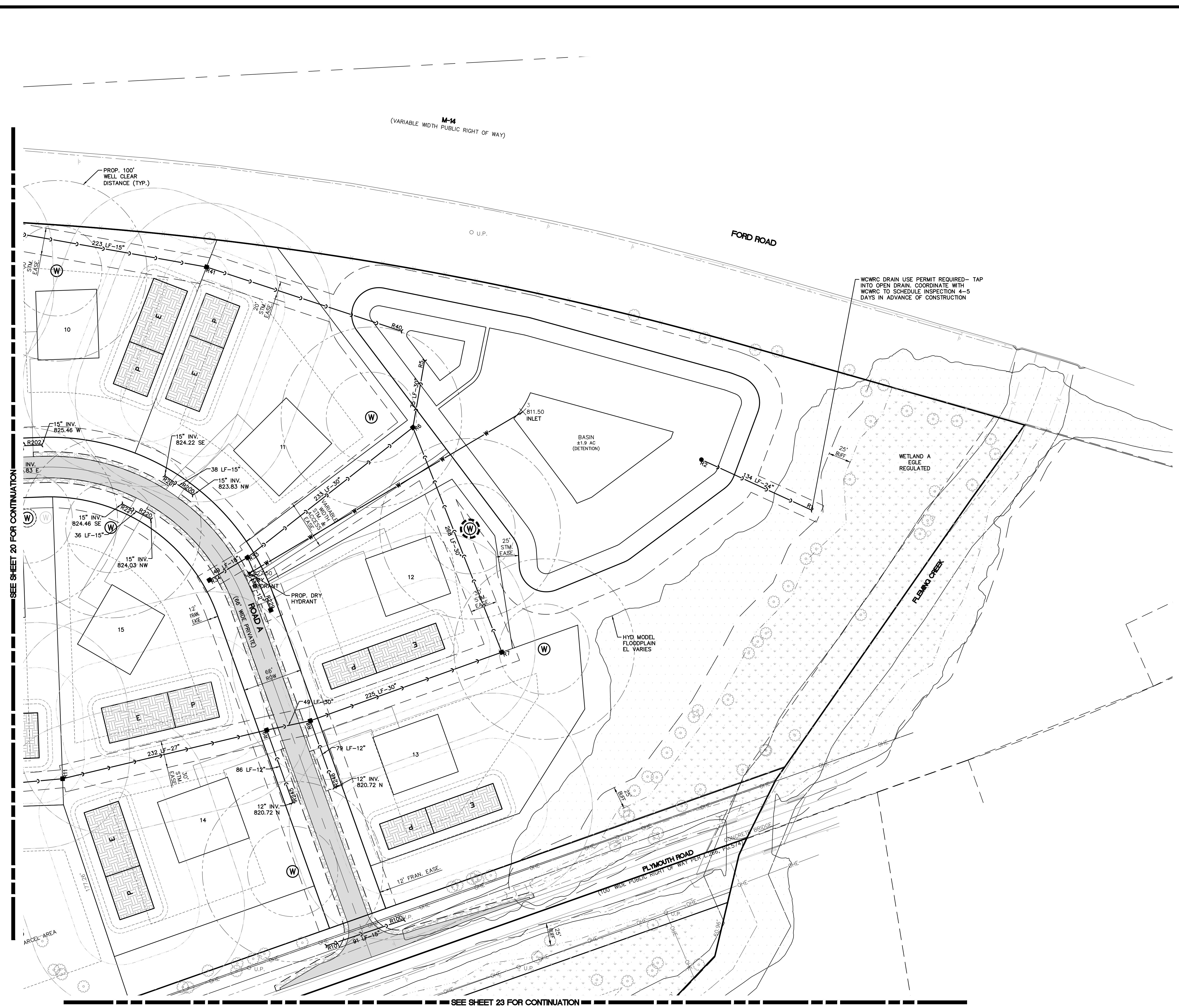


KEYMAP
SCALE: 1" = 750 FEET



SEPTIC SETBACK DETAIL
NO SCALE

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	EXIST. EASEMENT
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	PROP. SEPTIC
	PROP. WELL
	PROP. OBSERVATION WELL
	PROP. TEST WELL



SEE SHEET 20 FOR CONTINUATION

SEE SHEET 23 FOR CONTINUATION

SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
UTILITY PLAN AREA 3

DATE
APRIL 18, 2023

5/30/23 PER WCWR
7/11/23 PER TWP
8/10/23 PER WCD/WCRC/WCRC
10/27/23 PER WCD/WCRC
11/30/23 PER WCRC
1/12/24 PER WCWR

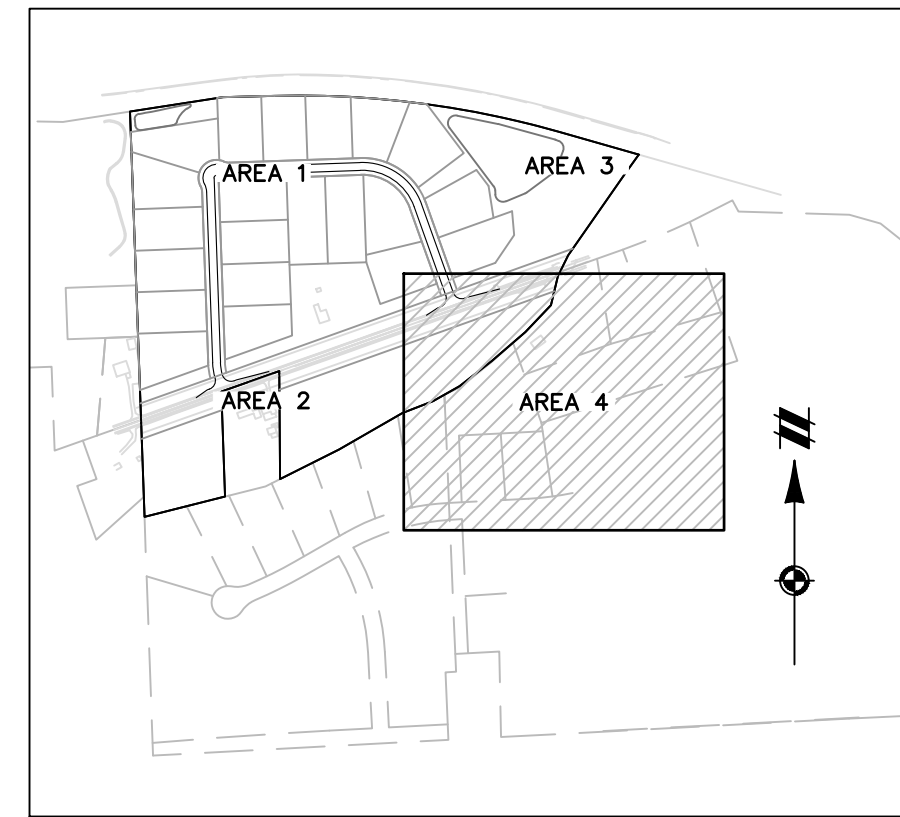
REVISIONS
SCALE 0 25 50
1" = 50 FEET

DR. SK CH. MC
BOOK --
JOB 21002863
SHEET NO.

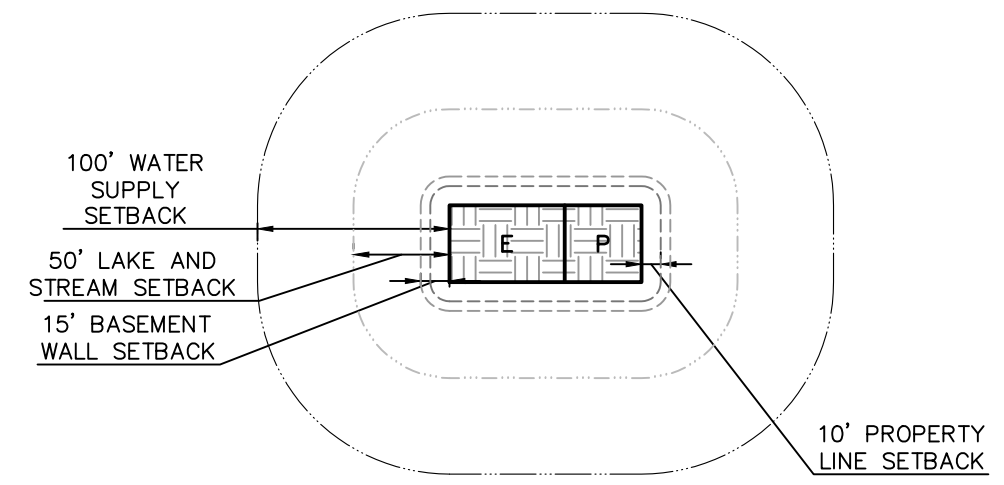
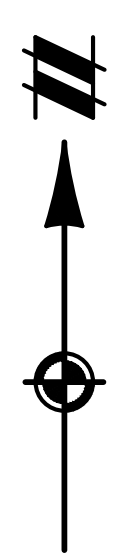


SEE SHEET 21 FOR CONTINUATION

SEE SHEET 22 FOR CONTINUATION



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SCALE: 1" = 750 FEET



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NO SCALE

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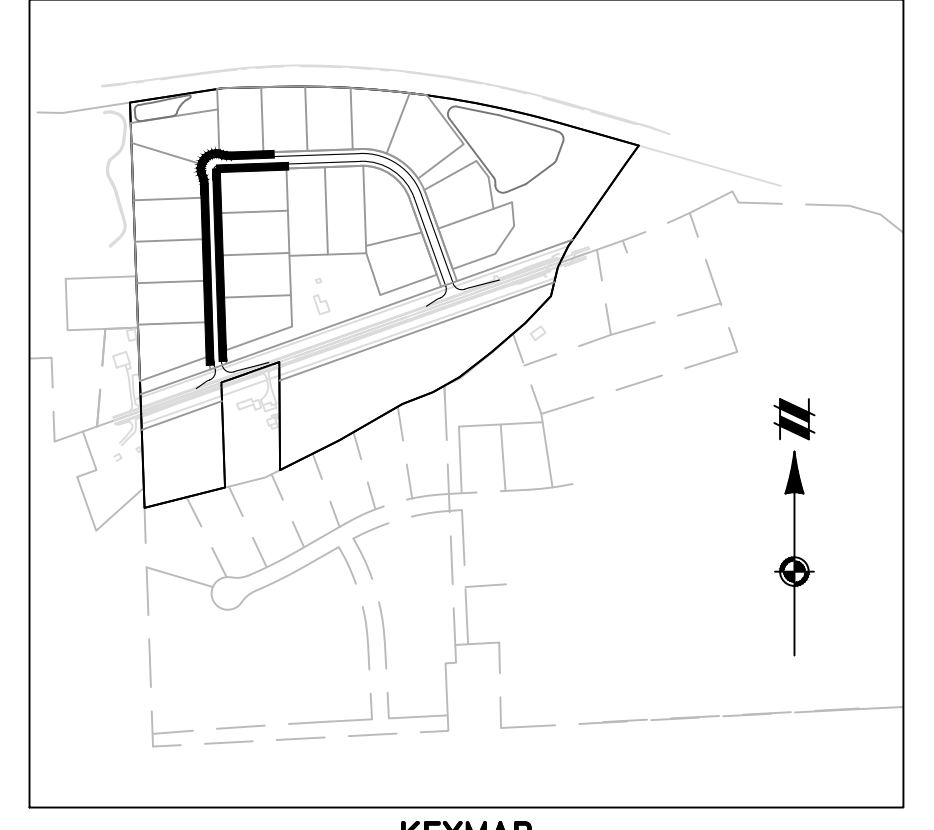
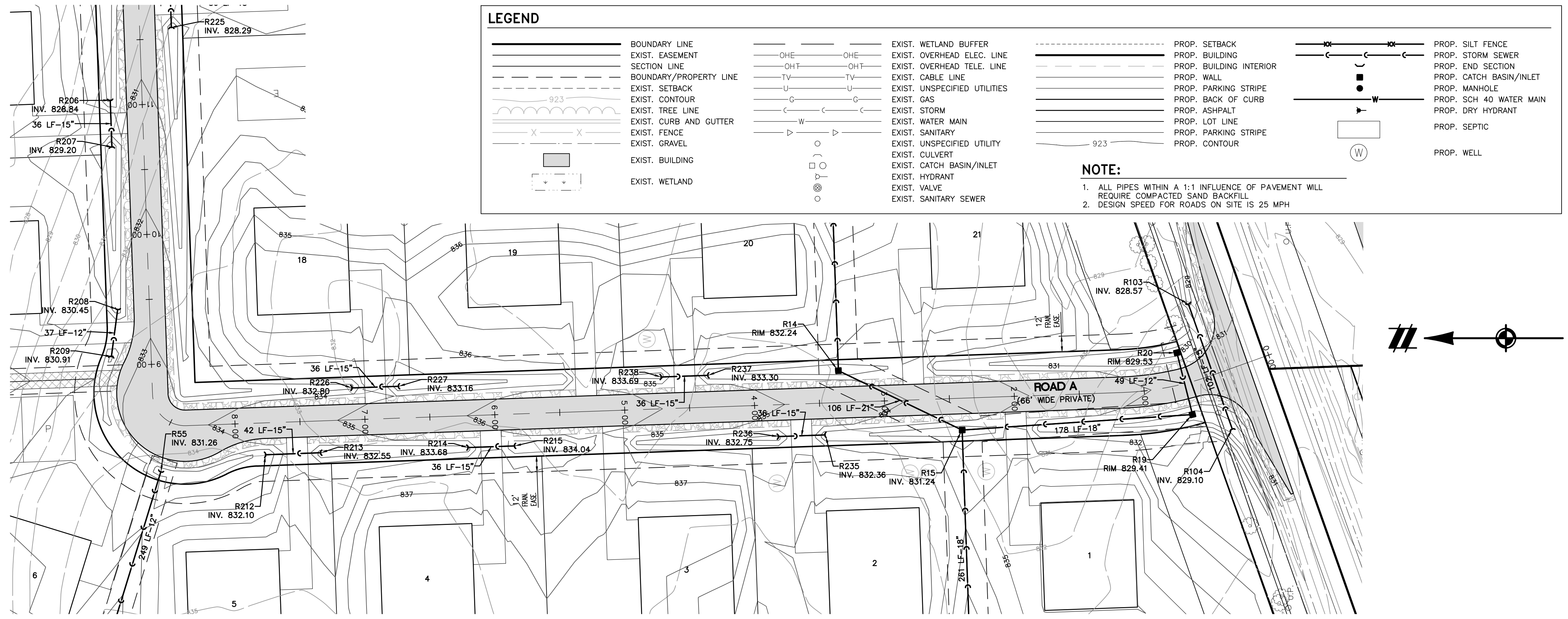
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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	SUPERIOR TOWNSHIP
CLIENT	LOMBARDO HOMES	WASHTENAW COUNTY, MICHIGAN
DATE	APRIL 18, 2023	
PROJECT	KINSLEY DEVELOPMENT FINAL SITE PLAN	
REVISIONS	UTILITY PLAN AREA 4	
SCALE	0 25 50 1" = 50 FEET	
DR.	SK	CH. MC
P.M.	MC	
BOOK	--	
JOB	21002863	
SHEET NO.	23	



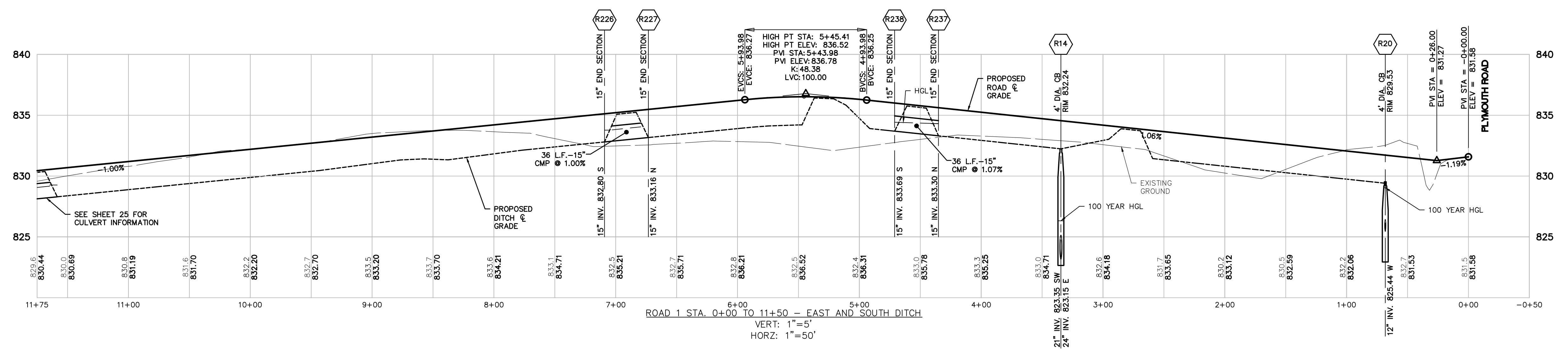
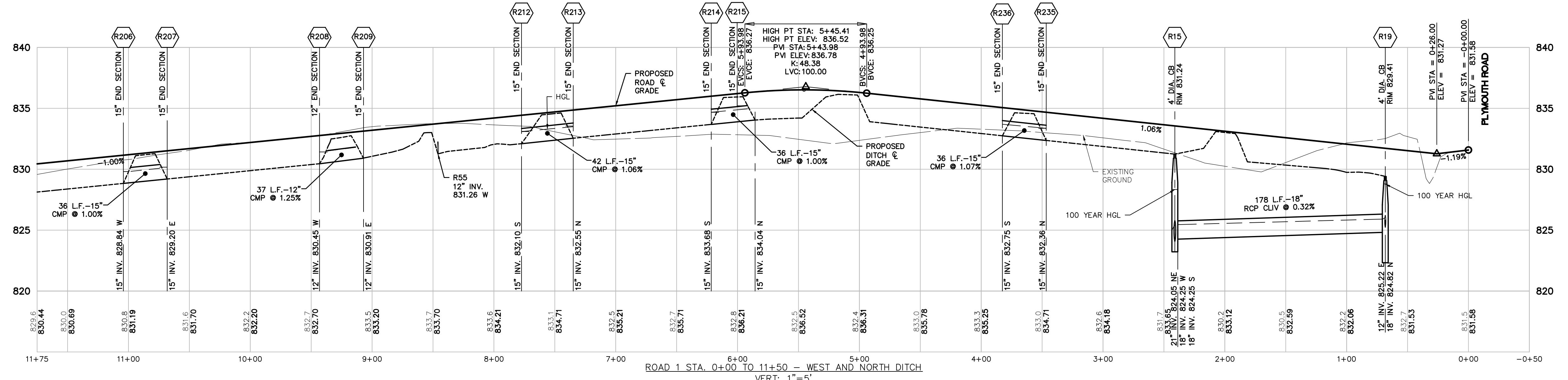
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SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
ROAD PLAN & PROFILE
STA. 0+00 TO 11+50

DATE: APRIL 18, 2023

5/30/23 PER WCRC
7/11/23 PER TWP
8/10/23 PER WCD/WCRC
10/27/23 PER WCD/WCRC
11/30/23 PER WCRC
1/12/24 PER WCRC

REVISIONS
SCALE: 0 25 50
1" = 50 FEET

DR. SK CH. MC
P.M. MC
BOOK --
JOB 21002863
SHEET NO. 24

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TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

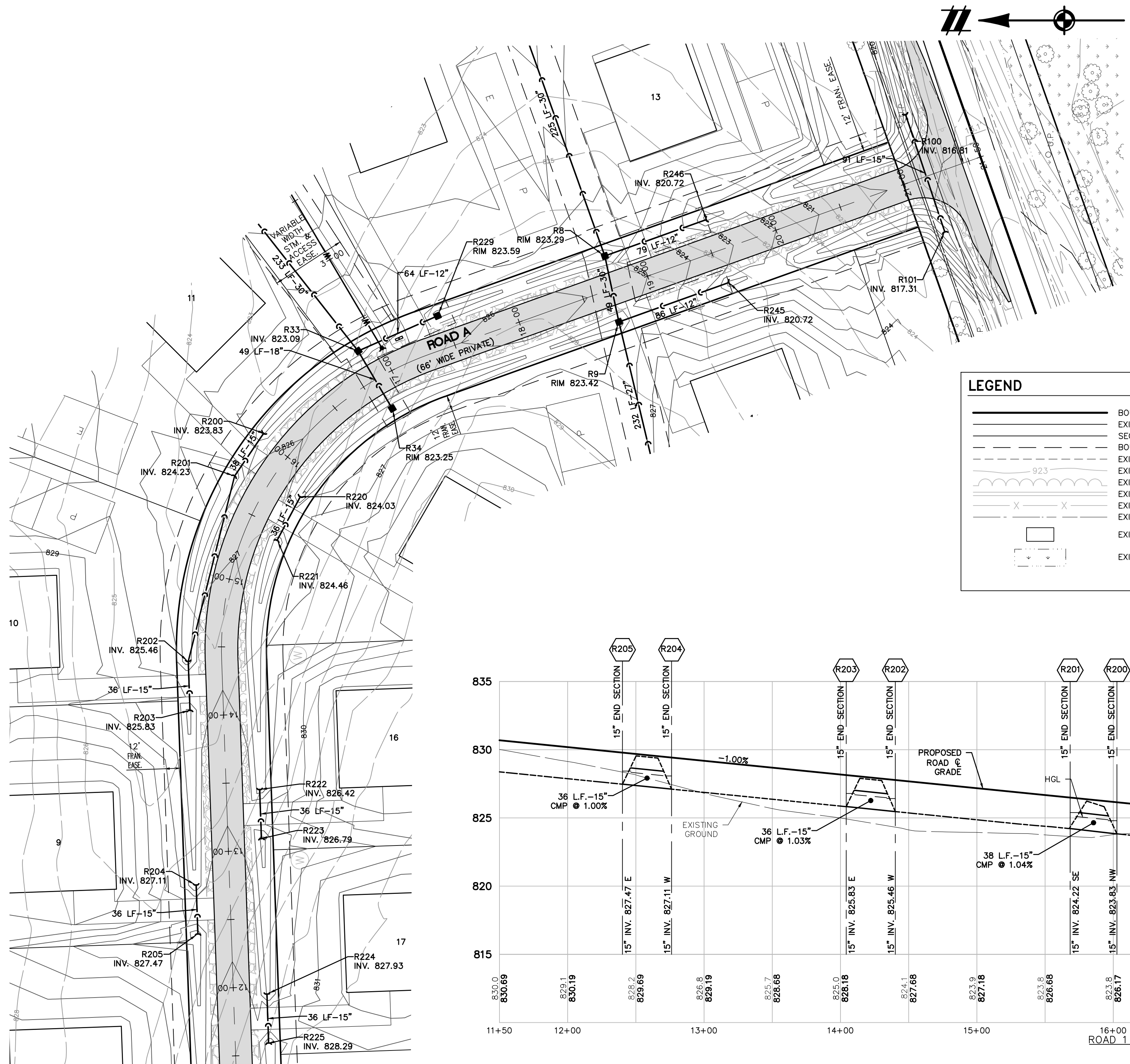
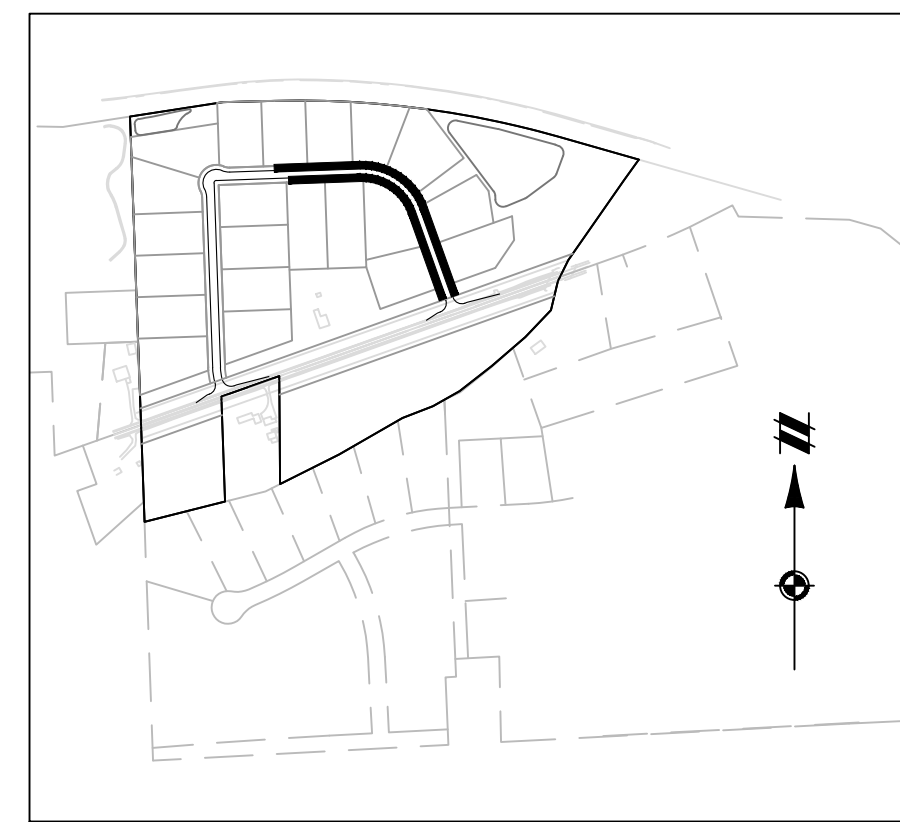
CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
ROAD PLAN & PROFILE
STA. 11+50 TO 21+58

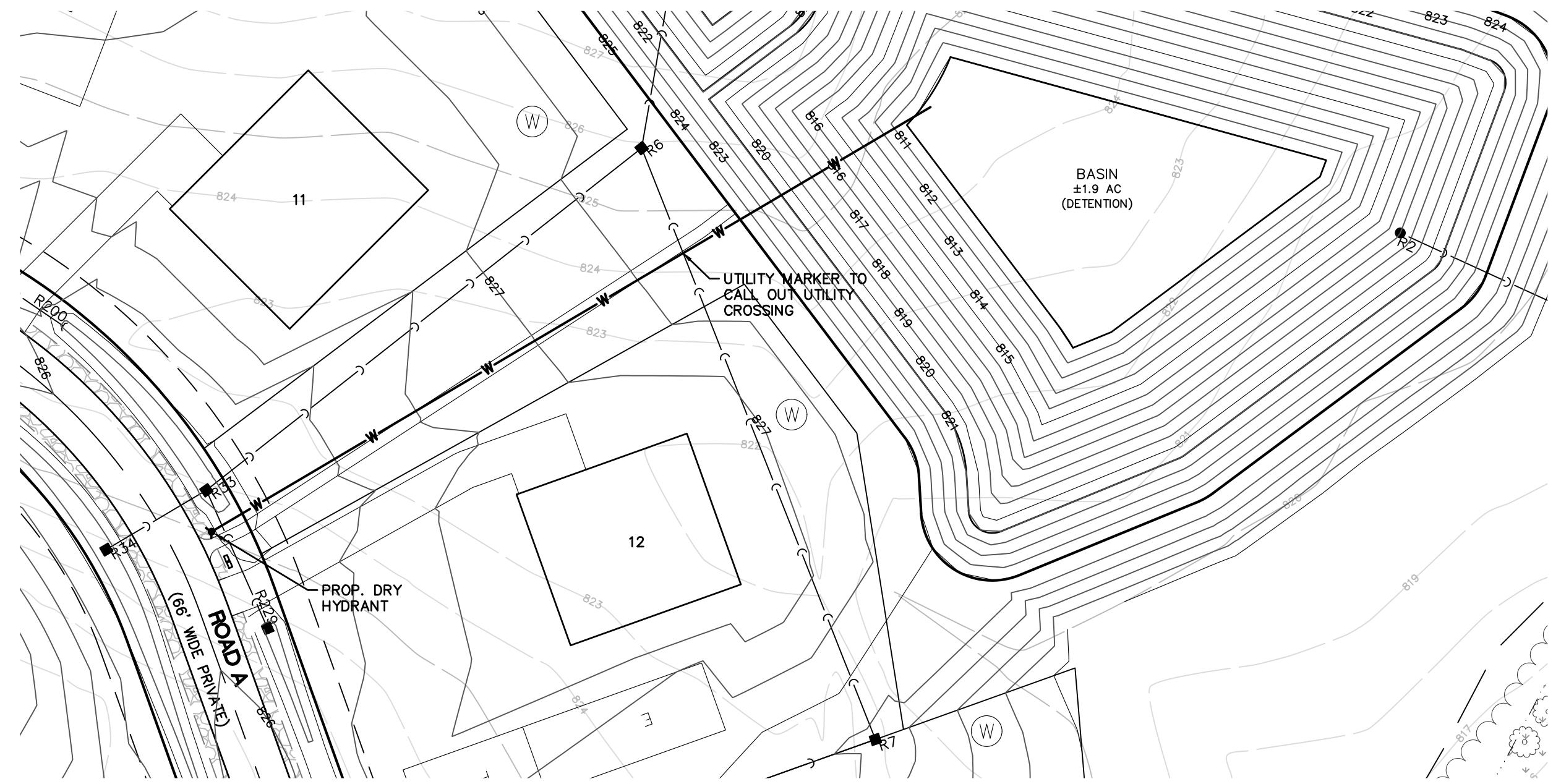
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1/12/24 PER WCRC

REVISIONS
SCALE 0 25 50
1" = 50 FEET

DR. SK CH. MC
P.M. MC
BOOK --
JOB 21002863
SHEET NO. 25





DRY HYDRANT STORAGE CALCULATIONS
Superior Township, Washtenaw County
Kinley

Required Storage Volume

No. of Lots	=	21 Lots
Required Storage (gal) (10,000*(2,000*No. Lots))	=	52,000 gal
Required Storage (cf) Gal/7.48	=	6,952 cf

Provided Storage Volume

Elev.	Area	Avg. Area	Height	Volume
811.5	14,450	15,075	1	- cf
812.0	15,700	17,075	1	7,538 cf
813.0	18,450	19,938	1	24,613 cf
814.0	21,425	23,000	1	44,550 cf
815.0	24,575	28,038	1	67,550 cf
816.0	31,500	33,375	1	95,588 cf
817.0	35,250			128,963 cf

Provided Storage (gal)
CF*7.48 = **964,640 gal**

HEAD LOSS CALCULATION

Hydrant Elevation	824.7 ft
Inlet Elevation	811.5 ft
Static Head	13.2 ft

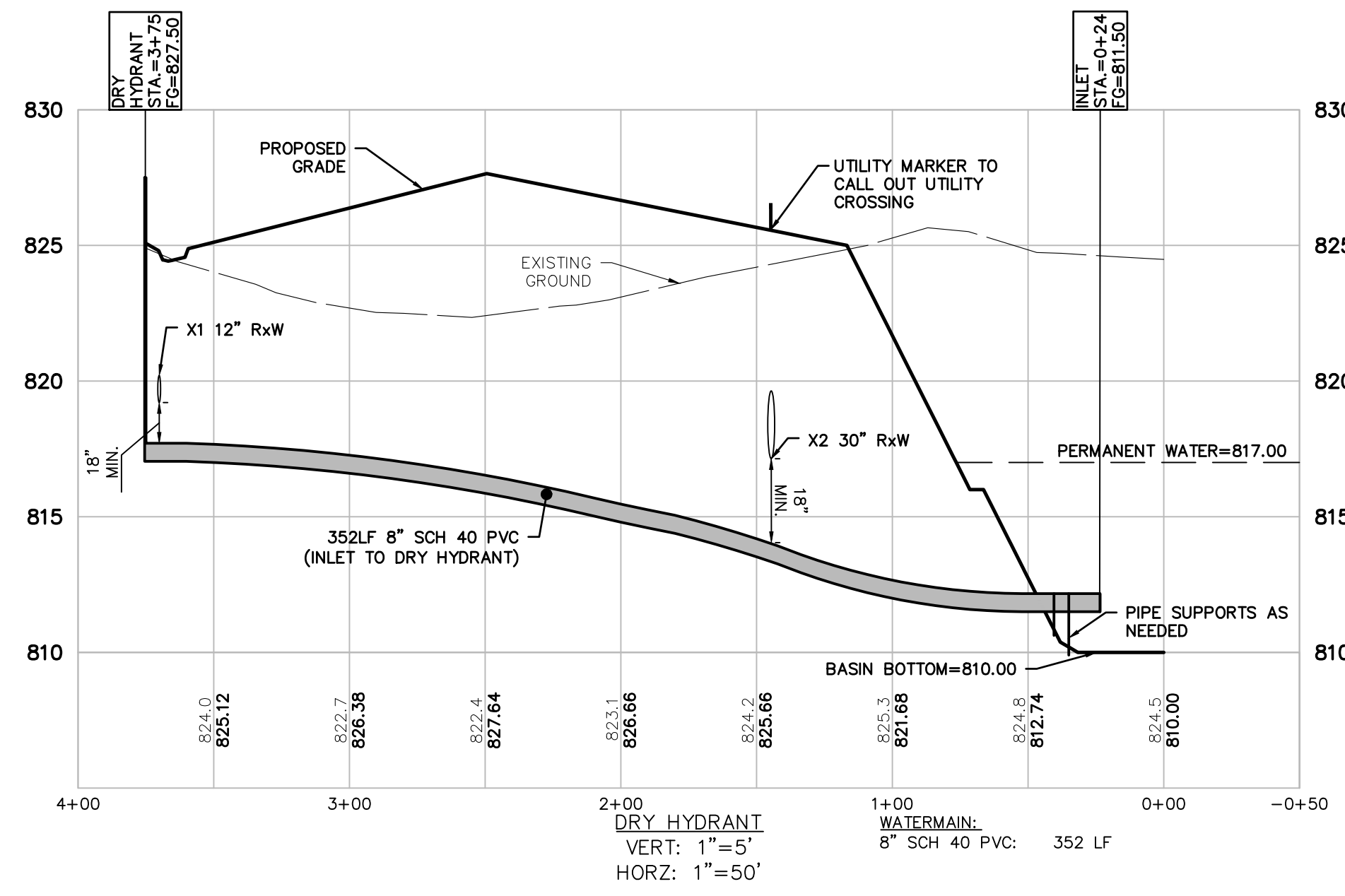
Calculate Equivalent Length from Pond to Hydrant

Fitting Type	Quantity	Equivalent Length	Total
8-inch Pipe (c=120)	325	1	325
Strainer	1	100	100
Reducer	1	20	20
			445

Fitting Type	Quantity	Equivalent Length	Total
6-inch Pipe (c=120)	13.2	1	13.2
90 degree elbow	1	10	10
			23.2

Friction Loss Flow - gpm	Head loss - Feet/100 Ft		
	8"	6"	Total
250	0.120	0.444	0.6
300	0.167	0.624	0.9
500	0.416	1.64	2.2
1000	1.55	6.23	8.3
1200	2.2	8.87	11.8
1500	3.38	13.7	18.2

TDH at 500 gpm 15.4 FT



DRY HYDRANT RECORD OF INSPECTION

- KEEP AN UP TO DATE RECORD OF CONDITIONS ASSOCIATED WITH EACH DRY HYDRANT.
- DEPTH OF WATER: APPROXIMATE LEVEL (IN FEET) FROM SURFACE TO STRAINER. BACK FLUSH: ACCOMPLISHED AS PER DEPARTMENT STANDARD OPERATING PROCEDURE (TIME OF YEAR, TYPE OF STRAINER END, STEEPNESS OF BANK, TYPE OF WATER SOURCE, ETC.).
- GALLONS PER MINUTE FLOW: DETERMINED BASED ON DEPARTMENT STANDARD OPERATING PROCEDURE (FILL-UP OR TANKER, USE OF DELUGE GUN, ATTACH HOSE WITH PRESSURE GAGE, ETC.).
- WEED CONTROL: SAME TYPE CLEANUP AS AROUND PRESSURIZED HYDRANTS. THE STANDARD OPERATING PROCEDURE WILL DETERMINE WHO IS RESPONSIBLE FOR CLEANUP.
- ROAD ACCESS: NOTE ANY UNUSUAL ACCESS CONDITION: ROAD, SURFACE, DRAINAGE, TREE LIMBS, GATES, LOCKS.
- REMARKS: COMMENTS LISTED BELOW ARE GENERAL. SPECIFY LOCAL CONDITIONS THAT DEPARTMENT STANDARD OPERATING PROCEDURE MAY REQUIRE.
 - CHECK END CAP CONDITION, LOCKING PROCEDURE THREADS.
 - IDENTIFY PUMPING UNIT PERFORMING THE INSPECTION. ALSO IDENTIFY ANY OTHER EQUIPMENT USED.
 - SHOW THE TIME REQUIRED TO PRIME AND BEGIN DRAFT.
 - IDENTIFY THE TYPE AND THREAD OF SECTION HOSE USED OR OTHER TYPE CONNECTION TO CONNECT WITH DRY HYDRANT.
 - STATE THE PROTECTION AND OTHER SUPPORT CONDITION FOR EACH DRY HYDRANT SUCH AS HEAD WITH END CAP OR STRAINER PORTION UNDER WATER. (CAN BE ACCOMPLISHED LATER, IF NOT INITIALLY PLANNED.)
 - IDENTIFY ANY PROVISIONS FOR THE PROTECTION FOR THE UNDERWATER PORTION OF EACH DRY HYDRANT IN STREAMS WHERE RAPIDLY FLOWING WATER DICTATES THE NEED FOR SUCH PROTECTION. (CAN BE ACCOMPLISHED LATER, IF NOT INITIALLY PLANNED.)
 - RECORD THE CONDITION OF THE WATER: MUDDY, SCUM, DEBRIS, ETC.
 - STATE WHETHER EROSION IS OCCURRING.

DRY HYDRANT TESTING AND MAINTENANCE

THE HOMEOWNERS ASSOCIATION SHALL COORDINATE TESTING AND MAINTENANCE WITH THE FIRE DEPARTMENT.

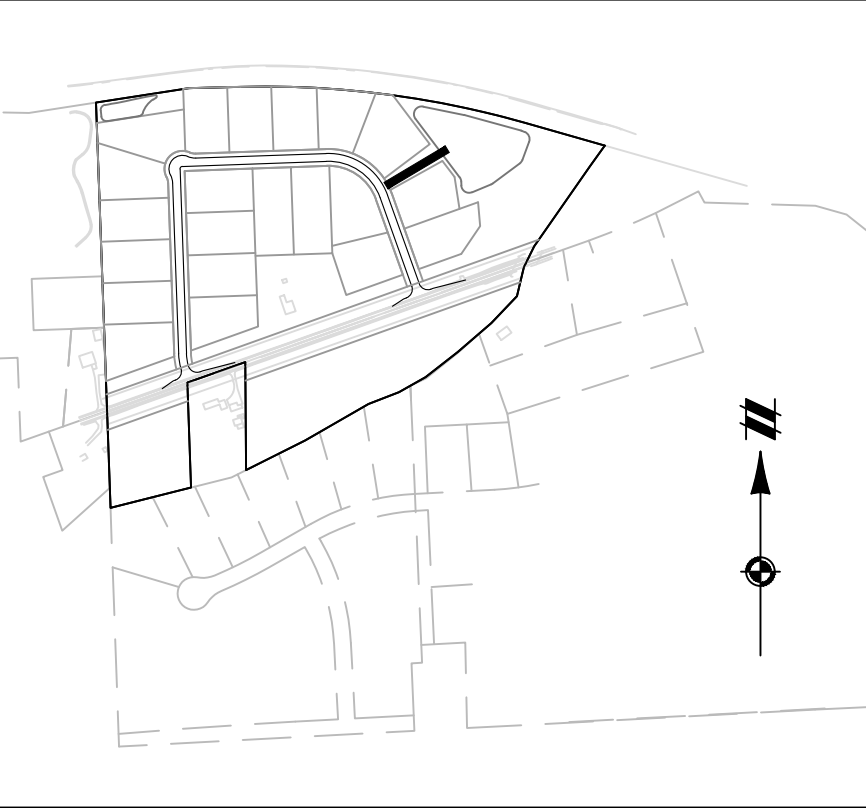
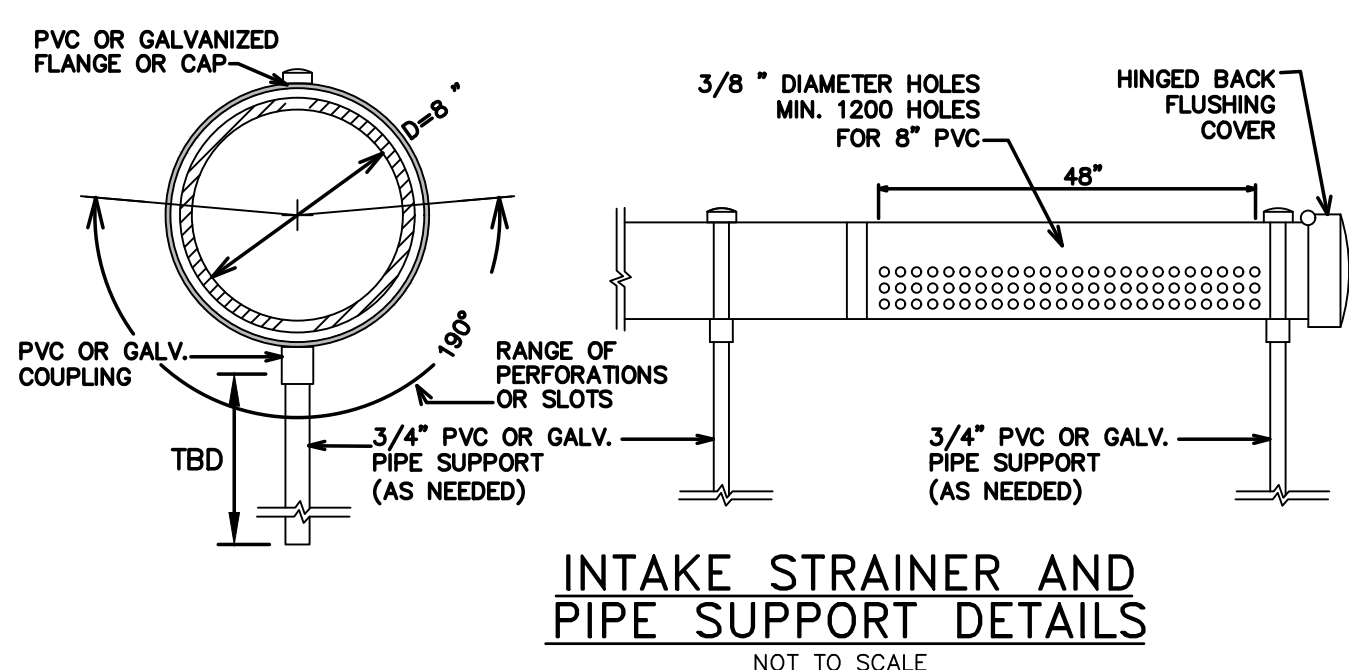
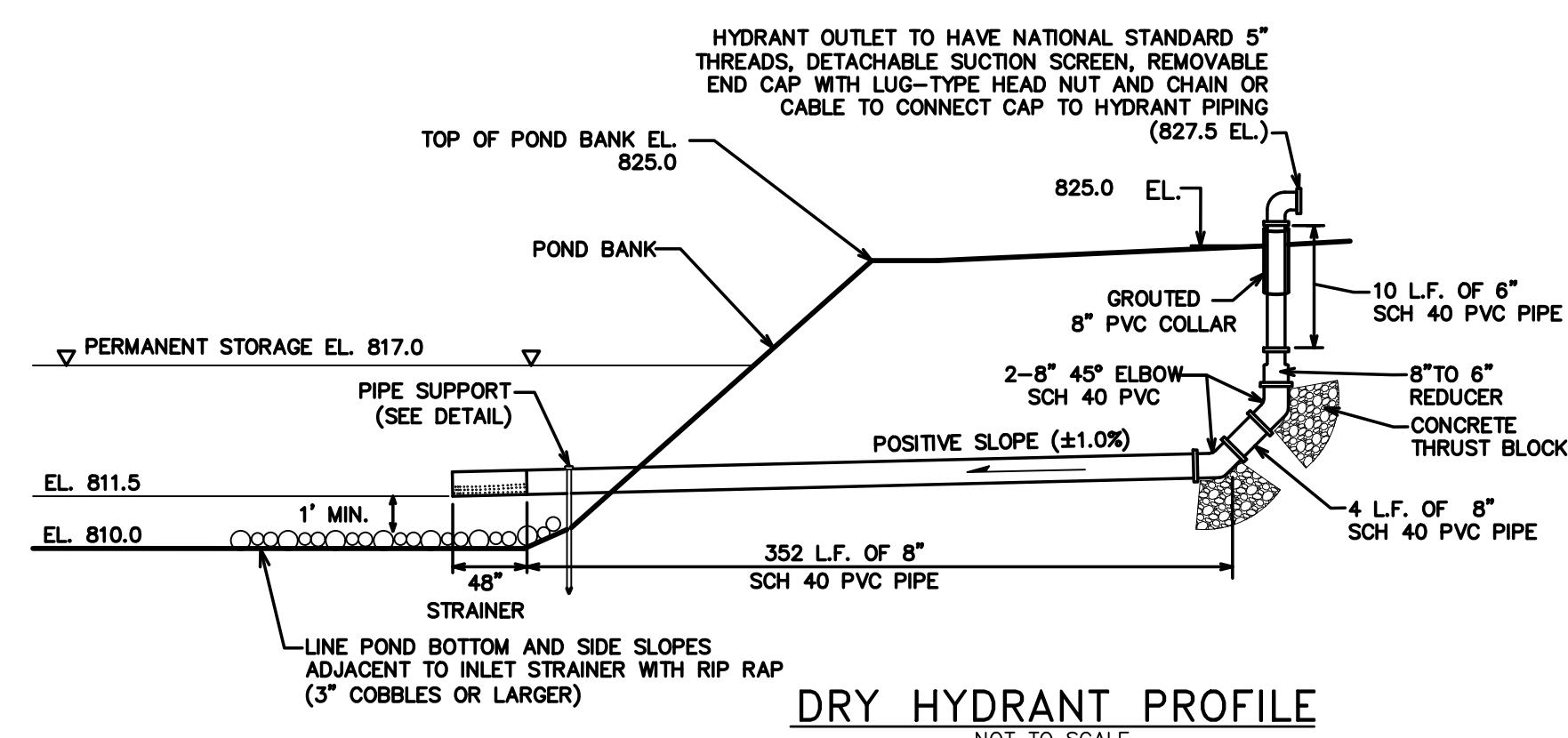
DRY HYDRANTS AND PONDS SHOULD BE CHECKED SEMI-ANNUALLY. CHECKING AND TESTING BY ACTUAL DRAFTING SHOULD BE A PART OF FIRE DEPARTMENT TRAINING AND DRILLS.

FREQUENT CLEANING OF THE PONDS MAY BE NEEDED TO REMOVE DEBRIS, DREDGING OR EXCAVATION OF SILT, AND PROTECTION FROM EROSION. THE HYDRANTS SHOULD BE TESTED AT LEAST ONCE A YEAR WITH A PUMPER.

BACK FLUSHING, FOLLOWED BY A PUMPER TEST AT A MAXIMUM DESIGNED FLOW RATE, WITH RECORDS KEPT OF EACH TEST, IS DESIRED. TESTS OF THIS KIND WILL NOT ONLY VERIFY PROPER CONDITION BUT ALSO KEEP THE LINE AND STRAINER CLEAR OF SILT AND THE WATER SUPPLY AVAILABLE FOR ANY FIRE EMERGENCY.

THE POND SHOULD BE FREE OF AQUATIC GROWTH. IT MAY BE NECESSARY TO DRAIN THE POND TO CONTROL THIS GROWTH. CONSULT WITH COOPERATIVE EXTENSION SERVICE OR USDA OFFICE FOR ASSISTANCE IN WEED CONTROL.

A RECORD OF INSPECTION SHOULD BE MAINTAINED FOR EACH HYDRANT.



KEYMAP
SCALE: 1" = 750 FEET

UTILITY CROSSING TABLE

X1	12" ST. B/P	819.21	8" W.M. T/P	817.71
X2	30" ST. B/P	817.11	8" W.M. T/P	814.95

NOTE:
ALL PIPES WITHIN A 1:1 INFLUENCE OF PAVEMENT WILL REQUIRE COMPACTED SAND BACKFILL.

LEGEND

(Symbol)	BOUNDARY LINE
(Symbol)	EXIST. EASEMENT
(Symbol)	SECTION LINE
(Symbol)	BOUNDARY/PROPERTY LINE
(Symbol)	EXIST. SETBACK
(Symbol)	EXIST. CONTOUR
(Symbol)	EXIST. TREE LINE
(Symbol)	EXIST. CURB AND GUTTER
(Symbol)	EXIST. FENCE
(Symbol)	EXIST. GRAVEL
(Symbol)	EXIST. BUILDING
(Symbol)	EXIST. WETLAND
(Symbol)	EXIST. WETLAND BUFFER
(Symbol)	EXIST. OVERHEAD ELEC. LINE
(Symbol)	EXIST. OVERHEAD TELE. LINE
(Symbol)	EXIST. CABLE LINE
(Symbol)	EXIST. UNSPECIFIED UTILITIES
(Symbol)	EXIST. GAS
(Symbol)	EXIST. STORM
(Symbol)	EXIST. WATER MAIN
(Symbol)	EXIST. SANITARY
(Symbol)	EXIST. UNSPECIFIED UTILITY
(Symbol)	EXIST. CULVERT
(Symbol)	EXIST. CATCH BASIN/INLET
(Symbol)	EXIST. HYDRANT
(Symbol)	EXIST. VALVE
(Symbol)	EXIST. SANITARY SEWER
(Symbol)	PROP. SETBACK
(Symbol)	PROP. BUILDING
(Symbol)	PROP. BUILDING INTERIOR
(Symbol)	PROP. WALL
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(Symbol)	PROP. SEPTIC
(Symbol)	PROP. WELL

811
Know what's below.
Call before you dig.

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SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: LOMBARDO HOMES
KINLEY DEVELOPMENT
FINAL SITE PLAN
DRY HYDRANT PLAN AND PROFILE

DATE: APRIL 18, 2023

5/30/23 PER WCRC
7/11/23 PER TWP
8/10/23 PER WCHD/WCRC/WCRC
10/27/23 PER WCHD/WCRC
11/30/23 PER WCRC
1/12/24 PER WCRC

REVISIONS

SCALE: 0 25 50
1" = 50 FEET

DR. SK CH. MC
P.M. MC
BOOK --
JOB 21002863
SHEET NO. 26



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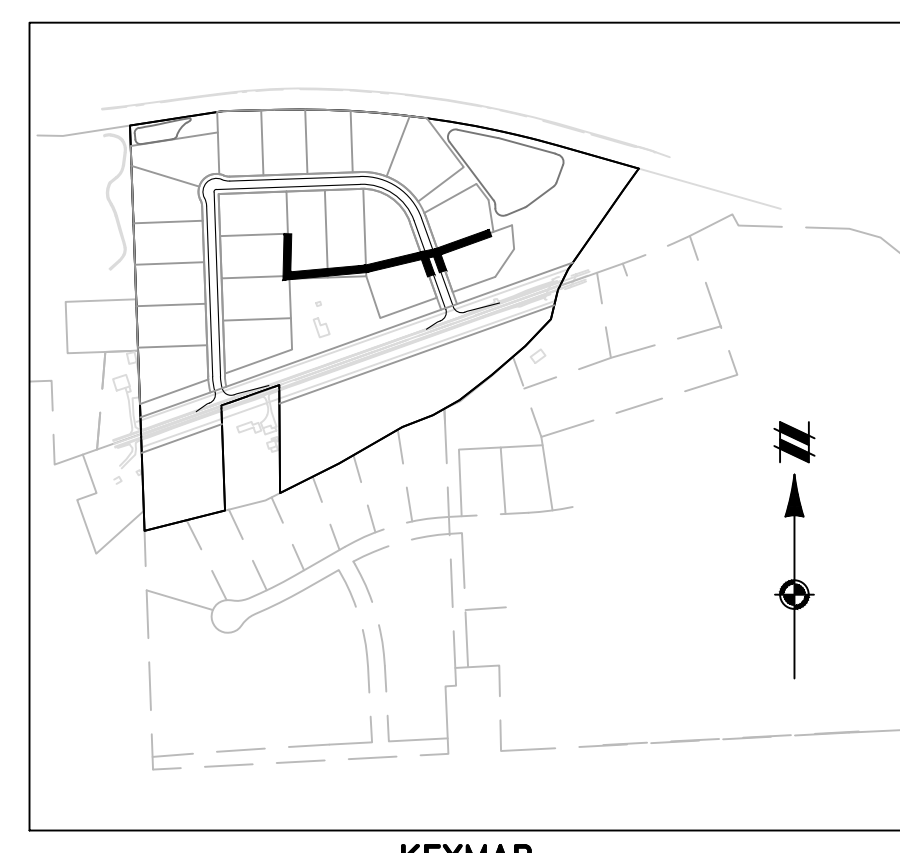
SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
STORM SEWER PLAN & PROFILE 2

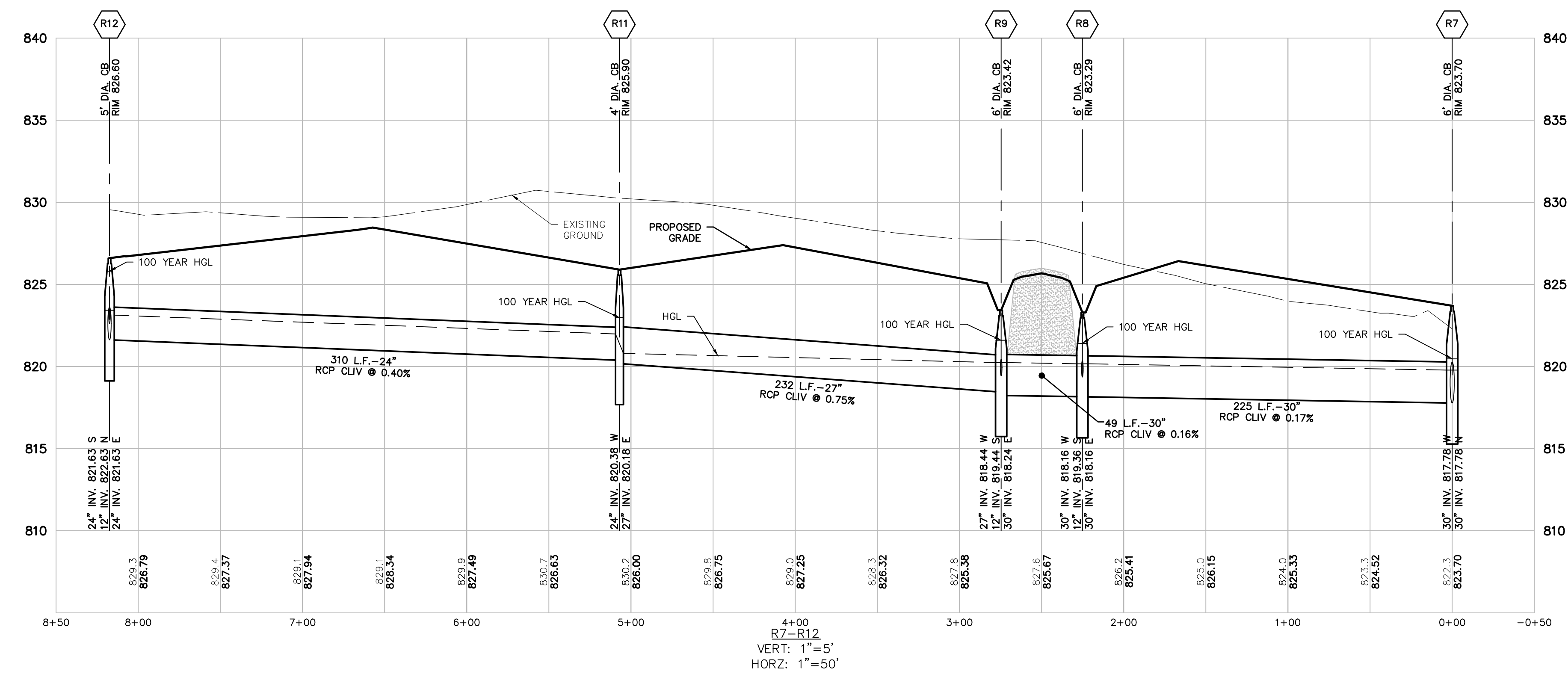
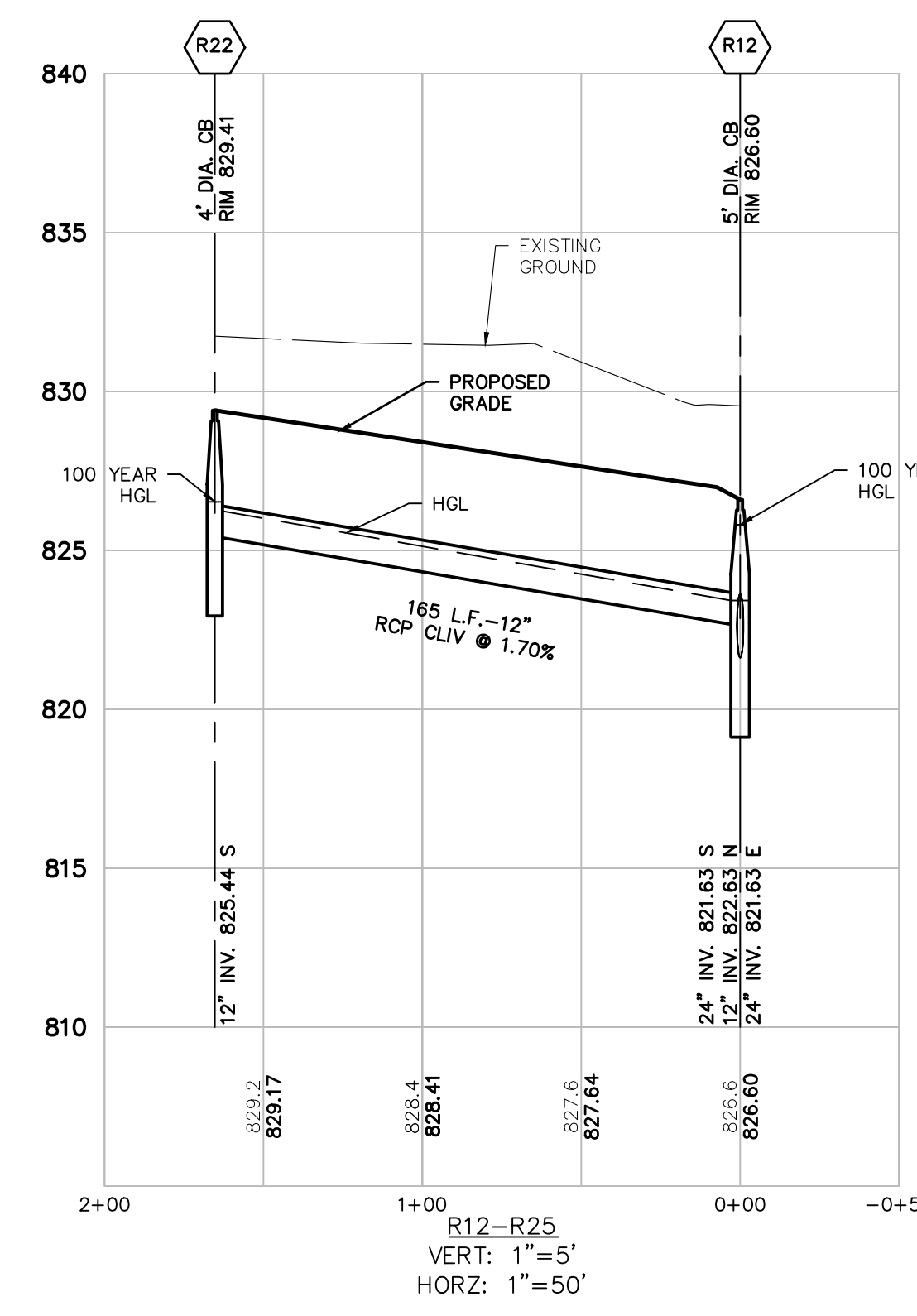
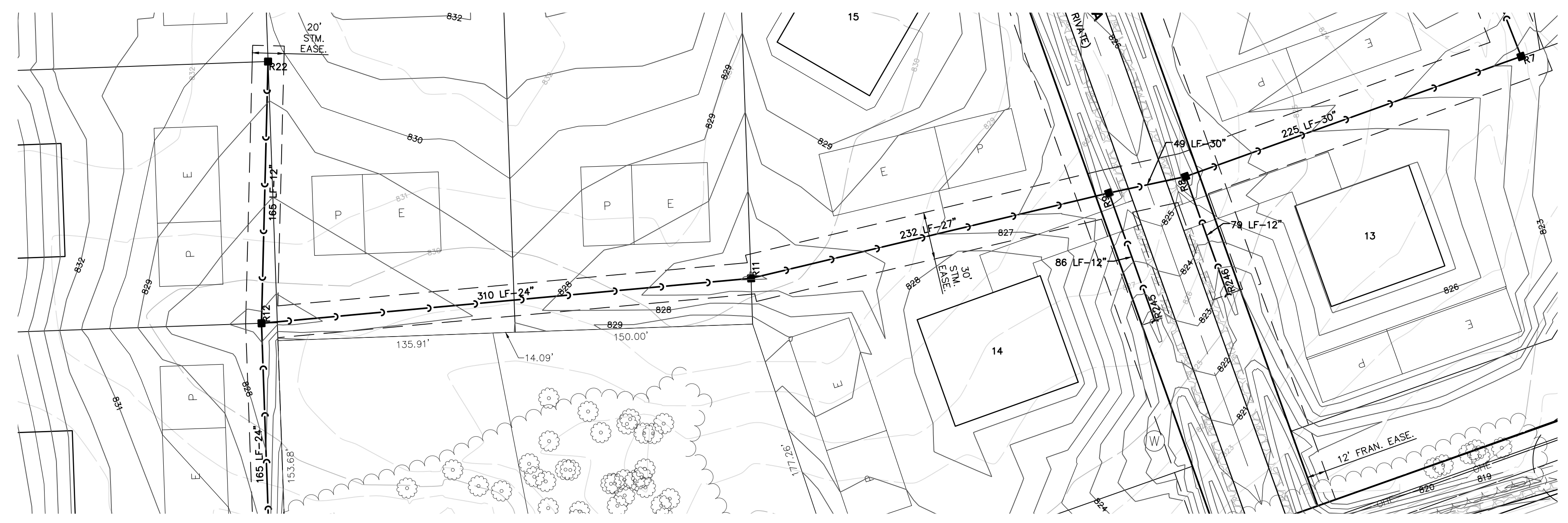
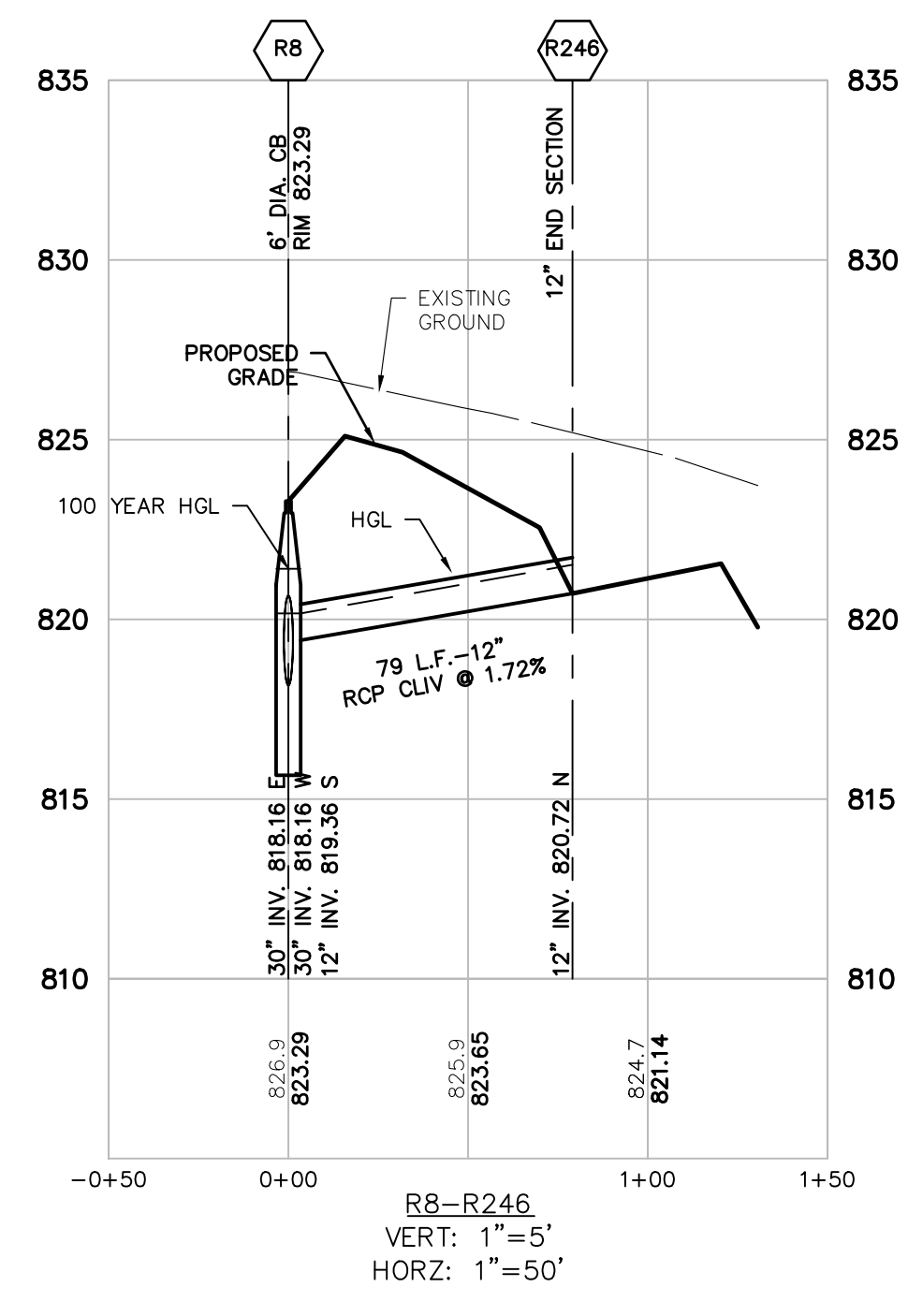
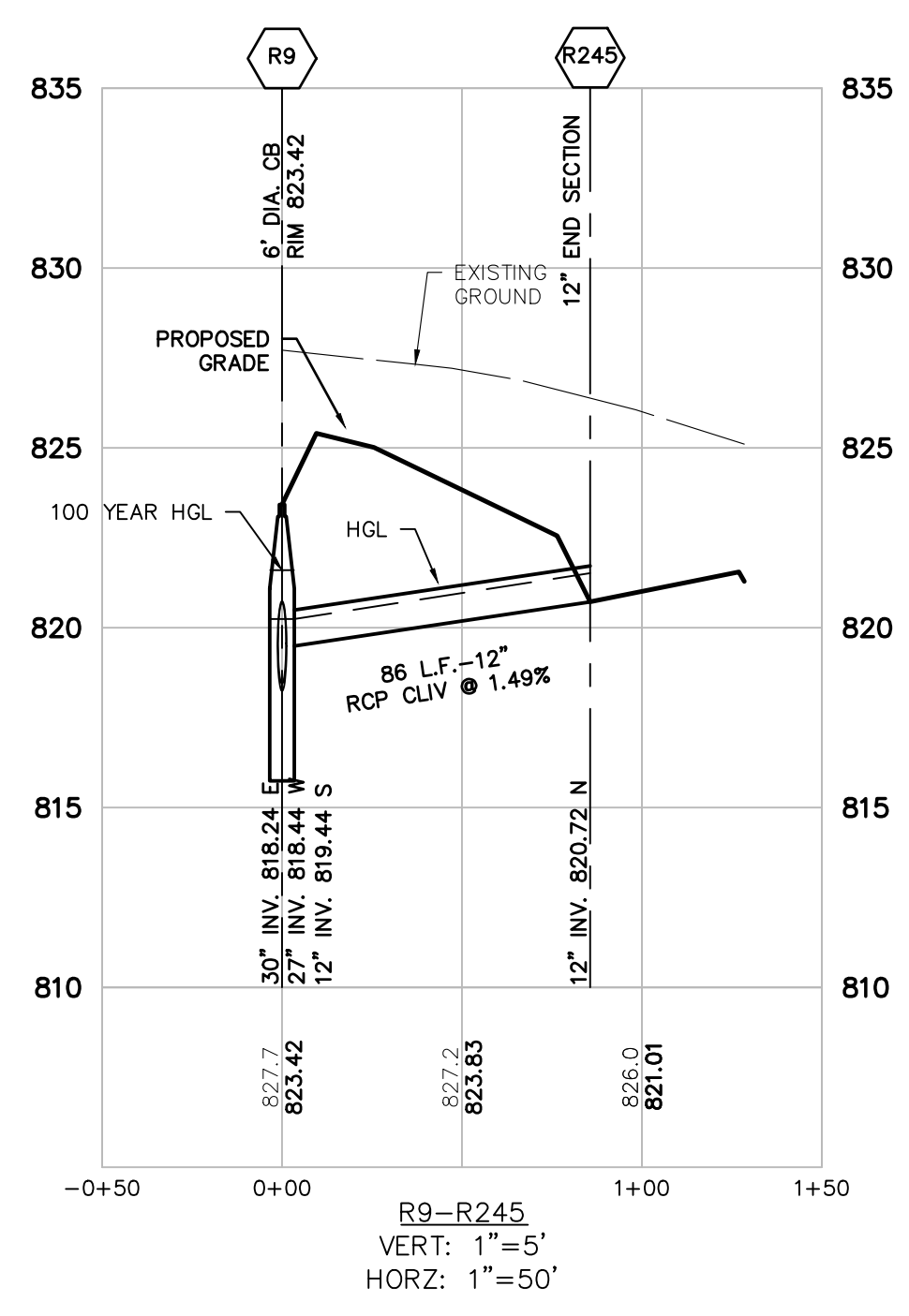
DATE
APRIL 18, 2023

5/30/23	PER WCRC
7/11/23	PER TWP
8/10/23	PER WCHD/WCRC/WCRC
10/27/23	PER WCHD/WCRC
11/30/23	PER WCRC
1/12/24	PER WCRC

REVISIONS	
SCALE	0 25 50
1" = 50 FEET	
DR.	SK CH MC
P.M.	MC
BOOK	--
JOB	21002863
SHEET NO.	28



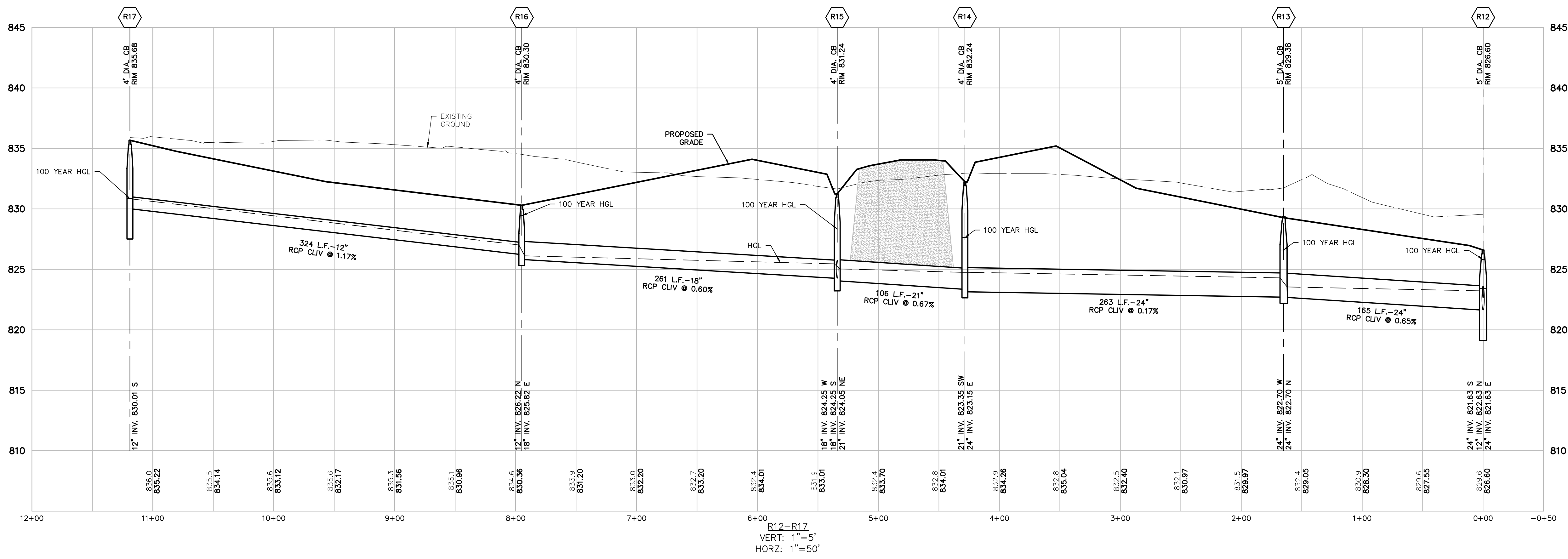
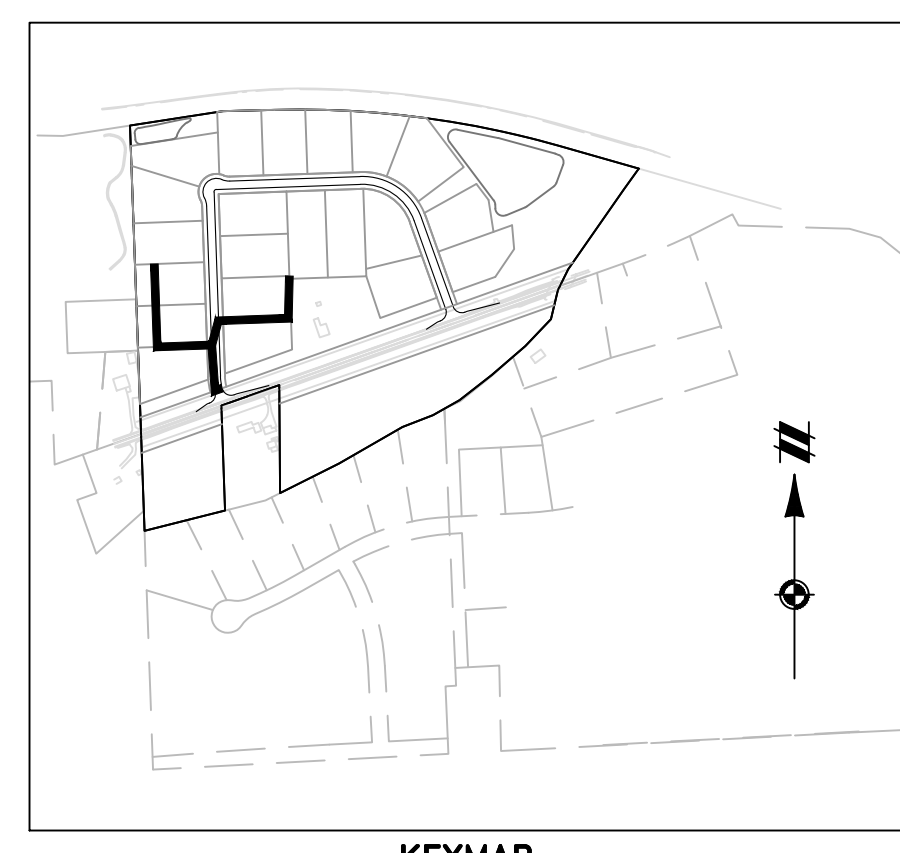
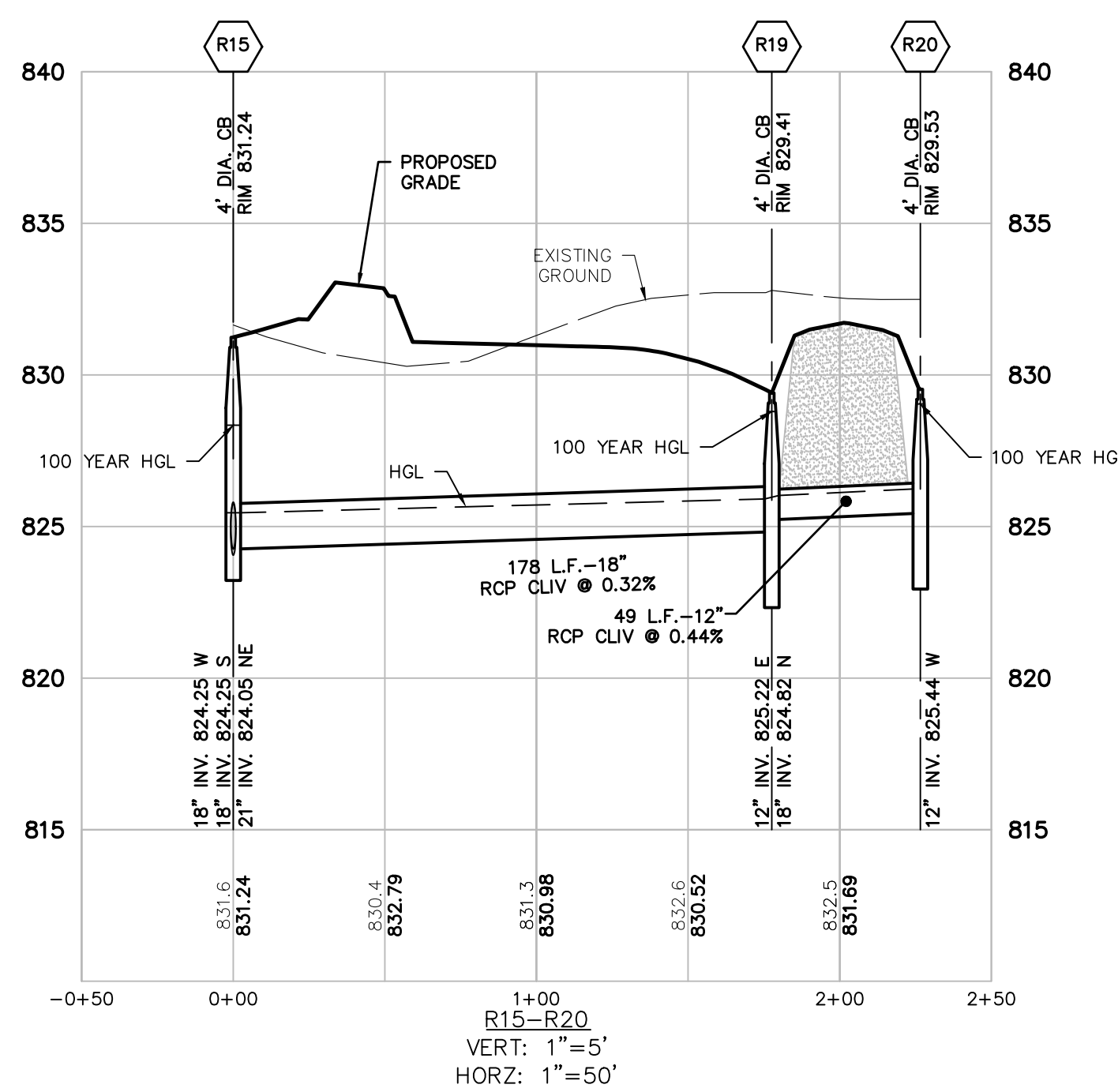
KEYMAP
SCALE: 1" = 750 FEET



NOTE:
ALL PIPES WITHIN A 1:1 INFLUENCE OF PAVEMENT WILL REQUIRE COMPACTED SAND BACKFILL

LEGEND	
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	SECTION LINE
	BOUNDARY/PROPERTY LINE
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	EXIST. CONTOUR
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	PROP. SEPTIC
	PROP. WELL

K:\VTD\2023\04\01\KINSLEY\DWG\SS\SS-21002863-13.dwg 1/21/2024 4:18 PM CHRIS WIRTHMAN



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TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
STORM SEWER PLAN & PROFILE 3

DATE: APRIL 18, 2023

5/30/23 PER WCWRC
7/11/23 PER TWP
8/10/23 PER WCD/WCRC/WCWR
10/27/23 PER WCD/WCRC
11/30/23 PER WCRC
1/12/24 PER WCWRC

REVISIONS

SCALE: 0 25 50
1" = 50 FEET

DR. SK CH. MC
P.M. MC
BOOK --
JOB 21002863
SHEET NO. 29

RAIN GARDEN

W1 Determine Post-Development Cover Types, Areas, Curve Numbers and runoff coefficients
Total Contributing Drainage Area = 4.82 Acres

W6 Permeable Cover Post-development 100-year Storm Runoff Calculations (V100-per-post)

A	100 year storm event	P =	5.11	in
B	Permeable Cover CN	CN =	61	
C	S = (1000/CN) * 10	S =	6.39	in
D	Q = (P-0.25)/S(P-0.85)	Q =	1.44	in
E	Permeable Cover Area	Area =	222,236	sf
F	V _{100-year} = Q(1/12)Area	V _{100-year} =	26,887	cf

W7 Impervious Cover Post-development 100-year Storm Runoff Calculations (V100-imp-post)

A	100 year storm event	P =	5.11	in
B	Impervious Cover CN	CN =	98	
C	S = (1000/CN) * 10	S =	0.20	in
D	Q = (P-0.25)/S(P-0.85)	Q =	4.87	in
E	Impervious Cover Area	Area =	45,335	sf
F	V _{100-year} = Q(1/12)Area	V _{100-year} =	18,410	cf

W8 Determine Time of Concentration (T_{cn})
User specified, assume 20 minutes
Total Time of Concentration (hrs) = 0.33

W9 Runoff Summary & Onsite Infiltration Requirement

V _{100-year} *	26,887 cf	Total 100-year Volume (V ₁₀₀)	44,997 cf
V _{100-year} **	18,410 cf		

W11 Determine Applicable BMPs and Associated Volume Credits

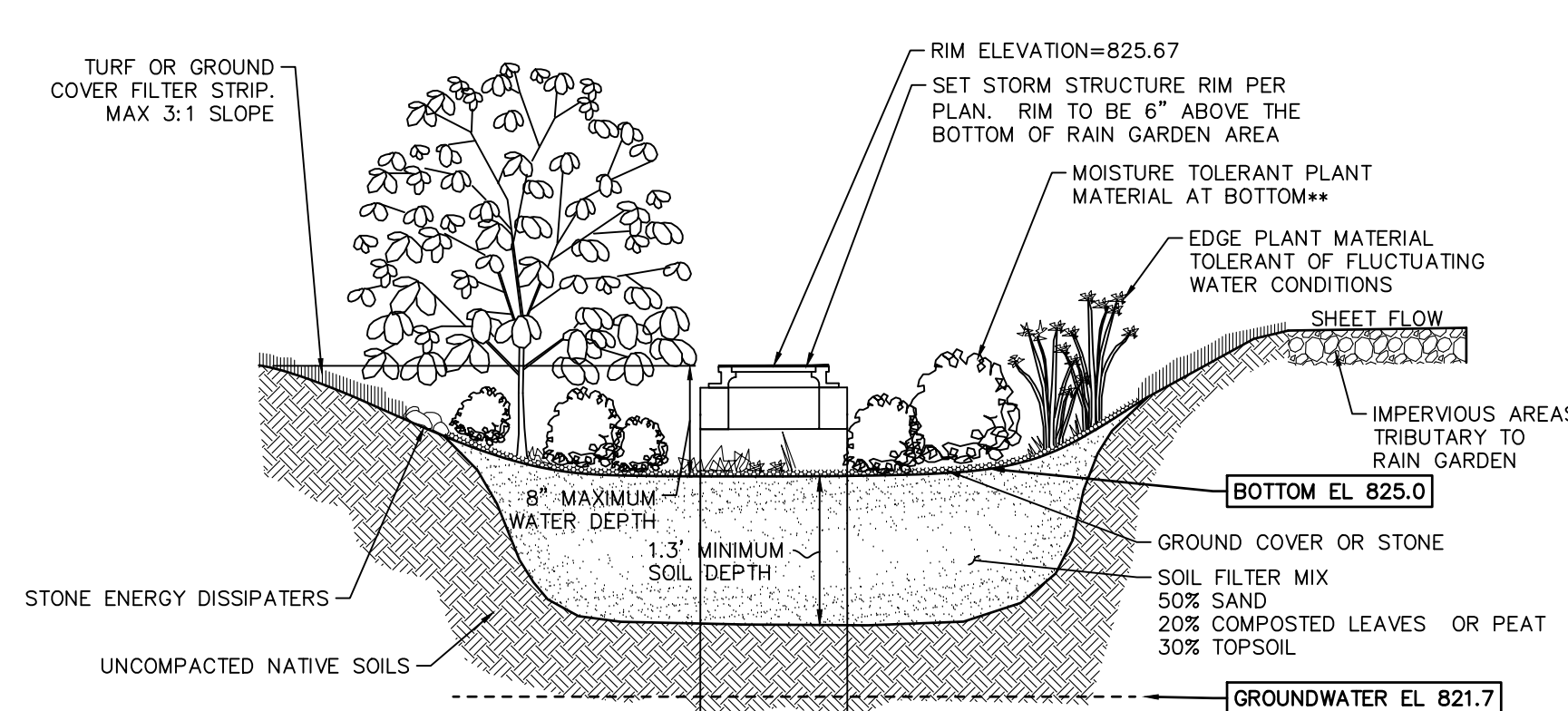
Proposed BMP	Area (ft ²)	Storage Depth (ft)	Storage Volume (ft ³) (30% Volume in soil storage)	Area Design Infil. Rate (in/yr)	Infil. During Storm (ft)	Potential Volume Reduction (ft ³)	Actual Reduction (ft ³)
Rain Garden	7,500	0.67	2,925	5,025	10	37,500	46,450

* Per Geotechnical Investigation by McNeil & Associates. Includes a factor of safety of 2.
** Minimum of the calculated potential reduction and the 100-year storm volume over the tributary area. See W11A.

Total Volume Reduction Credit by Proposed Structural BMPs (V₁₀₀) = 44,997 cf

W11A Infiltration Loading Rates and Storage Volume Drawdown Times

Proposed BMP	100-yr Contributing Runoff (cf)	Tributary Area (sf)	Overall Loading Rate	Imperv. Area (sf)	Impervious Loading Ratio	Drawdown Time (hrs)
R1: Infiltration Basin (7P-10)	44,997	209,959	26.0	45,335	6.0	0.80



** SWALE SEED MIX, PER JF NEW NURSERY - WALKERTON, ID (574) 586-3400, OR EQUAL. THE SEED MIX CONTAINS NATIVE PLANTS THAT WILL HELP FILTER POLLUTANTS FROM YARD AND ROAD RUNOFF. THE MIX CAN BE USED IN YARD AREAS THAT RETAIN WATER FOR SOME TIME AFTER A RAIN EVENT. THE SEED MIX CONTAINS NATIVE GRASS, SEDGES AND FORB SPECIES INCLUDING BIG BLUE STERN, BRISTLY SEDGE, PORCUPINE SEDGE, BROWN FOX SEDGE, CANADA WILD RYE, FOWL MANNA GRASS, SWITCH GRASS, DARK GREEN RUSH, WOOL GRASS, WATER PLANTAIN, SWAMP MILKWEED, NEASTER, TALL COREOPSIS, SPOTTED JOE-PYE WEED, BLUE FLAG IRIS, MARSH MORNING STAR, CAROLINA FLOWER, BLUE LOBELIA, ARROWHEAD, ROUGH GOLDENROD, BLUE VERVAIN, GOLDEN ALEXANDERS AND TEMPORARY COVER OF SEED OATS, SEEDING RATE: 26.44 LBS. PER ACRE.

CONVEYANCE CALCULATIONS

$I = B/(T+D)^{0.58}$ $B = 175.0$ $D = 25.0$ $E = 1$
 $C = \text{varies}$ $T_{min} = 15$ $n = 0.013$ $V_{min} = 3.0$ * = Check Rim-HGL clearance
 FOR CONCRETE PIPES
 FOR SWALES (VEGETATED)
 FOR CMP 0.040 0.022 0.38

FROM STRUCT INPUT	TO STRUCT	A TRIB AREA (AC)	C RUNOFF COEFF	Ax C EQUIV AREA	CA DESIGN SUM Ax C	T TIME CONC. (MIN)	I INTEN-SITY (IN/HR)	Q FLOW CAxI (CFS)	Qc PIPE CAPAC. (CFS)	D PIPE DIAM. (IN)	L PIPE LENGTH (FT)	S PIPE SLOPE (%)	HGq MIN HG for Q (%)	HGv MIN HG for V _{min} (%) (SEWER)	HG HGL SLOPE (%)	Vf FULL FLOW (FPS)	Tf TIME FLOW (MIN)	H.G.L. ELEV. UPPER END	H.G.L. ELEV. LOWER END	RIM/GROUND ELEV. UPPER END	RIM/GROUND ELEV. LOWER END	INVERT ELEV. UPPER END	INVERT ELEV. LOWER END	
DETECTION 1																								
SEWER	R17	R16	0.29	0.59	0.17	0.17	15.0	4.38	0.74	3.85	12	324	1.17	0.04	0.44	4.9	1.1	830.81	827.02	835.68	830.30	830.01	826.22	
SEWER	R16	R15	2.24	0.38	0.85	1.02	16.1	4.26	4.34	8.14	18	261	0.60	0.17	0.25	4.6	0.9	826.12	825.45	830.30	831.24	825.82	824.25	
SEWER	R15	R14	0.32	0.57	0.18	1.97	17.0	4.17	8.21	12.97	21	106	0.67	0.27	0.21	0.27	5.4	0.3	825.04	824.76	831.24	832.24	824.05	823.35
SEWER	R14	R13	0.35	0.47	0.17	2.19	17.3	4.14	9.06	9.33	24	263	0.17	0.16	0.17	0.17	3.0	1.5	824.76	824.30	832.24	829.38	823.15	822.70
SEWER	R13	R12	0.79	0.38	0.30	2.49	18.8	4.00	9.95	18.24	24	165	0.65	0.19	0.17	0.19	5.8	0.5	823.54	823.23	829.38	826.60	822.70	821.63
SEWER	R12	R11	2.04	0.36	0.74	3.48	19.3	3.95	13.75	14.31	24	310	0.40	0.37	0.17	0.37	4.6	1.1	823.13	821.98	826.60	825.90	821.63	820.38
SEWER	R11	R9	1.36	0.34	0.46	3.94	20.4	3.85	15.19	26.82	27	232	0.75	0.24	0.15	0.24	6.7	0.6	820.80	820.24	825.90	823.82	820.18	818.44
SEWER	R9	R8	0.36	0.40	0.14	4.25	21.0	3.80	16.17	16.41	30	49	0.16	0.16	0.13	0.16	3.3	0.2	820.24	820.17	823.82	823.67	818.24	818.16
SEWER	R8	R7	0.16	0.39	0.06	4.45	21.2	3.79	16.86	16.91	30	225	0.17	0.17	0.13	0.17	3.4	1.1	820.17	819.79	823.67	823.70	818.16	817.78
SEWER	R7	R6	0.40	0.39	0.16	4.61	22.3	3.70	17.06	17.06	30	268	0.17	0.17	0.13	0.17	3.4	1.3	819.79	819.32	823.70	825.30	817.78	817.32
SEWER	R6	R5	0.32	0.46	0.15	7.50	23.6	3.60	27.01	27.01	30	75	0.43	0.43	0.13	0.43	5.5	0.2	818.63	818.50	825.30	816.08	817.32	817.00
SEWER	R20	R19	0.70	0.53	0.37	0.37	15.0	4.38	1.62	2.36	12	49	0.44	0.21	0.44	4.4	3.0	826.24	826.02	829.40	829.41	825.44	825.22	
SEWER	R19	R15	0.68	0.39	0.27	0.64	15.3	4.34	2.78	5.94	18	178	0.32	0.07	0.25	0.25	3.4	0.9	825.91	825.45	829.41	831.24	824.82	824.25
SEWER	R22	R12	0.69	0.37	0.25	0.25	15.0	4.38	1.09	4.65	12	165	1.70	0.09	0.44	0.44	5.9	0.5	826.24	823.43	829.41	826.60	825.44	822.63
SEWER	R34	R33	0.52	0.48	0.25	1.49	15.0	4.38	6.52	6.64	18	49	0.40	0.39	0.25	0.39	3.8	0.2	819.82	819.63	823.13	823.10	818.62	818.43
SEWER	R33	R6	0.41	0.38	0.16	2.74	15.2	4.35	11.93	14.79	30	233	0.13	0.08	0.13	0.13	3.0	1.3	819.62	819.32	823.10	825.30	817.63	817.32
SEWER	R229	R33	0.33	0.47	0.16	0.16	15.0	4.38	0.70	2.36	12	64	0.44	0.04	0.44	0.44	3.0	0.4	820.41	820.13	823.59	823.10	819.61	819.33
CULVERT	R236	R235	0.26	0.51	0.13	0.13	15.0	4.38	0.57	3.96	15	36	1.07	0.01	0.93	0.93	3.2	0.2	833.69	833.36	832.75	829.13	832.75	832.36
SWALE	R235	R15	0.00	0.00	0.00	0.13	15.2	4.35	0.57	3.37	15	106	1.06	0.01	-	0.01	2.7	0.6	833.36	833.24	832.36	831.24	832.36	831.24
CULVERT	R238	R237	0.13	0.41	0.05	0.05	15.0	4.38	0.22	3.95	15	36	1.07	0.00	0.32	0.32	3.2	0.2	834.42	834.30	833.69	830.23	833.69	833.30
SWALE	R237	R14	0.00	0.00	0.00	0.05	15.2	4.35	0.22	3.37	15	100	1.06	0.00	-	0.00	2.7	0.6	834.30	833.24	833.30	832.24	833.30	832.24
SEWER	R245	R9	0.34	0.52	0.17	0.17	15.0	4.38	0.74	4.35	12	86	1.49	0.04	0.44	0.44	5.5	0.3	821.52	820.24	820.72	823.82	820.72	819.44
SEWER	R246	R8	0.26	0.53	0.14	0.14	15.0	4.38	0.61	4.67	12	79	1.72	0.03	0.44	0.44	6.0	0.2	821.52	820.17	820.72	823.67	820.72	819.36
CULVERT	R227	R226	0.35	0.54	0.19	0.19	15.0	4.38	0.83	3.82	15	36	1.00	0.02	0.93	0.93	3.1	0.2	834.14	833.80	833.16	832.80	833.16	832.80
SWALE	R226	R225	0.00	0.00	0.00	0.19	15.2	4.35	0.83	3.43	15	411	1.10	0.02	-	0.02	2.8	2.5	833.80	829.29	832.80	828.29	832.80	828.29
CULVERT	R225	R224	0.98	0.50	0.49	0.68	17.7	4.10	2.79	3.82	15	36	1.00	0.19	0.93	0.93	3.1	0.2	829.29	828.93	828.29	827.93	828.29	827.93
SWALE	R224	R223	0.00	0.00	0.00	0.68	17.9	4.08	2.79	3.27	15	114	1.00	0.19	-	0.19	2.7	0.7	828.00	827.79	827.93	826.79	827.93	826.79
CULVERT	R223	R222	0.54	0.47	0.25	0.93	18.6	4.01	3.73	3.86	15	36	1.02	0.33	0.93	0.93	3.1	0.2	827.79	827.42	826.79	826.42	826.79	826.42
SWALE	R222	R221	0.00	0.00	0.00	0.93	18.8	4.00	3.73	3.73	15	183	1.07	0.33	-	0.33	2.8	1.1	827.42	825.46	826.42	824.46	826.42	824.46
CULVERT	R221	R220	0.62	0.50	0.31	1.24	19.9	3.90	4.83	4.83	15	36	1.20	0.56	0.93	0.93	3.4	0.2	825.36	825.03	824.46	824.03	824.46	824.03
SWALE	R220	R34	0.00	0.00	0.00	1.24	20.1	3.88	4.83	5.29	18	91	0.99	0.21	-	0.21	3.0	0.5	824.52	824.33	824.03	823.13	824.03	823.13
CULVERT	R209	R208	0.18	0.49	0.09	0.09	15.0	4.38	0.39	2.35	12	37	1.25	0.01	1.25	1.25	3.0	0.2	831.91	831.45	830.91	830.45	830.91	830.45
SWALE	R208	R207	0.00	0.00	0.00	0.09	15.0	4.35	0.39	3.27	15	125	1.17	0.00	-	0.00	2.7	0.8	831.45	830.20	830.45	829.20	830.45	829.20
CULVERT	R207	R206	0.32	0.48	0.16	0.25	16.0	4.27	1.07	3.82	15	36	1.00	0.03	0.93	0.93	3.1	0.2	830.18	829.84	829.20	828.84	829.20	828.84
SWALE	R206	R205	0.00	0.00	0.00	0.25	16.2	4.25	1.07	3.29	15	136	1.01	0.03	-	0.03	2.7	0.8	829.84	828.47	828.84	827.47	828.84	827.47
CULVERT	R205	R204	0.59	0.42	0.25	0.50	17.0	4.17	2.08	3.82	15	36	1.00	0.10	0.93	0.93	3.1	0.2	828.44	828.11	827.47	827.11	827.47	827.11
SWALE	R204	R203	0.00	0.00	0.00	0.50	17.2	4.15	2.08	3.27	15	128	1.00	0.10	-	0.10	2.7	0.8	828.11	826.83	827.11	825.83	827.11	825.83
CULVERT	R203	R202	0.59	0.42	0.25	0.75	18.0	4.07	3.05	3.87	15	36	1.03	0.22	0.93	0.93	3.2	0.2	826.79	826.46	825.83	825.46	825.83	825.46
SWALE	R202	R201	0.00	0.00	0.00	0.75	18.2	4.05	3.05	4.99	18	140	0.88	0.08	-	0.08	2.8	0.8	825.54	825.43	825.46	824.23	825.46	824.23
CULVERT	R201	R200	0.40	0.46	0.18	0.93	19.0	3.98	3.70	3.89	15	38	1.04	0.33	0.93	0.93	3.2	0.2	825.18	824.83	824.23	823.83	824.23	823.83
SWALE	R200	R33	0.00	0.00	0.00	0.93	19.2	3.96	3.70	4.91	18	86	0.85	0.12	-	0.12	2.8	0.5	824.40	824.30	823.83	823.10	823.83	823.10
CULVERT	R215	R214	0.21	0.39	0.08	0.08	15.0	4.38	0.35	3.82	15	36	1.00	0.00	0.93	0.93	3.1	0.2	835.01	834.68	834.			



Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND SHOULD NOT BE USED TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGE TO UTILITIES WHICH MAY OCCUR DURING THE COURSE OF THE WORK. THE CONTRACTOR SHALL PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE RESPONSIBLE FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
866.850.4200 www.atwell-group.com
311 N. MAIN ST.
ANN ARBOR, MI 48104
734.994.4060

STORM WATER MANAGEMENT NARRATIVE:
THE SITE IS PREDOMINANTLY OPEN FIELDS WITH A LARGE WETLAND COMPLEX IN THE EAST. THE TERRAIN GENERALLY FALLS FROM THE WEST TO EAST TOWARDS THE WETLAND COMPLEX AND FLEMING CREEK. FLEMING CREEK FLOWS SOUTH TOWARDS THE HURON RIVER.
EXISTING STORM MANAGEMENT FACILITIES:
THE STORM WATER RUNOFF FROM THE SITE DRAINS VIA OVERLAND FLOW TO FLEMING CREEK. THIS DRAIN FLOWS SOUTH APPROXIMATELY 4 MILES TO JOIN THE HURON RIVER.
REFER TO THE EXISTING CONDITIONS PLAN FOR ADDITIONAL DETAILS.

PROPOSED STORM DRAINAGE SYSTEM DESIGN:
IN CONJUNCTION WITH THE DEVELOPMENT OF THE SITE, THE STORM WATER MANAGEMENT FACILITY IMPROVEMENTS ARE TO COMPLY WITH THE RULES OF THE WASHTENAW COUNTY WATER RESOURCE COMMISSIONER (WCRC). THE PROPOSED STORM WATER RUNOFF WILL BE COLLECTED AND CONVEYED VIA STORM SEWER TO AN ON-SITE DETENTION BASIN. THIS BASIN IS SIZED USING THE WCRC STANDARDS TO DETAIN FOR A 100-YEAR STORM EVENT AND PROVIDE AT LEAST 1 FOOT OF FREEBOARD. A FLOW RESTRICTOR WILL BE PROVIDED BY A PERFORATED RISER OUTLET STRUCTURE IN ORDER TO REGULATE THE RATE OF DISCHARGE AT OR BELOW THE ALLOWABLE BANK FULL AND 100-YEAR RATES. STONE WALL FORE-BAYS WILL BE PROVIDED WITHIN THE BASIN TO PROMOTE SETTLING OF SUSPENDED SOLIDS AND SEDIMENT FOR THE MORE FREQUENT FIRST FLUSH RAIN EVENTS.

A RAIN GARDEN IS PROPOSED IN THE NORTHWEST CORNER OF THE SITE. THIS ADDITIONAL BMP TREATMENT WILL HELP FILTER SUSPENDED SOLIDS AND PROMOTE INFILTRATION OF STORM WATER. THE SOIL MEDIUM WILL PROMOTE FILTERING OF POLLUTANTS AND PROVIDE SOME ADDITIONAL STORAGE AND INFILTRATION OF STORM WATER RUNOFF.

DRAINAGE/STORMWATER NOTES

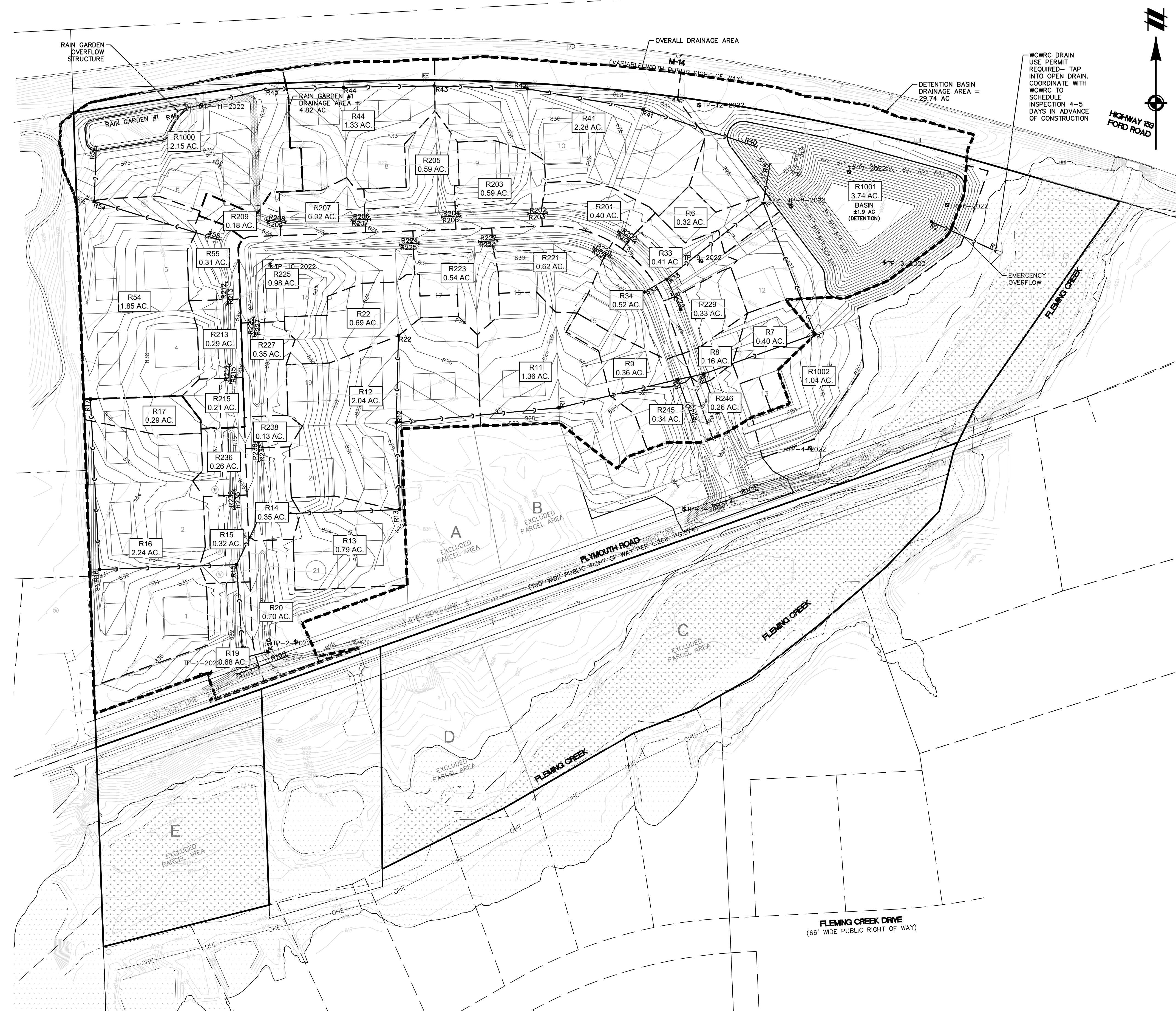
1. THE TOTAL REQUIRED DETENTION HAS BEEN DETERMINED IN ACCORDANCE WITH THE WASHTENAW COUNTY WATER RESOURCES COMMISSIONER RULES AND GUIDELINES.
2. BASED ON THE SOIL INVESTIGATION PARTS OF THE SITE ARE SUITABLE FOR INFILTRATION. RAIN GARDEN INFILTRATION BMP IS PROPOSED TO MEET THE REQUIRED INFILTRATION VOLUME.
3. THE REMAINING REQUIRED DETENTION SHALL BE PROVIDED WITHIN A DETENTION BASIN ON-SITE.
4. THE PROPOSED DETENTION BASIN OUTLET TO THE EXISTING ON-SITE WETLAND.
5. ROOF DRAINAGE SHALL BE DIRECTED TO THE STORM SEWER WATER MANAGEMENT SYSTEM.
6. SEE ENGINEERS CERTIFICATE OF OUTLET FOR PRE-POST ANALYSIS OF STORMWATER DISCHARGE FROM SITE.

SOIL INFILTRATION TEST RESULTS

Test Pit I.D.	Soil Description	Sand Layer Depth	Test Depth	Measured Infiltration Rate (in/hr)	Design Infiltration Rate (in/hr)	Groundwater elevation
10-2021	Moist brown gravelly fine to coarse sand with traces of silt and occasional clay lenses	3'9"-1'7"	4'	67.69	10	815.9
11-2021	Moist brown fine sand with traces of silt and gravel	3'7"-8"	4	30.71	10	821.7

LEGEND

- BOUNDARY LINE
- EXIST. EASEMENT
- SECTION LINE
- BOUNDARY/PROPERTY LINE
- EXIST. SETBACK
- EXIST. CONTOUR
- EXIST. CURB AND GUTTER
- EXIST. BUILDING
- EXISTING WETLAND
- EXIST. WETLAND BUFFER
- EXIST. OVERHEAD ELEC. LINE
- EXIST. OVERHEAD TELE. LINE
- EXIST. CABLE LINE
- EXIST. UNSPECIFIED UTILITIES
- EXIST. GAS
- EXIST. STORM
- EXIST. UNSPECIFIED UTILITY
- EXIST. CULVERT
- EXIST. CATCH BASIN/INLET
- PROP. SETBACK
- PROP. EDGE OF ASPHALT
- PROP. LOT LINE
- PROP. DETENTION
- PROP. EASEMENT
- PROP. CONTOUR
- GRADING LIMITS
- PROP. STORM SEWER
- PROP. CULVERT
- PROP. CATCH BASIN/INLET
- PROP. SEPTIC
- PROP. WELL



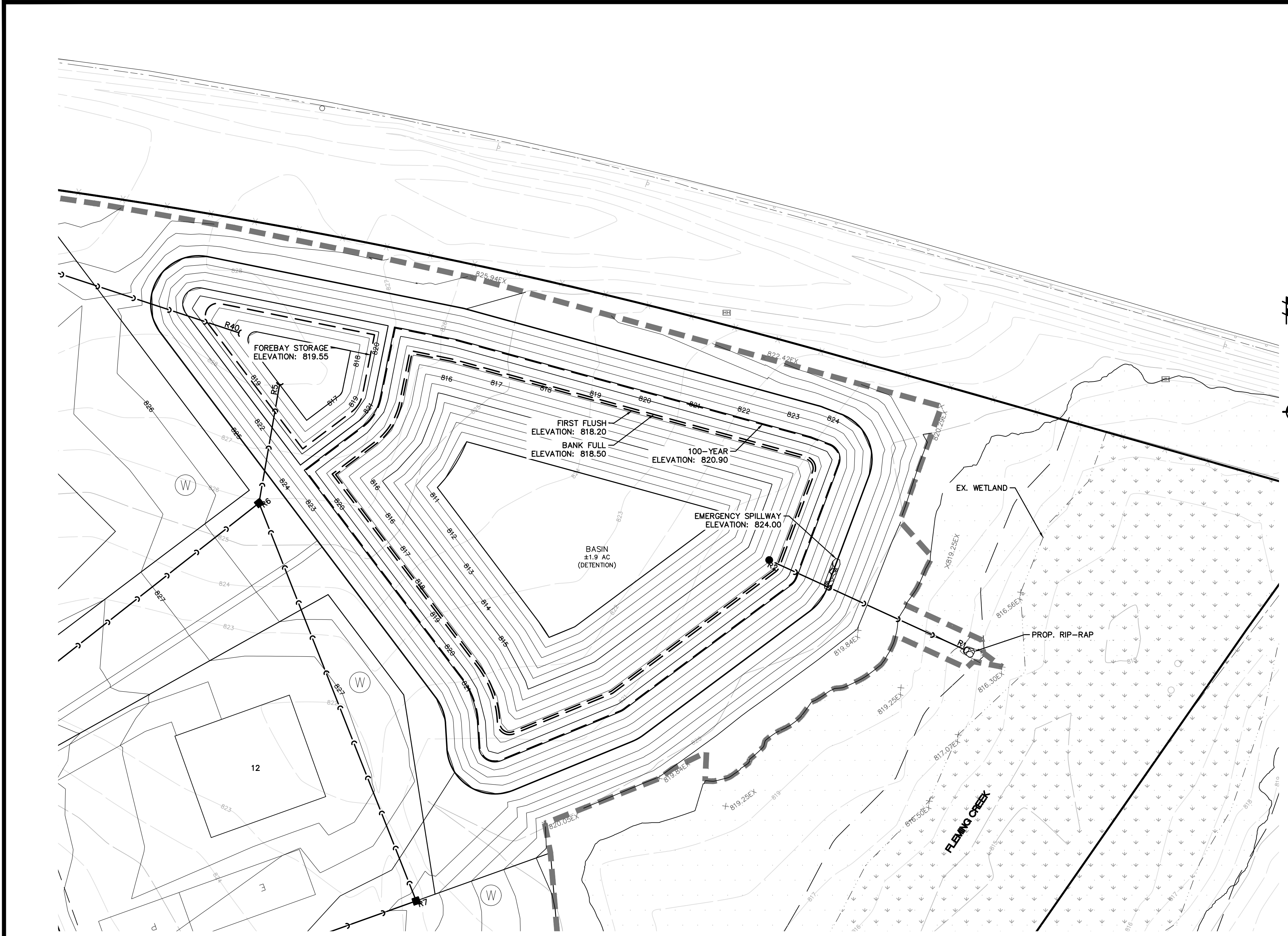
SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
DRAINAGE AREA PLAN

DATE
APRIL 18, 2023

5/30/23 PER WCRC
7/11/23 PER TWP
8/10/23 PER WCHD/WCRC
10/27/23 PER WCHD/WCRC
11/30/23 PER WCRC
1/12/24 PER WCRC

REVISIONS
SCALE 0 50 100
1" = 100 FEET
DR. SK CH. MC
BOOK --
JOB 21002863
SHEET NO. 32



DETENTION CALCULATIONS

W1 Determining Post-Development Cover Types, Areas, Curve Numbers and runoff coefficients

Cover Type	Soil Type	Area (ft ²)	Area (ac)	Runoff Coef. (C)	CN(Area)
Forest	USDA	23,000	5.33	0.05	200.00
Water Surface		43,560	1.00	1.00	43.56
Developed Open Space, Good Condition		1,078,721	24.41	0.30	305.96
Developed Open Space, Good Condition		0	0.00	0.30	0
Developed Open Space, Good Condition		0	0.00	0.45	0
Total		1,064,581	24.41		1,255.29
Weighted C: Sum(C*Area) / Sum(Area) =		0.44			

W2 First Flush Runoff Calculations (Vf)

Vf = (P) / (12) (45862) (C) AC = **40,501** cf

W3 Post-Development Bankfull Runoff Calculations (Vbf-pr)

2 year/24 hour storm event P = 2.35 in

Previous Cover CN (Meadow - See Table Below) CN = 58

S = (100/CN) - 10 S = 7.18 in

D = (P - 0.25) / (P + 0.85) Q = 0.30 in

Previous Cover Area Area = 1,255,291 sf

Vbf-pr = (Q) (D) (Area) Vbf-pr = **10,778** cf

W4 Previous Cover Post-Development Bankfull Runoff Calculations (Vbf-pr)

2 year/24 hour storm event P = 2.35 in

Previous Cover CN CN = 60

S = (100/CN) - 10 S = 6.67 in

D = (P - 0.25) / (P + 0.85) Q = 0.15 in

Previous Cover Area Area = 1,078,721 sf

Vbf-pr = (Q) (D) (Area) Vbf-pr = **13,065** cf

W5 Impermeable Cover Post-Development Bankfull Runoff Calculations (Vbf-im)

2 year/24 hour storm event P = 2.35 in

Impermeable Cover CN CN = 98

S = (100/CN) - 10 S = 0.30 in

D = (P - 0.25) / (P + 0.85) Q = 2.12 in

Impermeable Cover Area Area = 275,520 sf

Vbf-im = (Q) (D) (Area) Vbf-im = **48,722** cf

W6 Previous Cover Post-Development 100-year Storm Runoff Calculations (V100-pr)

100-year storm event P = 5.11 in

Previous Cover CN CN = 60

S = (100/CN) - 10 S = 6.67 in

D = (P - 0.25) / (P + 0.85) Q = 1.44 in

Previous Cover Area Area = 1,078,721 sf

V100-pr = (Q) (D) (Area) V100-pr = **110,791** cf

W7 Impermeable Cover Post-Development 100-year Storm Runoff Calculations (V100-im)

100-year storm event P = 5.11 in

Impermeable Cover CN CN = 98

S = (100/CN) - 10 S = 0.30 in

D = (P - 0.25) / (P + 0.85) Q = 4.87 in

Impermeable Cover Area Area = 275,520 sf

V100-im = (Q) (D) (Area) V100-im = **131,904** cf

W8 Determine Time of Concentration (Tc-hrs)

User specified; use 25 minutes from storm sewer catalog

Time of Concentration = **0.42** hr

W9 Runoff Summary & Detention Infiltration Requirement

Runoff Summary from Previous Worksheets	V _{runoff} (cf)	V _{infiltration} (cf)	Total BF Volume (V _{total}) (cf)
V _{runoff} =	40,501	0	40,501
V _{infiltration} =	13,065	13,065	13,065
Total BF Volume (V_{total})	40,501	13,065	53,566

W10 Detention / Infiltration Requirement

Q₁₀₀ = 2.18 (ft³) / (s) = 0.82 cfs

Total Site Area = 275,520 ac

Q₁₀₀ = 2.18 cfs

Peak Flow (PF) = (Q₁₀₀) (Area) = 143,307 cfs

Q₁₀₀ = 2.18 cfs

V₁₀₀ = (Q₁₀₀) (T_c) (Area) = 110,791 cf

Calculated Detention (m³) = **226,623** cf

W11 Determine Applicable BMPs and Associated Volume Credits: N/A (assume no infiltration)

Proposed BMP	Area (ft ²)	Storage Depth (ft)	Storage Volume (ft ³)	Ave. Design Infil. Rate (in/hr)	Infil. During Storm (ft ³)	Potential Reduction (ft ³)
Rain Garden 1	7,710	1.0	7,710	0.07	10	30,500
						48,722

W13 Infiltration / Detention Summary

Total BMP Credits Required per WCVCR Rules: 51,000 cf

Total BMP Credits Provided: 48,722 cf

Difference: (2,278) cf

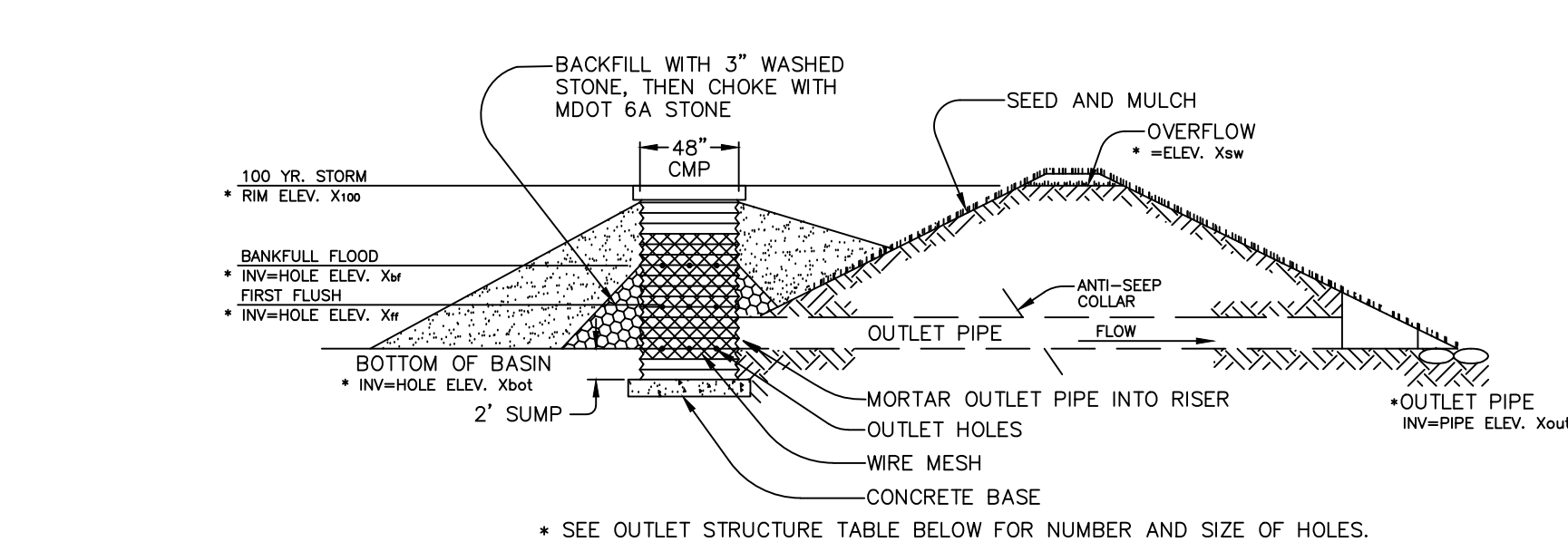
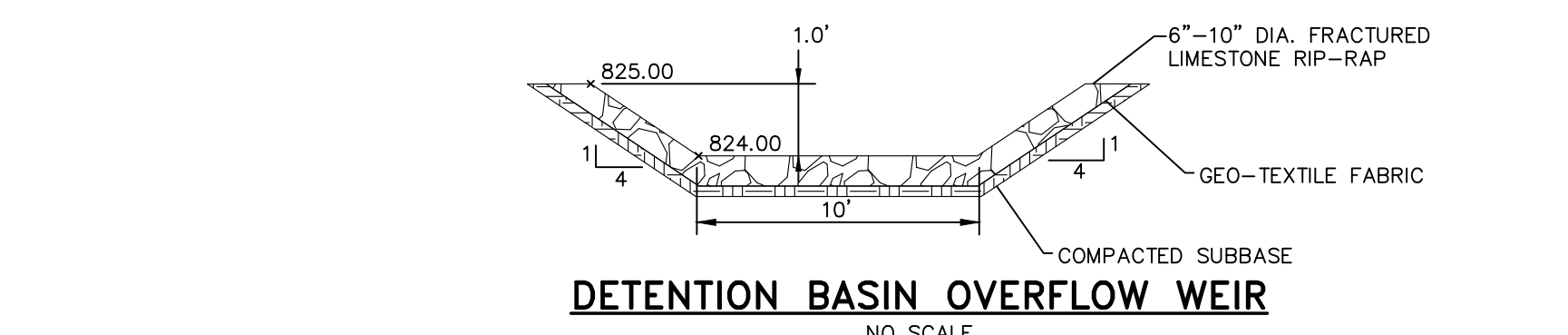
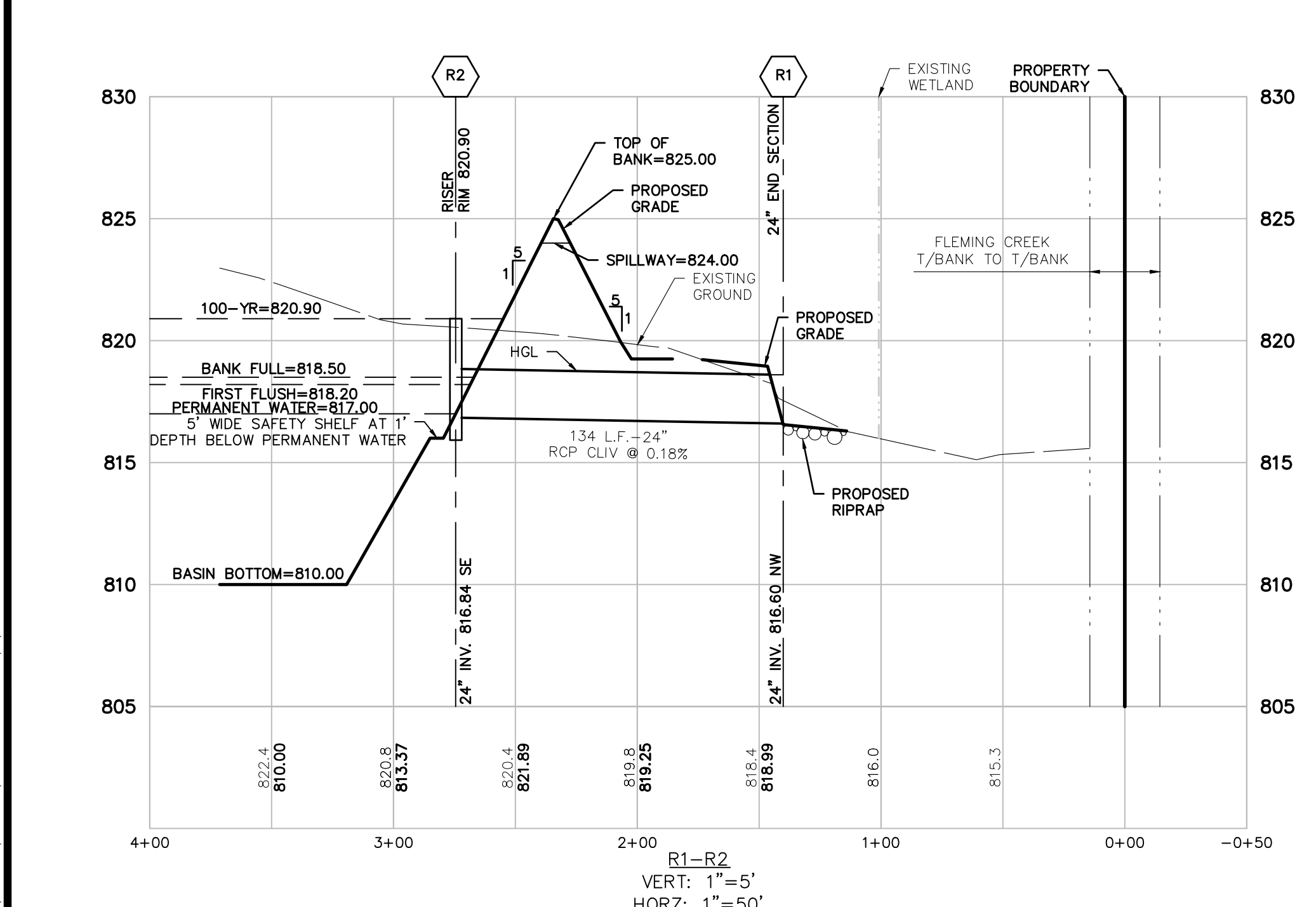
% Deficiency: 4.47%

Volume Penalty (rounded up to 20% based on BMP deficiency): 2.4%

Detention Volume adjusted for BMP credits, V_{adj}: 181,026 cf

Detention Volume + Penalty, V_{total}: 183,504 cf

Required V_{total} = 226,623 cf



OUTLET INVERT (Xout)	INVERT AT RISER	DESIGN FLOOD WSE (X100)	FIRST FLUSH DISCHARGE INV.	ORIFICE DIA.	# OF HOLES	BANK FULL DISCHARGE INV.	ORIFICE DIA.	# OF HOLES	DESIGN FLOOD DISCHARGE INV.	ORIFICE DIA.	# OF HOLES	TOP OF STAND PIPE ELEVATION (X100)	POND CREST ELEVATION	EMERGENCY SPILLWAY ELEVATION (Xsw)
816.60	816.84	820.90	817.00	2.00	4	N/A	N/A	N/A	818.50	2.50	13	820.90	825	824.00

DET Detention Basin Summary

Elevation	Surface Area (SF)	Depth (FT)	Forebay Only Volume (CF)	Detention Basin Only Volume (CF)	Cumulative Volume (CF)	First Flush	Bank Full	100-Year
830	10,828	0.0	0	0	0	-	-	-
828	13,200	1.0	13,200	13,200	13,200	-	-	-
826	15,728	1.0	28,928	28,928	42,128	-	-	-
824	18,478	1.0	47,406	47,406	60,576	-	-	-
822	21,458	1.0	68,864	68,864	80,034	-	-	-
820	24,778	1.0	93,642	93,642	98,252	-	-	-
818	27,828	1.0	121,470	121,470	119,470	-	-	-
816	31,568	0.0	0	0	119,470	-	-	-
814	35,208	0.0	0	0	119,470	-	-	-
812	38,208	1.0	2,913	32,208	151,678	-	-	-
810	40,468	1.0	5,787	37,995	189,673	-	-	-
808	42,890	1.0	8,561	46,556	236,229	-	-	-
806	45,478	1.0	11,245	57,801	294,030	-	-	-
804	48,238	1.0	13,839	71,640	365,670	-	-	-
802	51,168	1.0	16,344	87,984	452,614	-	-	-
800	54,268	1.0	18,768	106,752	559,366	-	-	-
798	57,538	1.0	21,102	127,854	687,218	-	-	-
796	60,968	1.0	23,356	151,210	838,428	-	-	-
794	64,558	1.0	25,530	176,740	1,015,168	-	-	-
792	68,308	1.0	27,624	204,364	1,219,532	-	-	-
790	72,218	1.0	29,638	234,002	1,453,534	-	-	-
788	76,288	1.0	31,572	265,574	1,719,106	-	-	-
786	80,518	1.0	33,426	300,000	2,019,132	-	-	-
784	84,908	1.0	35,200	337,200	2,356,332	-	-	-
782	89,458	1.0	36,894	377,094	2,733,426	-	-	-
780	94,168	1.0	38,508	419,602	3,153,028	-	-	-
778	99,038	1.0	40,042	464,644	3,617,672	-	-	-
776	104,068	1.0	41,496	512,140	4,129,812	-	-	-
774	109,258	1.0	42,870	562,010	4,689,822	-	-	-
772	114,608	1.0	44,164	614,174	5,297,996	-	-	-
770	120,128	1.0	45,378	668,552	5,966,548	-	-	-
768	125,818	1.0	46,512	725,064	6,698,612	-	-	-
766	131,678	1.0	47,566	783,630	7,492,242	-	-	-
764	137,708	1.0	48,540	844,170	8,346,412	-	-	-
762	143,908	1.0	49,434	906,604	9,263,016	-	-	-
760	150,278	1.0	50,248	970,852	10,243,868	-	-	-
758	156,818	1.0	50,982	1,036,834	11,299,702	-	-	-
756	163,528	1.0	51,636	1,104,470	12,434,172	-	-	-
754	170,408	1.0	52,210	1,173,680	13,647,852	-	-	-
752	177,458	1.0	52,704	1,244,384	14,942,236	-	-	-
750	184,678	1.0	53,118	1,316,502	16,328,738	-	-	-
748	192,068	1.0	53,452	1,390,054	17,808,792	-	-	-
746	199,628	1.0	53,706	1,465,060	19,383,852	-	-	-
744	207,358	1.0	53,880	1,541,540	21,055,392	-	-	-
742	215,258	1.0	53,974	1,619,514	22,834,906	-	-	-
740	223,328	1.0	53,988	1,700,002	24,734,914	-	-	-
738	231,568	1.0	53,912	1,782,894	26,757,808	-	-	-
736	240,078	1.0	53,746	1,868,140	28,915,948	-	-	-
734	248,858	1.0	53,490	1,955,630	31,211,578	-	-	-
732	257,908	1.0	53,144	2,045,264	33,656,842	-	-	-
730	267,228	1.0	52,708	2,146,972	36,253,814	-	-	-
728	276,818	1.0	52,182	2,260,654	39,014,468	-	-	-
726	286,678	1.0	51,566	2,386,220	41,950,688	-	-	-
724	296,808	1.0	50,860	2,523,680	45,174,368	-	-	-
722	307,208	1.0	50,064	2,672,744	48,687,112	-	-	-
720	317,878	1.0	49,178	2,833,422	52,510,534	-	-	-
718	328,818	1.0	48,202	2,905,624	56,656,158	-	-	-
716	339,928	1.0	47,136	2,989,260	61,145,418	-	-	-
714	351,208	1.0	45,980	3,084,240	66,029,658	-	-	-
712	362,658	1.0	44,734	3,190,474	71,320,132	-	-	-
710	374,278	1.0	43,398	3,307,872	77,027,964	-	-	-
708	386,068	1.0	41,972	3,436,344	83,164,308	-	-	-
706	398,028	1.0	40,456	3,575,800	89,740,108	-	-	-
704	410,158	1.0	38,850	3,726,250	96,766,358	-	-	-
702	422,458	1.0	37,154	3,887,604	104,253,962	-	-	-
700	434,928	1.0	35,368	4,059,872	112,313,834	-	-	-
698	447,568	1.0	33,492	4,243,064	120,956,898	-	-	-
696	460,378	1.0	31,526	4,437,190	130,194,008	-	-	-
694	473,358	1.0	29,470	4,642,160	140,036,168	-	-	-
692	486,508	1.0	27,324	4,857,884	150,494,052	-	-	-
690	499,828	1.0	25,088	5,084,372	161,578,424	-	-	-
688	513,318	1.0	22,762	5,321,614	173,300,038	-	-	-
686	526,978	1.0	20,346	5,569,510	185,669,548	-	-	-
684	540,808	1.0	17,840	5,827,950	198,697,498	-	-	-
682	554,818	1.0	15,244	6,095,834	212,393,332	-	-	-
680	568,998	1.0	12,558	6,373,172	226,766,504	-	-	-
678	583,348	1.0	9,782	6,660,064	241,826,568	-	-	-
676	597,868	1.0	6,916	6,956,500	257,583,068	-	-	-
674	612,558	1.0	3,960	7,262,480	274,045,548	-	-	-
672	627,418	1.0	0,904	7,577,904	291,223,452	-	-	-
670	642,448	1.0	-	7,902,872	309,126,324	-	-	-
668	657,648	1.0	-	8,237,384	327,763,708	-	-	-
666	673,018	1.0	-	8,581,440	347,145,148	-	-	-
664	688,558	1.0	-	8,934,950	367,280,098	-	-	-
662	704,268	1.0	-	9,297,914	388,178,012	-	-	-
660	720,148	1.0	-	9,670,332	409,848,344	-	-	-
658	736,198	1.0	-	10,051,304	432,299,648	-	-	-
656	752,418	1.0	-	10,440,830	455,540,478	-	-	-
654	768,808	1.0	-	10,839,000	479,580,478	-	-	-



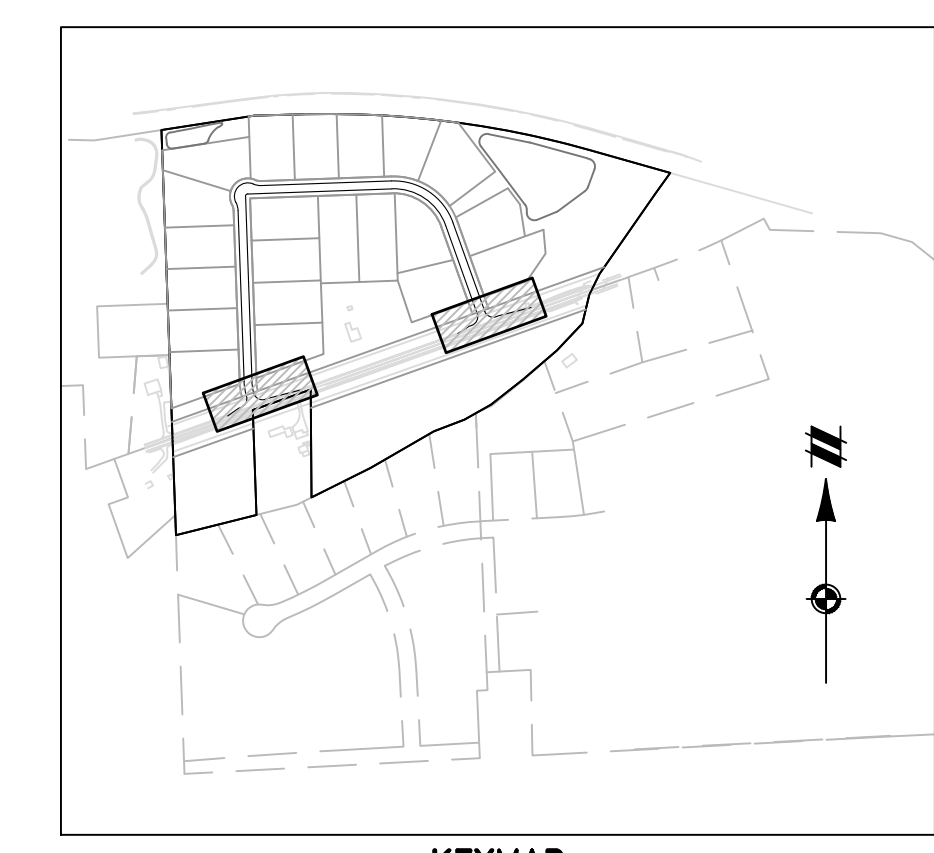
SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
FRONTAGE PLAN

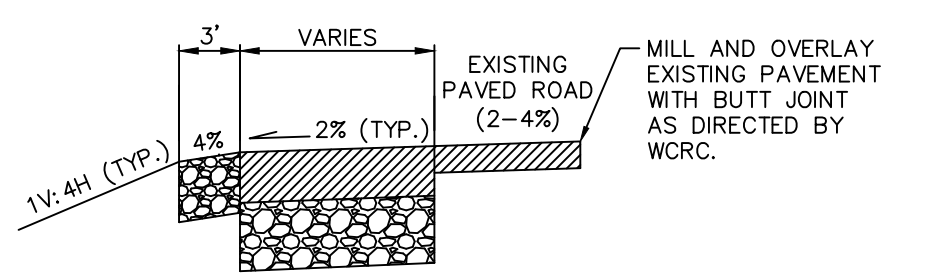
DATE
APRIL 18, 2023

5/30/23	PER WCRC
7/11/23	PER TWP
8/10/23	PER WCD/WCRC/WCRC
10/27/23	PER WCD/WCRC
11/30/23	PER WCRC
1/12/24	PER WCRC

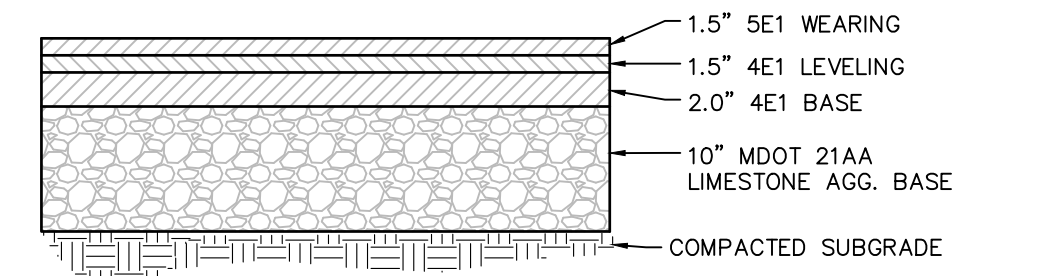
REVISIONS	
SCALE	0 10 20
	1" = 20 FEET
DR.	SK CH. MC
P.M.	MC
BOOK	--
JOB	21002863
SHEET NO.	34



KEYMAP
SCALE: 1" = 750 FEET



CROSS-SECTION A-A
TYPICAL WIDENING PAVEMENT
NOT TO SCALE



ASPHALT PAVING SECTION
(FOR USE IN WCRC ROW)
NOT TO SCALE

NOTES

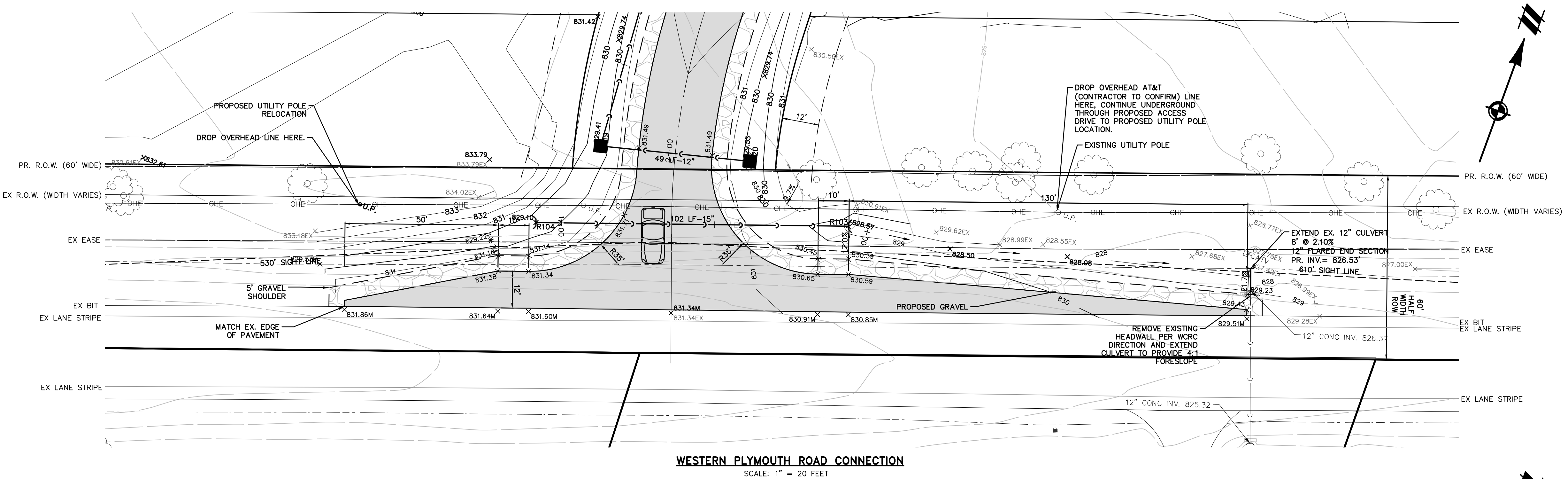
1. IMPROVEMENTS WITHIN THE PLYMOUTH ROAD RIGHT OF WAY SHALL BE IN COMPLIANCE WITH AND PERMITTED BY THE WASHTENAW COUNTY ROAD COMMISSION (WCRC).
2. SITE DISTANCE AT THE PROPOSED SITE DRIVEWAYS IS IN ACCORDANCE WITH AASHTO AND WCRC REQUIREMENTS. REFER TO SITE DISTANCE ANALYSIS SHOWN ON SHEET 08.
3. REFER TO THE TRAFFIC IMPACT STUDY PREPARED BY FISHBEEK FOR ADDITIONAL DETAILS.

GENERAL NOTES

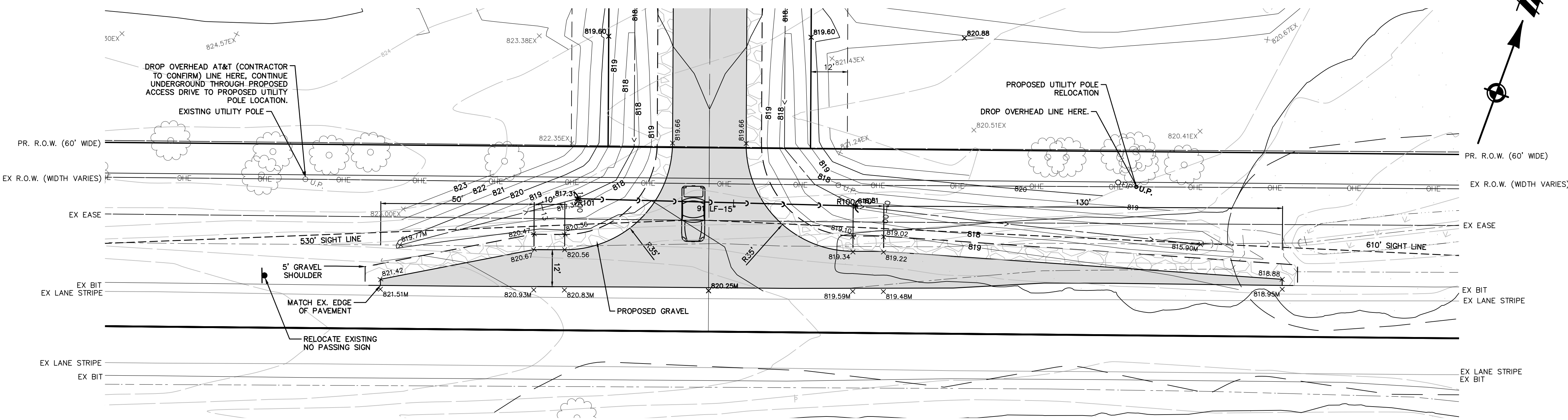
1. ANY DAMAGE TO THE PUBLIC ROAD DURING THE CONSTRUCTION OF THE PROJECT SHALL REQUIRE AT A MINIMUM THE CONTRACTOR TO MILL OFF THE ENTIRE TRAVEL LANE OF WHERE THE DAMAGE OCCURRED AND RESURFACE THE ROADWAY'S 1.5-INCHES HMA TOP COURSE AT THE DIRECTION OF THE WCRC.

LEGEND

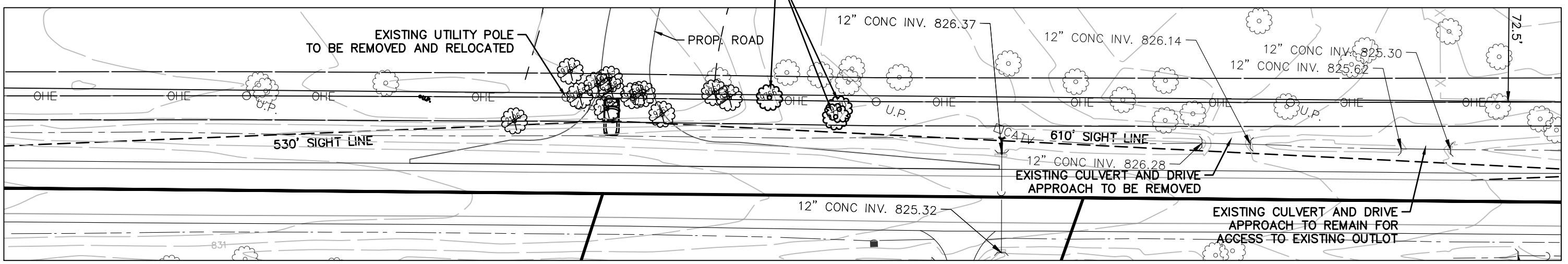
	BOUNDARY LINE
	EXIST. EASEMENT SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
	EXIST. GAS
	EXIST. STORM
	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	PROP. SETBACK
	PROP. EDGE OF ASPHALT
	PROP. LOT LINE
	PROP. DETENTION
	PROP. EASEMENT
	PROP. CONTOUR
	GRADING LIMITS
	PROP. STORM SEWER
	PROP. CULVERT
	PROP. CATCH BASIN/INLET
	PROP. WELL



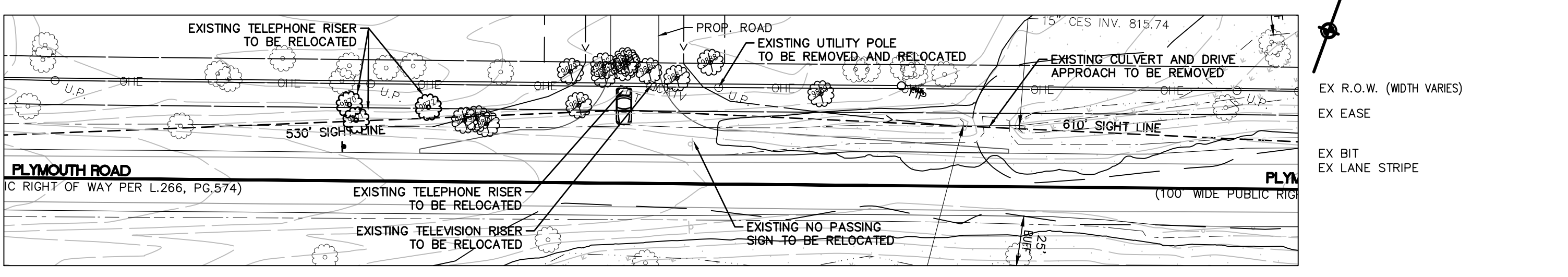
WESTERN PLYMOUTH ROAD CONNECTION
SCALE: 1" = 20 FEET



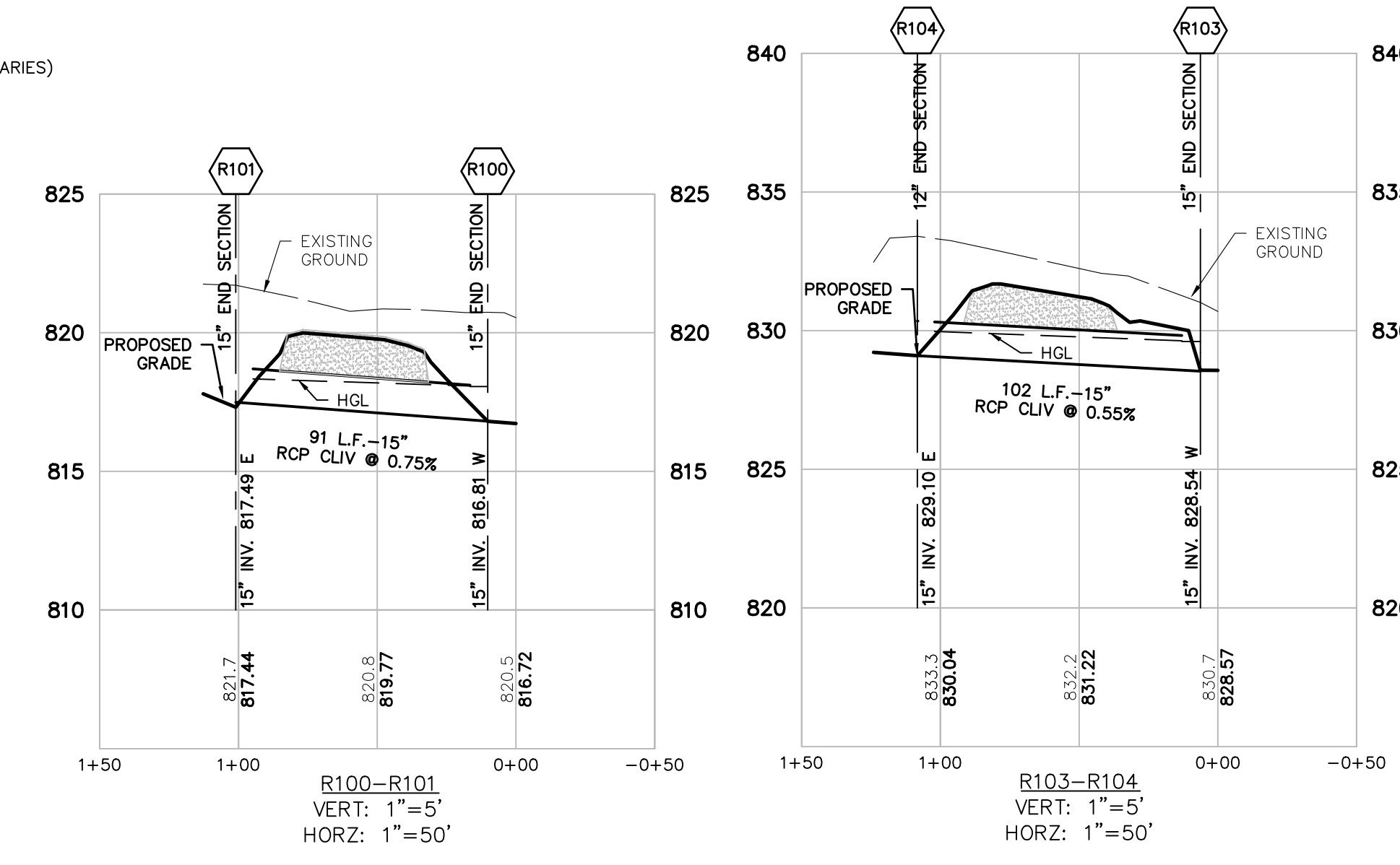
EASTERN PLYMOUTH ROAD CONNECTION
SCALE: 1" = 20 FEET



WESTERN PLYMOUTH EXISTING CONDITIONS & DEMO PLAN
SCALE: 1" = 50 FEET



EASTERN PLYMOUTH EXISTING CONDITIONS & DEMO PLAN
SCALE: 1" = 50 FEET



K:\VTD\2024\PLYMOUTH_FINAL\20240208\DWG\08-FRONTAGE-17272024.dwg 4:02 PM DWG: BOSTMAN

210002863 - 6595 Plymouth Road - Tree Table												
Tree Tag #	Data Code	Scientific Name	Common Name	DBH (Inch)	Condition	Comments	Regulated	Landmark Tree	To Be Removed	Replacement Required?		
2991	ACNE	Acer negundo	Bovleider	9	Fair	Vines	Yes	No	No	No		
2992	ACSA	Acer saccharum	Sugar Maple	10	Good		Yes	No	No	No		
2993	RCPA	Rubus pedunculatus	Black Locust	15	Poor	Four Trunk (77), 14.5, 13, 11mm Bark Rot (88), Nearly Dead	Yes	No	No	No		
2994	ACSA	Acer saccharum	Sugar Maple	4	Good		Yes	No	No	No		
2995	ACSA	Acer saccharum	Sugar Maple	16	Good		Yes	Yes	No	No		
2996	PCPO	Prunus pennsylvanica	Common Pear	10	Good		Yes	No	No	No		
2997	PCPO	Prunus pennsylvanica	Common Pear	10	Good		Yes	No	No	No		
2998	PCPO	Prunus pennsylvanica	Common Pear	8	Good		Yes	No	No	No		
2999	PCPO	Prunus pennsylvanica	Common Pear	10	Good		Yes	No	No	No		
3000	ACNE	Acer negundo	Bovleider	24	Good		Yes	No	No	No		
3001	ACNE	Acer negundo	Bovleider	10.5	Good		Yes	No	No	No		
3002	ACNE	Acer negundo	Bovleider	12	Good		Yes	No	No	No		
3003	ACNE	Acer negundo	Bovleider	11	Good		Yes	No	No	No		
3004	ACNE	Acer negundo	Bovleider	11	Good		Yes	No	No	No		
3005	ACNE	Acer negundo	Bovleider	10.5	Good		Yes	No	No	No		
3006	ACNE	Acer negundo	Bovleider	18	Good		Yes	No	No	No		
3007	ACNE	Acer negundo	Bovleider	18	Good		Yes	No	No	No		
3008	PRSE	Prunus serotina	Black Cherry	12	Good	41: 7.5, 7.6, 6.5	Yes	No	No	No		
3009	ACNE	Acer negundo	Bovleider	14.5	Fair	Leaning	Yes	No	No	No		
3010	ACNE	Acer negundo	Bovleider	10	Good		Yes	No	No	No		
3011	MASPP	Malus speciosa	Apple/Crabapple	10	Good	Three Trunk (77), 8, 5	Yes	No	No	No		
3012	ACNE	Acer negundo	Bovleider	17.5	Good	Tree Trunk (77), 10	Yes	No	No	No		
3013	ACNE	Acer negundo	Bovleider	17.5	Good		Yes	No	No	No		
3014	ACNE	Acer negundo	Bovleider	11	Good		Yes	No	No	No		
3015	ACNE	Acer negundo	Bovleider	11	Good		Yes	No	No	No		
3016	ACNE	Acer negundo	Bovleider	9	Fair	Vines	Yes	No	No	No		
3017	ACNE	Acer negundo	Bovleider	9	Fair	Vines	Yes	No	No	No		
3018	ACNE	Acer negundo	Bovleider	14	Good		Yes	No	No	No		
3019	ACNE	Acer negundo	Bovleider	11.5	Good	21: 10	Yes	No	No	No		
3020	ACNE	Acer negundo	Bovleider	11.5	Good		Yes	No	No	No		
3021	ACNE	Acer negundo	Bovleider	11.5	Good		Yes	No	No	No		
3022	ACNE	Acer negundo	Bovleider	11.5	Good		Yes	No	No	No		
3023	ACNE	Acer negundo	Bovleider	11.5	Good		Yes	No	No	No		
3024	ACNE	Acer negundo	Bovleider	11.5	Good		Yes	No	No	No		
3025	ACNE	Acer negundo	Bovleider	11.5	Good		Yes	No	No	No		
3026	ACNE	Acer negundo	Bovleider	11.5	Good		Yes	No	No	No		
3027	ACNE	Acer negundo	Bovleider	11.5	Good		Yes	No	No	No		
3028	ACNE	Acer negundo	Bovleider	11.5	Good		Yes	No	No	No		
3029	ACNE	Acer negundo	Bovleider	11.5	Good		Yes	No	No	No		
3030	ACNE	Acer negundo	Bovleider	11.5	Good		Yes	No	No	No		
3031	PCPO	Prunus pennsylvanica	Common Pear	10.5	Good		Yes	No	No	No		
3032	ACSA	Acer saccharum	Sugar Maple	21	Good		Yes	Yes	No	No		
3033	PRSE	Prunus serotina	Black Cherry	8	Good		Yes	No	No	No		
3034	ACNE	Acer negundo	Bovleider	18	Poor	Dead Branches	No	No	No	No		
3035	LEAM	Ulmus americana	American Elm	12	Good		Yes	No	No	No		
3036	MDAL	Menis abar	White Mulberry	10	Fair	Dead Branches	Yes	No	No	No		
3037	ACNE	Acer negundo	Bovleider	12.5	Good		Yes	No	No	No		
3038	ACNE	Acer negundo	Bovleider	12.5	Good		Yes	No	No	No		
3039	MASPP	Malus speciosa	Apple/Crabapple	6.5	Fair	21: 8, Vines	Yes	No	No	No		
3040	ACNE	Acer negundo	Bovleider	12	Good		Yes	No	No	No		
3041	ACNE	Acer negundo	Bovleider	12	Good		Yes	No	No	No		
3042	PRST	Pinus strobus	White Pine	12	Good	40ft Tall	Yes	No	No	No		
3043	PRST	Pinus strobus	White Pine	8	Good	38ft Tall	Yes	No	No	No		
3044	PRST	Pinus strobus	White Pine	10	Good	38ft Tall	Yes	No	No	No		
3045	PRST	Pinus strobus	White Pine	16	Good	50ft Tall	Yes	No	No	No		
3046	PRST	Pinus strobus	White Pine	5	Good		Yes	No	No	No		
3047	PRST	Pinus strobus	White Pine	5	Good	25ft Tall	Yes	No	No	No		
3048	ACNE	Acer negundo	Bovleider	8.5	Good		Yes	No	No	No		
3049	ACNE	Acer negundo	Bovleider	8.5	Good		Yes	No	No	No		
3050	LEAM	Ulmus americana	American Elm	8	Good		Yes	No	No	No		
3051	ACNE	Acer negundo	Bovleider	10.5	Good	21: 6.5	Yes	No	No	No		
3052	ACNE	Acer negundo	Bovleider	9.5	Good		Yes	No	No	No		
3053	ACNE	Acer negundo	Bovleider	8	Fair	Leaning	Yes	No	No	No		
3054	ACNE	Acer negundo	Bovleider	8	Fair	Leaning	Yes	No	No	No		
3055	ACNE	Acer negundo	Bovleider	8	Fair	Leaning	Yes	No	No	No		
3056	ACNE	Acer negundo	Bovleider	8	Fair	Leaning	Yes	No	No	No		
3057	PCRA	Prunella pennsylvanica	Chokeberry	11	Good		Yes	No	No	No		
3058	ACNE	Acer negundo	Bovleider	11	Good		Yes	No	No	No		
3059	ACNE	Acer negundo	Bovleider	11	Good		Yes	No	No	No		
3060	LEAM	Ulmus americana	American Elm	9.5	Good		Yes	No	No	No		
3061	PCPO	Prunus pennsylvanica	Common Pear	13	Good		Yes	No	No	No		
3062	ACNE	Acer negundo	Bovleider	13	Good		Yes	No	No	No		
3063	ACNE	Acer negundo	Bovleider	8.5	Good		Yes	No	No	No		
3064	ACNE	Acer negundo	Bovleider	12	Good		Yes	No	No	No		
3065	SANI	Salix nigra	Black Willow	10	Poor	Dead Branches	Yes	No	No	No		
3066	ACNE	Acer negundo	Bovleider	13	Good		Yes	No	No	No		
3067	ACNE	Acer negundo	Bovleider	13	Good		Yes	No	No	No		
3068	ACNE	Acer negundo	Bovleider	4	Good		Yes	No	No	No		
3069	ACNE	Acer negundo	Bovleider	13.5	Good		Yes	No	No	No		
3070	ACNE	Acer negundo	Bovleider	8	Good		Yes	No	No	No		
3071	ACNE	Acer negundo	Bovleider	14	Poor	41: 3, 3, 2, 2, fallen	Yes	No	No	No		
3072	ACNE	Acer negundo	Bovleider	17	Good	21: 6	Yes	No	No	No		
3073	ACNE	Acer negundo	Bovleider	17	Good	21: 6	Yes	No	No	No		
3074	ACNE	Acer negundo	Bovleider	8	Fair	Vines	Yes	No	No	No		
3075	ACNE	Acer negundo	Bovleider	11.5	Good		Yes	No	No	No		
3076	ACNE	Acer negundo	Bovleider	12	Good		Yes	No	No	No		
3077	ACNE	Acer negundo	Bovleider	15	Good	Five Trunk (77), 6.5, 4, 4, 4	Yes	No	No	No		
3078	BRCA	Rhamnus caroliniana	Common Buckthorn	10	Good		Yes	No	No	No		
3079	SANI	Salix nigra	Black Willow	30	Poor	IBL, Dead Limbs	No	No	No	No		
3080	ACNE	Acer negundo	Bovleider	10	Good		Yes	No	No	No		
3081	ACNE	Acer negundo	Bovleider	8	Good		Yes	No	No	No		
3082	ACNE	Acer negundo	Bovleider	17	Fair	Broken Limb	Yes	No	No	No		
3083	SANI	Salix nigra	Black Willow	17	Fair		Yes	No	No	No		
3084	ACNE	Acer negundo	Bovleider	16.5	Good		Yes	No	No	No		
3085	ACNE	Acer negundo	Bovleider	11	Good		Yes	No	No	No		
3086	CRSP	Cotinus speciosa	Hawthorn	8	Good		Yes	No	No	No		
3087	ACNE	Acer negundo	Bovleider	8.5	Good	31: 7, 7	Yes	No	No	No		
3088	CRSP	Cotinus speciosa	Hawthorn	8	Good		Yes	No	No	No		
3089	ACNE	Acer negundo	Bovleider	8.5	Good		Yes	No	No	No		
3090	ACNE	Acer negundo	Bovleider	8.5	Good	Nearly Dead	Yes	No	No	No		
3091	ACNE	Acer negundo	Bovleider	8	Good		Yes	No	No	No		
3092	SANI	Salix nigra	Black Willow	21	Good		Yes	No	No	No		
3093	ACNE	Acer negundo	Bovleider	15	Fair	Vines	Yes	No	No	No		
3094	ACNE	Acer negundo	Bovleider	15	Fair	Vines	Yes	No	No	No		
3095	SANI	Salix nigra	Black Willow	12	Good		Yes	No	No	No		
3096	ACNE	Acer negundo	Bovleider	12	Good		Yes	No	No	No		
3097	ACNE	Acer negundo	Bovleider	12	Good	IBR	Yes	No	No	No		
3098	ACNE	Acer negundo	Bovleider	14	Fair	21: 8, 2, Dead Branches	Yes	No	No	No		
3099	ACNE	Acer negundo	Bovleider	12.5	Good		Yes	No	No	No		
3100	ACNE	Acer negundo	Bovleider	21	Good	21: 18	Yes	No	No	No		
3101	ACNE	Acer negundo	Bovleider	12	Good		Yes	No	No	No		
3102	ACNE	Acer negundo	Bovleider	12	Good		Yes	No	No	No		
3103	ACNE	Acer negundo	Bovleider	10	Fair	Fallen	Yes	No	No	No		
3104	FRPE	Fraxinus pennsylvanica	Green Ash	8	Good		Yes	No	No	No		
3105	ACNE	Acer negundo	Bovleider	8	Good		Yes	No	No	No		
3106	ACNE	Acer negundo	Bovleider	22	Good	21: 15	Yes	No	No	No		
3107	ACNE	Acer negundo	Bovleider	13	Good		Yes	No	No	No		
3108	ACNE	Acer negundo	Bovleider	11	Good		Yes	No	No	No		
3109	LEAM	Ulmus americana	American Elm	13.5	Good	30ft Tall	Yes	No	No	No		
3110	ACNE	Acer negundo	Bovleider	10	Good		Yes	No	No	No		
3111	ACNE	Acer negundo	Bovleider	8	Good	Seven Trunk (77), 7.5, 6.5, 6, 5.5, 4	Yes	No	No	No		
3112	PRCA	Prunella pennsylvanica	Chokeberry	10	Good	30ft Tall	Yes	No	No	No		
3113	PRCA	Prunella pennsylvanica	Chokeberry	9.5	Good		Yes	No	No	No		
3114	MDAL	Menis abar	White Mulberry	9	Good		Yes	No	No	No		
3115	PRST	Pinus strobus	White Pine	10	Good	40ft Tall	Yes	No	No	No		
3116	PRST	Pinus strobus	White Pine	15	Good	50ft Tall	Yes	No	No	No		
3117	PRST	Pinus strobus	White Pine	14.5	Good	40ft Tall	Yes	No	No	No		
3118	PRST	Pinus strobus	White Pine	10	Good	38ft Tall	Yes	No	No	No		
3119	ACNE	Acer negundo	Bovleider	13	Good		Yes	No	No	No		
3120	ACNE	Acer negundo	Bovleider	13	Good		Yes	No	No	No		
3121	ACSA	Acer saccharum	Sugar Maple	51	Good	21: 6	Yes	No	No	No		
3122	ACNE	Acer negundo	Bovleider	11.5	Good		Yes	No	No	No		
3123	ACNE	Acer negundo	Bovleider	12	Good		Yes	No	No	No		
3124	ACNE	Acer negundo	Bovleider	12.5	Good	21: 5	Yes	No	No	No		
3125	PRST	Pinus strobus	White Pine	15	Good	50ft Tall	Yes	No	No	No		
3126	ACNE	Acer negundo	Bovleider	12	Good		Yes	No	No	No		
3127	LEAM	Ulmus americana	American Elm	12	Good		Yes	No	No	No		
3128	LEAM	Ulmus americana	American Elm	15	Good		Yes	No	No	No		
3129	LEAM	Ulmus americana	American Elm	9	Good		Yes	No	No	No		
3130	LEAM	Ulmus americana	American Elm	8	Good	21: 6.5	Yes	No	No	No		
3131	ACNE	Acer negundo	Bovleider	8	Good		Yes	No	No	No		
3132	ACNE	Acer negundo	Bovleider	8	Good							



Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ANN ARBOR, MI 48104
734.994.4600



SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

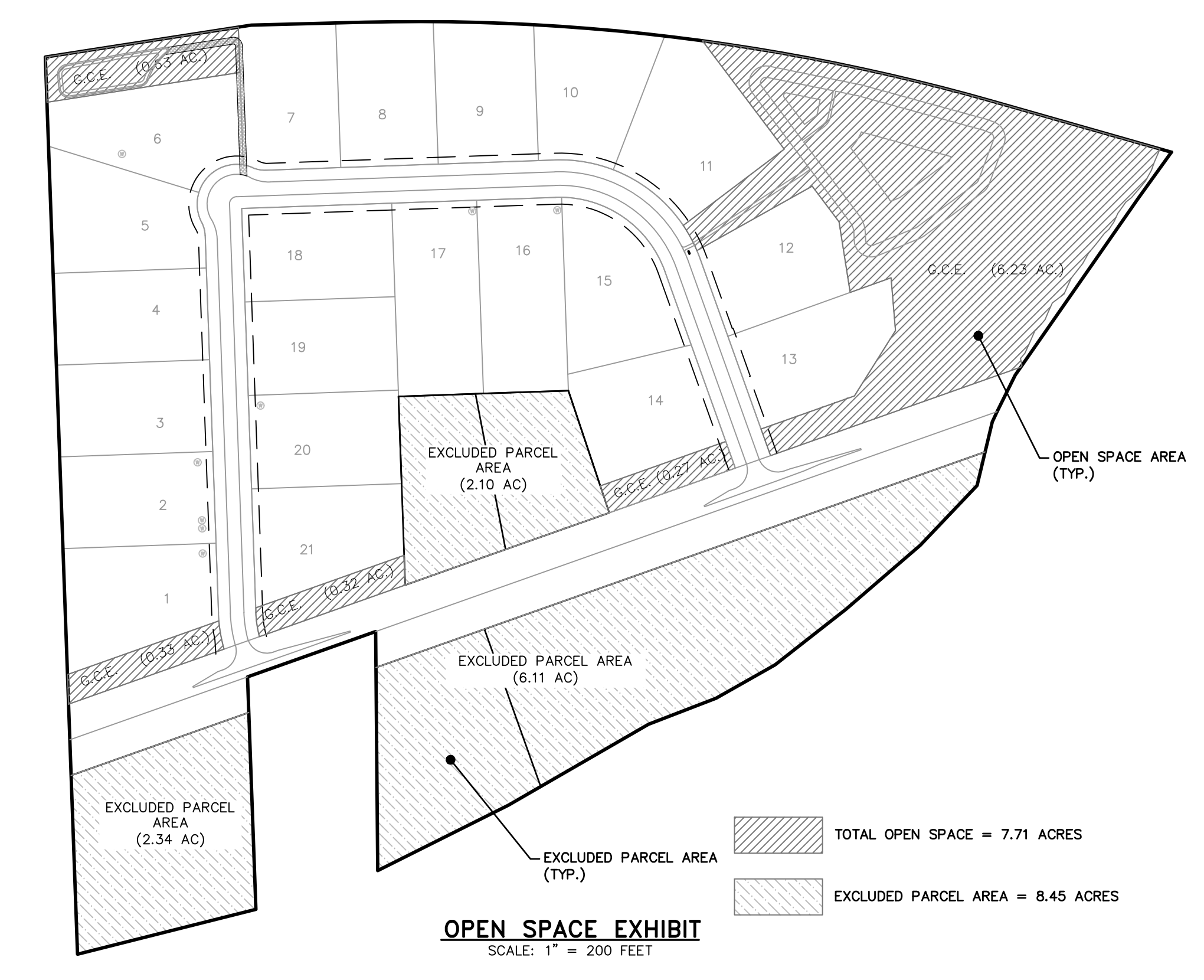
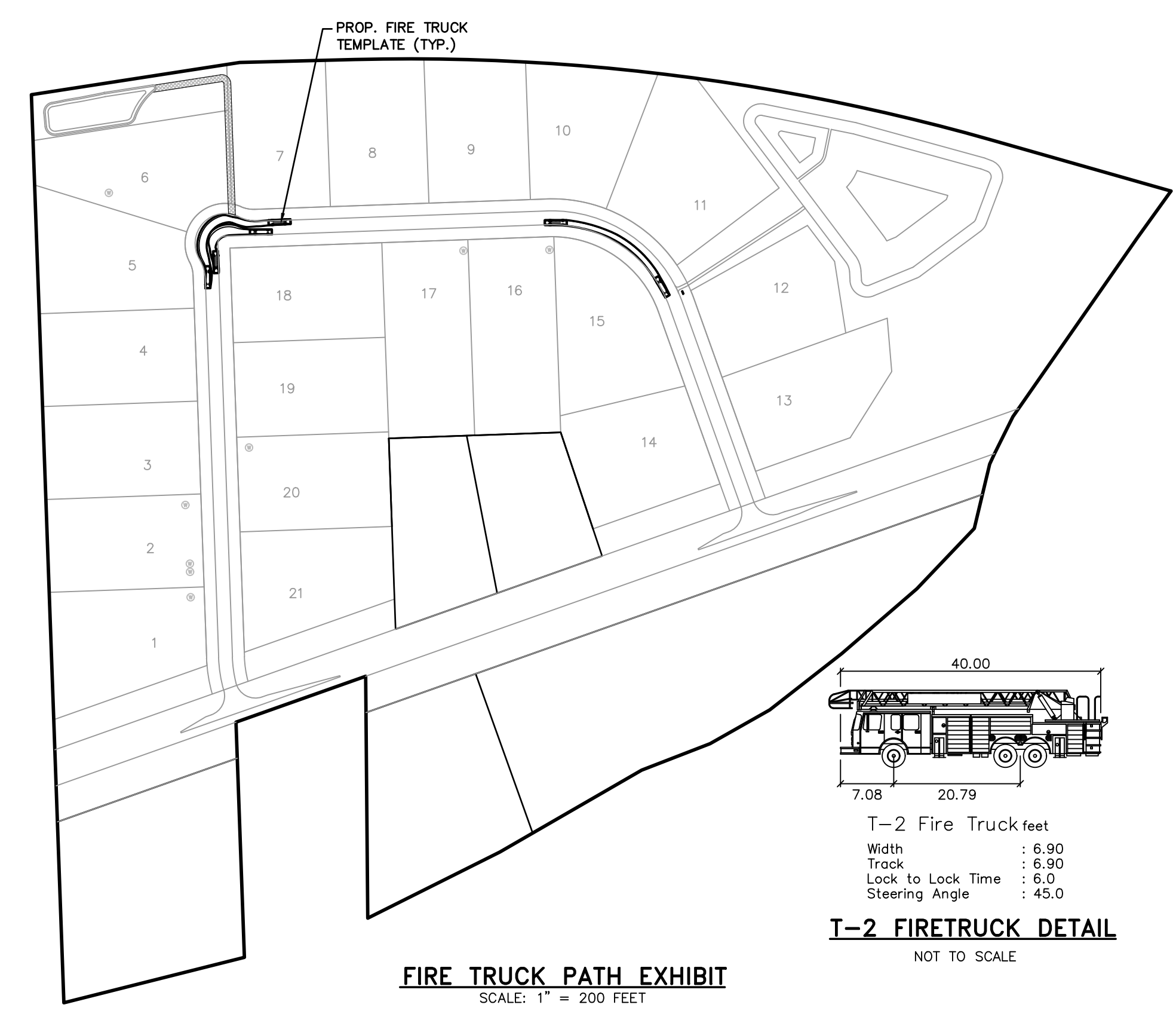
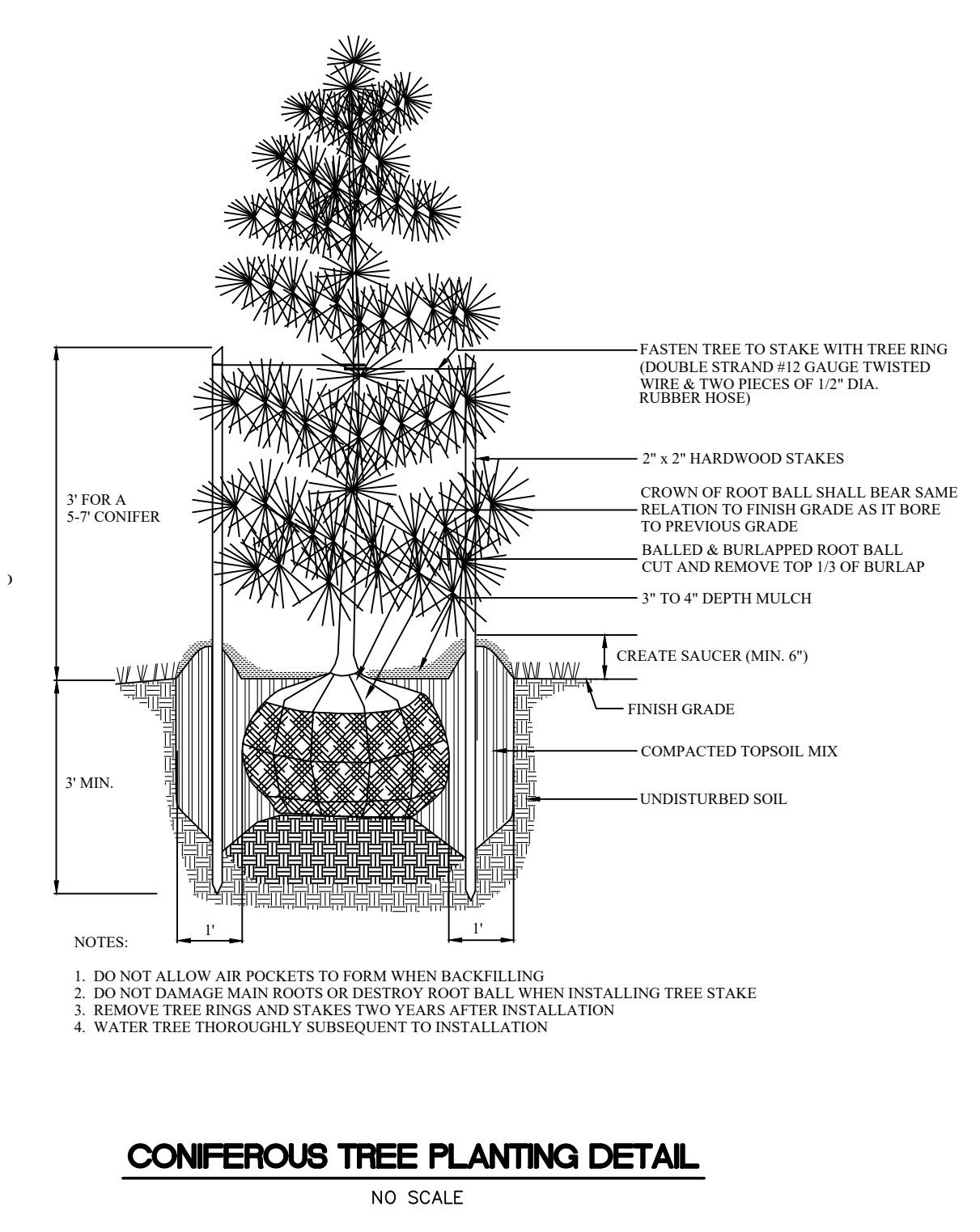
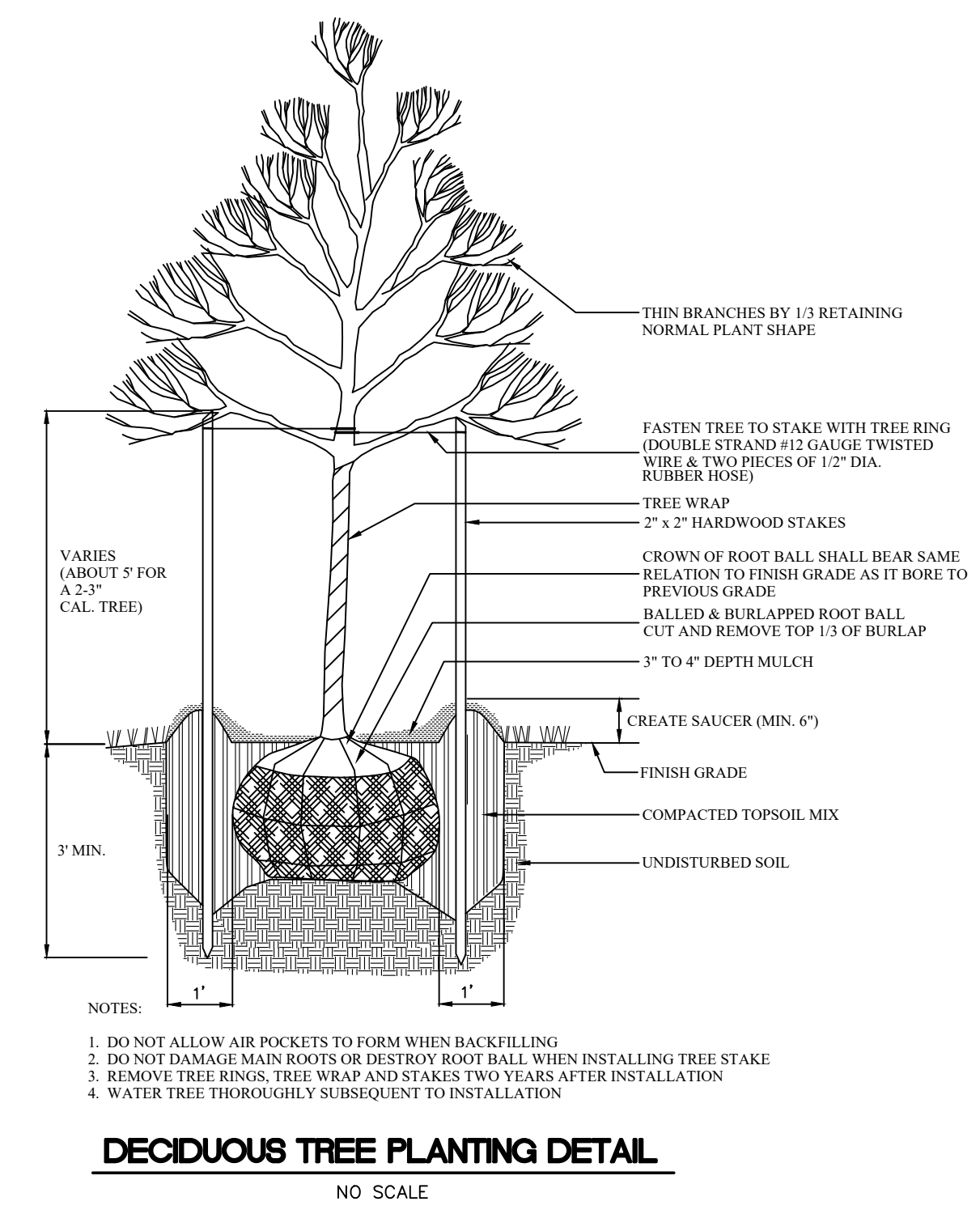
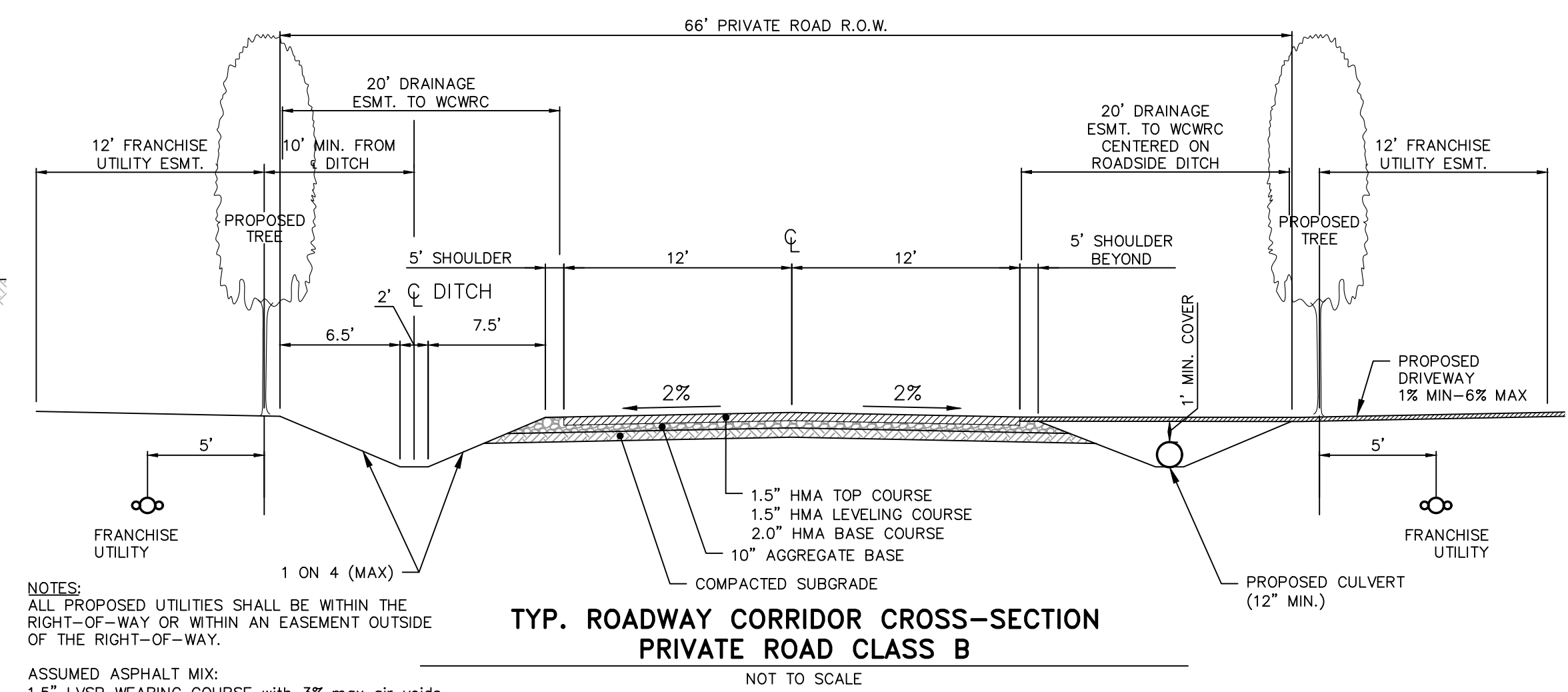
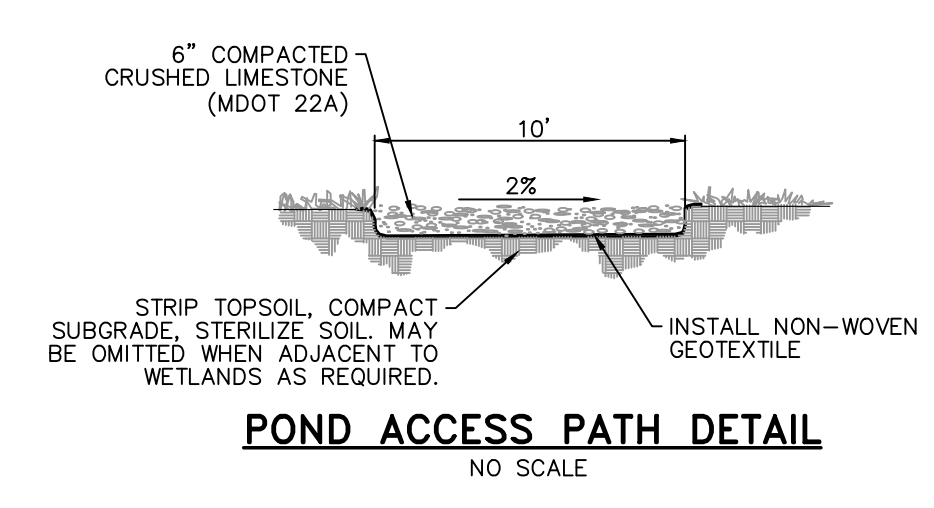
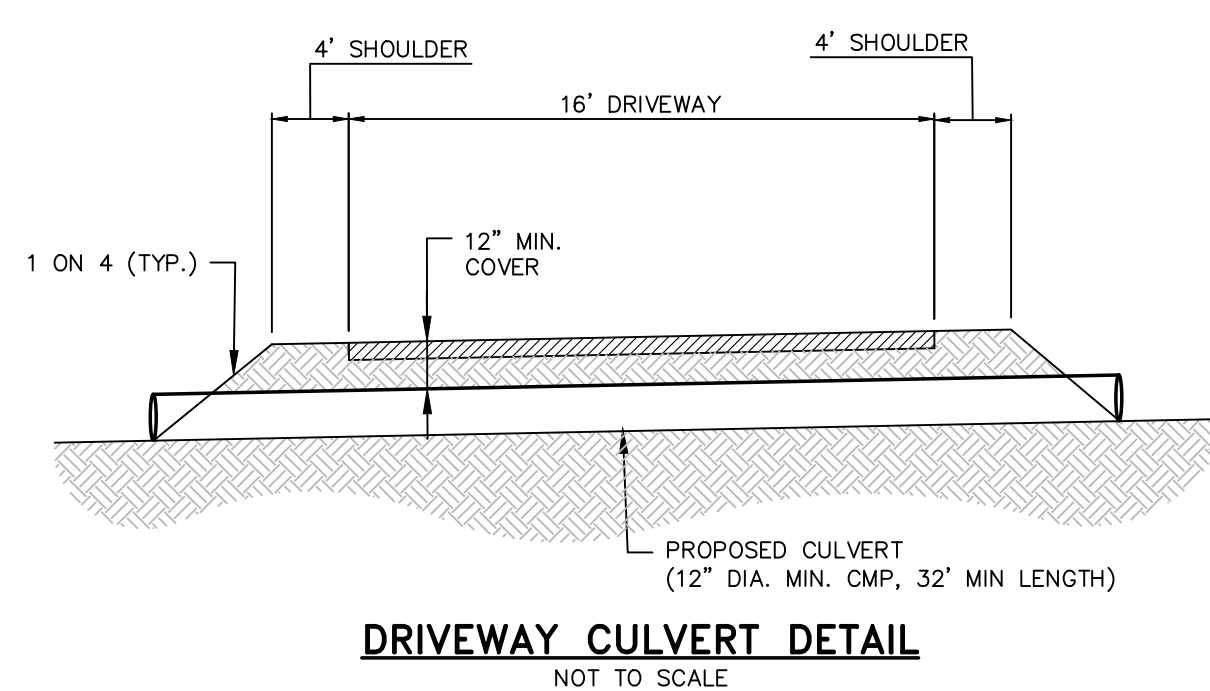
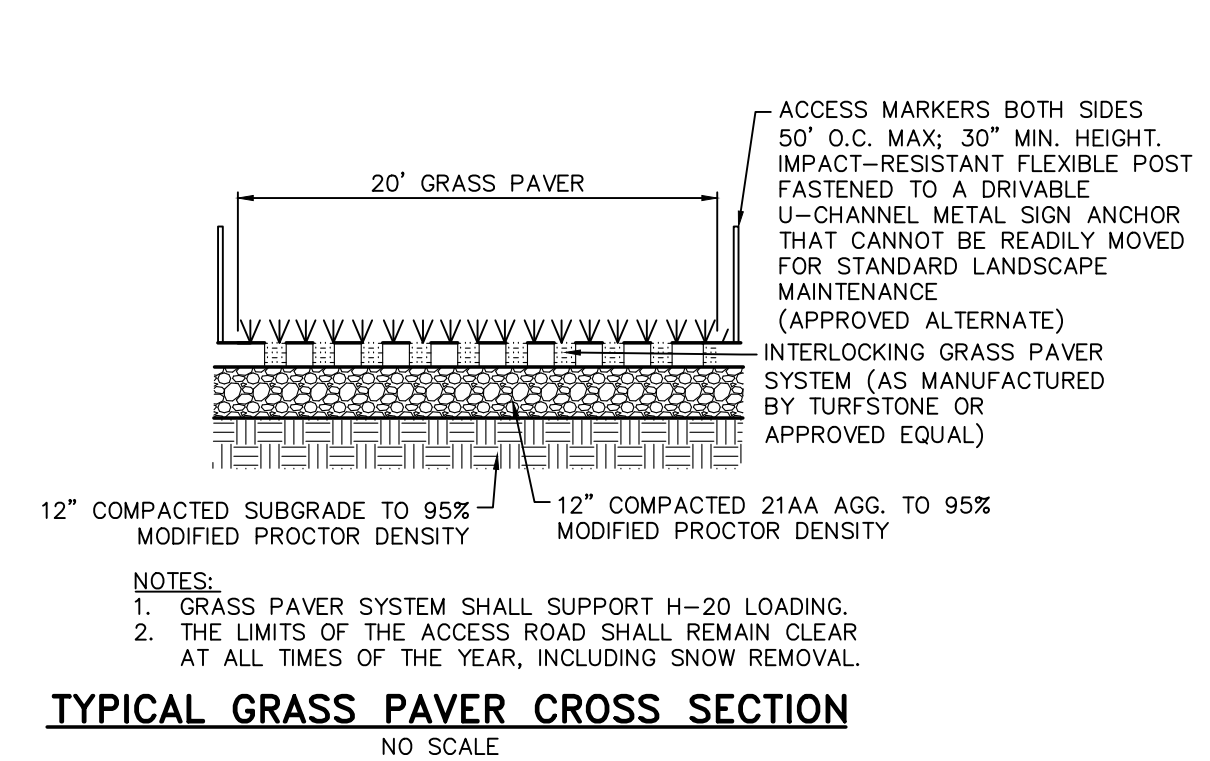
CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
STANDARD DETAILS

DATE
APRIL 18, 2023

5/30/23 PER WCWRC
7/11/23 PER TWP
8/10/23 PER WCHD/WCWR
10/27/23 PER WCHD/WCWR
11/30/23 PER WCRC
1/12/24 PER WCWRC

REVISIONS
SCALE 0
NO SCALE

DR. SK CH. MC
P.M. MC
BOOK --
JOB 21002863
SHEET NO. 36



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SOIL EROSION CONTROL MAINTENANCE TASKS AND SCHEDULE

DURING CONSTRUCTION
TO BE PERFORMED BY CONTRACTOR

TASKS	COMPONENTS										SCHEDULE
	PAVED AREAS	PERVIOUS AREAS	RIP-RAP / SILT FENCE	STORM DRAINAGE SYSTEM	OUTLET STRUCTURE	SEDIMENT FOREBAY	INFILTRATION AREA	INFILTRATION BMP / RAIN GARDEN	INLET FILTERS / SILT SACKS		
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	X	X	WEEKLY
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	X	X	AS NEEDED* AND PRIOR TO TURNOVER
INSPECT FOR FLOATABLES AND DEBRIS				X	X	X	X	X	X	X	QUARTERLY
CLEANING FOR FLOATABLES AND DEBRIS				X	X	X	X	X	X	X	QUARTERLY AND AT TURNOVER
INSPECTION FOR EROSION		X	X								WEEKLY
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES		X									AS NEEDED* AND PRIOR TO TURNOVER
CLEAN DRIVES AND PARKING LOTS	X										WEEKLY OR AS DETERMINED BY PERMITTING AGENCY
WATER DISTURBED AREAS TO PROVIDE DUST CONTROL											AS NEEDED
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER)			X	X				X	X		ANNUALLY AND AT TURNOVER
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED			X	X				X	X		AS NEEDED

* "AS NEEDED" MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH

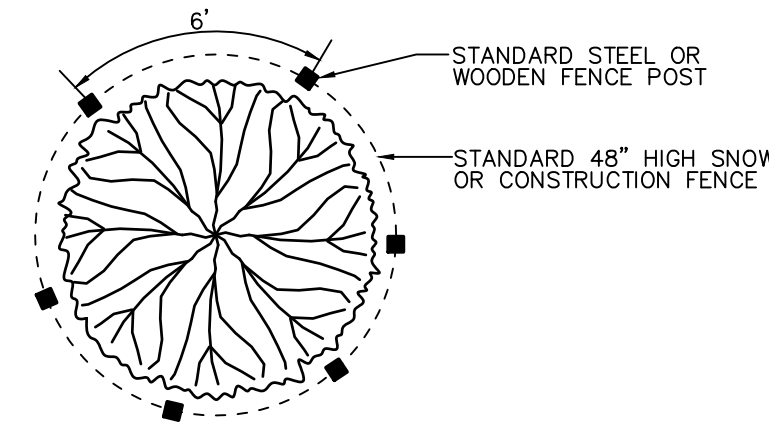
LONG TERM STORM WATER & BUDGET

1. THE CONDOMINIUM ASSOCIATION SHALL BE FIRST IN LINE OF RESPONSIBILITY FOR MAINTAINING ALL OF ROAD STORM SEWERS AND DETENTION BASINS
2. A CHAPTER 18 DRAINAGE DISTRICT WILL BE ESTABLISHED FOR THE ENTIRE PROJECT GIVING THE WCRC STATUTORY RESPONSIBILITY FOR ULTIMATE RESPONSIBILITY

TASKS	COMPONENTS										SCHEDULE	ANNUAL COST
	PAVED AREAS	PERVIOUS AREAS	RIP-RAP	STORM DRAINAGE SYSTEM	SEDIMENT FOREBAYS	INFILTRATION BASINS	OUTLET CONTROL STR	RAIN GARDENS	INFILTRATION TRENCHES			
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	X	X	SEMI-ANNUALLY/AS NEEDED*	\$100.00
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	X	X	5-10 YRS/AS NEEDED*	\$200.00
INSPECT FOR FLOATABLES AND DEBRIS				X	X	X	X	X	X	X	ANNUALLY	\$100.00
CLEANING FOR FLOATABLES AND DEBRIS				X	X	X	X	X	X	X	ANNUALLY	\$300.00
INSPECTION FOR EROSION		X	X								ANNUALLY/AFTER MAJOR STORMS	\$100.00
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES		X									AS NEEDED	\$300.00
RAIN GARDEN MAINTENANCE										X	TWICE PER YEAR (SPRING AND FALL)	\$500.00
CLEAN DRIVES AND PARKING LOTS	X										ANNUALLY	\$500.00
MOWING		X									0-2 TIMES PER YEAR	\$400.00
INSPECT FOLLOWING STORM 1" OR GREATER					X	X	X	X	X		AS NEEDED	\$100.00
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER)			X	X	X	X	X	X	X		ANNUALLY	\$100.00
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION			X	X	X	X	X	X	X		AS NEEDED	\$100.00
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AND REPORT TO PROPERTY OWNER											ANNUALLY	\$50.00
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCE AND REPAIRS. REPORT TO PROPERTY OWNER											ANNUALLY	\$50.00
PROPERTY OWNER REVIEWS COST EFFECTIVENESS OF THE PREVENTATIVE MAINTENANCE PROGRAM AND MAKES NECESSARY ADJUSTMENTS											ANNUALLY	\$50.00
OWNER TO HAVE A PROFESSIONAL ENGINEER CARRY OUT EMERGENCY INSPECTIONS UPON IDENTIFICATION OF SEVERE PROBLEMS											AS NEEDED	\$150.00

* "AS NEEDED" MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH

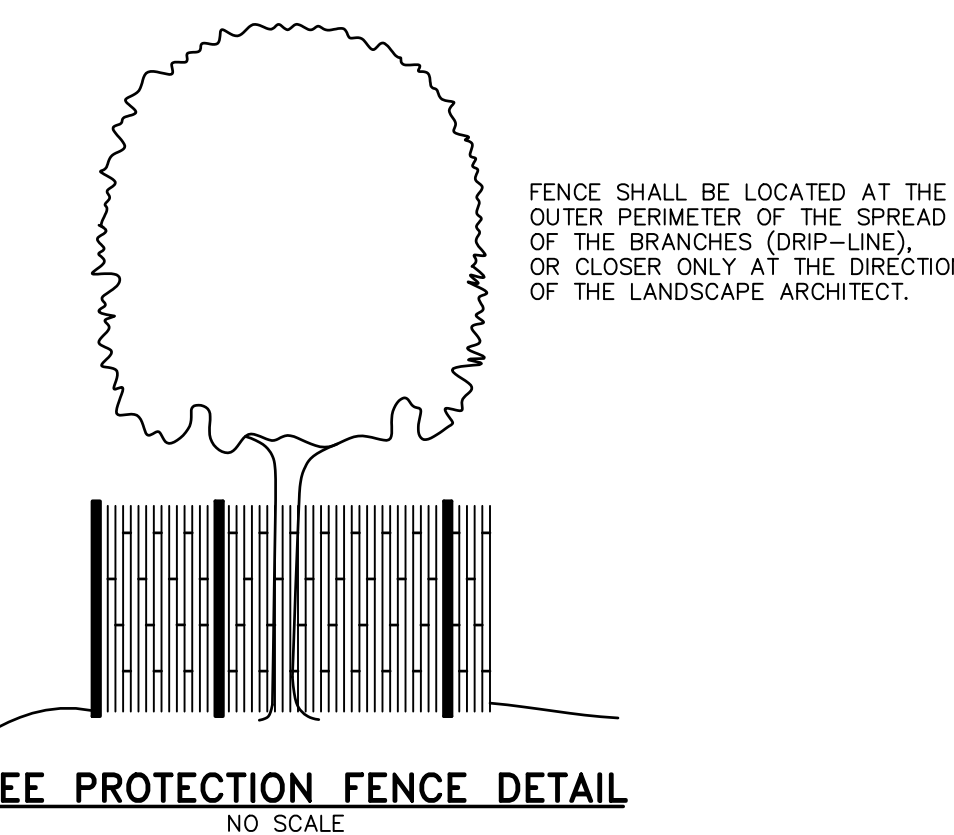
PLAN



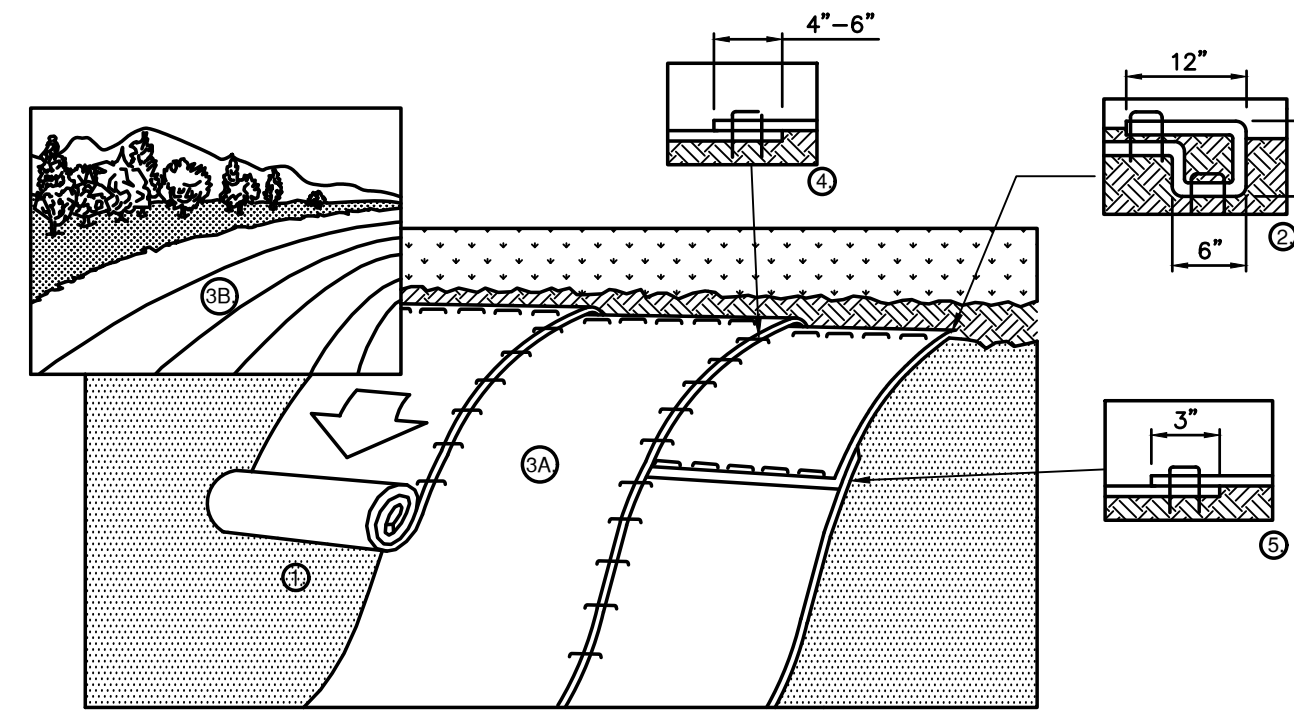
TREE PROTECTION NOTES:

1. ALL TREES TO BE REMOVED WILL BE IDENTIFIED BY RED FLAGGING.
2. TREE PROTECTION FENCING IS TO BE ERRECTED PRIOR TO ANY EARTHWORK OR CONSTRUCTION AND IS TO REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
3. ALL DEBRIS, FILL, EQUIPMENT OR MATERIAL IS TO BE KEPT CLEAR OF AREA WITHIN PROTECTIVE FENCE. NO CLEANING OF EQUIPMENT OR MATERIAL OR STORAGE OR DISPOSAL OF ANY MATERIAL WITHIN THE DRIP LINE OF ANY TREES TO BE SAVED.

ELEVATION



TREE PROTECTION FENCE DETAIL
NO SCALE

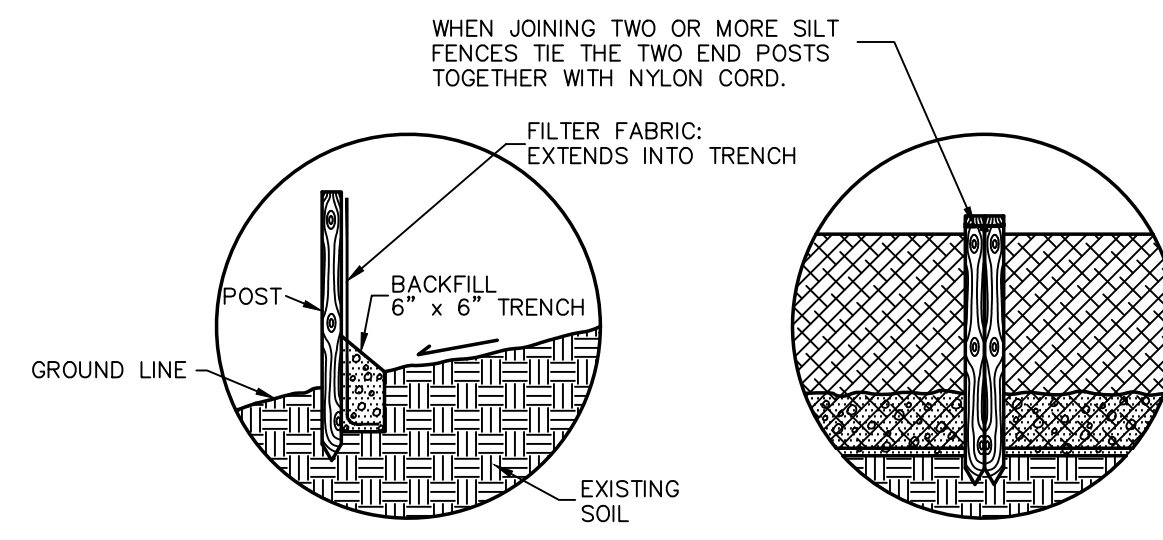


1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURERS RECOMMENDATION.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
6. PLACE STAPLES/STAKES PER MANUFACTURE RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.

- NOTES:**
1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
 2. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION.

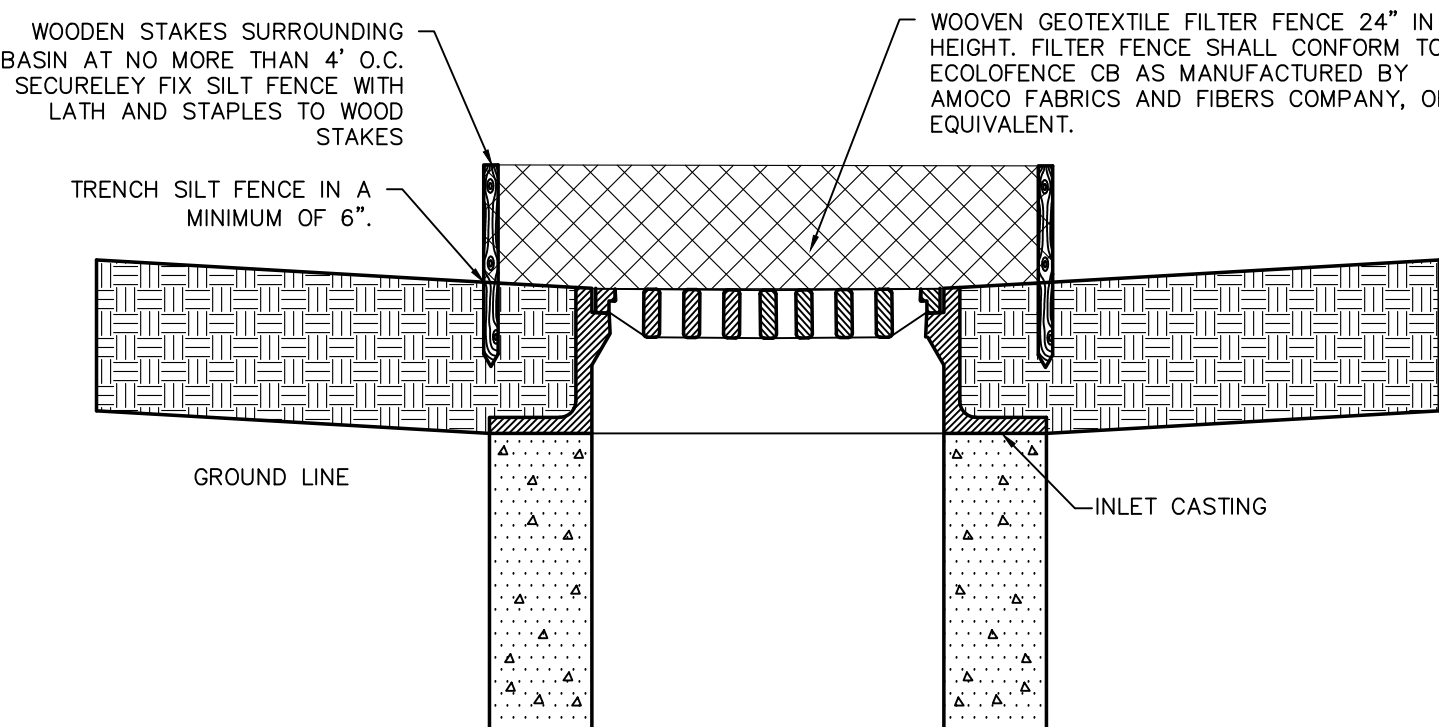
EROSION CONTROL BLANKET (SLOPE INSTALLATION)

NO SCALE



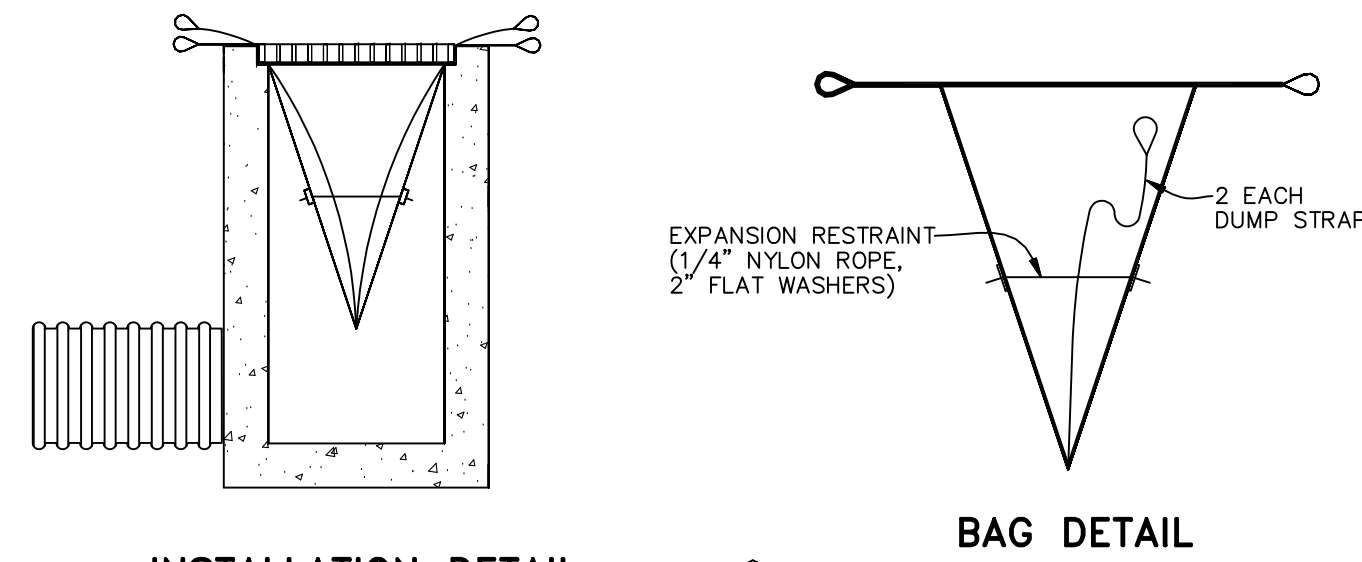
GEOTEXTILE SILT FENCE

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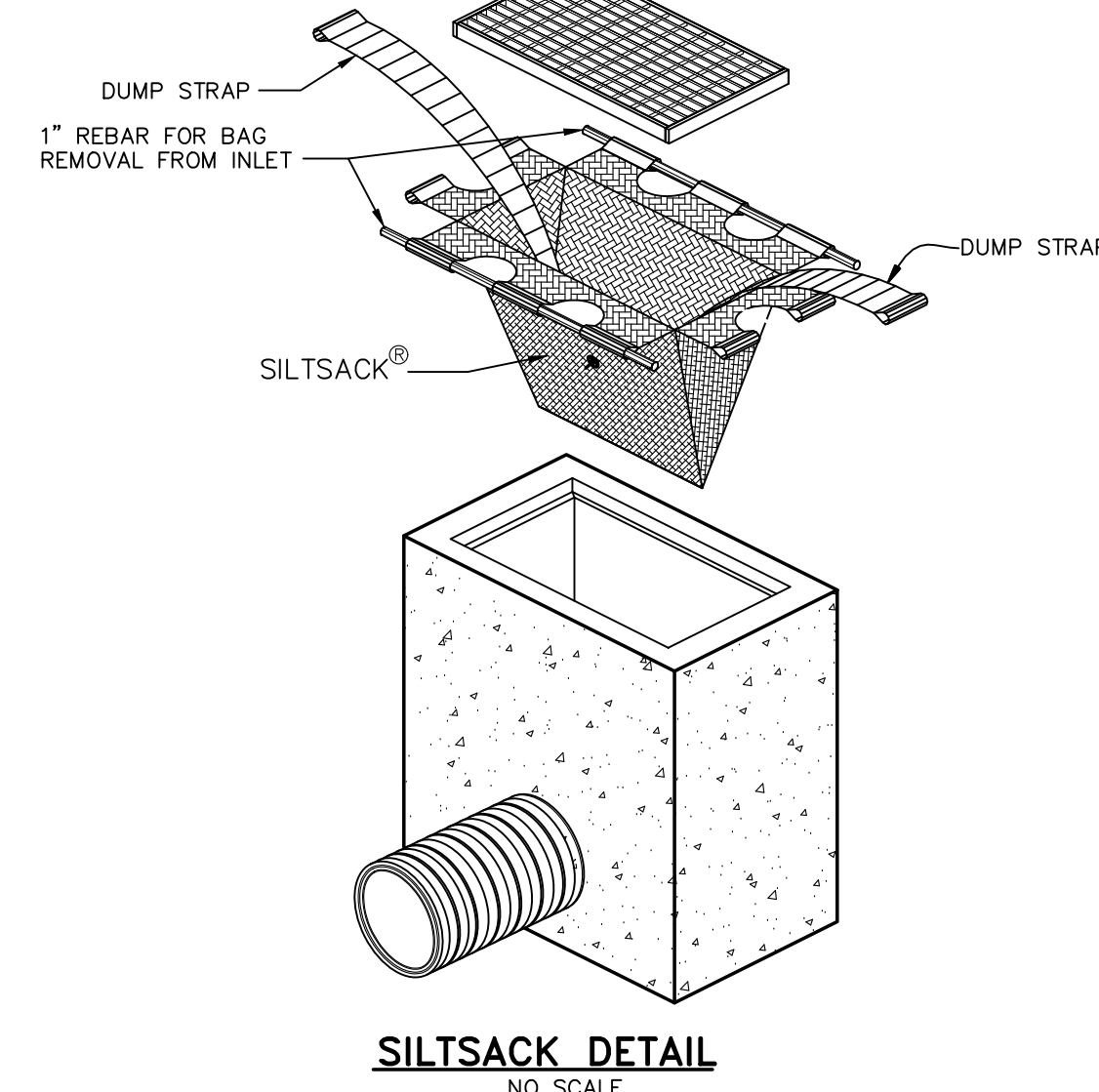


REAR YARD STORM SEWER INLET FILTER

NO SCALE

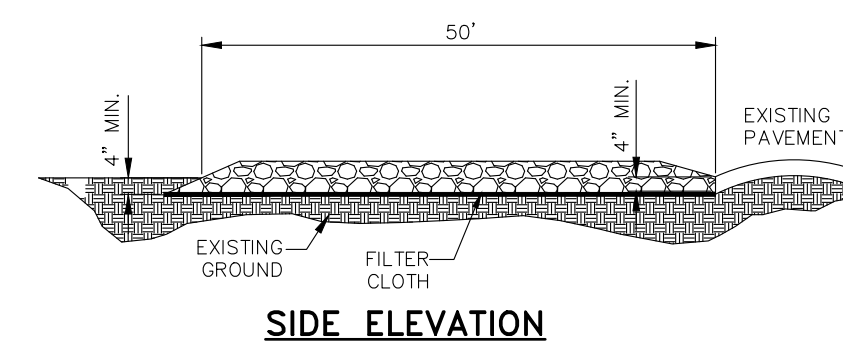


INSTALLATION DETAIL

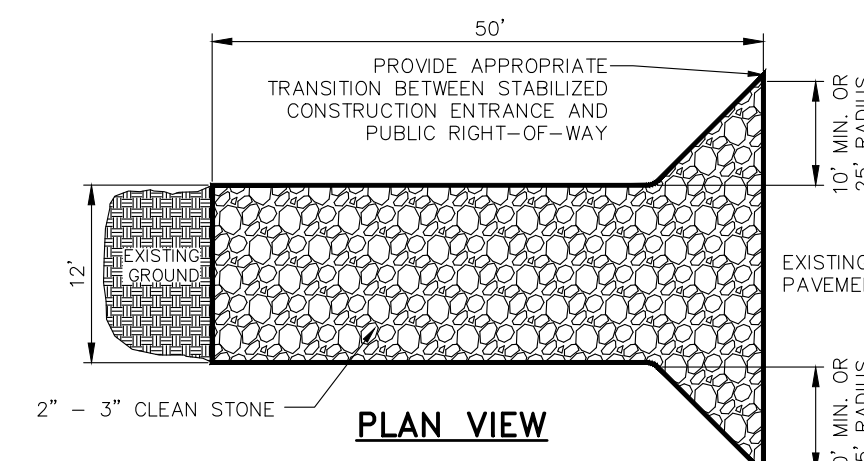


SILTSACK DETAIL

NO SCALE



SIDE ELEVATION



PLAN VIEW

- CONSTRUCTION SPECIFICATIONS**
1. STONE - USE COARSE AGGREGATE (2 - 3 INCH STONE)
 2. LENGTH - 50' MIN.
 3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 4. WIDTH - 12' MIN.

STABILIZED CONSTRUCTION ENTRANCE AND STONE LAYDOWN

NOT TO SCALE

CONSTRUCTION SEQUENCE (SESC)

1. INSTALL TEMPORARY EROSION AND SEDIMENTATION MEASURES (1 WEEK) - SPRING 2023
 - 1.1. INSTALL SEDIMENT FENCE AND TREE PROTECTION FENCING PRIOR TO ANY GRADING OPERATION
 - 1.2. INSTALL MUD TRACKING PAD
2. MASS GRADING / CONSTRUCT DETENTION FACILITIES (28 DAYS) - SPRING 2023
 - 2.1. PLACE TOPSOIL, FERTILIZER, SEED AND MULCH OVER ENTIRE DETENTION BASIN AREA
 - 2.2. INSTALL DETENTION BASIN STANDPIPE.
 - 2.3. ROUGH GRADE SITE, STOCKPILE TOPSOIL
3. INSTALL UTILITIES, INCLUDING STORM DRAINAGE SYSTEM AND RIP-RAP (18 DAYS) - SPRING/SUMMER 2023
4. MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED.
5. BEGIN PAVING ACTIVITIES (2 WEEKS) - WEATHER DEPENDENT - SUMMER 2023
6. INSTALL FRANCHISED UTILITIES.
7. AS-BUILT CERTIFICATION OF THE STORM WATER DETENTION SYSTEM. (1 WEEK) - FALL 2023
8. FINISH GRADE, REDISTRIBUTE TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS. INSTALL LANDSCAPING. - FALL 2023
9. INSPECT AND CLEAN ALL CATCH BASINS, STORM SEWERS, AND DETENTION FACILITIES
- 9.1. REMOVE ANY ACCUMULATED SEDIMENT WITHIN THE DETENTION BASIN AND STORM SEWER SYSTEM
- 9.2. REPLACE CLEAN WASHED STONE AROUND DETENTION STANDPIPE
10. ENSURE ALL SOIL IS STABILIZED.
11. COMPLETE CONSTRUCTION OF SITE (PHASE 1). FALL 2023
12. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. (1 WEEK) - FALL 2023

STOCKPILE NOTE

STOCKPILING IS NOT ANTICIPATED. IF NEEDED, SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE PERIMETER OF ANY STOCKPILES. IF STOCKPILE WILL BE LARGE AND IS EXPECTED TO BE ON-SITE FOR A PERIOD OF TIME.



Know what's below.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
SOIL EROSION & SEDIMENTATION CONTROL DETAILS

DATE
APRIL 18, 2023

5/30/23	PER WCRC
7/11/23	PER TWP
8/10/23	PER WCHD/WCRC/WCRC
10/27/23	PER WCHD/WCRC
11/30/23	PER WCRC
1/12/24	PER WCRC

REVISIONS	
SCALE	0 50 100
	1" = 100 FEET
DR.	SK CH. MC
BOOK	--
JOB	21002863
SHEET NO.	



Know what's below.
Call before you dig.

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SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
FINAL SITE PLAN
SOIL BORINGS & TEST PIT LOGS

DATE
APRIL 18, 2023
5/30/23 PER WCRC
7/11/23 PER TWP
8/10/23 PER WCHD/WCRC
10/27/23 PER WCHD/WCRC
11/30/23 PER WRC
1/12/24 PER WCRC

REVISIONS
SCALE 0 50 100
1" = 100 FEET
DR. SK CH. MC
P.M. MC
BOOK --
JOB 21002863
SHEET NO. 38

TEST PIT LOGS

Table with columns: TEST PIT ID, NORTHING, EASTING, ELEVATION, GROUNDWATER ELEVATION. Rows include TP-01 through TP-16 and TP-1-2022 through TP-12-2022.

SOIL BORING LOG

Table with columns: SOIL BORE ID, NORTHING, EASTING, ELEVATION. Rows include SB-01 through SB-06.

TEST PIT LOGS

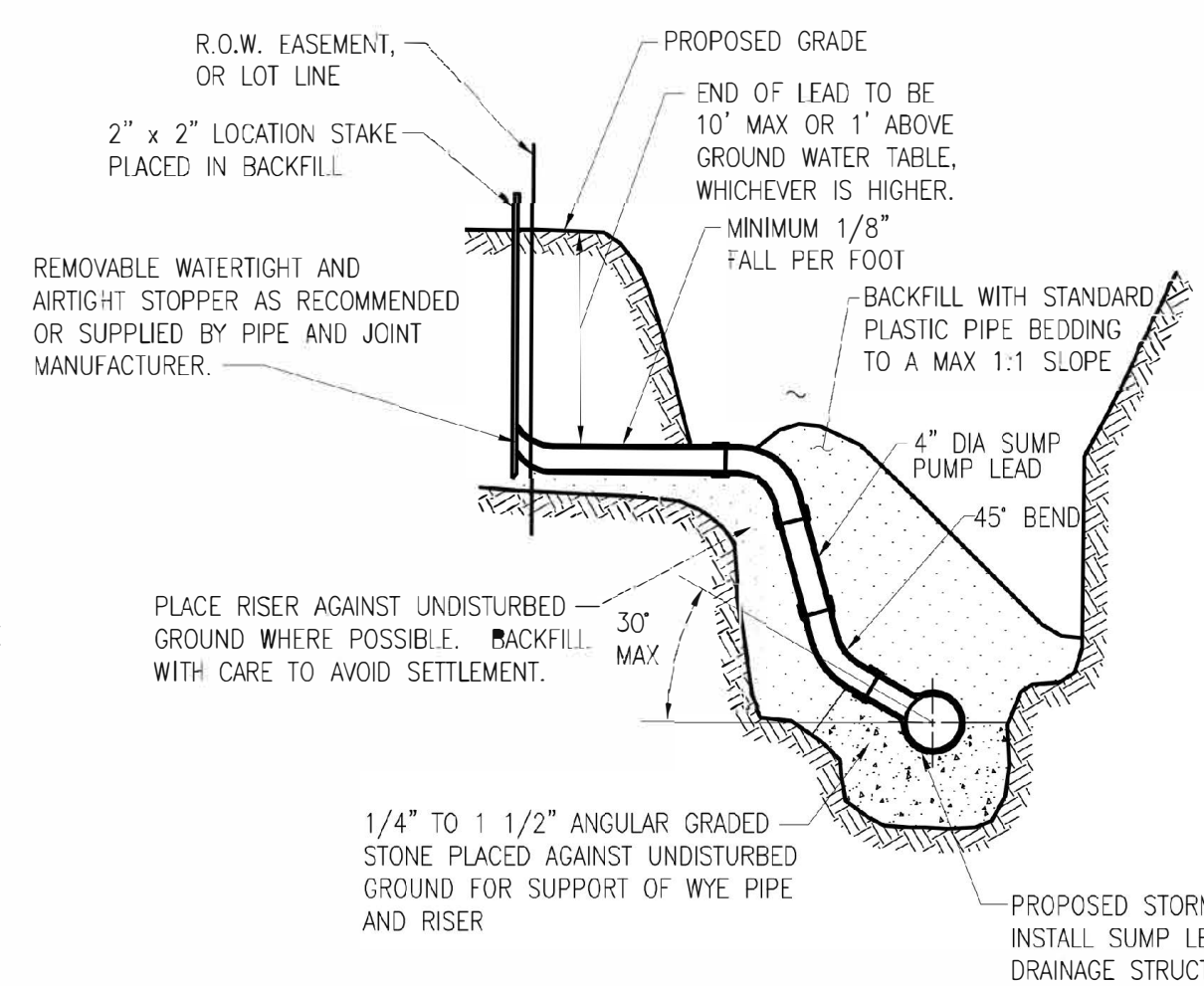
Main table with columns: Pit ID, Northing, Easting, Elevation, Groundwater Elevation, Description, and Groundwater status. Rows include pits 1 through 21.

GENERAL NOTES FOR STORM SEWER CONSTRUCTION

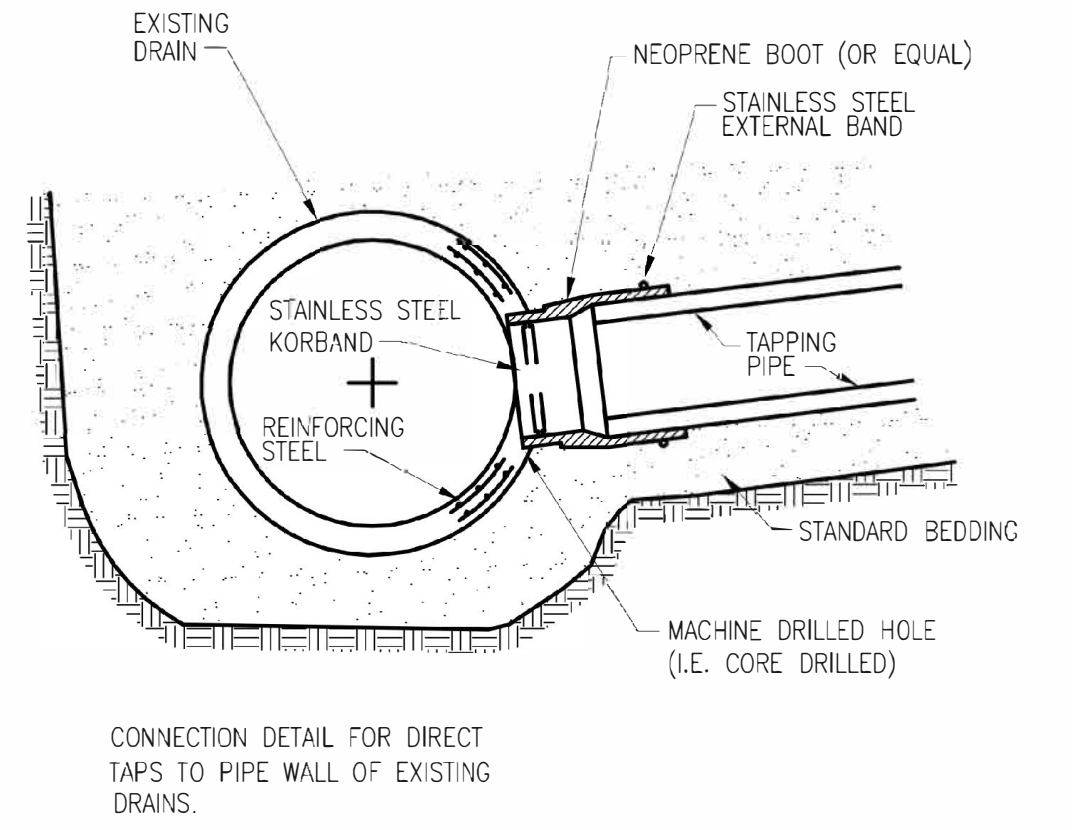
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF CHARTER TOWNSHIP OF SUPERIOR.
 - TYPE AND CLASS OF PIPE SHALL BE AS SPECIFIED ON PLANS.
 - SAND BEDDING SHALL BE USED THROUGHOUT, UNLESS OTHERWISE SPECIFIED ON THE PLAN.
 - ALL END SECTIONS 18" AND LARGER SHALL BE PROVIDED WITH A GALVANIZED BAR SCREEN.
- CONTRACTOR SHALL CONSTRUCT MANHOLES WITH PRECAST REINFORCED CONCRETE IN LIEU OF CONCRETE, BRICK AND BLOCK MANHOLES IN ACCORDANCE WITH THE FOLLOWING CONDITIONS:
 - NO OPENINGS SHALL BE MADE IN PRECAST UNITS WHICH WOULD LEAVE LESS THAN 12" OF UNDISTURBED PRECAST STRUCTURE WALL BETWEEN PIPES (AS MEASURED BETWEEN OUTSIDE PIPE WALLS) OR WOULD REMOVE MORE THAN 40% OF THE CIRCUMFERENCE ALONG ANY HORIZONTAL PLANE.
 - STRUCTURES FOR SEWERS LARGER THAN 18", OR THOSE NOT MEETING THE OPENING REQUIREMENTS, MAY BE BUILT OF BLOCK OR BRICK UP TO A MINIMUM OF 8" ABOVE THE TOP OF SEWER, WITH PRECAST UNITS BEING USED ABOVE THIS POINT. WHERE PRECAST UNITS REST ON THE BLOCK OR BRICK, THE GROOVE IN THE PRECAST UNIT SHALL BE FILLED WITH MORTAR.
 - OPENINGS FOR THE OUTLET SEWER SHALL BE PRECAST WITH A DIAMETER OF 3 INCHES LARGER THAN THE OUTSIDE DIAMETER OF THE OUTLET PIPE. ALL OTHER OPENINGS SHALL BE MADE IN THE FIELD AFTER THE MANHOLE HAS BEEN CONSTRUCTED.
- ALL VERTICAL OPENINGS IN CONCRETE BLOCK STRUCTURE WALLS SHALL BE COMPLETELY FILLED WITH MORTAR. ALL VERTICAL WALL JOINTS SHALL BE CEMENT POINTED.
 - CONCRETE PIPE REQUIREMENTS:
 - THE CONTRACTOR SHALL PROVIDE REINFORCED CONCRETE PIPE AS SPECIFIED ON THE PLANS.
 - ALL ROUND REINFORCED CONCRETE PIPE SHALL HAVE MODIFIED GROOVE TONGUE JOINTS WITH O-RING TYPE RUBBER GASKET PER A.S.T.M. SPECIFICATIONS C443. ALL ELLIPTICAL CONCRETE PIPE SHALL HAVE GROOVE TONGUE JOINTS WITH BITUMINOUS (DEWITT #10) JOINT MATERIAL AND INSIDE MORTAR POINTING. ELLIPTICAL CONCRETE PIPE JOINTS SHALL ALSO BE WRAPPED PER A.S.T.M. SPECIFICATION C877 FOR EXTERNAL SEALING BANDS FOR NON-CIRCULAR CONCRETE PIPE.
 - THE INSIDE JOINT OF PIPE SIZES OVER 27" DIAMETER SHALL BE POINTED UP WITH MORTAR UPON COMPLETION OF BACKFILLING OPERATIONS.
 - WHERE UNSTABLE GROUND CONDITIONS ARE ENCOUNTERED, STONE BEDDING SHALL BE USED AS DIRECTED BY THE ENGINEER IN ORDER TO PROVIDE A STABLE FOUNDATION FOR PIPE AND MANHOLES.
 - ALL PIPES ENTERING OR LEAVING A MANHOLE SHALL BE ADEQUATELY SUPPORTED WITH 1/4" TO 1/2" ANGULAR GRADED STONE FILL FROM UNDISTURBED EARTH TO SPRINGLINE OR WITH APPROVED CRUSHED AGGREGATE.

DRAINAGE STRUCTURE REQUIREMENTS:

- ALL STRUCTURE(S) SHALL BE 4' IN DIAMETER UNLESS OTHERWISE INDICATED ON CONSTRUCTION DRAWINGS. 2' DIAMETER CATCH BASINS AND INLETS SHALL BE USED ONLY WITH PRIOR TOWNSHIP APPROVAL.
- MANHOLE STEPS SHALL BE STEEL ENCASED WITH POLYPROPYLENE PLASTIC OR APPROVED EQUIVALENT TO M.A. INDUSTRIES, INC., PS-1 FOR BRICK, OR PS-1B FOR BLOCK, EAST JORDAN IRON WORKS 8503 (OR APPROVED EQUAL). MANHOLE STEPS AT 16" CENTERS.
- CATCH BASIN STEPS SHALL BE EAST JORDAN IRON WORKS 8502 PLASTIC COATED (OR APPROVED EQUAL).
- MANHOLE COVERS AND FRAMES SHALL BE EAST JORDAN IRON WORKS 1040, TYPE "B" COVER OR AS PER CONSTRUCTION DRAWINGS.
 - EAST JORDAN IRON WORKS 5080, TYPE "M1" COVER WITH STRAIGHT FACE CURB AND GUTTER (OR AS APPROVED EQUAL).
 - EAST JORDAN IRON WORKS 5080, TYPE "M1" COVER WITH MOUNTABLE CURB AND GUTTER AND INTEGRAL CURB AND GUTTER (OR AS APPROVED EQUAL).
 - EAST JORDAN IRON WORKS 1040, TYPE "02" COVER (BEEHIVE) TO BE USED ON OPEN DITCHES AND SWALES, REAR YARD CATCH BASIN (OR AS APPROVED EQUAL). IF WITHIN 8' OF ROAD, TYPE "N" COVER (LOW BEEHIVE) SHALL BE USED.
 - FRAMES SHALL BE SET IN FULL BED OF MORTAR AND THE SIDE SHALL BE OVERLAPPED TO PREVENT LEAKAGE.
- A PROPER CHANNEL SHALL BE CONSTRUCTED WITHIN THE EXISTING MANHOLE OR OTHER STRUCTURE AT WHICH THE CONNECTION IS TO BE MADE TO DIRECT THE FLOW TO THE EXISTING OUTLET IN A MANNER WHICH WILL TEND TO CREATE THE LEAST AMOUNT OF TURBULENCE. THE CHANNEL SHALL BE CONSTRUCTED TO THE SAME SIZE AS THE INSIDE DIAMETER OF THE EXISTING PIPES, AND SHALL BE BUILT TO HEIGHT OF 1/3 THE EXISTING PIPE DIAMETER WITH A MINIMUM OF 2% SLOPE ON THE BENCHES.
- STANDARD BRICK ADJUSTMENT: MINIMUM OF ONE COURSE AND A MAXIMUM OF 5 COURSES OF BRICK.
 - ALL BRICKS AND BLOCKS USED FOR ADJUSTMENT SHALL BE CONCRETE.
 - BLOCK USED FOR STANDARD CATCH BASINS AND MANHOLES SHALL BE 8" (FOR 0'-15" DEEP) AND 12" (FOR 15'-25" DEEP). BLOCK USED FOR 2' DIAMETER INLETS AND CATCH BASINS SHALL BE 6".
 - PRECAST REINFORCED CONCRETE SECTION AS MINIMUM SHALL CONFORM TO A.S.T.M. C-478.
 - CONCRETE BASE FOR MANHOLE, CATCH BASIN, AND INLET SHALL BE MDOT GRADE 30P (MIN), 8" THICK, 3000 PSI.
- PLASTER ALL OUTSIDE MASONRY SURFACES WITH 1:2 1/2 MASONRY CEMENT (TYPE II) 1/2" THICK.
- WHEN TAPPING INTO AN EXISTING STRUCTURE A BRICK COLLAR SHALL BE PLACED 12" THICK AROUND THE PIPE AND EXTENDED 12" BEYOND THE OPENING. IF PRE-CAST SECTION IS TAPPED, BEND MESH AND USE AS REINFORCEMENT WITH BRICK COLLAR.
- ALL PRECAST RISER(S) SHALL BE PLACED IN A FULL BED OF MORTAR. ALL JOINTS & LIFTHOLES SHALL BE POINTED UP WITH MORTAR ON THE OUTSIDE AND INSIDE.
 - ALL VERTICAL AND HORIZONTAL BARS SHALL BE TACK-WELDED TO THE ANGLE FRAME.
 - THE BAR GRATE SCREEN SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION IS COMPLETE.

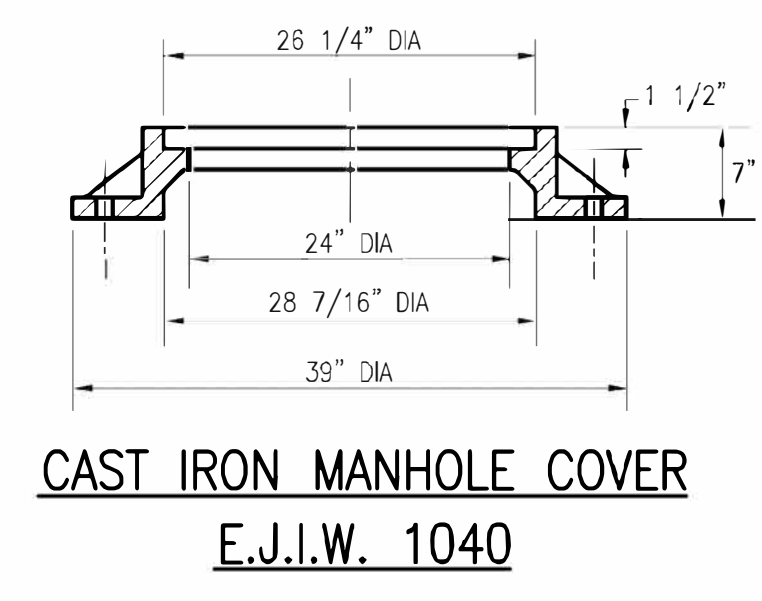
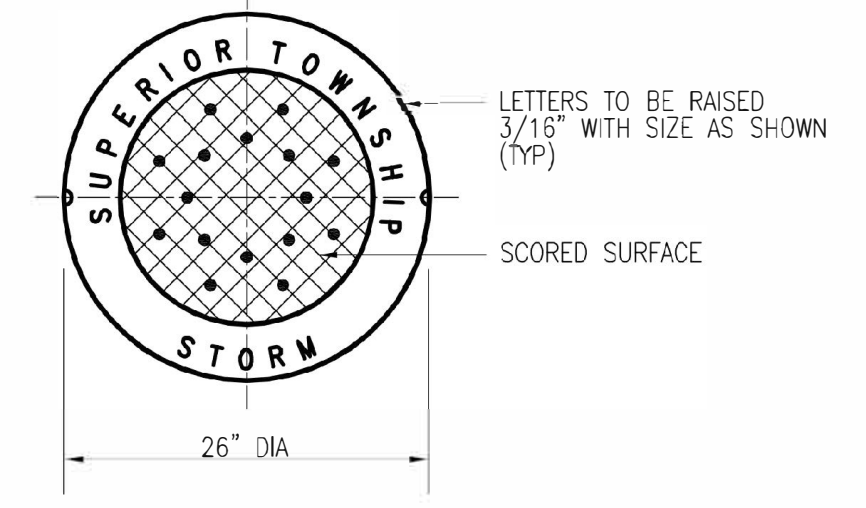


HOUSE LEAD DETAIL FOR 4" DIA PLASTIC SUMP PUMP LEADS

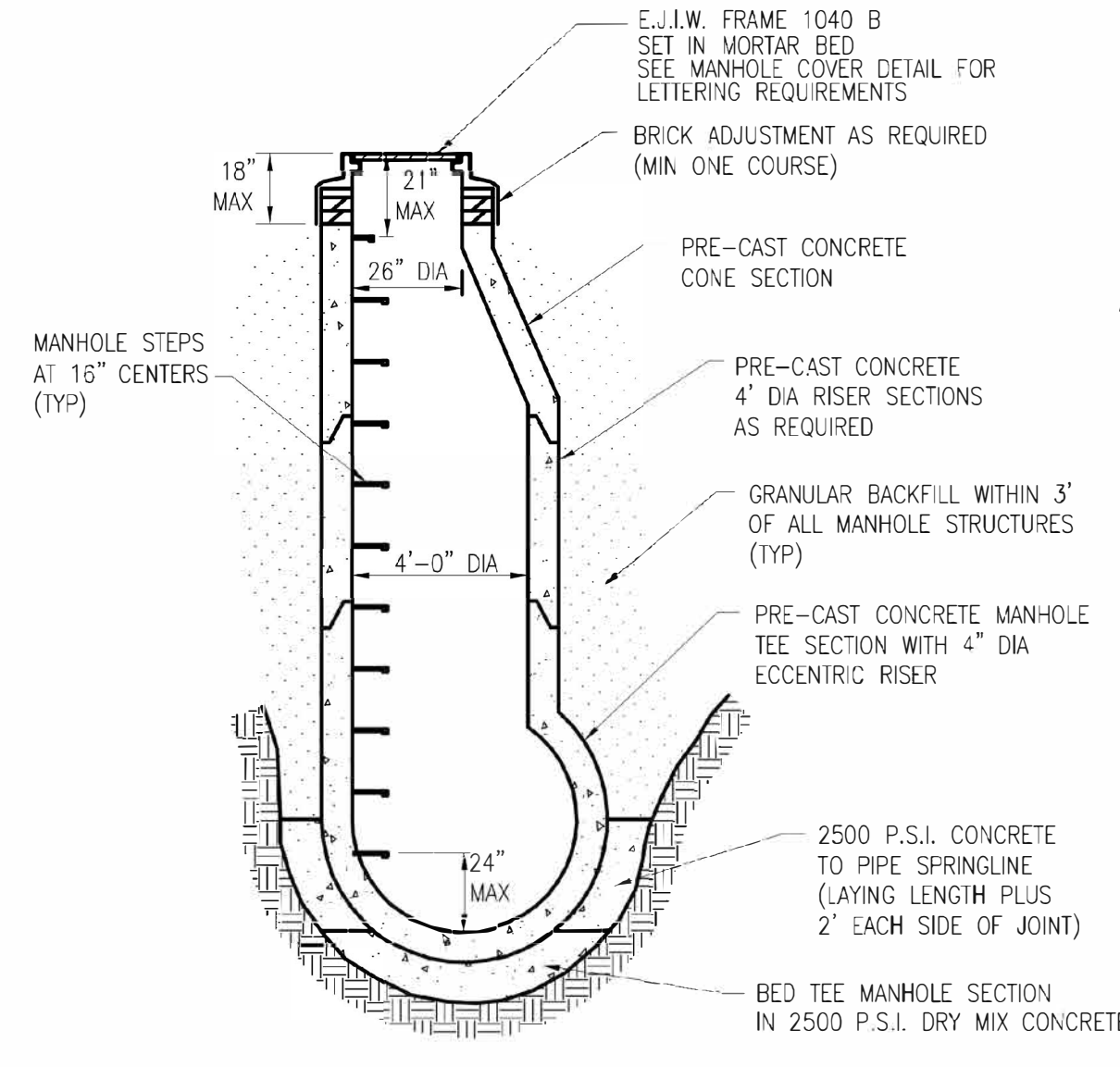


KOR-N-TEE TAP FOR CONCRETE PIPE

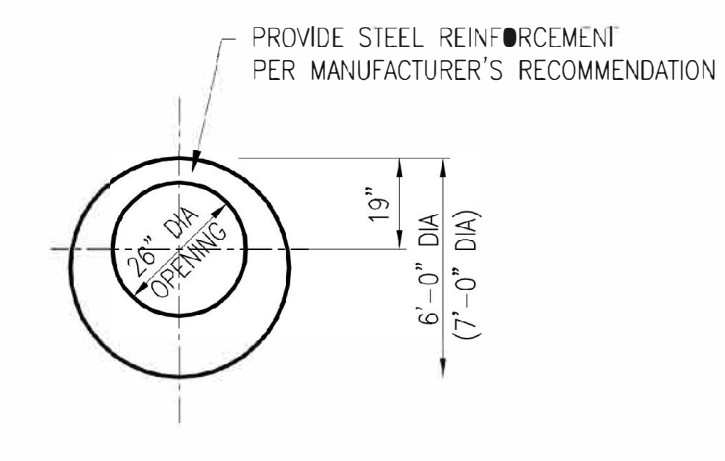
(NOTE: LETTERING SHALL BE USED ONLY FOR PUBLIC STORM SYSTEM. ALL OTHERS SHALL HAVE NO LETTERING.)



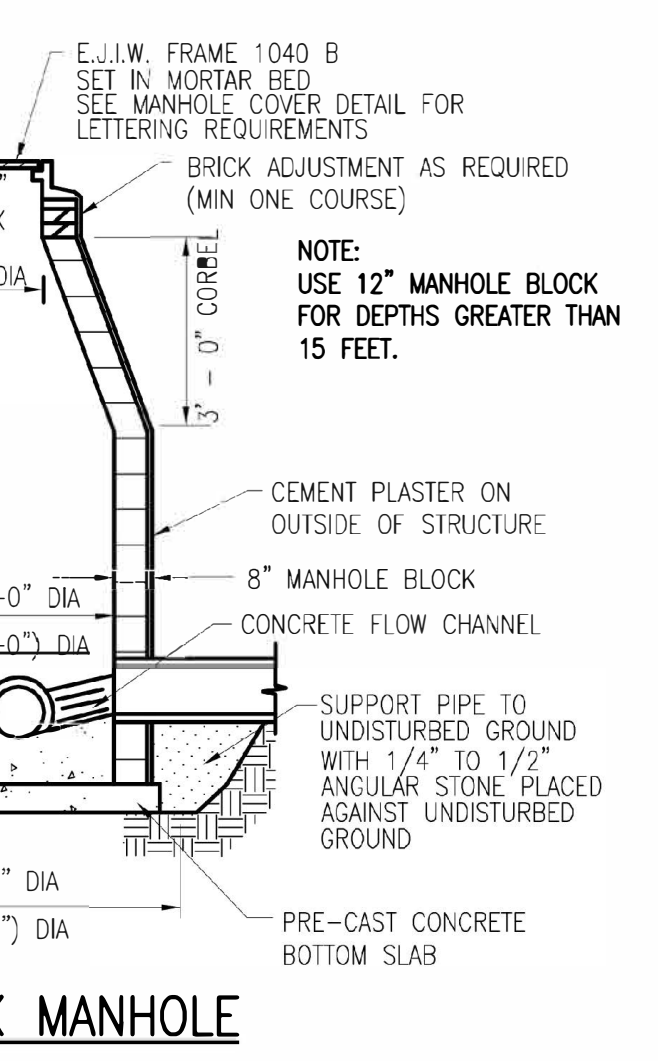
CAST IRON MANHOLE COVER E.J.I.W. 1040



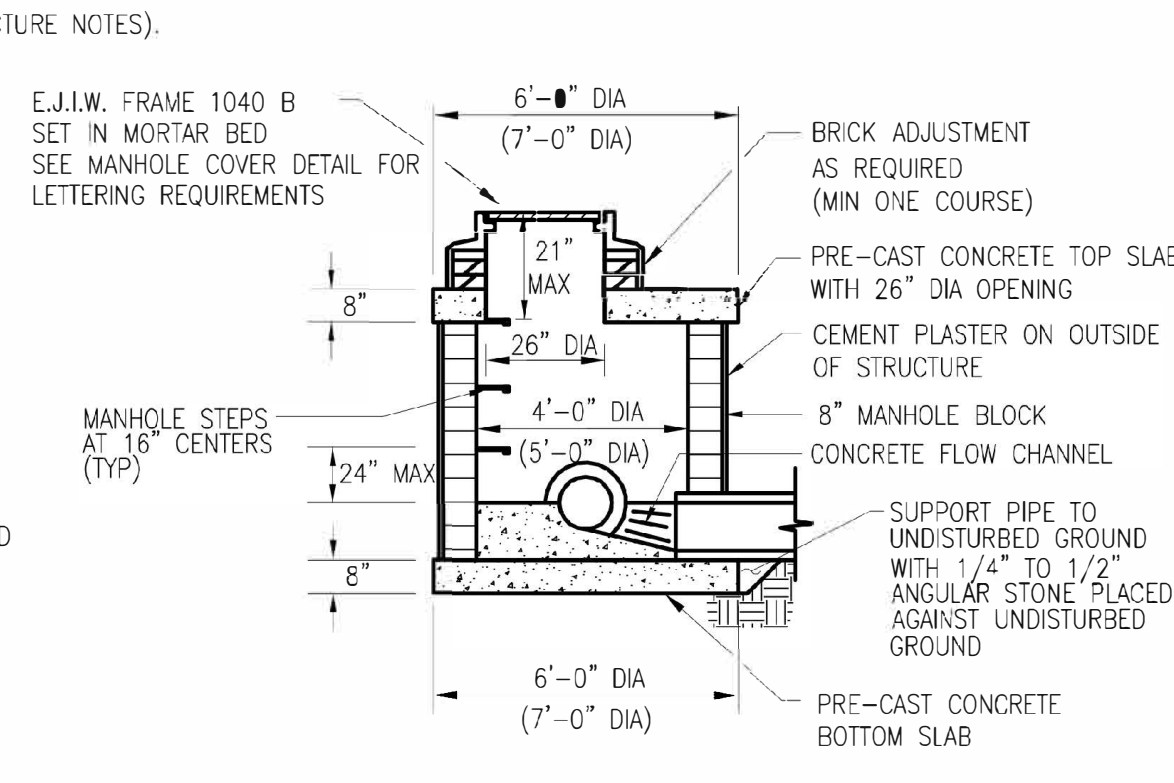
PRE-CAST TEE MANHOLE DETAIL



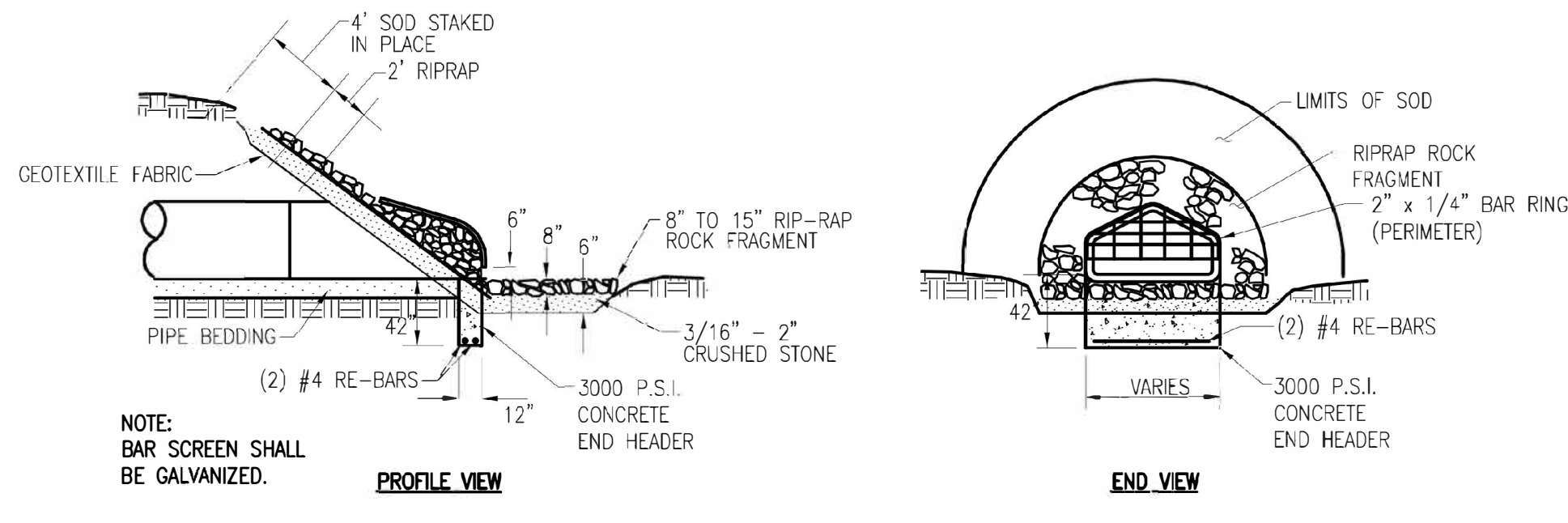
PRE-CAST CONCRETE TOP SLAB DETAIL, 8" THICK



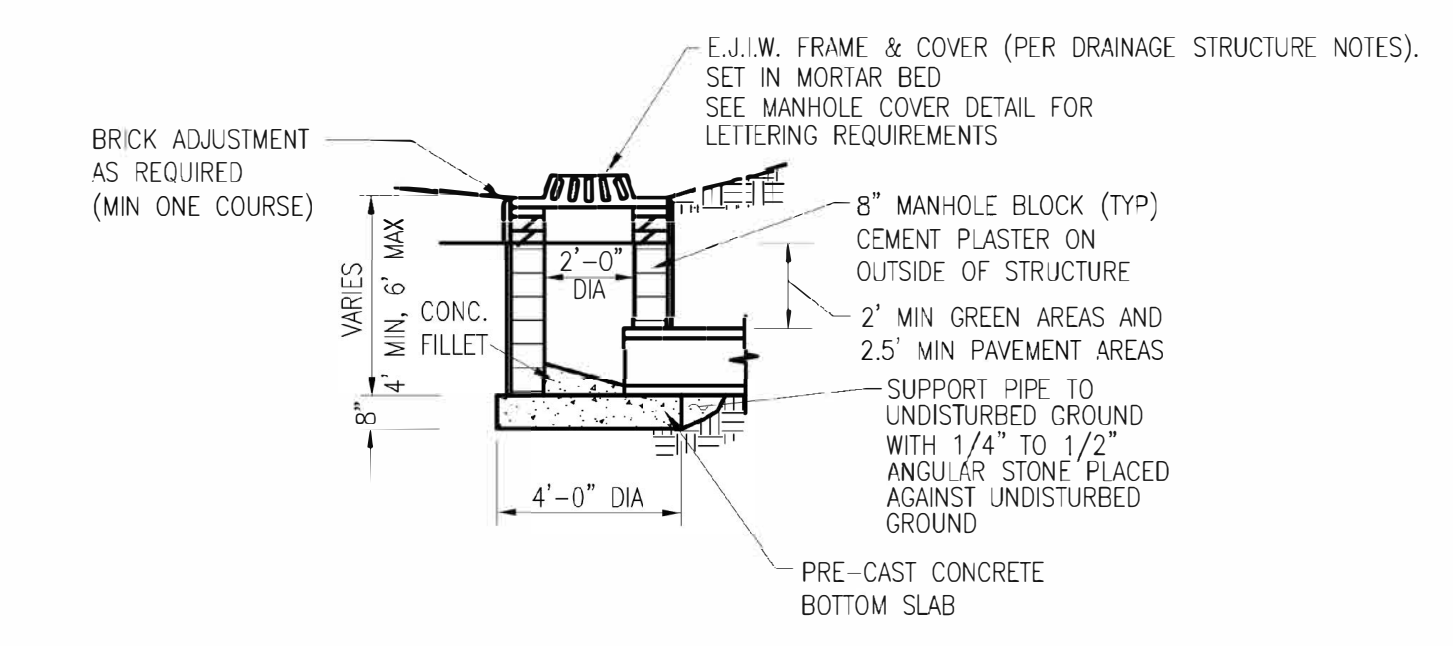
BLOCK MANHOLE



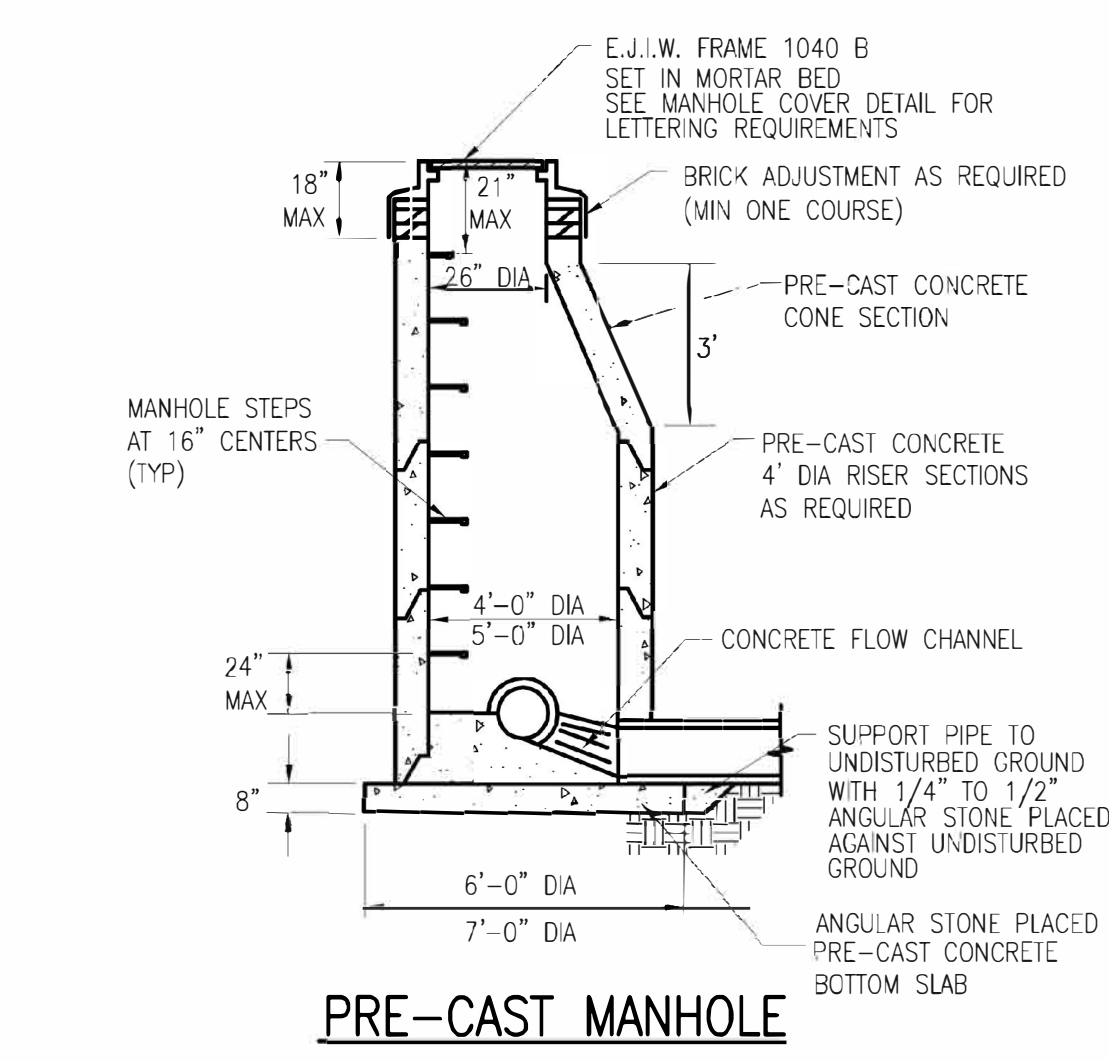
LOW HEAD MANHOLE AND CATCH BASIN DETAIL



END SECTION AND BAR SCREEN DETAIL

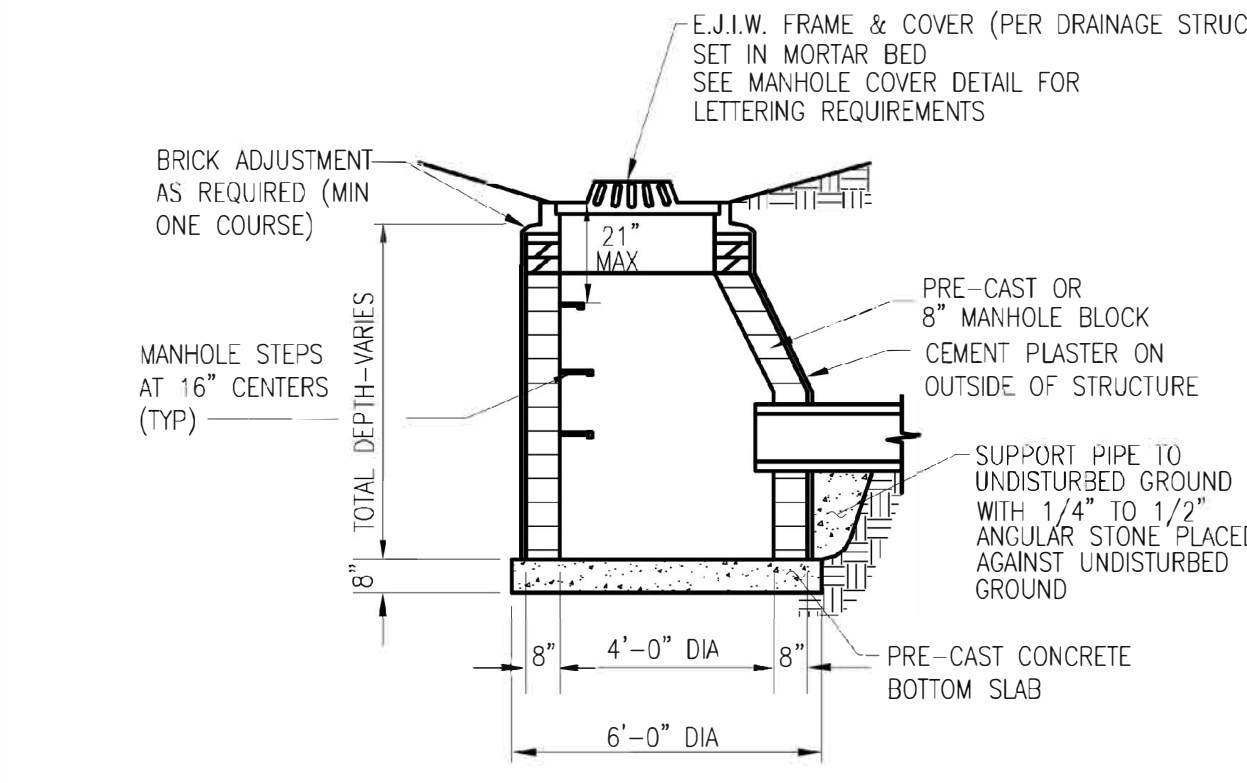


2" DIA INLET DETAIL

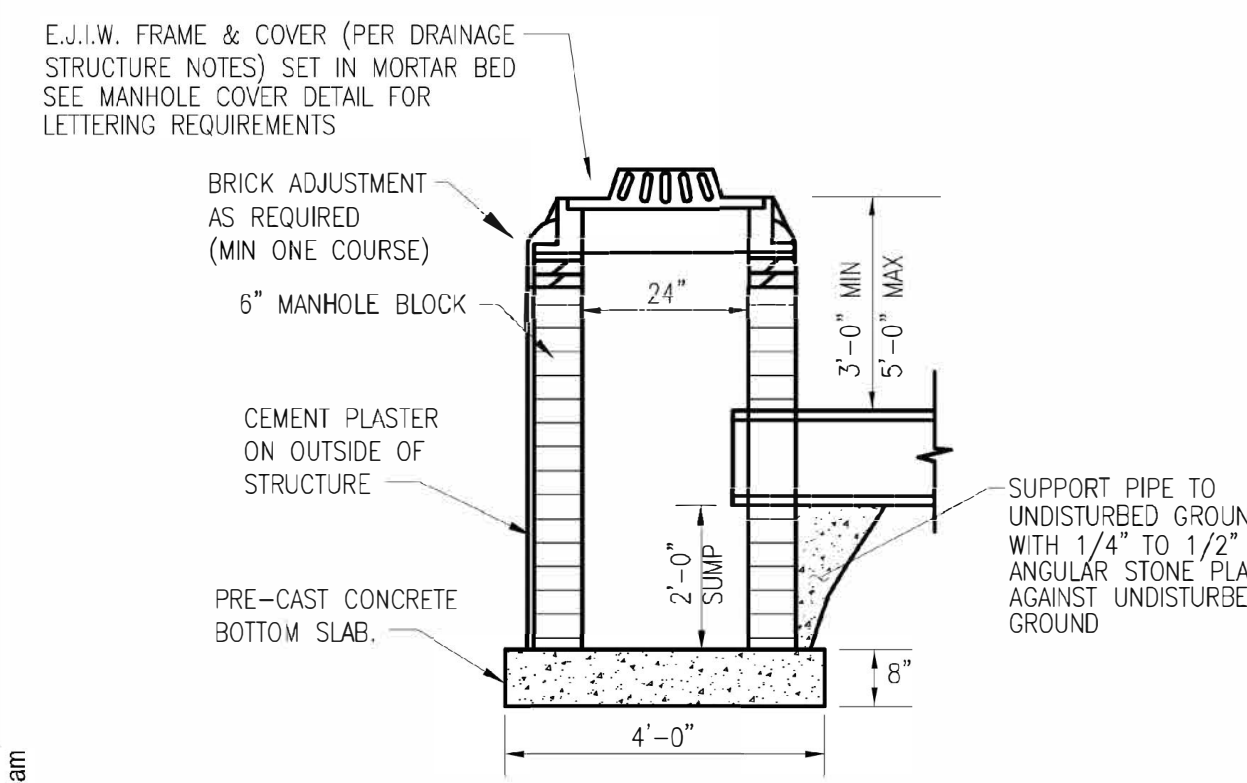


PRE-CAST MANHOLE

STANDARD MANHOLE DETAILS

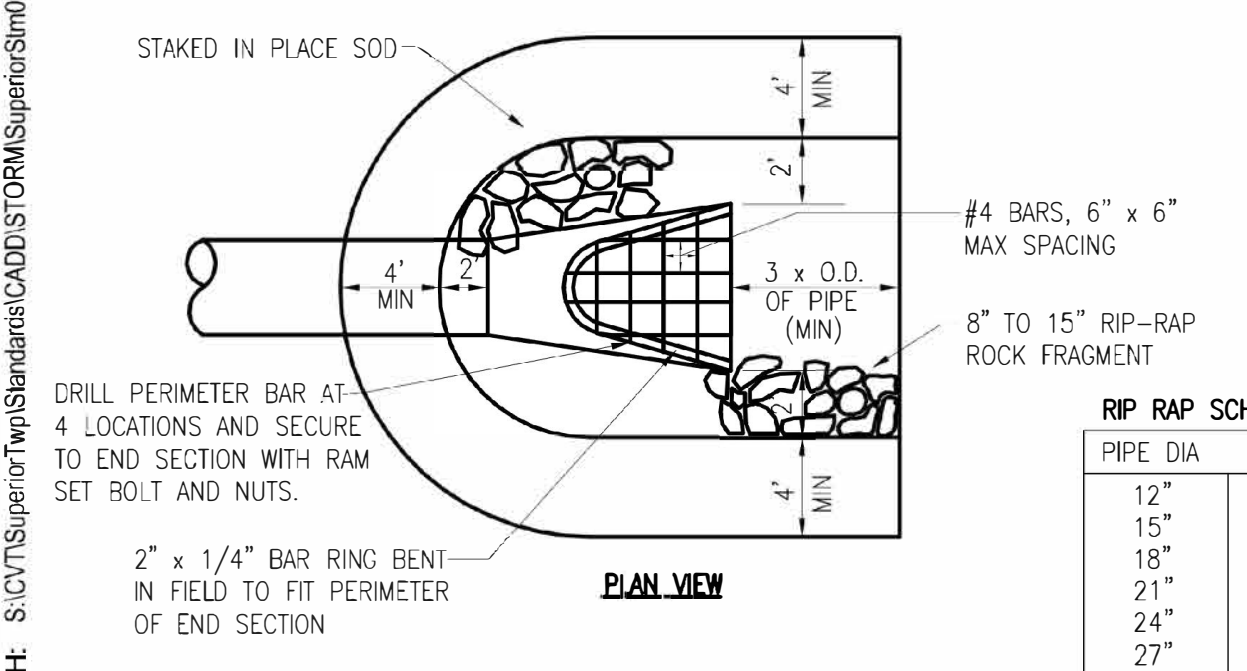


CATCH BASIN DETAIL



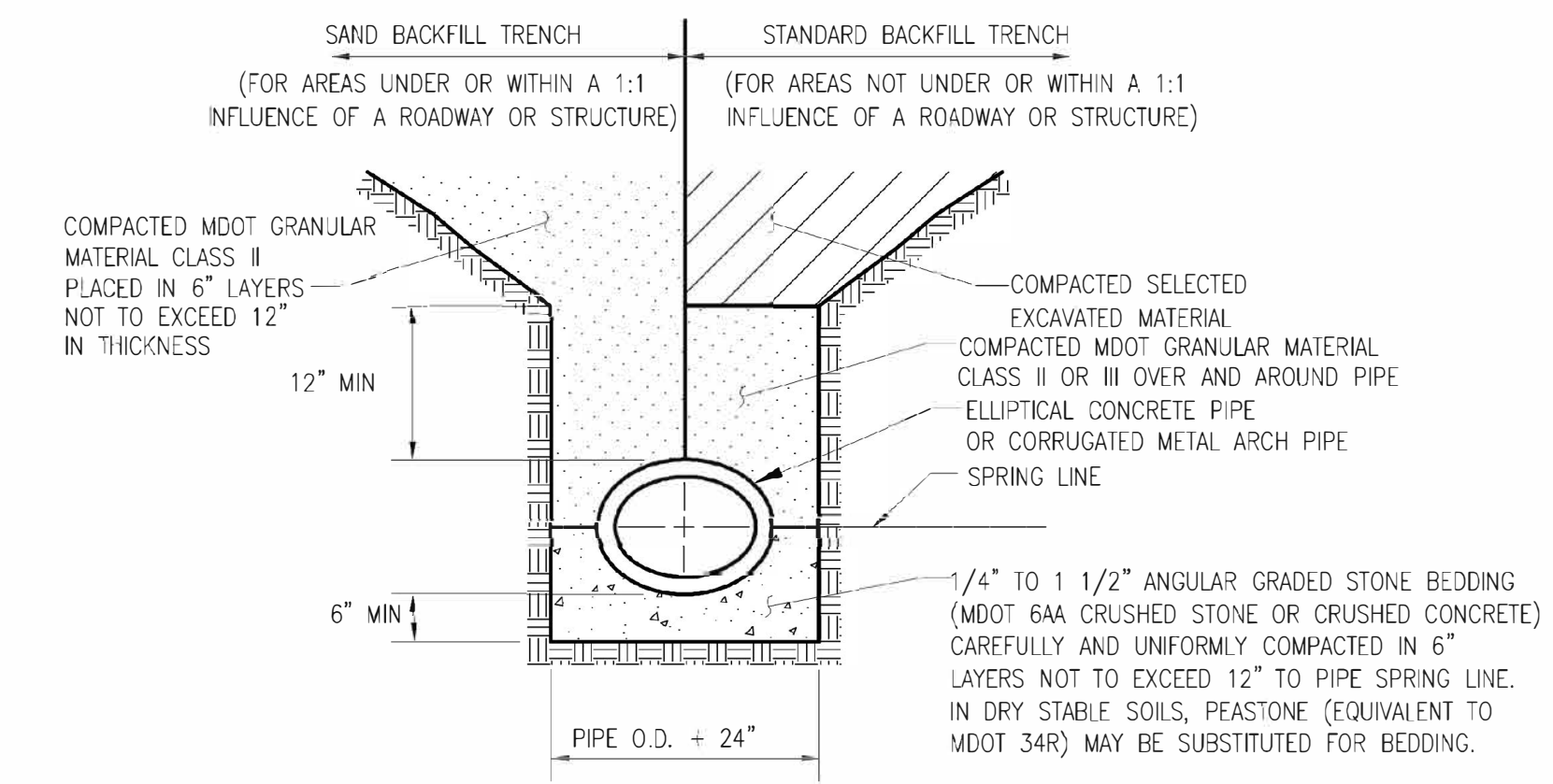
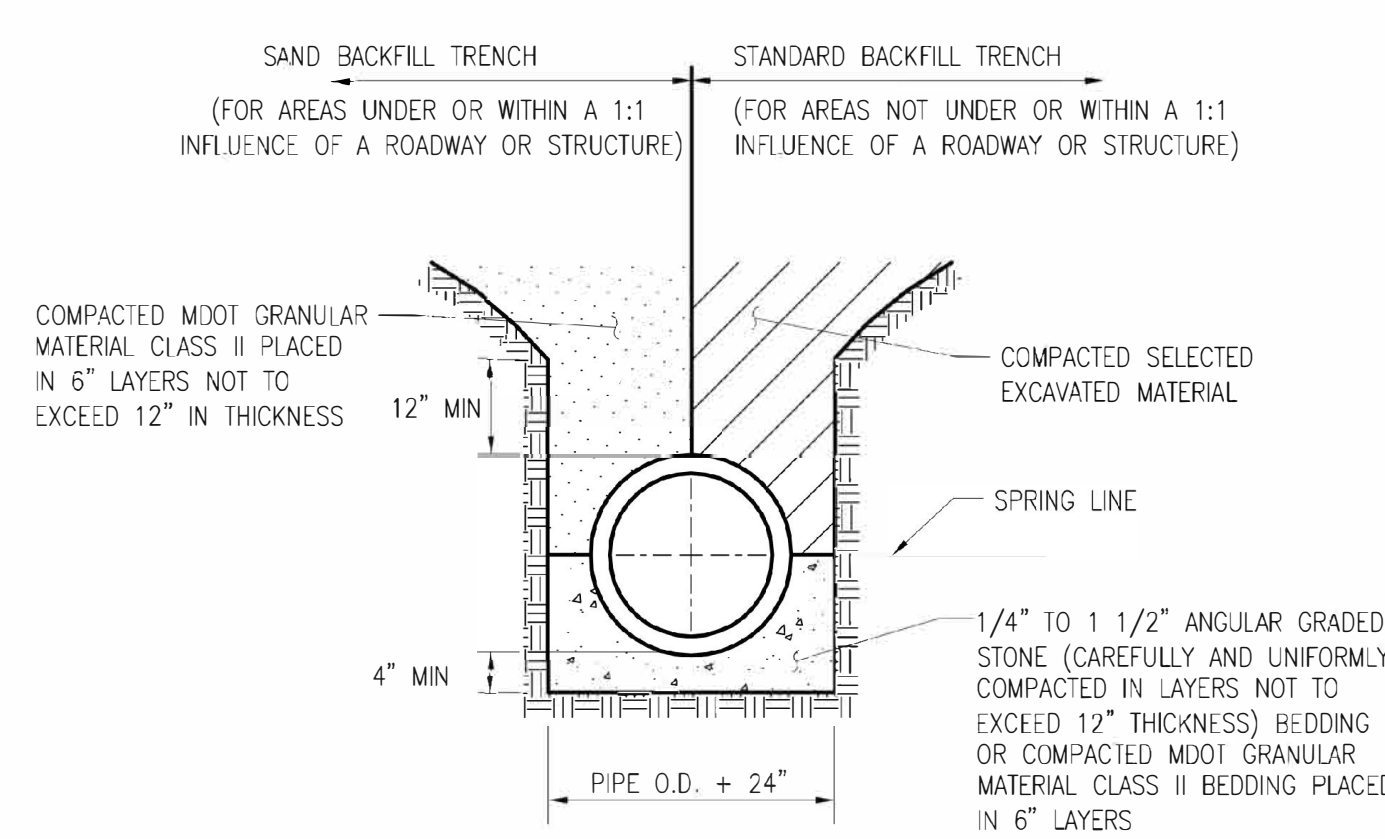
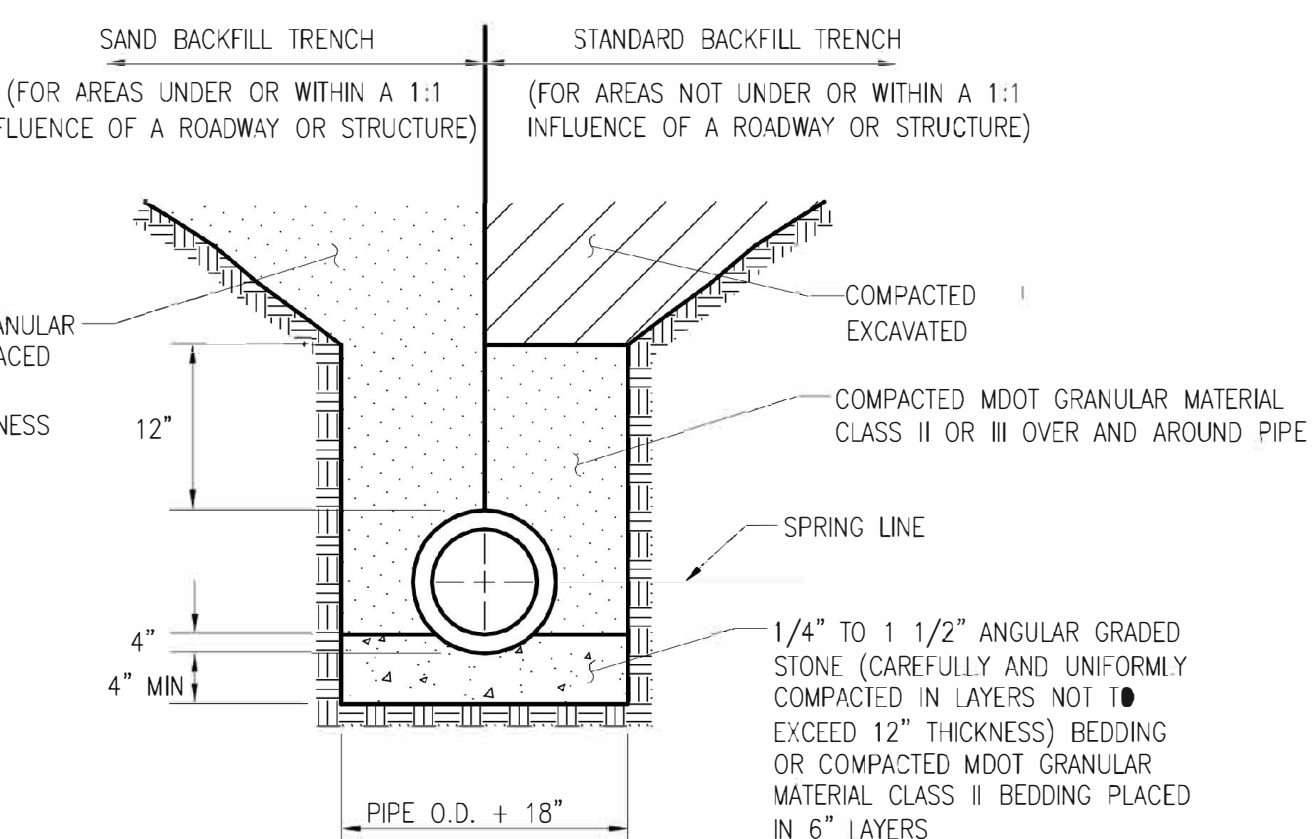
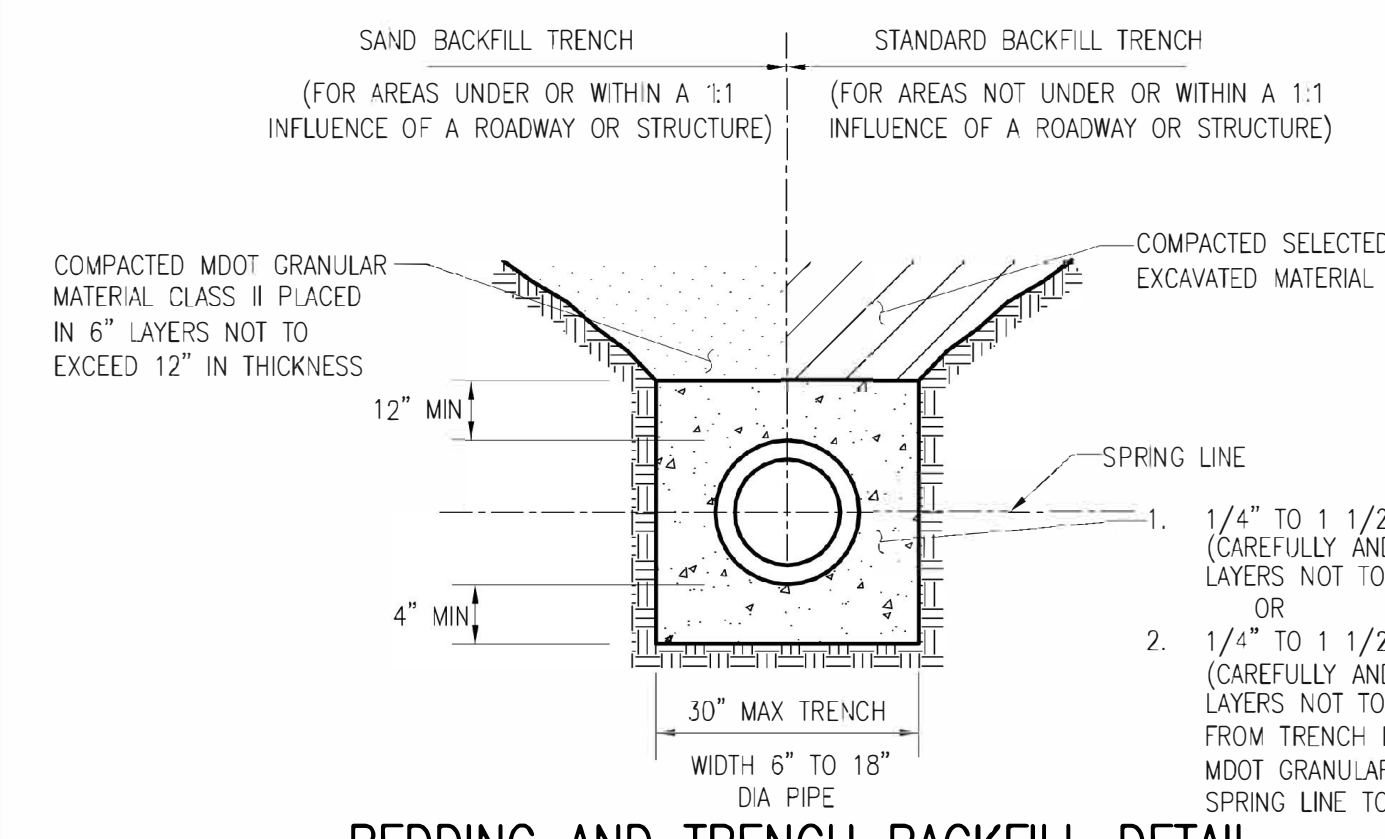
2' DIA CATCH BASIN DETAIL NOT TO SCALE

(NOTE: 2' DIA CATCH BASIN SHALL NOT BE USED UNLESS PRIOR APPROVAL IS OBTAINED FROM TOWNSHIP ENGINEER.)



PIPE DIA	SY
12"	4
15"	4
18"	4
21"	5
24"	6
27"	7
30"	8
36"	10
42"	12
48"	14

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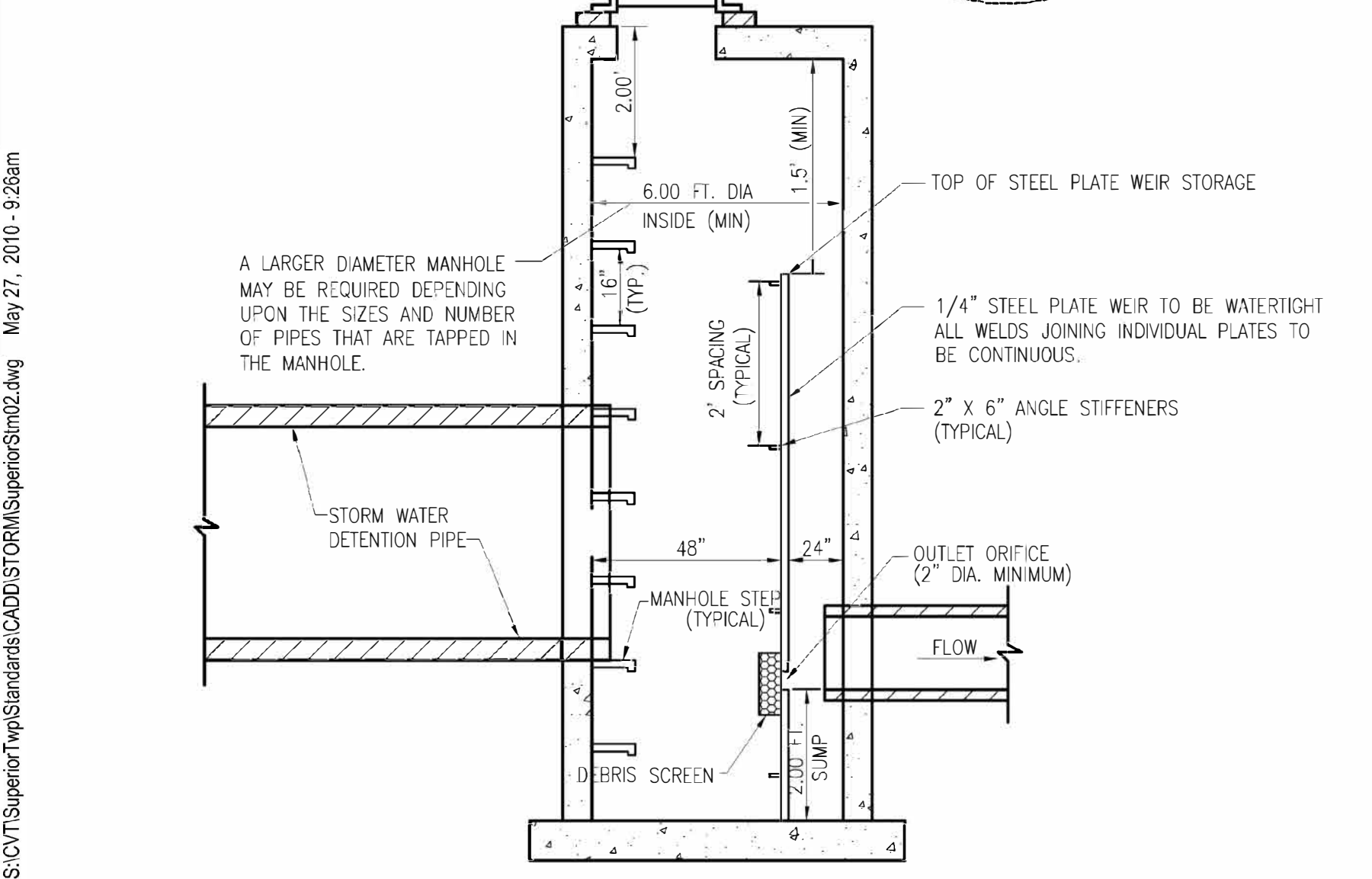
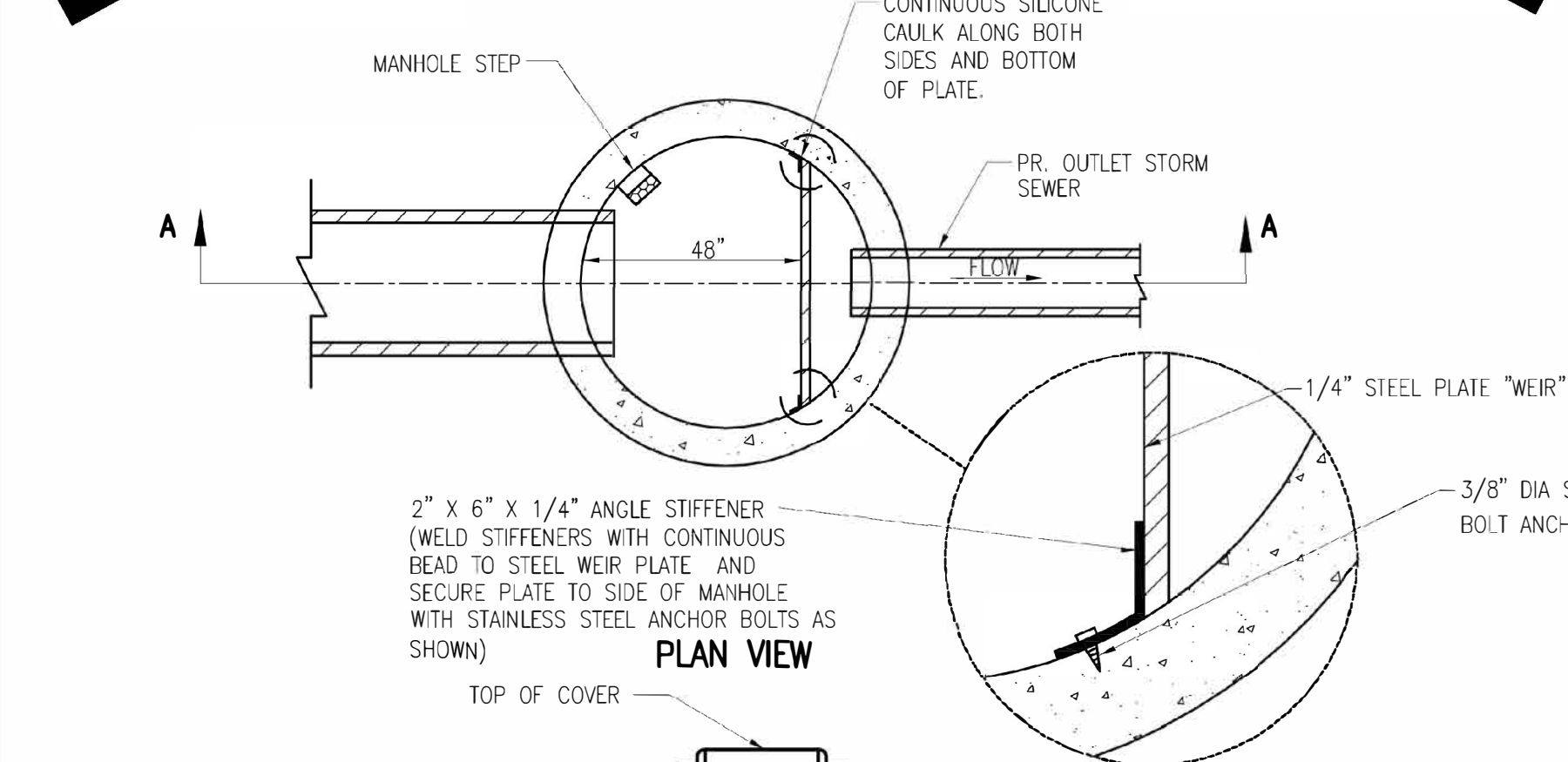
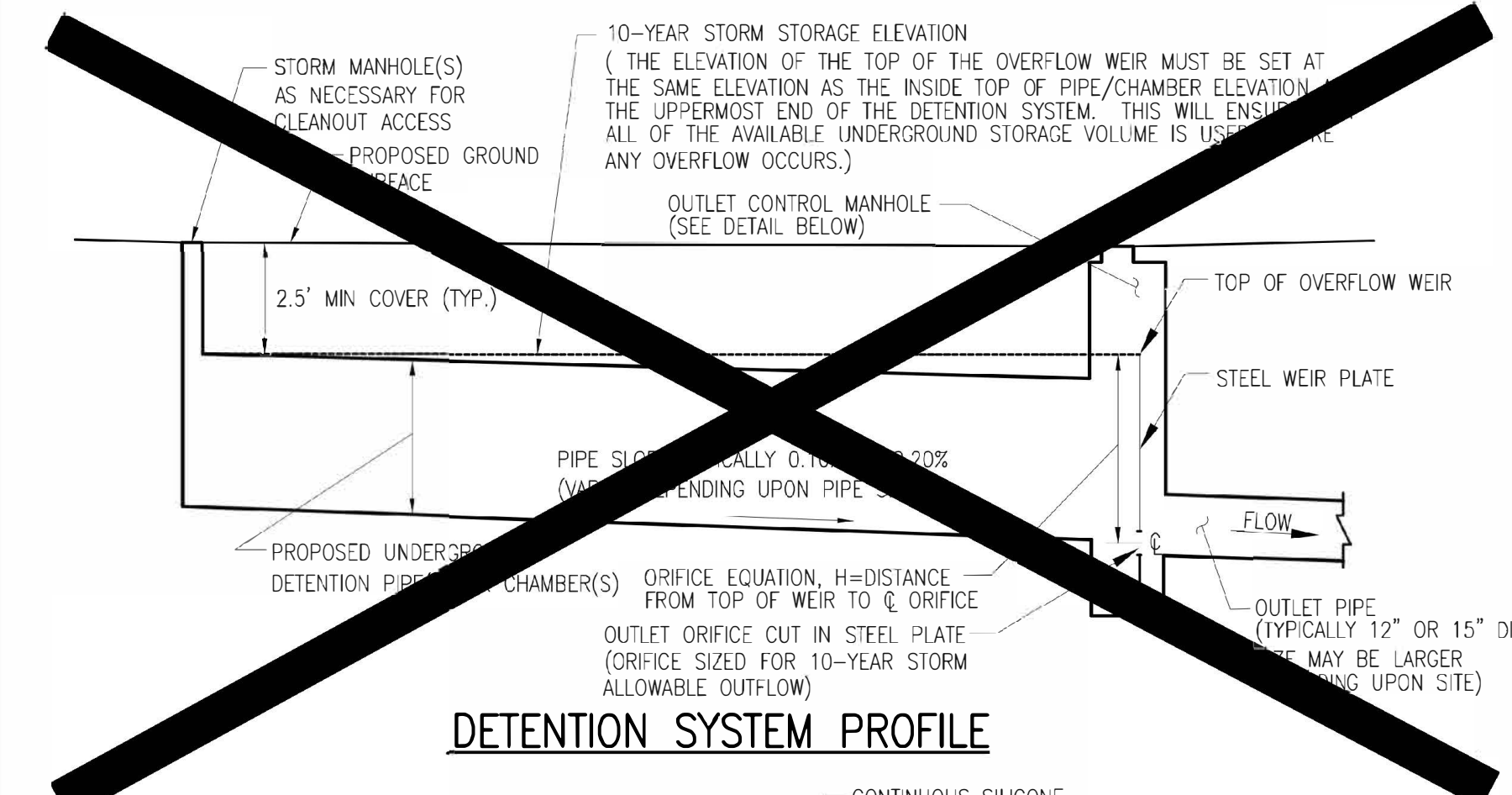
BEDDING AND TRENCH BACKFILL DETAIL FOR ELLIPTICAL CONCRETE PIPE OR CORRUGATED METAL ARCH PIPE

GENERAL NOTES FOR STORM SEWER CONSTRUCTION

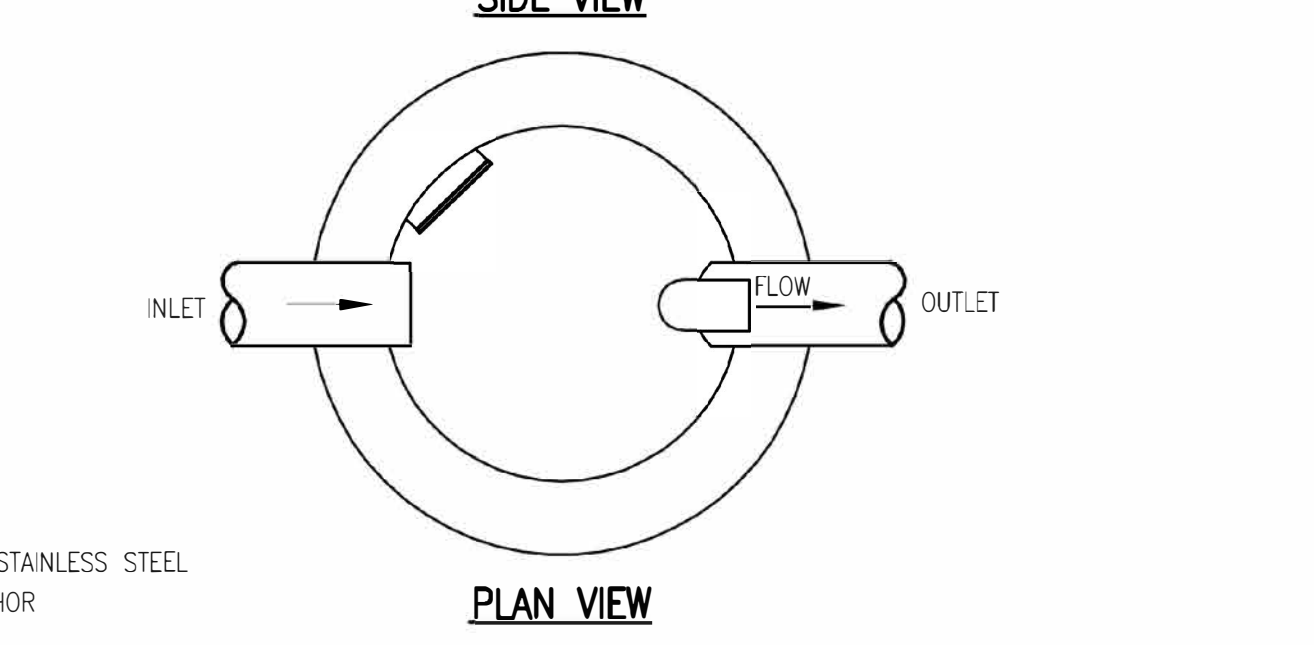
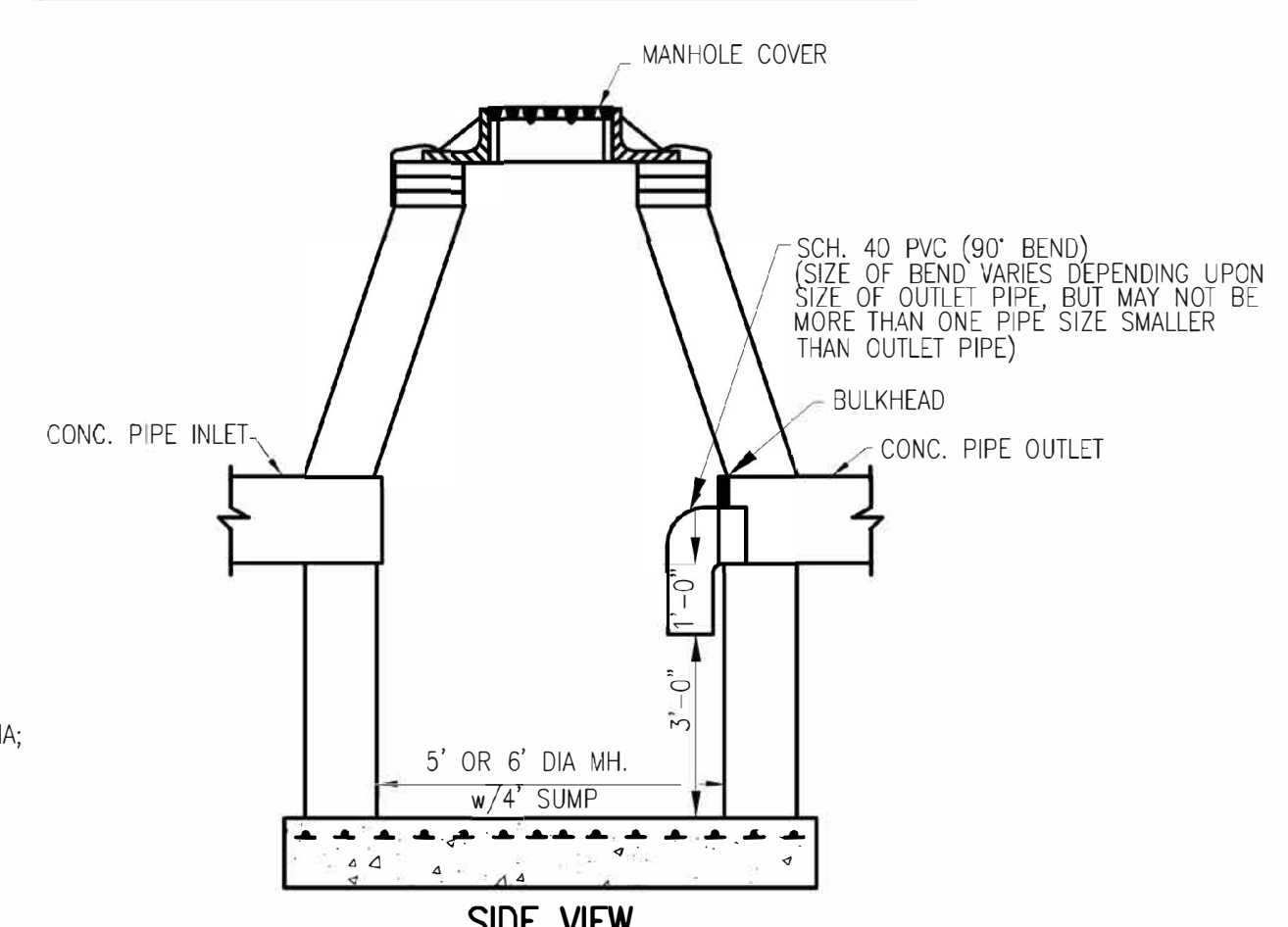
- PIPE BEDDING AND BACKFILLING:**
 BEDDING SHALL EXTEND A MINIMUM OF 4" BELOW PIPE, UNLESS OTHERWISE NOTED ON CONSTRUCTION PLANS. BEDDING SHALL BE UNIFORM IN GRADE. HOWEVER, IF THE EXISTING NATIVE SOILS MEET THE REQUIREMENTS FOR MDOT GRANULAR MATERIAL CLASS II (MINIMUM 4" THICK), THEN STORM SEWER MAY BE LAID DIRECTLY ON COMPACTED NATIVE SUBGRADE SOILS.
 BACKFILL SHALL BE COMPACTED ABOVE PIPE OR AS INDICATED ON CONSTRUCTION DRAWINGS. TRENCH BACKFILL SHALL BE OF A SUITABLE MATERIAL AND SHALL BE FREE OF ANY ORGANIC MATERIALS AND ROCKS LARGER THAN 3" IN SIZE. BACKFILL SHALL BE RAMPED INTO TRENCH AND COMPACTED WITH A SMALL DOZER OR OTHER, APPROVED METHODS. WHERE TRENCH IS WITHIN A 1:1 INFLUENCE OF STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS AND PARKING AREAS, SAND BACKFILL SHALL BE USED WHICH SHALL CONSIST OF MDOT GRANULAR MATERIAL CLASS II OR III COMPACTED IN 6" LAYERS NOT TO EXCEED 12" TO A DENSITY OF 95% AS DETERMINED BY AASHTO T99. ALL BACKFILL PLACED WITHIN A 1:1 INFLUENCE OF STRUCTURES SHALL BE APPROVED SAND, PLACED IN 1" LAYERS AND COMPACTED. NO FROZEN MATERIAL SHALL BE BURIED MORE THAN 4" BELOW THE FINAL ELEVATION OF THE GROUND.
 TRENCHES WHICH ARE TO BE LEFT OPEN OVERNIGHT SHALL BE ENCLOSED WITH SUITABLE FENCING AND LIGHTED BARRICADES, UNLESS OTHERWISE APPROVED BY THE TOWNSHIP.
- SUMP PUMP LEAD REQUIREMENTS:**
 ALL SUMP PUMP LEADS CONNECTED TO A DRAIN SHALL BE PRE-MANUFACTURED.
 SUMP PUMP MAINS AND LEADS SHALL BE A SDR 35, NON-PERFORATED, SOLID WALL, PVC, ARMO CO TRUSS PIPE, OR APPROVED EQUAL, WITH PREMIUM JOINTS.
 TAPS TO 12" STORM SEWER SHALL BE MADE WITH A FERROX EZ TAP OR APPROVED EQUAL TAPS TO OTHER SIZE STORM SEWER SHALL BE MADE WITH A ROMAC SADDLE, KOR-N-TEE LATERAL CONNECTOR FOR CONCRETE PIPE, OR APPROVED EQUAL.
 ENDS OF ALL 4" SUMP PUMP LEADS SHALL BE TEMPORARILY CAPPED AND THEIR LOCATION STAKED, WITNESSED AND RECORDED.
 ALL SUMP PUMP LEADS TO BE TAKEN TO THE PROPERTY LINE, EASEMENT LINE OR AS INDICATED ON THE PLAN.
 SUMP PUMP CLEANOUTS SHALL BE A MINIMUM INSIDE DIAMETER OF 24" AND BE CONSTRUCTED AT CHANGES OF ALIGNMENT, ENDS OF SUMP PUMP MAINS OR AS INDICATED ON THE PLAN.
- RESTORATION REQUIREMENTS:**
 ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE RESTORED AS FOLLOWS, UNLESS OTHERWISE NOTED ON CONSTRUCTION DRAWINGS:
 FINISH GRADE
 PLACE 3" THICKNESS OF "QUALITY" TOPSOIL ACCEPTABLE TO THE ENGINEER.
 APPLY SOD OR SEED AND FERTILIZER AS FOLLOWS:

LOCATION	SODDING/SEEDING REQUIREMENTS	FERTILIZER REQUIREMENT
SLOPES & DITCH BANKS, ETC.	MDOT "ROADSIDE" MIX (50% PERENNIAL RYE, 15% KENTUCKY BLUE, 35% RED FESCUE) APPLIED AT 100 LBS/ACRE	240 LBS/ACRE OF CHEMICAL FERTILIZER NUTRIENTS IN EQUAL PROPORTIONS OF NITROGEN, PHOSPHORIC ACID AND POTASH. (MUST BE A SLOW-RELEASE FERTILIZATION)
OTHER AREAS	MDOT "CLASS A" MIX (30% PERENNIAL RYE, 30% KENTUCKY BLUE, 40% RED FESCUE) APPLIED AT 100 LBS/ACRE	240 LBS/ACRE OF CHEMICAL FERTILIZER NUTRIENTS IN EQUAL PROPORTIONS OF NITROGEN, PHOSPHORIC ACID AND POTASH. (MUST BE A SLOW-RELEASE FERTILIZATION)
DITCH BOTTOMS, SLOPES EXCEEDING 3:1, AND AT STRUCTURES	3" TOPSOIL WITH CLASS A SOD	

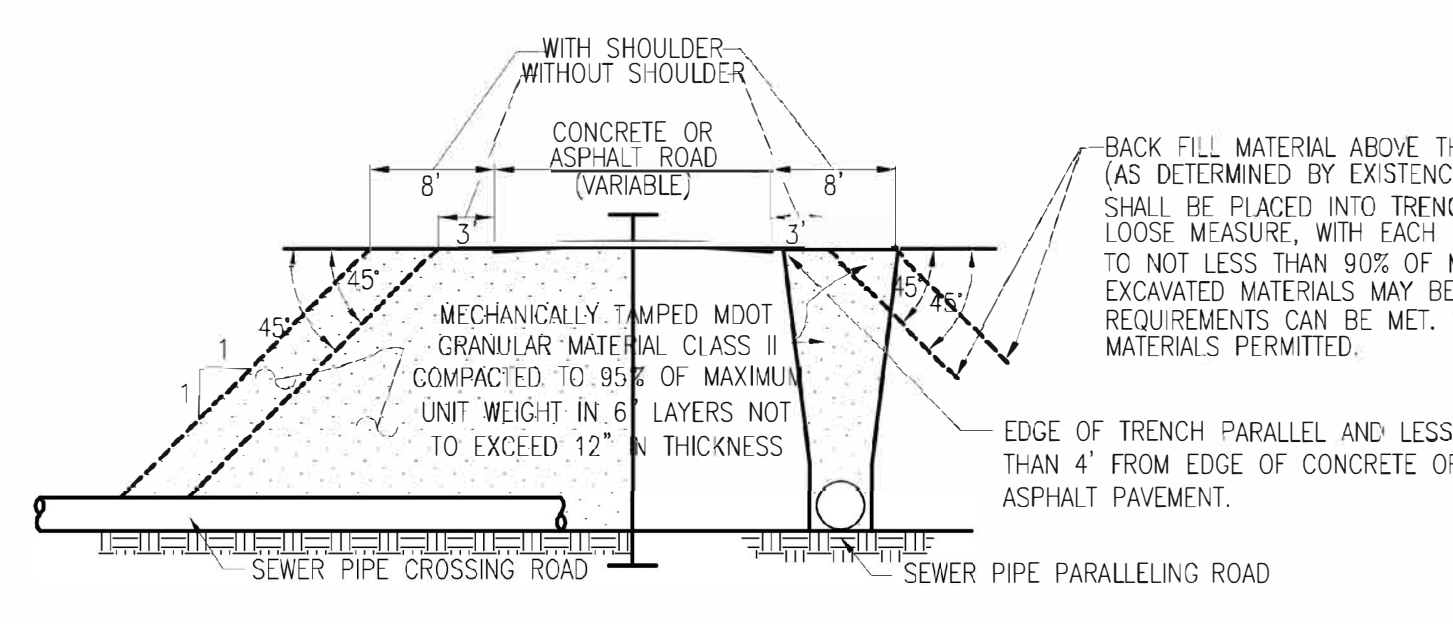
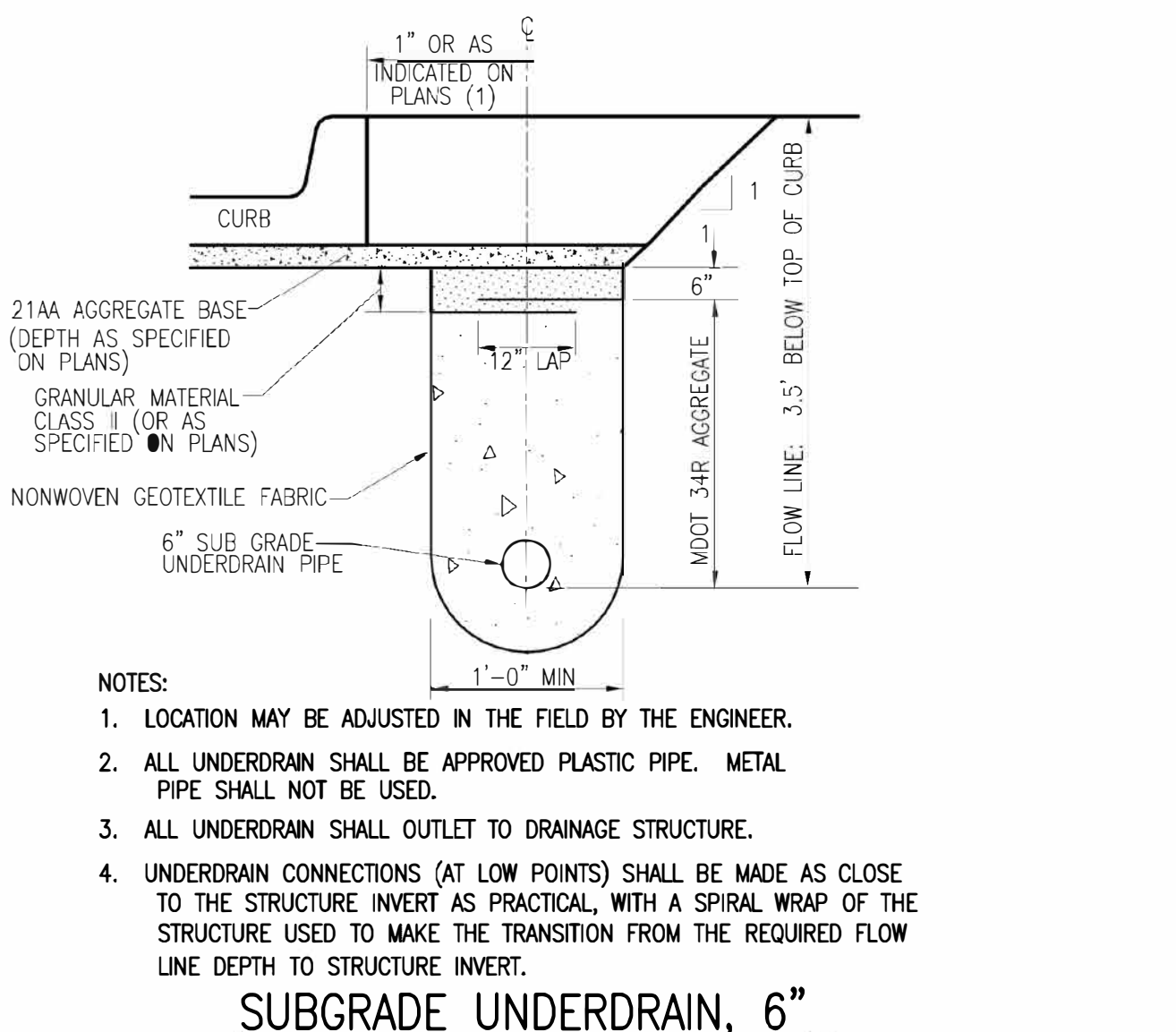
APPLY STRAW MULCH AT THE RATE OF 2-3 BALES/1000 SQUARE FEET.
 THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THE GROWTH OF ALL SEEDED AREAS, AND SHALL RE-SEED AS NECESSARY TO ACCOMPLISH THIS.



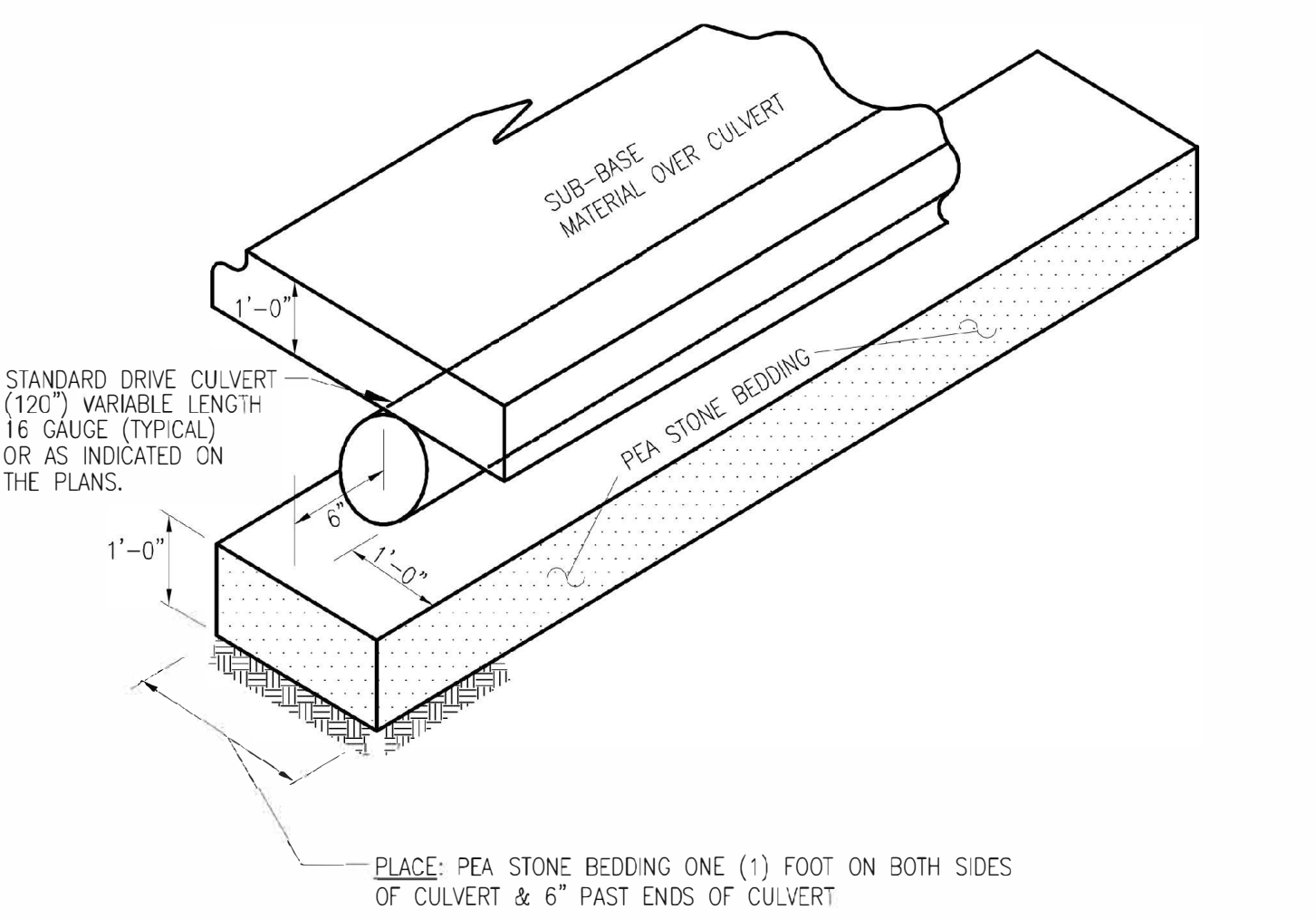
TYPICAL UNDERGROUND DETENTION AND OUTLET MANHOLE DETAILS



OIL/GAS SEPARATOR PLACEMENT DETAIL FOR 18" DIAMETER AND SMALLER OUTLET PIPE (FOR OUTLET PIPES LARGER THAN 18" IN DIAMETER, AN ALTERNATE DESIGN MUST BE APPROVED BY THE TOWNSHIP ENGINEER)

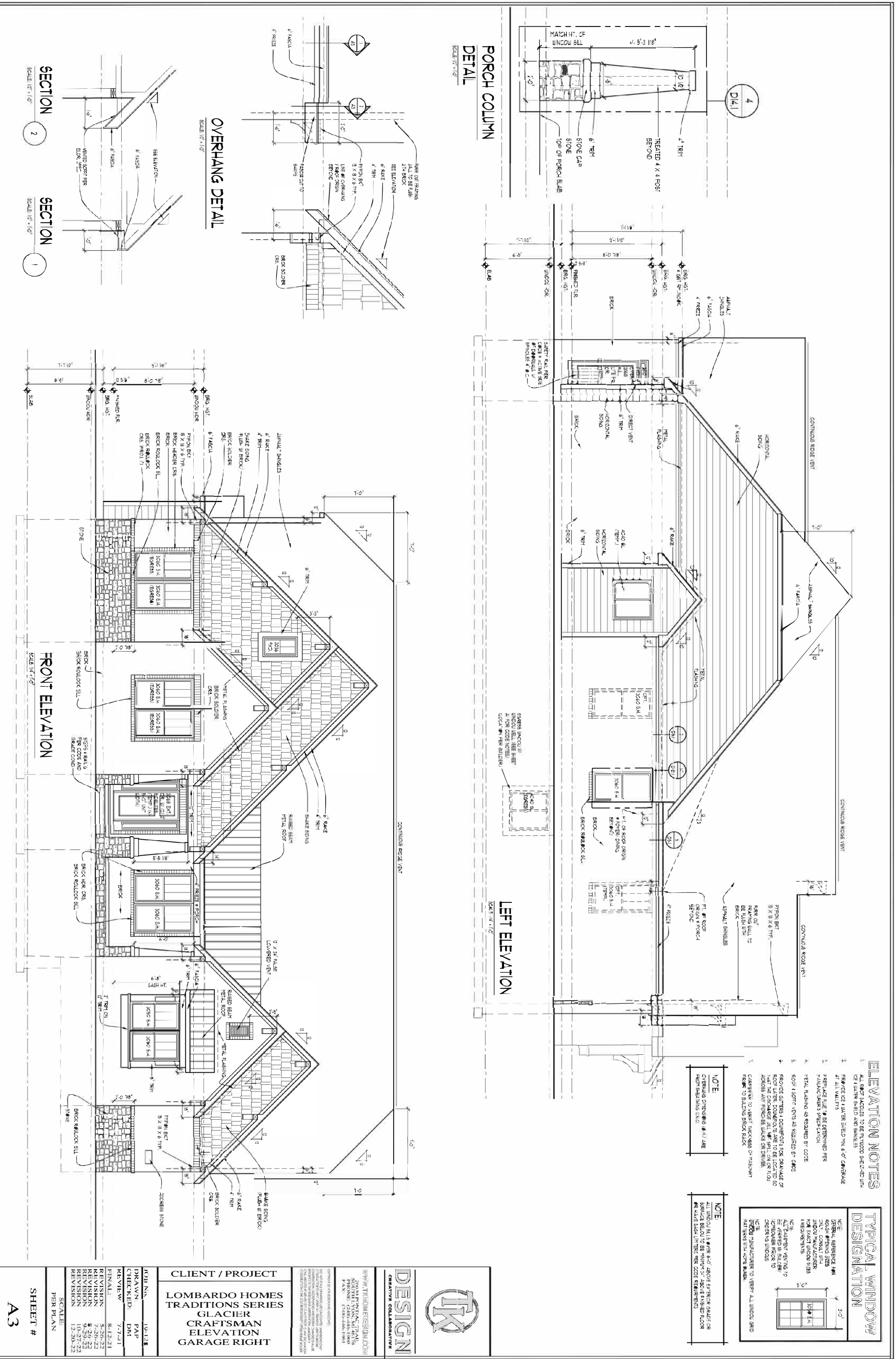
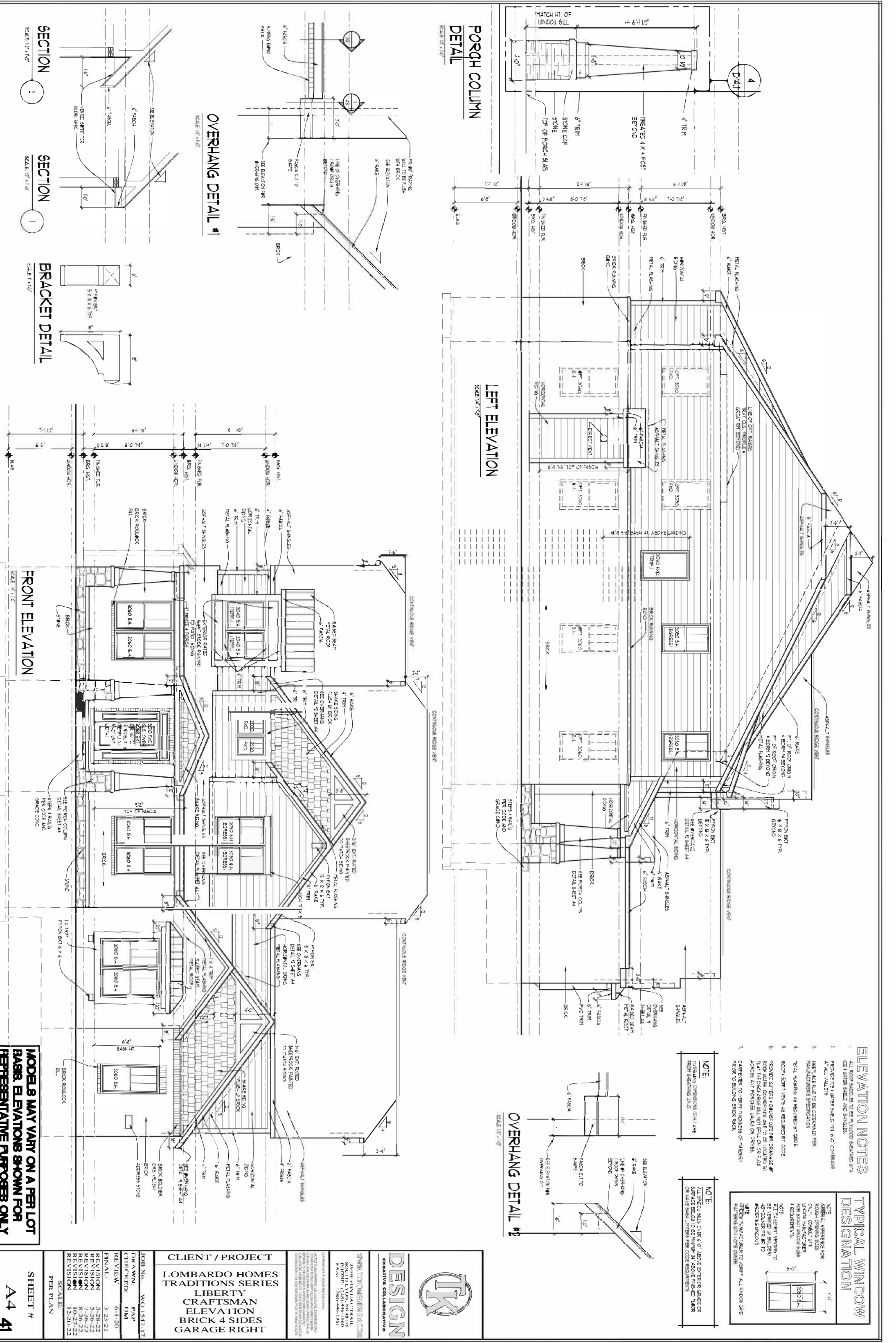
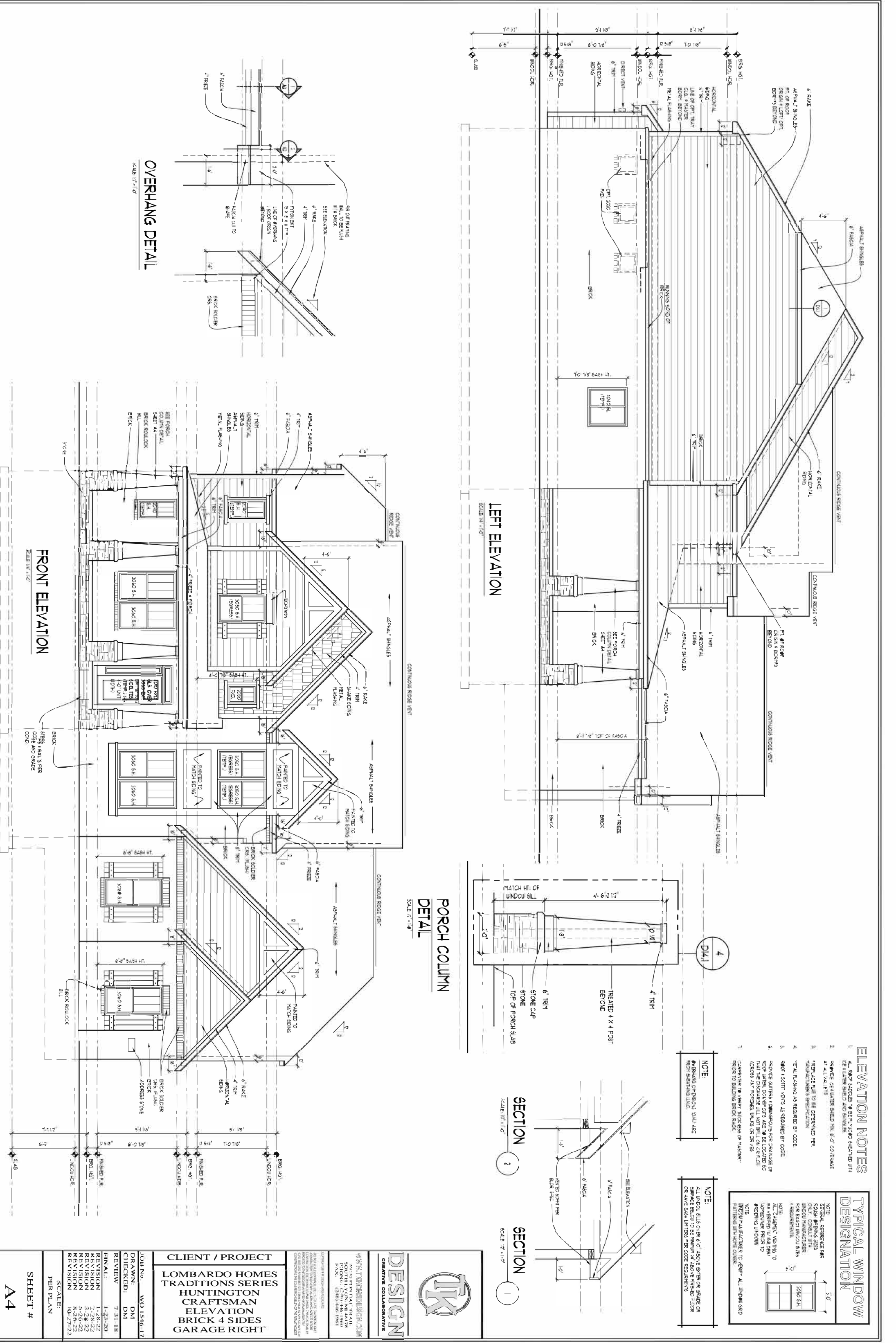
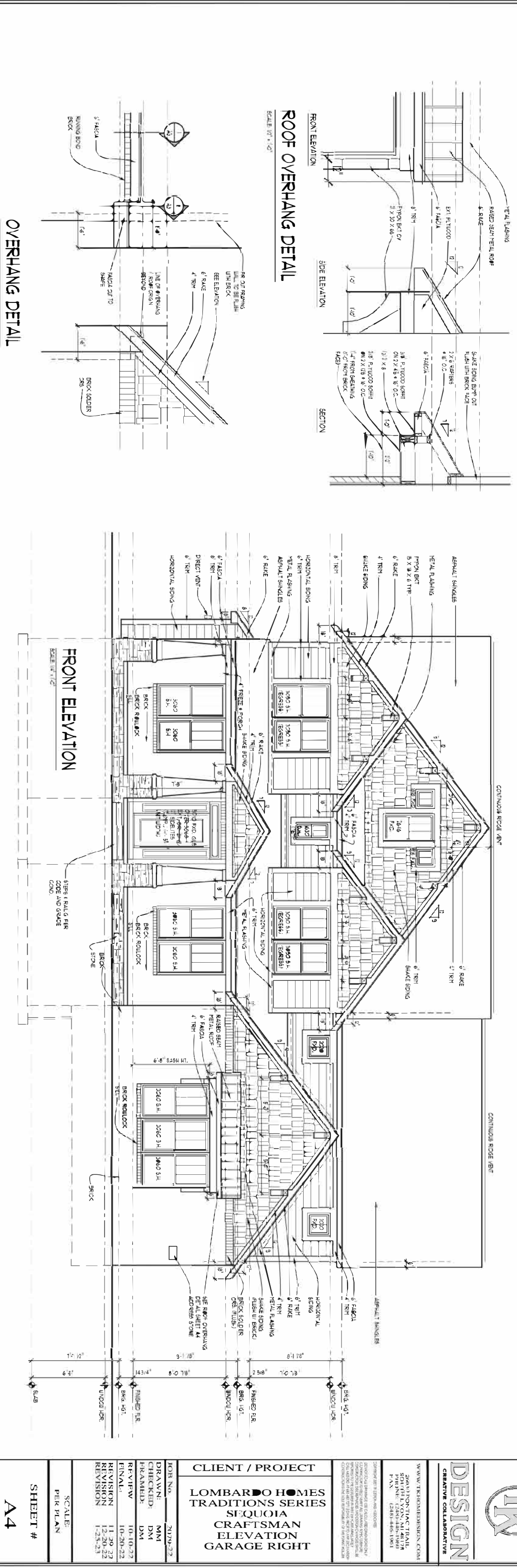
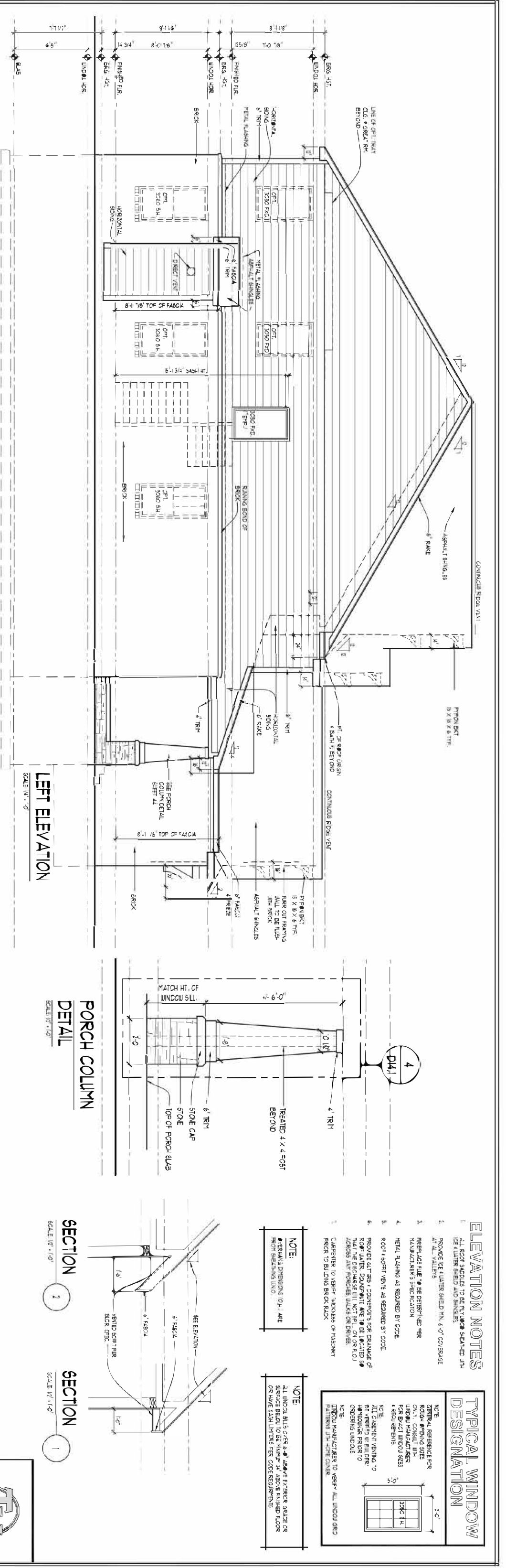


SAND OR GRAVEL BACKFILL DETAILS FOR SEWERS UNDER CONCRETE OR ASPHALT PAVEMENTS, SIDEWALKS, DRIVEWAYS AND PARKING AREAS



DRIVE CULVERT BEDDING DETAIL

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ELEVATION NOTES
 1. FINISHES TO BE SHOWN
 2. MATERIALS TO BE SHOWN
 3. FINISHES TO BE SHOWN
 4. MATERIALS TO BE SHOWN
 5. FINISHES TO BE SHOWN
 6. MATERIALS TO BE SHOWN
 7. FINISHES TO BE SHOWN
 8. MATERIALS TO BE SHOWN
 9. FINISHES TO BE SHOWN
 10. MATERIALS TO BE SHOWN

ELEVATION NOTES
 1. FINISHES TO BE SHOWN
 2. MATERIALS TO BE SHOWN
 3. FINISHES TO BE SHOWN
 4. MATERIALS TO BE SHOWN
 5. FINISHES TO BE SHOWN
 6. MATERIALS TO BE SHOWN
 7. FINISHES TO BE SHOWN
 8. MATERIALS TO BE SHOWN
 9. FINISHES TO BE SHOWN
 10. MATERIALS TO BE SHOWN

TYPICAL WINDOW DESIGNATION
 1. 12" x 16" DOUBLE HUNG
 2. 12" x 16" DOUBLE HUNG
 3. 12" x 16" DOUBLE HUNG
 4. 12" x 16" DOUBLE HUNG
 5. 12" x 16" DOUBLE HUNG
 6. 12" x 16" DOUBLE HUNG
 7. 12" x 16" DOUBLE HUNG
 8. 12" x 16" DOUBLE HUNG
 9. 12" x 16" DOUBLE HUNG
 10. 12" x 16" DOUBLE HUNG

TYPICAL WINDOW DESIGNATION
 1. 12" x 16" DOUBLE HUNG
 2. 12" x 16" DOUBLE HUNG
 3. 12" x 16" DOUBLE HUNG
 4. 12" x 16" DOUBLE HUNG
 5. 12" x 16" DOUBLE HUNG
 6. 12" x 16" DOUBLE HUNG
 7. 12" x 16" DOUBLE HUNG
 8. 12" x 16" DOUBLE HUNG
 9. 12" x 16" DOUBLE HUNG
 10. 12" x 16" DOUBLE HUNG

CLIENT / PROJECT
 LOMBARDO HOMES
 TRADITIONS SERIES
 HUNTINGTON
 CRAFTSMAN
 ELEVATION
 BRICK 4 SIDES
 GARAGE RIGHT

CLIENT / PROJECT
 LOMBARDO HOMES
 TRADITIONS SERIES
 GLACIER
 CRAFTSMAN
 ELEVATION
 BRICK 4 SIDES
 GARAGE RIGHT

MOORE & BAY VARY ON A FEET LOT
 BARR. ELEVATIONS SHOWN FOR
 REPRESENTATIVE PURPOSES ONLY.

EXHIBIT C

The Security Itemization

Site Work Financial Guarantee

Earthwork & Erosion Control	\$600,000
Dry Fire Hydrant and Water Main	\$20,000
Landscaping/Trees	\$215,000
<u>Paving</u>	<u>\$400,000</u>

Total Site Work Financial Guarantee Amount: \$1,235,000

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

**RESOLUTION TO APPROVE THE ESTABLISHMENT AND FUNDING OF THE
CHARTER TOWNSHIP OF SUPERIOR CLEANUP DAY**

RESOLUTION NUMBER: 2024-xx

DATE: DATE

WHEREAS, the promotion of environmental responsibility and community engagement are integral to the ethos of the Charter Township of Superior, aiming to foster a clean, safe, and vibrant community; and

WHEREAS, during the Board of Trustees meeting held on February 20th, the concept of a Charter Township of Superior Cleanup Day was introduced, underscoring the collective effort required to maintain the aesthetic and environmental integrity of our Township; and

WHEREAS, Deputy Supervisor Irma Golden has commendably agreed to lead this initiative, supported by the Parks & Recreation Commission, staff, and the Committee to Promote the Charter Township of Superior, exemplifying dedication to community service and environmental stewardship; and

WHEREAS, the proposed Charter Township of Superior Cleanup Day is scheduled for Saturday, April 20th, from 10:00 AM to 1:00 PM, thoughtfully chosen to coincide with Earth Day celebrations on April 22nd, thereby highlighting the Township's commitment to global environmental concerns and local action; and

WHEREAS, the event will commence at the Township Hall, where volunteers will be equipped with supplies and assignments, proceeding to designated areas to collect trash from nonmotorized trails, rights of way, and easements, with arrangements for the disposal of collected waste by GFL on the following Monday, ensuring an effective and organized cleanup effort; and

WHEREAS, upon completion of their assignments, volunteers will gather back at the Township hall to return supplies and enjoy a communal lunch, reinforcing community ties and expressing gratitude for their valuable participation; and

WHEREAS, a budget of \$3,000.00 is proposed to be allocated from the General Fund to cover the expenses associated with organizing this event, including supplies, equipment, and refreshments, with the expectation that future events could benefit from reduced costs due to the reusable nature of many of the tools and safety supplies;

NOW, THEREFORE, BE IT RESOLVED, the Board of Trustees of the Charter Township of Superior hereby approves the organization of the Charter Township of Superior

Cleanup Day on April 20th and authorizes the allocation of \$3,000.00 from the General Fund to facilitate this significant community initiative.



TO: BOARD OF TRUSTEES

FROM: JUAN BRADFORD, PARKS & RECREATION DIRECTOR

SUBJECT: PROPOSED SUPERIOR TOWNSHIP CLEANUP DAY BUDGET

DATE: MARCH 6, 2024

CC: IRMA GOLDEN, DEPUTY SUPERVISOR
NAHID SANII-YAHYAI, PARKS & RECREATION COMMISSION CHAIR

As you are aware, the topic of a Superior Township Cleanup Day was proposed at the February 20th Board of Trustees meeting. Deputy Supervisor Irma Golden has agreed to take the leadership role in this endeavor, with the support of the Parks & Recreation Commission and staff, and members of the Committee to Promote Superior Township.

The proposed Superior Township Cleanup Day would be held on Saturday, April 20th, from 10:00am to 1:00pm. This date was selected due to its proximity to Earth Day, which is April 22nd. The day would kick off with a muster at township hall where volunteers would receive their supplies, assignments, and sign participation waivers. Volunteer groups would then head to their assigned areas to clean up trash near nonmotorized trails, right of ways, and easements. Any trash collected will be left in bags near the shoulder of the road and be collected by GFL the following Monday. After cleaning their assigned areas, volunteers will return to township hall to return their supplies and have a lunch of grilled hotdogs, chips, and drinks.

For this project to be the most successful, it is recommended that the Board allocate \$3,000.00 from the General Fund based on the following proposed budget.

300 Commercial Grade Garbage Bags	\$250.00
108 Pair Gloves	\$117.00
100 Orange Safety Vests	\$525.00
60 Trash Pickers/Grabbers	\$1,000.00
Park Maintenance Staff (4 Staff / 4.5 Hours)	\$528.00
Food / Drinks / Utensils	\$500.00
Incidentals	<u>\$80.00</u>
Total	\$3,000.00

Due to the fact that a large portion of this budget is tools and safety supplies, future cleanup events could see a reduction in budget of up to 50%.

If you would like any additional information or clarification please let me know.

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

**RESOLUTION TO APPROVE EASEMENT AGREEMENT, A AND L ENTERPRISES,
LLC**

RESOLUTION NUMBER: 2024-17

DATE: MARCH 18, 2024

WHEREAS, A and L Enterprises, LLC, whose address is 5340 Plymouth Road, Ste 103, Ann Arbor, MI 48105 ("Grantor"), being the title holder to a parcel of land located in the NE 1/4 of Section 18, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan, described in detail in the agreement, has agreed to grant certain easements to the Charter Township of Superior, whose address is 3040 North Prospect Road, Ypsilanti, MI 48198 ("Grantee"); and

WHEREAS, for and in consideration of One Dollar and No Cents (\$1.00), the Grantor grants to the Grantee a pathway easement, a temporary construction easement, and a drainage easement over, upon, across, in, through, and under the described parcel of land, along with the right to enter upon sufficient land adjacent to said easements for exercising the rights and privileges granted herein, subject to the terms and conditions set forth in the Easement Agreement; and

WHEREAS, this agreement serves the public interest by facilitating necessary infrastructure development and maintenance within the Charter Township of Superior,

NOW, THEREFORE, BE IT RESOLVED by the Board of Trustees of the Charter Township of Superior that the Easement Agreement between A and L Enterprises, LLC ("Grantor") and the Charter Township of Superior ("Grantee"), which provides for a pathway easement, a temporary construction easement, and a drainage easement on the parcel of land described in the agreement, is hereby accepted.

EASEMENT AGREEMENT

KNOW ALL MEN BY THESE PRESENTS, that A AND L ENTERPRISES, LLC whose address 5340 Plymouth Road, Ste 103, Ann Arbor, MI 48105, (hereinafter referred to as "Grantor"), being title holder to the following described parcel of land, to wit:

A parcel of land being a part of the NE 1/4 of Section 18, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan, more particularly described as follows:

Commencing at the Center of said Section 18; thence N 01°50'20" E 631.65 feet; thence N 89°20'20" E 146.0 feet along centerline of Plymouth Road to the Point of Beginning; thence N 89°20'20" E 233.84 feet; thence S 00°43'02" W 374.97 feet; thence S 89°20'20" W 242.88 feet; thence N 02°05'48" E 375.30 feet to the Point of Beginning. Subject to all easements and restrictions of record, if any.

Tax Identification Number: J-10-18-100-017

for and in consideration of One Dollar and No Cents (\$1.00), receipt of which is hereby acknowledged, grants and conveys to the CHARTER TOWNSHIP OF SUPERIOR, a Michigan Municipal Corporation, whose address is 3040 North Prospect Road, Ypsilanti, MI 48198, (hereinafter referred to as "Grantee") the following easements subject to the terms and conditions set forth herein:

- A. A pathway easement, described in attached Exhibit "A", over, upon, across, in, through, and under Grantors' real property.
- B. A temporary construction easement, also described in attached Exhibit "B", over, upon, across, in, through, and under Grantors' real property. The temporary construction easement will terminate on the date the contractor completes the above project (not to exceed one (1) year from the date the contractor commences work on the project).
- C. A drainage easement, described in attached Exhibit "C", over, upon, across, in, through, and under Grantors' real property.
- D. The right to enter upon sufficient land adjacent to said pathway and drainage easements for the purpose of exercising the following rights and privileges granted herein.

The grant of easement is subject to the following terms and conditions:

1. Grantee may install, repair, replace and maintain lines and all necessary appurtenances thereto, within the easement herein granted.
2. Grantor agrees not to build or to convey to others permission to build any permanent structures on the above described easements.
3. The premises so disturbed by reason of the exercise of any of the foregoing powers, rights and privileges, shall be reasonably restored to its prior condition by Grantee.
4. This instrument shall be binding upon and inure to the benefit of the parties hereto, their heirs, representatives, successors and assigns.
5. Grantee shall indemnify and hold Grantor harmless from and against all liability for claims arising out of the use of the easements by Grantor and any persons using the easements.
6. Grantee shall be solely responsible for all maintenance and upkeep of the pathway and drainage easements, including but not limited to, snow and ice removal and repairs to the improvements placed within the easements.
7. If in the future, Grantor and its successors or assigns, applies to build any further structures on Grantor's real property, the existence of the easements and any improvements thereon shall not be considered in determining whether Grantor's proposed project meets the requirements of the Grantee's zoning regulations.
8. Grantee shall obtain, pay for and deliver to Grantor an appraisal of the fair market value of the easement(s) granted by this document.

IN WITNESS WHEREOF, the undersigned Grantors and Grantee have affixed their signatures.

GRANTOR

By: Kristen M. Landau
Its: President

Date signed:

STATE OF MICHIGAN }
COUNTY OF _____ }

On _____, the foregoing instrument was acknowledged before me by Kristen Landau, the President of A and L Enterprises, LLC.

_____, Notary Public
_____ County, Michigan
Commission expires: _____

GRANTEE
SUPERIOR CHARTER TOWNSHIP

GRANTEE
SUPERIOR CHARTER TOWNSHIP

By: Kenneth Schwartz
Its: Supervisor

By: Lynette Findley
Its: Clerk

Date signed:

Date signed:

STATE OF MICHIGAN }
COUNTY OF WASHTENAW }

On _____, the foregoing instrument was acknowledged before me by : Kenneth Schwartz, Supervisor and Lynette Findley, Clerk of the Charter Township of Superior.

_____, Notary Public
Washtenaw County, Michigan
Commission expires: _____

Drafted by: Frederick Lucas
Castleberry & Lucas
Attorneys at Law
7577 US 12
Onsted, MI 49265

Exhibit A

PATHWAY EASEMENT

A parcel of land being a part of the NE 1/4 of Section 18, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan, more particularly described as follows:

Commencing at the Center of said Section 18; thence N 01°50'20" E 631.65 feet; thence N 89°20'20" E 146.0 feet along centerline of Plymouth Road; thence S 02°05'48" W 39.71 feet to the Point of Beginning; thence S 89°00'05" E 22.95 feet; thence 8.97 feet along a curve to the left, radius 14.50 feet, delta 35°27'15", chord bears N 73°14'46" E 8.83 feet; thence N 55°29'37" E 8.77 feet; thence N 89°20'20" E 160.32 feet along the South right of way line of Plymouth Road; thence S 62°46'10" W 7.91 feet; thence 17.49 feet along a curve to the right, radius 36.0 feet, delta 27°50'19", chord bears S 76°41'33" W 17.32 feet; thence N 89°23'05" W 112.78 feet; thence 10.60 feet along a curve to the left, radius 17.30 feet, delta 35°05'20", chord bears S 73°03'16" E 10.43 feet; thence S 55°29'37" W 15.74 feet; thence 17.65 feet along a curve to the right, radius 28.50 feet, delta 35°29'05", chord bears S 73°14'46" W 17.37 feet; thence N 89°00'05" W 23.21 feet; thence N 02°05'48" E 14.0 feet along the West line of said parcel to the Point of Beginning.

Contains 1,592 square feet or 0.037 acres of land, more or less. Subject to all easements and restrictions of record, if any.

Exhibit B

TEMPORARY CONSTRUCTION EASEMENT

Parcels of land being a part of the NE 1/4 of Section 18, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan, more particularly described as follows:

Commencing at the Center of said Section 18; thence N 01°50'20" E 631.65 feet; thence N 89°20'20" E 146.0 feet along centerline of Plymouth Road; thence S 02°05'48" W 33.04 feet to the Point of Beginning; thence N 89°20'20" E 38.38 feet; thence S 55°29'37" W 8.77 feet; thence 8.97 feet along a curve to the right, radius 14.50 feet, delta 35°27'15", chord bears S 73°14'46" W 8.83 feet; thence N 89°00'05" W 22.95 feet; thence N 02°05'48" E 6.67 feet to the Point of Beginning,

ALSO,

Commencing at the Center of said Section 18; thence N 01°50'20" E 631.65 feet; thence N 89°20'20" E 146.0 feet along centerline of Plymouth Road to a point; thence continuing N 89°20'20" E 233.84 feet; ; thence S 00°43'02" W 33.01 feet to the Point of Beginning; thence S 00°43'02" W 15.0 feet; thence S 89°20'20" W 168.73 feet; thence S 00°39'40" E 10.01 feet; thence S 89°20'20" W 66.76 feet; thence N 02°05'48" E 4.36 feet; thence S 89°00'05" E 23.21 feet; thence 17.65 feet along a curve to the left, radius 28.50 feet, delta 35°29'05", chord bears N 73°14'46" E 17.37 feet; thence N 55°29'37" E 15.74 feet; thence 10.60 feet along a curve to the right, radius 17.30 feet, delta 35°05'20", chord bears N 73°03'16" E 10.43 feet; thence S 89°23'05" E 112.78 feet; thence 17.49 feet along a curve to the left, radius 36.0 feet, delta 27°50'19", chord bears N 76°41'33" E 17.32 feet; thence N 62°46'10" E 7.91 feet; thence N 89°20'20" E 35.94 feet to the Point of Beginning.

All contains 2,595 square feet or 0.060 acres of land, more or less. Subject to all easements and restrictions of record, if any.

Exhibit C

DRAINAGE EASEMENT

A 20 foot drainage easement being a part of the NE 1/4 of Section 18, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan, more particularly described as follows:

Commencing at the Center of said Section 18; thence N 01°50'20" E 631.65 feet; thence N 89°20'20" E 146.0 feet along centerline of Plymouth Road; thence S 02°05'48" W 59.97 feet; thence N 89°20'20" E 9.72 feet to the Point of Beginning; thence N 08°51'10" E 27.22 feet; thence S 81°08'50" E 20.0 feet; thence S 08°51'10" W 27.22 feet; thence N 81°08'50" W 20.0 feet to the Point of Beginning.

Contains 1,592 square feet or 0.037 acres of land, more or less. Subject to all easements and restrictions of record, if any.

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

RESOLUTION TO APPROVE EASEMENT AGREEMENT, ANDREW GRANT

RESOLUTION NUMBER: 2024-18

DATE: MARCH 18, 2024

WHEREAS, Andrew Grant, whose address is 5020 Plymouth-Ann Arbor Road, Ann Arbor, MI 48105 ("Grantor"), being the title holder to a parcel of land located in the NW 1/4 of Section 18, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan, more particularly described as Lots 11, 12 and Part of Lots 13 & 14, "Plat of Village of Dixboro," with Tax Identification Number J-10-18-261-007, has agreed to grant an easement to the Charter Township of Superior, whose address is 3040 North Prospect Road, Ypsilanti, MI 48198 ("Grantee"); and

WHEREAS, for and in consideration of Fifteen Thousand Dollars and No Cents (\$15,000.00), the Grantor grants to the Grantee a pathway easement over, upon, across, in, through, and under the described parcel of land, along with the right to enter upon sufficient land adjacent to said pathway easement for exercising the rights and privileges granted herein, subject to the terms and conditions set forth in the Easement Agreement; and

WHEREAS, this agreement serves the public interest by ensuring the maintenance and enhancement of infrastructure within the Charter Township of Superior, thereby facilitating better access and drainage for the community,

NOW, THEREFORE, BE IT RESOLVED by the Board of Trustees of the Charter Township of Superior that the Easement Agreement between Andrew Grant ("Grantor") and the Charter Township of Superior ("Grantee"), which provides for a pathway easement on the parcel of land described in the agreement for the sum of Fifteen Thousand Dollars and No Cents (\$15,000.00), is hereby accepted.

EASEMENT AGREEMENT

KNOW ALL MEN BY THESE PRESENTS, that Andrew Grant, whose address 5020 Plymouth-Ann Arbor Road, Ann Arbor, MI 48105, (hereinafter referred to as "Grantor"), being title holder to the following described parcel of land, to wit:

A parcel of land being a part of the NW 1/4 of Section 18, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan, more particularly described as follows:

Commencing at the W 1/4 corner of said Section 18; thence N 02°29'40" E 250.24 feet along the West line of said Section 18; thence N 89°20'20" E 33.05 feet to the SW corner of Lot 13, "Plat of Village of Dixboro"; thence N 02°29'40" E 74.0 feet to the Point of Beginning; thence N 02°29'40" E 190.0 feet; thence N 89°20'20" E 231.0 feet; thence S 02°29'40" W 190.0 feet; thence S 89°20'20" W 231.0 feet to the Point of Beginning. Being Lots 11, 12 and Part of Lots 13 & 14, "Plat of Village of Dixboro. Subject to all easements and restrictions of record, if any.

Tax Identification Number: J-10-18-261-007

for and in consideration of Fifteen Thousand Dollars and No Cents (\$15,000.00), receipt of which is hereby acknowledged, grants and conveys to the CHARTER TOWNSHIP OF SUPERIOR, a Michigan Municipal Corporation, whose address is 3040 North Prospect Road, Ypsilanti, MI 48198, (hereinafter referred to as "Grantee") the following easement subject to the terms and conditions set forth herein:

- A. A pathway easement, described in attached Exhibit "A", over, upon, across, in, through, and under Grantors' real property. A drawing of the pathway easement is attached as Exhibit "B"
- B. The right to enter upon sufficient land adjacent to said pathway and drainage easements for the purpose of exercising the following rights and privileges granted herein.

The grant of easement is subject to the following terms and conditions:

1. Grantee may install, repair, replace any pathways and drainage pipes or culverts and all necessary appurtenances thereto, within the easement herein granted.

2. Grantor agrees not to build or to convey to others permission to build any permanent structures on the above described easements.
3. The premises so disturbed by reason of the exercise of any of the foregoing powers, rights and privileges, shall be reasonably restored to its prior condition by Grantee.
4. This instrument shall be binding upon and inure to the benefit of the parties hereto, their heirs, representatives, successors and assigns.
5. Grantee shall indemnify and hold Grantor harmless from and against all liability for claims arising out of the use of the easements by Grantor and any persons using the easements.
6. Grantee shall be solely responsible for all maintenance and upkeep of the pathway and drainage easements, including but not limited to, snow and ice removal and repairs to the improvements placed within the easements.
7. If in the future, Grantor applies to build any further structures on Grantor's real property, the existence of the easements and any improvements thereon shall not be considered in determining whether Grantor's proposed project meets the requirements of the Grantee's zoning regulations.

IN WITNESS WHEREOF, the undersigned Grantors and Grantee have affixed their signatures.

GRANTOR

Andrew Grant

Date signed:

STATE OF MICHIGAN }
COUNTY OF _____}

On _____, 2024 the foregoing instrument was acknowledged before me by Andrew Grant.

_____, Notary Public
_____ County, Michigan
Commission expires: _____

**GRANTEE
SUPERIOR CHARTER TOWNSHIP**

**GRANTEE
SUPERIOR CHARTER TOWNSHIP**

By: Kenneth Schwartz
Its: Supervisor

By: Lynette Findley
Its: Clerk

Date signed:

Date signed:

STATE OF MICHIGAN }
COUNTY OF WASHTENAW }

On _____, 2024 the foregoing instrument was acknowledged before me by
Kenneth Schwartz, Supervisor and Lynette Findley, Clerk of the Charter Township of Superior.

_____, Notary Public
Washtenaw County, Michigan
Commission expires: _____

Drafted by: Frederick Lucas
Castleberry & Lucas
Attorneys at Law
7577 US 12
Onsted, MI 49265

EXHIBIT A

PATHWAY EASEMENT

A parcel of land being a part of the NW 1/4 of Section 18, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan, more particularly described as follows:

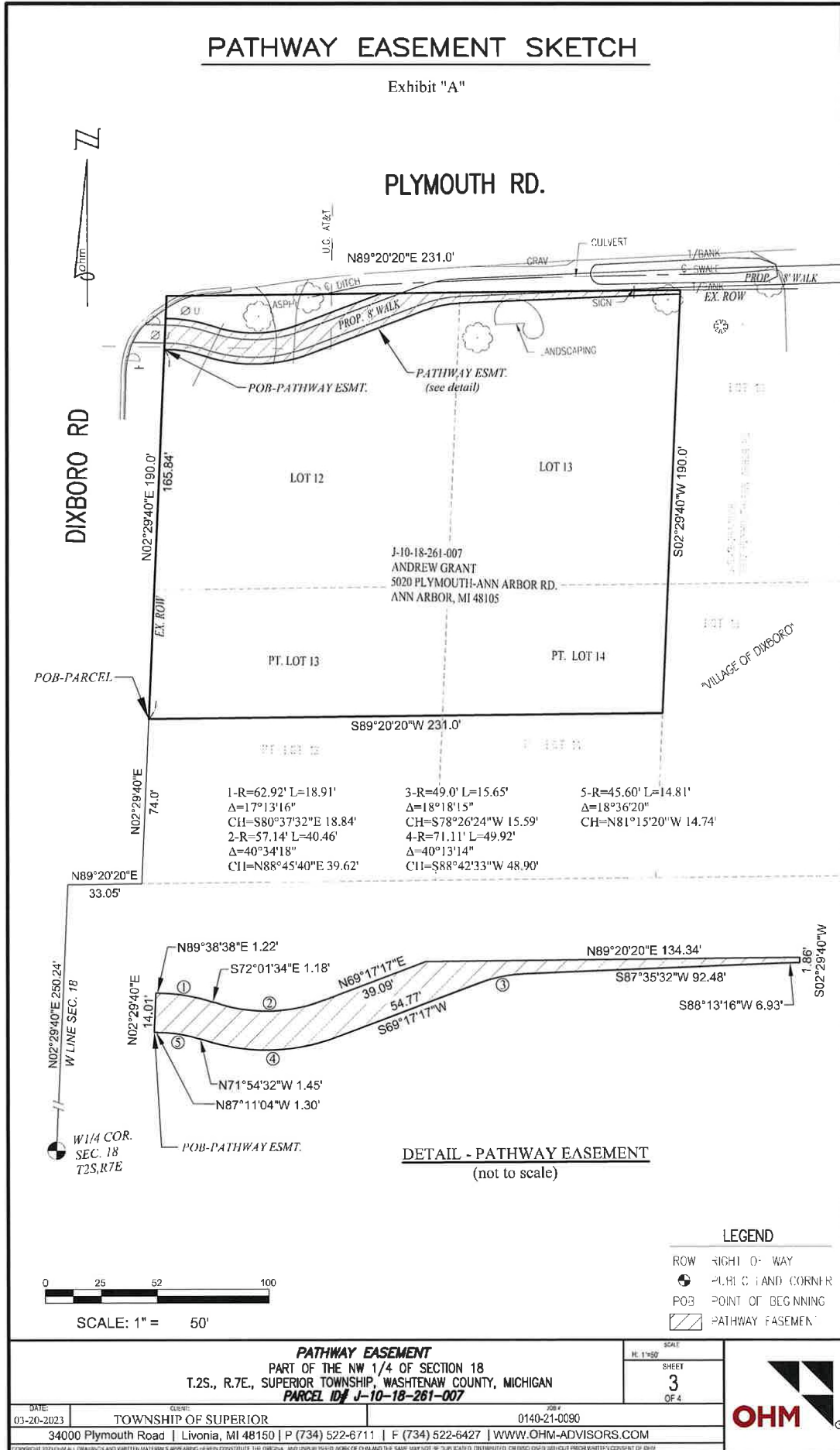
Commencing at the W 1/4 corner of said Section 18; thence N 02°29'40" E 250.24 feet along the West line of said Section 18; thence N 89°20'20" E 33.05 feet to the SW corner of Lot 13, "Plat of Village of Dixboro"; thence N 02°29'40" E 74.0 feet; thence N 02°29'40" E 147.97 feet along the East right of way line of Dixboro Road to the Point of Beginning; thence continuing N 02°29'40" E 15.21 feet; thence N 68°46'59" E 19.29 feet; thence 10.98 feet along a curve to the right , radius 28.0 feet, delta 22°27'38", chord bears N 80°00'47" E 10.91 feet; thence S 88°45'24" E 22.04 feet; thence 15.07 feet along a curve to the left , radius 22.0 feet, delta 39°14'59", chord bears N 71°37'07" E 14.78 feet; thence N 49°03'27" E 22.39 feet to a point on the South right of way line of Plymouth Road; thence along said South line, N 89°20'20" E 80.82 feet; thence S 87°03'41" W 21.23 feet; thence S 85°58'38" W 28.53 feet; thence S 86°12'08" W 8.66 feet; thence 9.05 feet along a curve to the left , radius 14.0 feet, delta 37°01'28", chord bears S 67°30'38" W 8.89 feet; thence S 48°59'54" W 28.01 feet; thence 25.22 feet along a curve to the right , radius 35.76 feet, delta 40°24'09", chord bears S 69°07'59" W 24.70 feet; thence N 88°53'23" W 23.35 feet; thence 5.49 feet along a curve to the left , radius 14.0 feet, delta 22°28'53", chord bears S 80°00'59" W 5.46 feet; thence S 68°51'07" W 24.43 feet; thence 0.98 feet along a curve to the right , radius 36.0 feet, delta 01°33'50", chord bears S 71°52'16" W 0.98 feet to the Point of Beginning.

Contains 1,540 square feet or 0.035 acres of land, more or less. Subject to all easements and restrictions of record, if any.

Exhibit B

PATHWAY EASEMENT SKETCH

Exhibit "A"



**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

**RESOLUTION TO APPROVE EASEMENT AGREEMENT, FF ACRES HOLDINGS,
LLC**

RESOLUTION NUMBER: 2024-19

DATE: MARCH 18, 2024

WHEREAS, FF Acres Holdings, LLC, with an address of 5400 Plymouth-Ann Arbor Road, Ann Arbor, MI 48105 ("Grantor"), being the title holder of the land described in Exhibit "A", and identified by Tax Identification Number J-10-18-100-014 as per Washtenaw County tax rolls, has graciously offered to grant a pathway easement to the Charter Township of Superior ("Grantee"), for the specific purpose of installing, repairing, replacing, and maintaining pathways and all necessary appurtenances within the granted easement; and

WHEREAS, the Grantor has committed not to construct, or allow others to construct, any permanent structures on the described easement, ensuring the Grantee unfettered access to exercise the rights and privileges granted herein without interference; and

WHEREAS, the Grantee has agreed to bear the responsibility of restoring any premises disturbed by the exercise of the granted powers, rights, and privileges to their prior condition, thereby minimizing the impact on the Grantor's property; and

WHEREAS, this easement agreement, designed to mutually benefit both parties along with their successors, heirs, and assigns, establishes a legal and cooperative framework for the maintenance and utilization of the pathway easement,

NOW, THEREFORE, BE IT RESOLVED the Board of Trustees of the Charter Township of Superior hereby accepts the pathway easement agreement between FF Acres Holdings, LLC ("Grantor") and the Charter Township of Superior ("Grantee"), as detailed in the attached Exhibit "A" and the parcel description provided.

P A T H W A Y E A S E M E N T

KNOW ALL MEN BY THESE PRESENTS, that FF ACRES HOLDINGS LLC, whose address is 5400 Plymouth-Ann Arbor Road, Ann Arbor, MI 48105, (hereinafter referred to as "Grantor"), being title holder to the following described parcel of land, to wit:

See Exhibit "A"

Tax Identification Number: J-10-18-100-014

for and in consideration of One (\$1.00) Dollar, receipt of which is hereby acknowledged, does hereby grant and convey to the Charter Township of Superior, a Michigan Municipal Corporation, whose address is 3040 North Prospect Road, Ypsilanti, MI 48198, (hereinafter referred to as "Grantee"), a pathway easement, over, upon, across, in, through, and under the following described real property to wit:

See Exhibit "A"

and to enter upon sufficient land adjacent to said pathway easement for the purpose of exercising the rights and privileges granted herein.

Grantee may install, repair, replace and maintain lines and all necessary appurtenances thereto, within the easement herein granted.

Grantor agrees not to build or to convey to others permission to build any permanent structures on the above described easement.

The premises so disturbed by reason of the exercise of any of the foregoing powers, rights and privileges, shall be reasonably restored to its prior condition by Grantee.

This instrument shall be binding upon and inure to the benefit of the parties hereto, their heirs, representatives, successors and assigns.

IN WITNESS WHEREOF, the undersigned Grantors have affixed their signatures this 17th day of November A.D., 2023.

WITNESSES:

FF ACRES HOLDINGS LLC

Ken Schwartz
Witness Signature

By: [Signature]
Signature

Ken Schwartz
Printed Name

Its: Sava Farah, Member
Printed Name & Title

Laura Bennett
Witness Signature

By: _____
Signature

Laura Bennett
Printed Name

Its: _____
Printed Name & Title

STATE OF MICHIGAN)
)SS
COUNTY OF)

On this 17th day of November, A.D., 2023, before me, a Notary Public in and for said County, appeared SAVA FARAH and _____, and to me known personally known, who, being by me duly sworn, did each for himself say that they are respectively the Managing Member and the _____ of _____, the corporation named in and which executed the within instrument and, that the seal affixed to said instrument was signed and sealed in behalf of said corporation by authority of its board of directors; and acknowledged said instrument the free act and deed of said corporation.

Nancy Mason
Notary Public, Washtenaw County, MI
My commission expires 6-16-27

NANCY L. MASON
NOTARY PUBLIC, STATE OF MI
COUNTY OF WASHTENAW
MY COMMISSION EXPIRES Jun 16, 2027
ACTING IN COUNTY OF Washtenaw

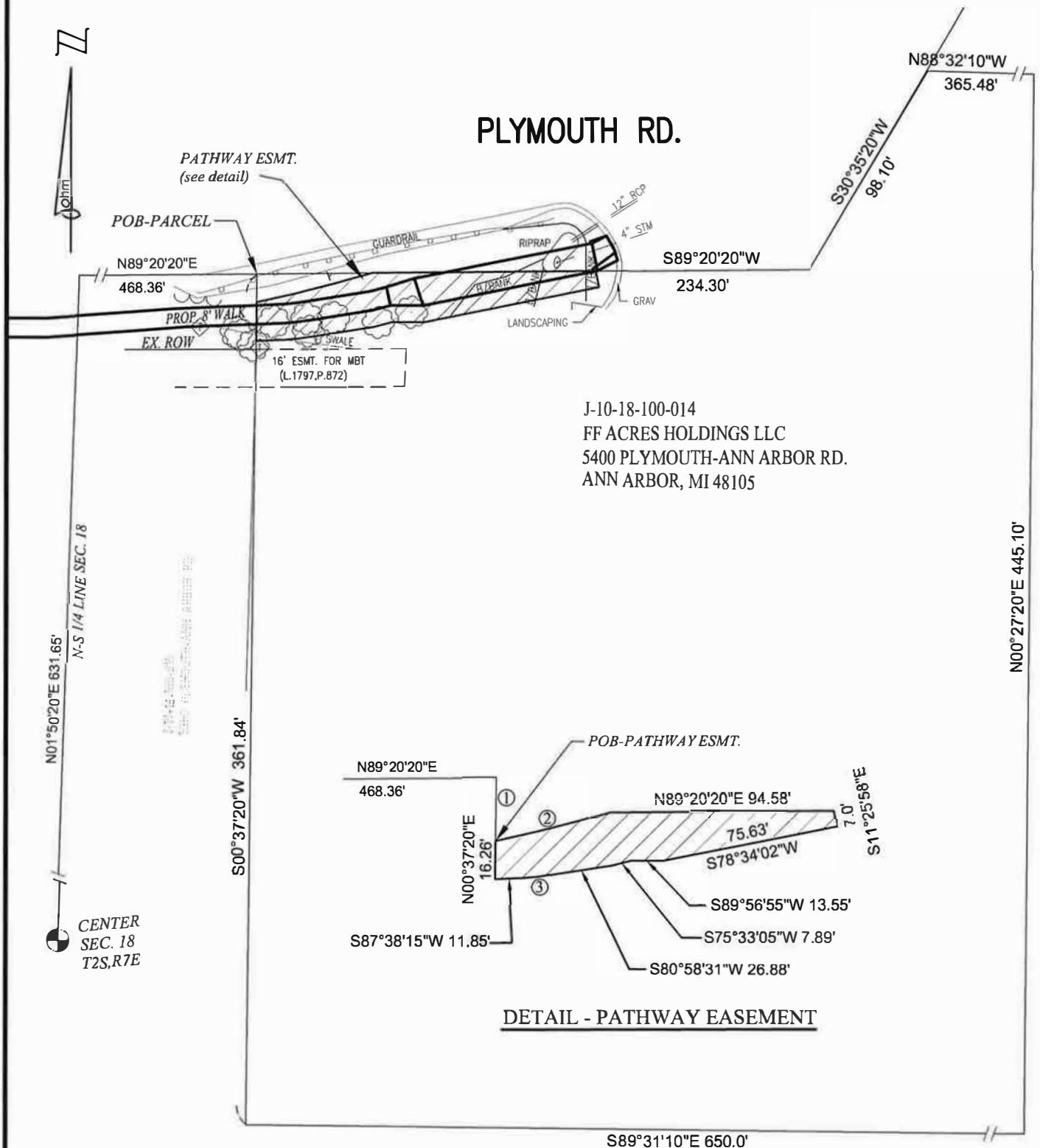
This instrument drafted by:
Sameer Hamad
OHM Advisors
34000 Plymouth Road
Livonia, MI 48150

Tax Identification Number: J-10-18-100-014

WHEN SIGNED RETURN TO:
Lynette Findley, Clerk
Superior Charter Township
3040 North Prospect Road
Ypsilanti, MI 48198

PATHWAY EASEMENT SKETCH

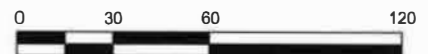
Exhibit "A"



1-S00°37'20"W 11.96' 3-R=95.44' L=11.47'
 2-R=707.07' L=50.56' Δ=06°53'02"
 Δ=04°05'49" CH=S83°20'45"W 11.46'
 CH=N75°39'35"E 50.55'

LEGEND

- ROW RIGHT-OF-WAY
- ⊕ PUBLIC LAND CORNER
- POB POINT OF BEGINNING
- ▨ PATHWAY EASEMENT



SCALE: 1" = 60'

PATHWAY EASEMENT
 PART OF THE NE 1/4 OF SECTION 18
 T.2S., R.7E., SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN
PARCEL ID# J-10-18-100-014

SCALE
H: 1"=60'
SHEET
3
OF 4



DATE: 02-23-2023 CLIENT: TOWNSHIP OF SUPERIOR JOB #: 0140-21-0090
 34000 Plymouth Road | Livonia, MI 48150 | P (734) 522-6711 | F (734) 522-6427 | WWW.OHM-ADVISORS.COM

PATHWAY EASEMENT DESCRIPTION

Exhibit "A"

PARCEL DESCRIPTION (J-10-18-100-014) (PER WASHTENAW COUNTY TAX ROLLS)

A parcel of land being a part of the NE 1/4 of Section 18, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan, more particularly described as follows:

Commencing at the Center of said Section 18; thence N 01°50'20" E 631.65 feet in N-S 1/4 line of said Section 18; thence N 89°20'20" E 468.36 feet to the Point of Beginning; thence S 00°37'20" W 361.84 feet; thence S 89°31'10" E 650.0 feet; thence N 00°27'20" E 445.10 feet; thence N 88°32'10" W 365.48 feet; thence S 30°35'20" W 98.10 feet; thence S 89°20'20" W 234.30 feet to the Point of Beginning. Subject to all easements and restrictions of record, if any.

PATHWAY EASEMENT

A parcel of land being a part of the NE 1/4 of Section 18, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan, more particularly described as follows:

Commencing at the Center of said Section 18; thence N 01°50'20" E 631.65 feet in N-S 1/4 line of said Section 18; thence N 89°20'20" E 468.36 feet; thence S 00°37'20" W 11.96 feet to the Point of Beginning; thence along the Southerly right of way line of Plymouth Road: 50.56 feet along a curve to the left, radius 707.07 feet, delta 04°05'49", chord bears N 75°39'35" E 50.55 feet and N 89°20'20" E 94.58 feet; thence S 11°25'58" E 7.0 feet; thence S 78°34'02" W 75.63 feet; thence S 89°56'55" W 13.55 feet; thence S 75°33'05" W 7.89 feet; thence S 80°58'31" W 26.88 feet; thence 11.47 feet along a curve to the right, radius 95.44 feet, delta 06°53'02", chord bears S 83°20'45" W 11.46 feet; thence S 87°38'15" W 11.85 feet; thence N 00°37'20" E 16.26 feet along the West line of said parcel to the Point of Beginning.

Contains 2,468 square feet or 0.057 acres of land, more or less. Subject to all easements and restrictions of record, if any.

PATHWAY EASEMENT PART OF THE NE 1/4 OF SECTION 18 T.2S., R.7E., SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN PARCEL ID# J-10-18-100-014		SCALE H: 1"=60'
		SHEET 4 OF 4
DATE: 09-20-2021	CLIENT: TOWNSHIP OF SUPERIOR	JOB #: 0140-21-0090
34000 Plymouth Road Livonia, MI 48150 P (734) 522-6711 F (734) 522-6427 WWW.OHM-ADVISORS.COM		
<small>COPYRIGHT 2021 OHM ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF OHM AND THE SAME MAY NOT BE DUPLICATED, DISTRIBUTED, OR DISCLOSED WITHOUT PRIOR WRITTEN CONSENT OF OHM</small>		



**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

**RESOLUTION TO ACCEPT SERVICE CONTRACT WITH THE COUNTY OF
WASHTENAW IN SUPPORT OF THE YPSILANTI DISTRICT LIBRARY'S
SUPERIOR BRANCH ROAD IMPROVEMENTS**

RESOLUTION NUMBER: 2024-20

DATE: MARCH 18, 2024

WHEREAS, the County of Washtenaw, a municipal corporation with offices located in the County Administration Building, 220 North Main Street, Ann Arbor, Michigan 48107 ("County"), and the Charter Township of Superior located at 3040 North Prospect, Ypsilanti, MI, 48198 ("Contractor"), have agreed to enter into a service contract dated the 1st day of February 2024, aimed at enhancing the infrastructure and public services within the community; and

WHEREAS, the service contract is supported by Federal Award from the U.S. Department of Treasury under the Federal/State Contract Number SLRFRP0226, part of the American Rescue Plan - Coronavirus State and Local Fiscal Recovery Funds SLT-2294, with a CFDA Number of 21.027, ensuring full Federal Funding of 100%; and

WHEREAS, the scope of services under this contract includes the Contractor matching Washtenaw County's funding in support of the Ypsilanti District Library's - the Charter Township of Superior Branch Road improvements, a project required by the Washtenaw County Road Commission, to make the road safer and more accessible for the community; and

WHEREAS, the agreed compensation for the completion of the above services and submission of invoices by the Contractor is not to exceed \$40,000 (Forty Thousand Dollars), a sum that reflects the shared financial commitment of the parties to this project;

NOW, THEREFORE, BE IT RESOLVED by the Board of Trustees of the Charter Township of Superior accept the service contract dated the 1st day of February 2024, between the County of Washtenaw and the Charter Township of Superior, for road improvements at the Ypsilanti District Library - the Charter Township of Superior Branch.

BE IT FURTHER RESOLVED, the County will pay the "Contractor" (Charter Township of Superior) a compensation amount not to exceed \$40,000.00 (Forty Thousand Dollars) upon completion of the services and submission of invoices, in accordance with the terms of the contract.

Contract # _____

**SERVICE CONTRACT - FEDERAL FUNDED
SUPERIOR TOWNSHIP**

AGREEMENT is made this 1st day of February 2024, by the COUNTY OF WASHTENAW, a municipal corporation, with offices located in the County Administration Building, 220 North Main Street, Ann Arbor, Michigan 48107 ("County") and **Superior Township** located at **3040 NORTH PROSPECT, SUPERIOR TOWNSHIP, MI, 48198** ("Contractor").

Federal Awarding Agency	U.S Department of Treasury
Federal / State Contract Number	SLRFRP0226
Federal Program Title	American Rescue Plan- Coronavirus State and Local Fiscal Recovery Funds SLT-2294
CFDA Number	21.027
Federal Funding %	100

In consideration of the promises below, the parties mutually agree as follows:

ARTICLE I - SCOPE OF SERVICES

The Contractor will match Washtenaw County's funding in support of the Ypsilanti District Library's- Superior Township Branch Road improvements, required by the Washtenaw County Road Commission, and make the totality of the funding available for payment of YDL's road improvement costs.

ARTICLE II - COMPENSATION

Upon completion of the above services and submission of invoices the County will pay the Contractor an amount not to exceed \$40,000 (**Forty Thousand Dollars**)

ARTICLE III - REPORTING OF CONTRACTOR

Section 1 - The Contractor is to report to **Alize Asberry Payne** and will cooperate and confer with him/her as necessary to insure satisfactory work progress.

Section 2 - All reports, estimates, memoranda and documents submitted by the Contractor must be dated and bear the Contractor's name.

Section 3 - All reports made in connection with these services are subject to review and final approval by the County Administrator.

Section 4 - The County may review and inspect the Contractor's activities during the term of this contract.

Section 5 - When applicable, the Contractor will submit a final, written report to the County Administrator.

Section 6 - After reasonable notice to the Contractor, the County may review any of the Contractor's internal records, reports, or insurance policies.

ARTICLE IV - TERM

This contract begins on the date of this agreement and ends on December 31, 2024 *with an option to extend for two (2) additional one (1) year periods.*

ARTICLE V - PERSONNEL

Section 1 - The contractor will provide the required services and will not subcontract or assign the services without the County's written approval.

Section 2 - The Contractor will not hire any County employee for any of the required services without the County's written approval.

Section 3 - The parties agree that all work done under this contract shall be completed in the United States and that none of the work will be partially or fully completed by either an offshore subcontractor or offshore business interest either owned or affiliated with the contractor. For purposes of this contract, the term, "offshore" refers to any area outside the contiguous United States, Alaska or Hawaii.

ARTICLE VI - INDEPENDENT CONTRACTOR

Contractor and the County shall, at all times, be deemed to be independent contractors and nothing herein shall be construed to create or imply that there exists between the parties a partnership, joint venture or other business organization. Contractor shall hold no authority, express or implied, to commit, obligate or make representations on behalf of the County and shall make no representation to others to the contrary.

Nothing herein is intended nor shall be construed for any purpose as creating the relationship of employer and employee or agent and principal between the parties. Except as otherwise specified in this contract, Contractor retains the sole right and obligation to direct, control or supervise the details and means by which the services under this contract are provided.

Contractor shall not be eligible for, or participate in, any insurance, pension, workers' compensation insurance, profit sharing or other plans established for the benefit of the County's employees. Contractor shall be solely responsible for payment of all taxes arising out of the Contractor's activities in connection with this Agreement, including, without limitation, federal and state income taxes, social security taxes, unemployment insurance taxes and any other tax or business license fees as required. The County shall not be responsible for withholding any income or employment taxes whatsoever on behalf of the Contractor.

ARTICLE VII - INDEMNIFICATION AGREEMENT

Contract # _____

The contractor will protect, defend and indemnify Washtenaw County, its officers, agents, servants, volunteers and employees from any and all liabilities, claims, liens, fines, demands and costs, including legal fees, of whatsoever kind and nature which may result in injury or death to any persons, including the Contractor's own employees, and for loss or damage to any property, including property owned or in the care, custody or control of Washtenaw County in connection with or in any way incident to or arising out of the occupancy, use, service, operations, performance or non-performance of work in connection with this contract resulting in whole or in part from negligent acts or omissions of contractor, any sub-contractor, or any employee, agent or representative of the contractor or any sub-contractor.

ARTICLE VIII - INSURANCE REQUIREMENTS

The Contractor will maintain at its own expense during the term of this Contract, the following insurance:

1. Workers' Compensation Insurance with Michigan statutory limits and Employers Liability Insurance with a minimum limit of \$100,000 each accident for any employee.
2. Commercial General Liability Insurance with a combined single limit of \$1,000,000 each occurrence for bodily injury and property damage. The County shall be added as "additional insured" on general liability policy with respect to the services provided under this contract.
3. Automobile Liability Insurance covering all owned, hired and non owned vehicles with Personal Protection Insurance and Property Protection Insurance to comply with the provisions of the Michigan No Fault Insurance Law, including residual liability insurance with a minimum combined single limit of \$1,000,000 each accident for bodily injury and property damage. For transportation services contracts, the County shall be added as additional insured on automobile liability policy with respect to the services provided under this contract.

Insurance companies, named insureds and policy forms may be subject to the approval of the Washtenaw County Administrator, if requested by the County Administrator. Such approval shall not be unreasonably withheld. Insurance policies shall not contain endorsements or policy conditions which reduce coverage provided to Washtenaw County. Contractor shall be responsible to Washtenaw County or insurance companies insuring Washtenaw County for all costs resulting from both financially unsound insurance companies selected by Contractor and their inadequate insurance coverage. Contractor shall furnish the Washtenaw County Administrator with satisfactory certificates of insurance or a certified copy of the policy, if requested by the County Administrator.

No payments will be made to the Contractor until the current certificates of insurance have been received and approved by the Administrator. If the insurance as evidenced by the certificates furnished by the Contractor expires or is canceled during the term of the contract, services and related payments will be suspended. Contractor shall furnish certification of insurance evidencing such coverage and endorsements at least ten (10) working days prior to commencement of services under this contract. Certificates shall be addressed to the Washtenaw County c/o: : **INSERT DEPARTMENT, ADDRESS, CITY, STATE & ZIP CODE AND CONTRACT # _____**, and shall provide for written notice to the Certificate holder of cancellation of coverage.

ARTICLE IX - COMPLIANCE WITH LAWS AND REGULATIONS

The Contractor will comply with all federal, state and local regulations, including but not limited to all applicable OSHA/MIOSHA requirements and the Americans with Disabilities Act.

ARTICLE X - INTEREST OF CONTRACTOR AND COUNTY

The Contractor promises that it has no interest which would conflict with the performance of services required by this contract. The Contractor also promises that, in the performance of this contract, no officer, agent, employee of the County of Washtenaw, or member of its governing bodies, may participate in any decision relating to this contract which affects his/her personal interest or the interest of any corporation, partnership or association in which he/she is directly or indirectly interested or has any personal or pecuniary interest. However, this paragraph does not apply if there has been compliance with the provisions of Section 3 of Act No. 317 of the Public Acts of 1968 and/or Section 30 of Act No. 156 of Public Acts of 1851, as amended by Act No. 51 of the Public Acts of 1978, whichever is applicable.

ARTICLE XI - CONTINGENT FEES

The Contractor promises that it has not employed or retained any company or person, other than bona fide employees working solely for the Contractor, to solicit or secure this contract, and that it has not paid or agreed to pay any company or person, other than bona fide employees working solely for the Contractor, any fee, commission, percentage, brokerage fee, gifts or any other consideration contingent upon or resulting from the award or making of this contract. For breach of this promise, the County may cancel this contract without liability or, at its discretion, deduct the full amount of the fee, commission, percentage, brokerage fee, gift or contingent fee from the compensation due the Contractor.

ARTICLE XII – DEBARMENT AND SUSPENSION

By signing this Contract, Contractor assures the County that it will comply with Federal Regulation 45 CFR Part 76 and certifies that to the best of its knowledge and belief the Contractor and any subcontractors retained by Contractor:

1. Are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from covered transactions by any federal department or contractor;
2. Have not within a three-year period preceding this Contract been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (federal, state or local) transaction or contract under a public transaction; violation of federal or state antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements or receiving stolen property;
3. Are not presently indicted or otherwise criminally or civilly charged by a government entity (federal, state or local) with commission of any of the offenses enumerated in section 2, and ;
4. Have not within a three-year period preceding this Contract had one or more public transactions (federal, state or local) terminated for cause or default.

ARTICLE XIII – LOBBYING

Contract # _____

By signing this contract, Contractor assures the County that it will comply with Section 1352, Title 31 of the U.S. Code (pertaining to not using federal monies to influence federal contracting and financial transactions). The Contractor assures the County that:

1. No Federal appropriated funds have been paid or will be paid, by or on behalf of the Contractor, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the making of any Federal grant, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal grant or cooperative agreement;
2. If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal grant or cooperative agreement, the Contractor shall complete and submit Standard Form - LLL, Disclosure of Lobbying Activities," in accordance with its instructions;
3. This language shall be included in the award documents for all subawards at all tiers (including subgrants, contracts under grants and cooperative agreements, and subcontracts) and that all sub-recipients shall certify and disclose accordingly.

ARTICLE XIV - DRUG-FREE WORKPLACE

Grantees Other Than Individuals

- A. As required by the Drug-Free Workplace Act of 1988, the Contractor assures the County that it will or will continue to provide a drug-free workplace by:
- a) Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the grantee's workplace and specifying the actions that will be taken against employees for violation of such prohibition;
 - b) Establishing an on-going drug-free awareness program to inform employees about—
 - 1) The dangers of drug abuse in the workplace;
 - 2) The grantee's policy of maintaining a drug-free workplace;
 - 3) Any available drug counseling, rehabilitation, and employee assistance programs; and
 - 4) The penalties that may be imposed upon employees for drug abuse violations occurring in the workplace;
 - c) Making it a requirement that each employee to be engaged in the performance of the grant be given a copy of the statement required by paragraph (a);
 - d) Notifying the employee in the statement required by paragraph (a) that, as a condition of employment under the grant, the employee will—
 - 1) Abide by the terms of the statement; and
 - 2) Notify the employer in writing of his or her conviction for a violation of a criminal drug statute occurring in the workplace no later than five calendar days after such conviction;
 - e) Notifying the County, in writing, within 10 calendar days after receiving notice under subparagraph (d)(2) from an employee or otherwise receiving actual notice of such conviction. Employers of convicted employees must provide notice, including position title, to the County;
 - f) Taking one of the following actions, within 30 calendar days of receiving notice under subparagraph (d)(2), with respect to any employee who is so convicted—

- 1) Taking appropriate personnel action against such an employee, up to and including termination, consistent with the requirements of the Rehabilitation Act of 1973, as amended; or
 - 2) Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health, law enforcement, or other appropriate agency;
- g) Making a good faith effort to continue to maintain a drug-free workplace through implementation of paragraphs (a), (b), (c), (d), (e), and (f).

Grantees Who Are Individuals

As required by the Drug-Free Workplace Act of 1988:

- A. As a condition of the grant, the Contractor assures the County that it will not engage in the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance in conducting any activity with the grant; and
- B. If convicted of a criminal drug offense resulting from a violation occurring during the conduct of any grant activity, the Contractor agrees to report the conviction, in writing, within 10 calendar days of the conviction, to the County.

ARTICLE XV - FEDERAL PROCUREMENT STANDARDS

The Contractor assures the County that it will follow federal procurement standards as described in the Code of Federal Regulations Part 215 Subpart C – Post-Award Requirements, Procurement Standards, Sections 215.40-48 when procuring goods or services with federal funds to insure that procurement decisions are made ethically and with free and open competition among those providing the goods or services.

ARTICLE XVI - EQUAL EMPLOYMENT OPPORTUNITY

The Contractor will not discriminate against any employee or applicant for employment because of race, creed, color, sex, sexual orientation, national origin, physical handicap, age, height, weight, marital status, veteran status, religion and political belief (except as it relates to a bona fide occupational qualification reasonably necessary to the normal operation of the business).

The Contractor will take affirmative action to eliminate discrimination based on sex, race, or a handicap in the hiring of applicant and the treatment of employees. Affirmative action will include, but not be limited to: Employment; upgrading, demotion or transfer; recruitment advertisement; layoff or termination; rates of pay or other forms of compensation; selection for training, including apprenticeship.

The Contractor agrees to post notices containing this policy against discrimination in conspicuous places available to applicants for employment and employees. All solicitations or advertisements for employees, placed by or on the behalf of the Contractor, will state that all qualified applicants will receive consideration for employment without regard to race, creed, color, sex, sexual orientation, national origin, physical handicap, age, height, weight, marital status, veteran status, religion and political belief.

ARTICLE XVII - PREVAILING WAGE

The Contractor agrees that all craftsmen, mechanics and laborers it employs to work on this project shall, at a minimum, receive the prevailing wages and fringe benefits of the Building Trade Department for corresponding classes of craftsmen, mechanics and laborers for the Washtenaw County area. Contractor agrees that all subcontracts entered into by the Contractor shall contain a similar provision covering any sub-contractor's employees who perform work on this project.

ARTICLE XVIII - EQUAL ACCESS

The Contractor shall provide the services set forth in Article I without discrimination on the basis of race, color, religion, national origin, sex, sexual orientation, marital status, physical handicap, or age.

ARTICLE XIX - OWNERSHIP OF DOCUMENTS AND PUBLICATION

All documents developed as a result of this contract will be freely available to the public. None may be copyrighted by the Contractor. During the performance of the services, the Contractor will be responsible for any loss of or damage to the documents while they are in its possession and must restore the loss or damage at its expense. Any use of the information and results of this contract by the Contractor must reference the project sponsorship by the County. Any publication of the information or results must be co-authored by the County.

ARTICLE XX - ASSIGNS AND SUCCESSORS

This contract is binding on the County and the Contractor, their successors and assigns. Neither the County nor the Contractor will assign or transfer its interest in this contract without the written consent of the other.

ARTICLE XXI - TERMINATION OF CONTRACT

Section 1 - Termination without cause. Either party may terminate the contract by giving thirty (30) days written notice to the other party.

Section 2 - In the event of any breach or default by the County or the Contractor of the terms and conditions of this Agreement, the party not in default will give written notice to the party in default specifying the acts and/or omissions constituting the alleged default or breach; if within fifteen (15) working days after issuance of such notice, the party in default has failed to cure such default, then in that event, the party not in default may terminate this Agreement and exercise such other rights as are provided herein and by law for breach of contract; provided, however, that if the alleged default can be cured by the performance of work or repairs or by some act, the performance of which requires a period of time, such default will be determined to have been cured if, within the above-referenced fifteen (15) working days, the party allegedly in default has begun to cure the default and continues until such default is cured within a reasonable time.

ARTICLE XXII - PAYROLL TAXES

The Contractor is responsible for all applicable state and federal social security benefits and unemployment taxes and agrees to indemnify and protect the County against such liability.

ARTICLE XXIII- PRACTICE AND ETHICS

The parties will conform to the code of ethics of their respective national professional associations.

ARTICLE XXIV- CHANGES IN SCOPE OR SCHEDULE OF SERVICES

Changes mutually agreed upon by the County and the Contractor, will be incorporated into this contract by written amendments signed by both parties.

ARTICLE XXV - CHOICE OF LAW AND FORUM

This contract is to be interpreted by the laws of Michigan. The parties agree that the proper forum for litigation arising out of this contract is in Washtenaw County, Michigan.

ARTICLE XXVI-FEDERALLY REQUIRED PROVISIONS

When applicable, the following provisions shall apply to contracts funded in whole, or in part, by federal award monies:

For "federally assisted construction contracts" as defined by 41 CFR Part 60-1.3, Contractor must comply with the equal opportunity clause provided under 41 CFR 60—1.4(b), in accordance with Executive Order 11246, "Equal Employment Opportunity (30 FR 12319, 12935, 3 CFR Part, 1964—1965 Comp., p. 339), as amended by Executive Order 11375, "Amending Executive Order 11246 Relating to Equal Employment Opportunity," and implementing regulations at 41 CFR part 60, "Office of Federal Contract Compliance Programs, Equal Employment Opportunity, Department of Labor."

For all prime construction contracts exceeding \$2,000.00 awarded by non-Federal entities, Contractor shall comply with the Davis-Bacon Act (40 U.S.C. 3141—3144, and 3146—3148), as supplemented by Department of Labor regulations (29 CFR Part 5, "Labor Standards Provisions Applicable to Contracts Covering Federally Financed and Assisted Construction"). Contractor must pay wages to laborers and mechanics at a rate not less than the prevailing wages specified in a wage determination made by the Secretary of Labor. In addition, Contractor must be paid wages not less than once a week. The parties agree that the County will report all suspected or reported violations of this provision to the Federal awarding agency.

In addition, Contractor must also comply with the Copeland "Anti-Kickback Act (40 U.S.C. 3145), as supplemented by Department of Labor regulations (29 CFR Part 3, "Contractors and Subcontractors on Public Bidding or Public Work Financed in Whole or in Part by Loans or Grants from the United States") which prohibits Contractor or Subrecipient from inducing, by any means, any person employed in the construction, completion or repair of public work, to give up any part of the compensation to which he or she is otherwise entitled. County shall report all suspected or reported violations to the Federal awarding agency.

If this contract exceeds \$100,000.00 and involves the employment of mechanics or laborers, Contractor shall comply with U.S.C. 3702 and 3704, as supplemented by Department of Labor regulations (29 CFR Part 5). To that extent, Contractor must compute the wages of each mechanic and laborer on the basis of a standard forty (40) hour work week with hours exceeding this standard to be paid at one and one half the standard hourly rate. In addition, Contractor agrees that no mechanic or laborer shall be required to work in surroundings or under working conditions which are unsanitary, hazardous or dangerous.

If the Federal award funding this Agreement meets the definition of "funding agreement" under 37 CFR, Sec. 401.2(a) and the recipient or subrecipient wishes to enter into a contract

Contract # _____

with a small business firm or nonprofit organization regarding the substitution of parties, assignment or performance of experimental, developmental or research work under that funding agreement, the recipient or subrecipient must comply with 37 CFR Part 401, "Rights to Inventions Made by Nonprofit Organizations and Small Business Firms Under Government Grants, Contracts and Cooperative Agreements," and any implementing regulations issued by the awarding agency.

If this Agreement and/or subgrant exceeds \$150,000.00, Contractor shall comply with all applicable standards, orders and/or regulations issued pursuant to the Clean Air Act (42 U.S.C. 7401-7671q) and the Federal Water Pollution Control Act as amended (33 U.S.C. 1251-1387). The parties agree that the County shall report all violations of these Acts to the Federal awarding agency and the Regional Office of the Environmental Protection Agency ("EPA").

Contractor agrees to comply with all mandatory standards and policies relating to energy efficiency which are contained in the State of Michigan's energy conservation plan issued in compliance with the Energy Policy and Conservation Act. (42 U.S.C. 6201).

Contractor agrees to comply with the provisions of the Byrd Anti-Lobbying Amendment (31 U.S.C. Section 1352), which prohibits the use of federal funds by the Contractor or subcontractor of a Federal contract, grant, loan or cooperative agreement to pay any person to influence or attempt to influence an officer or employee of any agency, a member of Congress, an officer or employee of Congress or an employee of a member of Congress in connection with the federal funds awarded under this Agreement.

The parties agree that County and Contractor shall comply with Section 6002 of the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act. The requirements of Section 6002 include, for those items where the purchase price exceeds \$10,000.00 or the value of the quantity acquired by the preceding fiscal year exceeded \$10,000.00, procuring only items designated in guidelines of the EPA at 40 CFR, Part 247, that contain the highest percentage of recovered materials practicable, consistent with maintaining a satisfactory level of competition; procuring solid waste management services in a manner that maximizes energy and resource recovery; and establishing an affirmative procurement program to procuring recovered materials identified in the EPA guidelines.

Contract # _____

ARTICLE XXVII - EXTENT OF CONTRACT

This contract represents the entire agreement between the parties and supersedes all prior representations, negotiations or agreements whether written or oral.

ATTESTED TO:

WASHTENAW COUNTY

By: _____
Lawrence Kestenbaum (DATE)
County Clerk/Register

Gregory Dill (DATE)
County Administrator

APPROVED AS TO CONTENT:

SUPERIOR TOWNSHIP:

By: _____
Alize Asberry Payne (DATE)
Racial Equity Officer

Ken Schwartz (DATE)
Township Supervisor

APPROVED AS TO FORM:

By: _____
Michelle K. Billard (DATE)
Office of Corporation Counsel



COUNTY ADMINISTRATOR

220 N. MAIN STREET P.O. BOX 8645
ANN ARBOR, MICHIGAN 48107-8645

February 14, 2024

Dear Supervisor Schwartz,

Per our discussion last fall, the Washtenaw County Administrator's Office will pay \$40,000 to Superior Township, to be matched by Superior Township, to assist with the cost of road improvements required by the Washtenaw County Road Commission for the Superior Township branch of the Ypsilanti District Library.

Payment will be rendered once Superior Township confirms the match, and in accordance with Washtenaw County policies and procedures.

If any other information is needed, please reach out directly.

Best,

**CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN**

BUDGET AMENDMENTS FOR ALL FUNDS

RESOLUTION NUMBER: 2024-21

DATE: MARCH 18, 2024

WHEREAS, the Charter Township of Superior Board of Trustee's has carefully reviewed the Township's current spending, and

WHEREAS, the Charter Township of Superior Board of Trustees recognizes its responsibility to the citizens of the Charter Township of Superior to carefully monitor the Township funds and provide for the needs of the Township, and

WHEREAS, the Board of Trustees of the Charter Township of Superior has carefully reviewed the revenues and expenditures for 2024 and offers the following budget amendments.

NOW THEREFORE BE IT RESOLVED that the Charter Township of Superior Board of Trustees adopt the proposed budget amendments as set forth in the attached Controller's report.



Memorandum

To: Township Board
 From: Keith Lockie
 Date: March 18, 2024
 Re: Controller's Report

A. Financial Statements
 Please see attached February Balance Sheets (incomplete).

B. Budget Amendments
 The 2024 Proposed Budget was presented to the board and the public for approval, which occurred. Then, in December the board changed budget items such as wellness bonus, trustee stipends, employee certifications and other salary changes when approving budget-related resolutions. These changes should have been recommended and made in October, when the public hearing was held.

The following budget amendments are primarily due to these changes plus anything else known at this time.

FUND	DEPT.	ACCT. #	DESCRIPTION	APPROVED AMOUNT	CHANGE +/-	AMENDED AMOUNT	REASON
Utility	600	601	Salaries	\$719,994	\$10,893	\$730,887	1,2
		602	Overtime Premium	10,533	873	11,406	1,3
		603	Taxable Benefits	57,884	20,511	78,395	1,3
		605	FICA	61,208	2,470	63,678	1,2,3,5
		607-D	Dental Ins. Prem.	10,063	(314)	9,749	4
		607-M	Medical Ins. Prem.	162,120	(8,655)	153,465	4
		607-V	Vision Ins. Prem.	2,382	(144)	2,238	4
		609	Pension	104,389	6,138	110,527	1,2,3
850	856	Transfer to Cap. Res.	333,489	(31,772)	301,717		

- 1 - Raises recognized
- 2 - Hours per week of controller lowered
- 3 - Certifications now recognized
- 4 - Actual insurance rates

5 - Wellness Bonus increase

Parks	752	703.001	Commission Stipends	\$20,053	\$195	\$20,248	1
		725.000	Taxable Benefits	16,344	1,959	18,303	2
		709.000	FICA	21,397	11	21,408	1,2,4
		840.002	Dental Ins. Prem.	728	(43)	685	3
		840.003	Vision Ins. Prem.	208	(19)	189	3
		840.004	Life Ins. Prem.	150	(14)	136	3
	000	699.999	Approp. From F. B.	5,000	2,089	7,089	

1 - Actual rates

2 - Certifications now recognized

3 - Actual insurance rates

5 - Wellness Bonus increase

GF	261	709.000	FICA	\$72,273	\$6,198	\$78,471	1,5
		715.000	Pension	132,928	14,111	147,039	1
		725.001	HCSP	39,162	3,600	42,762	1
		840.001	Medical Ins. Prem.	96,151	(23,323)	72,828	1,2
		840.002	Dental Ins. Prem.	9,997	(2,135)	7,862	1,2
		840.003	Vision Ins. Prem.	2,503	(515)	1,988	1,2
		840.004	Life Ins. Prem.	1,510	(137)	1,373	1,2
	257	725.000	Taxable Benefits	34,884	8,345	43,229	3
	215	703.000	Clerk Salary	90,680	8,723	99,403	4
		703.001	Salaries	133,848	(4,446)	129,402	1
		725.000	Taxable Benefits	6,649	6,104	12,753	1
	253	703.000	Treasurer's Salary	90,680	8,723	99,403	4
		725.000	Taxable Benefits	17,955	(9,300)	8,655	1
	101	703.000	B of Trustees Salary	27,000	14,500	41,500	6
	000	699.999	Approp. From F. B.	499,773	30,448	530,221	

1 - New employees

2 - Actual insurance rates

3 - Certifications now recognized

4 - Raises recognized

5 - Wellness Bonus increase

6 - Trustees rate increase

Building	371	709.000	FICA	\$15,504	\$226	\$15,730	1
		725.000	Taxable Benefits	26,531	2,954	29,485	2
		840.001	Medical Ins. Prem.	5,862	(242)	5,620	3
		840.002	Dental Ins. Prem.	1,094	(66)	1,028	3
		840.003	Vision Ins. Prem.	335	(30)	305	3
		840.004	Dental Ins. Prem.	300	(28)	272	3
	000	699.999	Approp. From F. B.	138,225	2,814	141,039	

1 - Wellness Bonus increase

2 - Insurance Status change

3 - Actual insurance rates

Fire	336	703.000	Salaries	\$1,012,360	(\$15,531)	\$996,829	1
		709.000	FICA	87,412	(1,983)	85,429	1
		715.000	Pension	242,224	(5,404)	236,820	1
		725.000	Taxable Benefits	191,477	(10,393)	181,084	1
		840.001	Medical Ins. Prem.	188,844	(19,921)	168,923	2
		840.002	Dental Ins. Prem.	15,358	(2,127)	13,231	2
		840.003	Vision Ins. Prem.	3,539	(562)	2,977	2
		840.004	Life Ins. Prem.	1,798	(155)	1,643	2
	965	965.000	Transfer to Bldg.	154,670	28,038	182,708	
		966.000	Transfer to Trucks	154,669	28,038	182,707	

1 - New employee

2 - Actual insurance rates

CHARTER TOWNSHIP OF SUPERIOR, WASHTENAW COUNTY, MICHIGAN

ORDINANCE NUMBER 192-02

**ORDINANCE FOR THE ADOPTION OF THE 2024 INTERNATIONAL FIRE
CODE**

First Reading: March 18, 2024
Second Reading: _____

**AN ORDINANCE ADOPTING THE 2024 EDITION OF THE INTERNATIONAL
FIRE CODE, REGULATING AND GOVERNING THE SAFEGUARDING OF
LIFE AND PROPERTY FROM FIRE AND EXPLOSION HAZARDS ARISING
FROM THE STORAGE, HANDLING, AND USE OF HAZARDOUS
SUBSTANCES, MATERIALS, AND DEVICES, AND FROM CONDITIONS
HAZARDOUS TO LIFE OR PROPERTY IN THE OCCUPANCY OF
BUILDINGS AND PREMISES IN THE CHARTER TOWNSHIP OF SUPERIOR,
WASHTENAW COUNTY, MICHIGAN; PROVIDING FOR THE ISSUANCE OF
PERMITS AND COLLECTION OF FEES THEREFOR; REPEALING
ORDINANCE NUMBER 192 OF THE CHARTER TOWNSHIP OF SUPERIOR
AND ALL OTHER ORDINANCES OR PARTS OF ORDINANCES IN
CONFLICT THEREWITH.**

Section 192-02.01. Short Title

This Ordinance shall be known and may be cited as the "Fire Prevention Code of the Charter Township of Superior."

Section 192-02.02. Adoption of Fire Prevention Code

The International Fire Code, 2024 Edition, as published by the International Code Council, is hereby adopted by reference as the fire code for the Charter Township of Superior, in its entirety, without modification. At least three (3) copies of the 2024 International Fire Code are on file in the offices of the Charter Township of Superior and are available for public inspection.

Section 192-02.03. Geographic Limits

The geographic limits referred to in certain sections of the 2024 International Fire Code are hereby established as follows:

(A) Section 5704.2.9.6.1: within any residential zoning district in the township, or any non-agricultural zoned lot upon which a dwelling is located.

(B) Section 5706.2.4.4: within any residential zoning district in the township, or any non-agricultural zoned lot upon which a dwelling is located.

(C) Section 5806.2: within any residential zoning district in the township, or any non-agricultural zoned lot upon which a dwelling is located.

(D) Section 6104.2: within any residential zoning district in the township, or any non-agricultural zoned lot upon which a dwelling is located.

Section 192-02.04. Inconsistent Ordinances Repealed

All ordinances or parts of ordinances in conflict with this ordinance or the 2024 International Fire Code as adopted herein are hereby repealed.

Section 192-02.05. Saving Clause

If any section, subsection, sentence, clause, or phrase of this ordinance is for any reason held to be unconstitutional, such decision shall not affect the validity of the remaining portions of this ordinance.

Section 192-02.06. Notable Changes (*included but not limited to*)

- (A)** The IFC addresses recent technology in new construction and technology within fire alarm and fire sprinkler systems.
- (B)** New to the code is “Storage of Batteries” used in industry.
- (C)** The new IFC addresses “Sky Lanterns” and the fire hazards associated with them.
- (D)** Address identification (numbers) at the entrance to long driveways with three to four houses.

Section 192-02.07. Effective Date

This ordinance and the rules, regulations, provisions, requirements, orders, and matters established and adopted hereby shall take effect immediately upon adoption and publication as required by law.

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**SUPERIOR CHARTER TOWNSHIP
WASHTENAW COUNTY, MICHIGAN**

ORDINANCE #174-27

BROOKWOOD SUPERIOR TOWNSHIP AREA PLAN AMENDMENT

First Reading: March 18, 2024

Second Reading: _____

The Board of the Charter Township of Superior of Washtenaw County, Michigan, hereby ordains that Ordinance Number 174, being the Charter Township of Superior Zoning Ordinance, adopted August 4, 2008, and effective August 14, 2008, as amended, be amended as follows:

SECTION I

Charter Township of Superior Ordinance Number 174, designated Charter Township of Superior Zoning Ordinance, adopted August 4, 2008, and effective August 14, 2008, as amended, and the zoning district map attached thereto and made a part thereof are hereby amended from the present PC (Planned Community – Leforge Clark Estates) to PC (Planned Community – Brookwood Superior Township), Brookwood Superior Township, Special District Area Plan Amendment:

Parcel ID# J-10-33-300-001

LEGAL DESCRIPTION

PART OF THE SOUTHWEST 1/4 OF SECTION 33, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, STATE OF MICHIGAN, DESCRIBED AS: BEGINNING AT THE WEST 1/4 CORNER OF SAID SECTION 33; THENCE N.87°56'32"E., 2696.00 FEET ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 33 AS FENCED, MONUMENTED, AND PREVIOUSLY SURVEYED TO THE CENTER POST OF SAID SECTION 33; THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 33 AS FENCED, MONUMENTED, AND PREVIOUSLY SURVEYED, .02°27'10"E., 1035.48 FEET TO A LINE ESTABLISHED BY DEED RECORDED IN LIBER 3891, PAGE 492, AND MORTGAGE RECORDED IN LIBER 1467, PAGE 421 WASHTENAW COUNTY RECORDS, AND AS MONUMENTED, TAXED, FENCED, AND OCCUPIED; THENCE ALONG SAID LINE, S.87°56'50"W., 1340.80 FEET TO THE WEST 1/16TH LINE OF SAID SECTION 33; THENCE ALONG SAID 1/16TH LINE, N.02°51'03"W., 41.51 FEET; THENCE S.87°54'32"W., 79.38 FEET ALONG A LINE ESTABLISHED BY QUIT CLAIM DEED LIBER 5451, PAGE 467, AND MONUMENTED; THENCE ALONG A LINE AS MONUMENTED, FENCED, AND OCCUPIED, S.02°50'58"E., 944.76 FEET TO A LINE ESTABLISHED BY QUIT CLAIM DEED LIBER 5408, PAGE 574, QUIT CLAIM DEED LIBER 5116, PAGE 465, MONUMENTATION, FENCED, AND OCCUPIED; THENCE ALONG SAID LINE, S.87°35'37"W., 1255.01 FEET TO THE WEST

LINE OF SAID SECTION 33; THENCE ALONG SAID WEST LINE, N.03°14'54"W, 939.48 FEET (922.46 FEET RECORD); THENCE N.87°56'32"E., 358.19 FEET; THENCE N.05°05'58"W., 695.92 FEET; THENCE S.87°56'32"W., 335.72 FEET TO THE WEST LINE OF SAID SECTION 33; THENCE ALONG SAID WEST LINE, N.03°14'54"W, 312.05 FEET (312.10 FEET RECORD) TO THE POINT OF BEGINNING AND CONTAINING 84.500 ACRES.

SECTION II

This Ordinance shall be published by posting in the Office of the Clerk, 3040 N. Prospect, Ypsilanti, 48198, and on the Township website – www.superiortownship.org pursuant to Section 8 of the Charter Township Act, being MCL 42.8, 3(b) within thirty (30) days following the final adoption thereof. This Ordinance shall become effective on the eighth day following said publication or such later date as is provided by law. All ordinance or parts of ordinances in conflict herewith are hereby repealed.

SUPERIOR TOWNSHIP FIRE DEPARTMENT

MEMO

To: Ken Schwartz, Supervisor
CC: Lise Lewis, Lynette Findley, Bill Balmes, Dan Kimball
From: Vic Chevrette, Fire Chief
Date: 3/14/2024
Re: Adoption of 2024 International Fire Code (IFC)

Ken,

Over several years ago the Township adopted through a Resolution the 2015 International Fire Code. With increase in technology and battery items, I would support the Fire Marshal's request to move to the 2024 International Fire Code.

The State of Michigan will adopt the Building Code also known as the 2024 International Building Code (IFC). The 2024 International Fire Code runs hand in hand with the Building Code which our Building Department will utilize for all new construction. I have reviewed the 2024 International Fire Code and observed some changes within the Code.

1. The IFC address new technology as in new construction and technology within fire alarm and fire sprinkler systems.
2. New to the code is "Storage of Batteries" used in industry.
3. The new IFC addresses "Sky Lanterns" and the fire hazards associated with them.
4. Address identification (numbers) at the entrance to long driveways with three to four houses.

The above listed items are to indicate a few changes within the Code.

March 14, 2024

I would like to recommend that a resolution be created and recommend the Township Board adopt the 2024 International Fire Code (IFC). This would bring the Fire Department up to the Standard to work with the Building Department and the 2024 Michigan Building Code. A copy of the 2024 International Fire Code (IFC) has been given to the Clerk Office for your review. If you have any questions, please contact me.

Respectfully Requested
Victor G. Chevrette, Fire Chief



Jim Kovalak Excavating & Septic Tank Service, Inc.

Contract Agreement



10262 Willow Rd.
Willis, MI 48191
Phone: (734) 461-6838
Fax: (734) 461-9940



Date	Estimate #
2/5/2024	5071

Email us at: kovalak@comcast.net and visit our website at: kovalaksepticsservice.com

Ship to:

Job Site:

Superior Charter Township
Ken Schwartz
3040 N. Prospect Road
Ypsilanti, MI 48198

Dixboro United Methodist Church
5221 Church Road
Ann Arbor, MI 48105

Customer Work #:

Customer Alt. #:

Customer Fax:

Customer E-mail:

734-482-6099

Kenschwartz@superior-twp.org

Description	Total
<p>This is an addendum to the original estimate #5023. This estimate is considered additional work and is quoted at a separate price.</p> <p>Cut through foundation wall. Install 4" solid core schedule 40 pipe. Extend into building/crawl space approximately 3'ft. Extend outside of building. Install sanitary sewer cleanout on the outside of building. Seal around pipe inside and outside of the foundation wall.</p> <p>A signed contract is required before work is to begin.</p>	1,750.00

Balance to be paid in full upon completion of work, before clean up. Clean up to be preformed when weather/ground conditions permit. Do not irrigate any part of the yard until work is fully complete. We are not responsible for ANY damage to the driveway. We are not responsible for any damage to irrigation or private utility lines anywhere on the property. Unless otherwise stated, any additional fees (including permit fees) are not included in this estimate. Deposits are non-refundable unless contract is terminated by the contractor. We are not responsible for any landscaping work. If clean up is included in the estimate power raking, seeding and machine grading is performed only once.

Total: \$1,750.00

PLEASE SIGN AND RETURN A COPY

There is an additional 2% charge for credit card purchases.

Upon signature by customer and representative of Jim Kovalak Excavating and Septic Tank Service, this document becomes a binding contract. Alterations and/or deviations from the above specifications may be necessary, resulting in extra costs. All material is guaranteed to be as specified, material prices are subject to change after 30 days. All work to be completed in a professional manner according to standard practices. All agreements contingent upon weather conditions or delays beyond our control. Owner is responsible to carry any necessary insurance. Our workers are fully covered by Worker's Compensation insurance.

Customer Signature _____
Date _____
Contractor Signature _____
Date _____

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SUPERIOR TOWNSHIP Record of Disbursements

Date: March 20, 2024

*Contains all checks written since last report for the following funds:

General Bank - includes all checks written from the following funds:

101 - General Fund

204 - Legal Defense Fund

219 - Streetlight Fund

220 - Side Street Maintenance Fund

249 - Building Fund

266 - Law Fund

508 - Park Fund

701 - Trust & Agency Fund

206 - Fire Fund

592 - Utility Dept.

Total amount for all disbursements - \$ 796,745.40

Note: Some of these checks were presented to the board for approval. All others are either pre-approved or under \$3,000.00 for Government Funds and \$5,000 for Utility Dept.

Check Date	Bank	Check	Vendor Name	Description	Amount
Bank GENL GENERAL BANK					
Check Type: Paper Check					
02/21/2024	GENL	47561	AMAZON CAPITAL SERVICES, INC	NEW KEYBOARDS - TREASURY LABEL TAPE DATE STAMPERS	89.98 41.38 67.90 <u>199.26</u>
02/21/2024	GENL	47562	ANN ARBOR AREA TRANSPORTATION AUTH.	2024 - JANUARY	8,819.57
02/21/2024	GENL	47563	BLUE CROSS/BLUE SHIELD-M	MEDICAL INSURANCE - MARCH 2024	5,755.51
02/21/2024	GENL	47564	CANON FINANCIAL SERVICES INC.	LEASE ON (2) COPY MACHINES & COPIES	372.68
02/21/2024	GENL	47565	CARLISLE WORTMAN ASSOCIATES	CLAY HILL FARM	280.00
02/21/2024	GENL	47566	CONKLIN LANDSCAPING, INC	SALTING @ TOWNHALL	195.00
02/21/2024	GENL	47567	DELTA DENTAL	DENTAL INSURANCE- MARCH 2024	1,001.88
02/21/2024	GENL	47568	FOUNDATION SYSTEMS OF MICHIGAN	OVERPAYMENT OF PERMIT -1143 STAMFORD	70.00
02/21/2024	GENL	47569	HALEY MECHANICAL	OVERPAYMENT - 3024 ANDORA AVE OVERPAYMENT - 3816 DIXBORO	20.00 20.00 <u>40.00</u>
02/21/2024	GENL	47570	HUTZEL	OVERPAYMENT - 3671 DEER RIDGE CT	20.00
02/21/2024	GENL	47571	INDOOR COMFORT	OVERPAYMENT OF PERMIT 1996 WEXFORD CT	20.00
02/21/2024	GENL	47572	MEMMUTUAL LIFE	LIFE INSURANCE - MARCH 2024	209.99
02/21/2024	GENL	47573	OHM ADVISORS	ENGINEERING SERVICES ENGINEERING SERVICES ENGINEERING SERVICES PLYMOUTH ROAD PATHWAY EASEMENT SUPPORT	3,864.50 599.15 2,149.50 311.50 <u>6,924.65</u>
02/21/2024	GENL	47574	PROFESSIONAL BUILDING MAINTENANCE	CLEANING OF TOWNHALL - FEBRUARY 2024	1,792.25
02/21/2024	GENL	47575	THREE BROTHERS LAWN CARE	FINAL PAYMENT FOR CLEAN UP @ HARRIS & MA	13,300.00
02/21/2024	GENL	47576	VSP INSURANCE CO	VISION INSURANCE - MARCH 2024	257.73
02/28/2024	GENL	47577	AMAZON CAPITAL SERVICES	EASTER EGG HUNT SUPPLIES	218.40
02/28/2024	GENL	47578	AMAZON CAPITAL SERVICES, INC	WIRE CUTTERS FOR ELECTIONS	25.20
02/28/2024	GENL	47579	BOULLION SALES, INC.	WEED WHIP/POLE SAW	795.60
02/28/2024	GENL	47580	CINTAS CORPORATION - 300	RUG SERVICE MONTH OF FEBRUARY 2024	313.60
02/28/2024	GENL	47581	COMCAST	PHONE SERVICE -FEBRUARY 2024	606.40
02/28/2024	GENL	47582	DON WALIGORE	CELL PHONE STIPEND	40.07
02/28/2024	GENL	47583	JASON'S TREE SERVICE	TRIMMING OF TREES AT TOWN HALL REMOVE CHRISTMAS TREE LIGHTS	400.00 400.00 <u>800.00</u>
02/28/2024	GENL	47584	JOHN DIEFENBACHER	DUMP TICKET REIMBURSEMENT	12.00
02/28/2024	GENL	47585	KAB ENTERPRISES, INC	FIREMAN'S PARK APPLICATION #1	81,207.10
02/28/2024	GENL	47586	KEITH LOCKIE	EXPENSES FOR 2023 AUDIT	1,007.58
			Void Reason: LOST IN THE MAIL		
02/28/2024	GENL	47587	KIRK EVENSON	CANCELLATION OF PERMIT - 9563 FORD ROAD	3,070.00
02/28/2024	GENL	47588	LAURA BENNETT	USB HUB FOR TREASURY DEPT	13.77
02/28/2024	GENL	47589	LISA LEWIS	MILEAGE REIMBURSEMENT 2/7-2/16/24	84.96
02/28/2024	GENL	47590	LYNETTE FINDLEY	MILEAGE REIMBURSEMENT & EXPENSE FOR ELEC	412.33
02/28/2024	GENL	47591	PARKWAY SERVICES	PORTAJOHNS @ SHOP	130.00
02/28/2024	GENL	47592	ROBERT ACTON	55 -MECH/PLUMB INSPECTIONS 2/10-23/24	2,750.00
02/28/2024	GENL	47593	RON PEATRY	MILEAGE REIMBURSEMENT 2/12-23/24	252.59

Check Date	Bank	Check	Vendor Name	Description	Amount
02/28/2024	GENL	47594	SITEONE LANDSCAPE SUPPLY, LLC	AUGER KIT	35.99
02/28/2024	GENL	47595	STADIUM TROPHY, INC	COMMISSIONER NAME TAGS	105.92
02/28/2024	GENL	47596	STANDARD PRINTING	INSPECTIN NOTICES/BUSINESS CARDS	532.00
02/28/2024	GENL	47597	STAPLES	OFFICE SUPPLIES	871.47
02/28/2024	GENL	47598	SUPERIOR TOWNSHIP CREDIT CARD ACCT	ZOOM -FEBRUARY 2024	71.98
				NEW STAMP	69.84
				CODE BOOKS - ICC	292.00
				BIG TEX TRAILER WORLD - TRAILER PARTS	92.90
					<u>526.72</u>
02/28/2024	GENL	47599	SUPERIOR TWP PAYROLL FUND	CASH TRANSFER 2/29/24 PAY	61,686.07
02/28/2024	GENL	47600	SUPERIOR TWP UTILITY DEPARTMENT	K LOCKIE - CELL PHONE FEB 24	12.53
02/28/2024	GENL	47601	TAZ NETWORKS, INC	FOIA REQUEST/SET UP NEW EMPLOYEE	422.91
02/28/2024	GENL	47602	TERMINIX PROCESSING CENTER	PEST CONTROL -FEB 2024	119.00
02/28/2024	GENL	47603	TRIPLE-TTT ELECTRIC INC.	DISCONNECT TO FEED GENERATOR BALANCE DUE	7,715.01
03/05/2024	GENL	47604	JOHN DOYLE	DUMP TICKET REIMBURSEMENT	50.00
03/05/2024	GENL	47605	WEX BANK	FUEL - FEBRUARY 2024	83.01
03/05/2024	GENL	47606	WEX BANK	FUEL - FEBRUARY 2024	49.88
03/05/2024	GENL	47607	WEX BANK	FUEL - FEBRUARY 2024	210.09
03/05/2024	GENL	47608	BILL BALMES	MILEAGE REIMBURSEMENT TO CONFERENCE	194.30
03/05/2024	GENL	47609	BOULLION SALES, INC.	SHARPEN CHAIN SAW BLADES	122.00
03/05/2024	GENL	47610	CRAWFORD DOOR SALES	GARAGE DOOR REPAIR @ SHOP	779.50
03/05/2024	GENL	47611	CUMMINS SALES AND SERVICE	SCHEDULED MAINTENANCE	439.35
03/05/2024	GENL	47612	DETROIT REGIONAL	LUNCHEON MARCH 6, 2024	125.00
03/05/2024	GENL	47613	GFL ENVIRONMENTAL	RECYCLE BIN EXCHANGE - FIRE STATION	464.14
03/05/2024	GENL	47614	HOME DEPOT CREDIT SERVICES	SHOP SUPPLIES/REPAIR TO PED BRIDGE ON GE	994.49
03/05/2024	GENL	47615	JALEEN WILSON	TRASH PICK-UP MACARTHUR/WIARD/ROW	170.00
03/05/2024	GENL	47616	JAMEEL S WILLIAMS	LEGAL SERVICES - FEBRUARY 2024	2,150.50
03/05/2024	GENL	47617	MICHIGAN CHAMBER SERVICES, INC	LABOR LAW POSTERS	256.00
03/05/2024	GENL	47618	OHM ADVISORS	ENGINEERING SERVICES	2,078.75
				RESIDENTIAL ADA SIDEWALK RAMP	2,245.25
				FIRE STATION #2 BATHROOM	2,355.00
					<u>6,679.00</u>
03/05/2024	GENL	47619	STANDARD PRINTING	DOOR HANGERS	93.00
03/05/2024	GENL	47620	SUPERIOR TOWNSHIP CREDIT CARD ACCT	SMARTSHEET - FEBRUARY	9.00
				HOTEL FOR CONFERENCE	228.90
					<u>237.90</u>
03/05/2024	GENL	47621	SUPERIOR TWP FIRE FUND	FIRE MARSHAL SUBSTITUTE INSPECTOR 2/27/2	100.00
03/05/2024	GENL	47622	SUPERIOR TWP UTILITY DEPARTMENT	CELL PHONE JUAN - FEB 24	49.89
03/12/2024	GENL	47623	ANN ARBOR CLEANING SUPPLY	TRASH BAGS	190.89
03/12/2024	GENL	47624	BILL BALMES	CELL PHONE STIPEND - MARCH 24	50.57
03/12/2024	GENL	47625	BOULLION SALES, INC.	STIHL HEDGE TRIMMER	415.92
03/12/2024	GENL	47626	COMCAST	INTERNET -FEB 24	164.39
03/12/2024	GENL	47627	DANIEL JOHNSON	DUMP TICKET REIMBURSEMENT	36.00
03/12/2024	GENL	47628	DON WALIGORE	CELL PHONE STIPEND - FEB 24	40.07
03/12/2024	GENL	47629	DTE ENERGY	OLD TOWN HALL GAS- FEB 24	125.21
				APT "1" GAS-- FEB 24	268.17
				GEN/LAW SPLIT/OLD TOWN HALL ELEC -FEB 24	1,220.20
				GEN/LAW SPLIT/GENERATOR-GAS -FEB 24	702.19
				ELECTRIC - PARKS BARN - FEB 24	23.45
				SIREN @ 1989 PROSPECT -- FEB 24	24.57
					<u>2,363.79</u>

Check Date	Bank	Check	Vendor Name	Description	Amount
03/12/2024	GENL	47630	DTE ENERGY	STREETLIGHTS -FEB 24	8,380.35
03/12/2024	GENL	47631	EQUALIZATION & PROPERTY DESCRIPTION	SALES STUDY MAPS	30.00
03/12/2024	GENL	47632	GAYATHRI RAMAN	DUMP TICKET REIMBURSEMENT	22.00
03/12/2024	GENL	47633	GFL ENVIRONMENTAL	RECYCLE BIN EXCHANGE - TOWNHALL & FIRE	928.28
03/12/2024	GENL	47634	IRMA GOLDEN	MILEAGE 2023	166.11
03/12/2024	GENL	47635	JALEEN WILSON	TRASH PICK-UP MACARTHUR/WIARD	153.00
03/12/2024	GENL	47636	JENNIFER BANDYK	CELL PHONE STIPEND - MARCH 24	50.57
03/12/2024	GENL	47637	JUAN BRADFORD	MILEAGE REIMBURSEMENT JAN-FEB 24	146.73
03/12/2024	GENL	47638	KCI	REAL AND PERSONAL PROPERTY STMTS FINAL B	299.70
				REAL AND PERSONAL PROPERTY STMTS PARTIAL	1,172.06
					<u>1,471.76</u>
03/12/2024	GENL	47639	KEITH LOCKIE	EXPENSES FOR 2023 AUDIT	1,007.58
03/12/2024	GENL	47640	LANDIS SMITH	CELL PHONE STIPEND - MARCH 24	50.57
03/12/2024	GENL	47641	LAURA BENNETT	CELL PHONE STIPEND - MARCH 24	50.57
03/12/2024	GENL	47642	LISA LEWIS	CELL PHONE STIPEND - MARCH 24	50.57
03/12/2024	GENL	47643	NANCY MASON	CELL PHONE STIPEND - MARCH 24	50.57
03/12/2024	GENL	47644	OHM ADVISORS	ENGINEERING SERVICES	1,472.75
				ENGINEERING SERVICES	11,693.25
				ENGINEERING SERVICES	1,113.00
				ENGINEERING SERVICES	978.00
				ENGINEERING SERVICES	260.00
				ENGINEERING SERVICES	1,418.25
				ENGINEERING SERVICES	2,452.25
				ENGINEERING SERVICES	434.00
				ENGINEERING SERVICES	1,522.00
				ENGINEERING SERVICES	1,631.00
				ENGINEERING SERVICES	995.25
				ENGINEERING SERVICES	1,465.25
				ENGINEERING SERVICES	1,001.00
				ENGINEERING SERVICES	330.00
				ENGINEERING SERVICES	734.75
				ENGINEERING SERVICES	382.50
				ENGINEERING SERVICES	509.00
				ENGINEERING SERVICES	90.00
				ENGINEERING SERVICES	2,454.75
				ENGINEERING SERVICES	400.00
				ENGINEERING SERVICES	97.50
					<u>31,434.50</u>
03/12/2024	GENL	47645	VOID		
			Void Reason: Created From Check Run Process		V
03/12/2024	GENL	47646	VOID		
			Void Reason: Created From Check Run Process		V
03/12/2024	GENL	47647	PAULA CALOPISIS	CELL PHONE STIPEND - MARCH 24	50.57
03/12/2024	GENL	47648	PRINTING SYSTEMS, INC.	PRESIDENT PRIMARY - APPLICATION TO VOTE	104.40
03/12/2024	GENL	47649	ROBERT ACTON	51-MECH/PLUMB INSPECTIONS 2/24-3/8/24	2,550.00
03/12/2024	GENL	47650	RON PEATRY	MILEAGE REIMBURSEMENT 2/26-3/8/24	287.43
03/12/2024	GENL	47651	SIGNS BY TOMORROW	EASTER SIGN DECALS & ELECTION SIGNS	379.00
03/12/2024	GENL	47652	SPECTRUM PRINTERS, INC.	VOTE TEST DECKS FOR FEB 24 ELECTION	492.99
03/12/2024	GENL	47653	SUPERIOR TOWNSHIP CREDIT CARD ACCT	OIL CHANGE - BILL VICTORY LANE	110.31
				MAILCHIMP - MARCH 24	26.50
				ADOBE - MONTHLY SCRIPT -MARCH 24	167.93
				TRAINING LEWIS - MTA	15.00
				ICHAT	60.00

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CHECK REGISTER FOR CHARTER TOWNSHIP OF SUPERIOR
CHECK DATE FROM 02/21/2024 - 03/18/2024

Check Date	Bank	Check	Vendor Name	Description	Amount
					379.74
03/12/2024	GENL	47654	SUPERIOR TWP PAYROLL FUND	CASH TRANSFER 3/14/24 PAY	77,537.56
03/12/2024	GENL	47655	TAZ NETWORKS, INC	NETWORK FLAT FEE -MARCH 2024	1,248.69
03/12/2024	GENL	47656	WASHTENAW COUNTY TREASURER	TRAILER FEES - 2024	1,962.50
				Total Paper Check:	<u>348,521.46</u>
GENL TOTALS:					
Total of 96 Checks:					348,521.46
Less 3 Void Checks:					<u>1,007.58</u>
Total of 93 Disbursements:					<u>347,513.88</u>

Check Date	Bank	Check	Vendor Name	Description	Amount
Bank FIRE FIRE FUND					
Check Type: Paper Check					
02/21/2024	FIRE	27155	AMAZON CAPITAL SERVICES, INC	RESPIRATOR MASK BAGS COAT RACK FOR STATION #2	137.94 25.61 <u>163.55</u>
02/21/2024	FIRE	27156	AMERICAN AQUA, INC.	WATER SOFTNER SUPPLIES	440.88
02/21/2024	FIRE	27157	ARROWHEAD FORENSICS	EVIDENCE BAGS/TAPE	162.53
02/21/2024	FIRE	27158	AUTO VALUE YPSILANTI	WIPER BLADES	21.49
02/21/2024	FIRE	27159	BLUE CROSS/BLUE SHIELD-M	MEDICAL INSURANCE- MARCH 2024	13,140.16
02/21/2024	FIRE	27160	CANON FINANCIAL SERVICES INC.	LEASE ON COPY MACHINE - COPY USAGE	182.74
02/21/2024	FIRE	27161	CITY OF YPSILANTI FIRE DEPT	VEHICLE EXTRICATION CLASS	2,428.00
02/21/2024	FIRE	27162	COMCAST	ADD'L OUTLET STATION #1 -FEB 24	10.53
02/21/2024	FIRE	27163	CORRIGAN OIL COMPANY	240.5 GALLONS DIEELSE FUEL	814.47
02/21/2024	FIRE	27164	CUMMINS SALES AND SERVICE	MAINTENANCE STATION #1 FAULTY BLOCK HEATER - STATION #1 MAINTENANCE - STATION #2 REPAIRS FOR GENERATOR STATION #1	506.84 888.48 359.76 316.15 <u>2,071.23</u>
02/21/2024	FIRE	27165	DELTA DENTAL	DENTAL INSURANCE - MAR 2024	1,060.02
02/21/2024	FIRE	27166	MEDMUTUAL LIFE	LIFE INSURANCE - MAR 24	136.20
02/21/2024	FIRE	27167	PAYETTE SALES & SERVICE, INC.	PRETENSIONER - E11-1	524.99
02/21/2024	FIRE	27168	PHILIP W. DICKINSON	HEALTH INSURANCE REIMBURSEMENT - MAR 20	271.76
02/21/2024	FIRE	27169	SUPERIOR TOWNSHIP CREDIT CARD ACCT	TRAINING - CHIEF TRAINING - CHIEF ROOM FIRE INSPECTOR CONFERENCE - KIMBALL RETIREMENT PLAQUE - ROBSON TAX CHARGED	28.00 25.00 516.99 1.31 <u>571.30</u>
02/21/2024	FIRE	27170	THE SWEATSHOP	EMBROIDERY - NEW FIREFIGHTER	330.00
02/21/2024	FIRE	27171	VSP INSURANCE CO	VISION INSURANCE - MARCH 2024	240.79
02/28/2024	FIRE	27172	ANN ARBOR CLEANING SUPPLY	PAPER TOWELS	149.04
02/28/2024	FIRE	27173	BINDER LIFT INC	LIFT DEVICE FOR BARIATRIC PATIENTS	1,374.00
02/28/2024	FIRE	27174	COMCAST	INTERNET - STATION #2 -MAR 24	381.19
02/28/2024	FIRE	27175	COMCAST	PHONE SERVICE -STATIONS # 1 & 2-FEB 24	742.39
02/28/2024	FIRE	27176	FIRST ARRIVING IO, INC.	SOFTWARE FOR STATION ALERTING	2,348.00
02/28/2024	FIRE	27177	INTERNATIONAL CODE COUNCIL, INC.	CODE BOOKS	50.00
02/28/2024	FIRE	27178	MACQUEEN EMERGENCY	STEALTH BAGS	207.18
02/28/2024	FIRE	27179	PAYETTE SALES & SERVICE, INC.	FUEL CAP FOR T11-1	148.38
02/28/2024	FIRE	27180	R.D. KLEINSCHMIDT, INC.	CAULK & SEAL ROOF AT STATION #1	290.00
02/28/2024	FIRE	27181	ROBERTSON MORRISON INC.	WORK AT STATION #2 WORK AT STATION #1 FURNANCE AT STATION #2 FURNANCE WORK AT STATION #1	855.00 1,245.00 5,000.00 900.00 <u>8,000.00</u>
02/28/2024	FIRE	27182	SUPERIOR TOWNSHIP CREDIT CARD ACCT	START RESCUE TRAINING	940.00
02/28/2024	FIRE	27183	SUPERIOR TWP GENERAL FUND	STAPLES - FOLDERS	28.70
02/28/2024	FIRE	27184	SUPERIOR TWP PAYROLL FUND	CASH TRANSFER 2/29/24 PAY	57,495.72
03/05/2024	FIRE	27185	ABBAY DOOR, LLC	REPAIR DOOR AT STAITON #2	217.00

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CHECK REGISTER FOR CHARTER TOWNSHIP OF SUPERIOR
 CHECK DATE FROM 02/21/2024 - 03/18/2024

Check Date	Bank	Check	Vendor Name	Description	Amount
03/05/2024	FIRE	27186	COMCAST	INTERNET SERVICES - ST #1 -MAR 2024	371.64
03/05/2024	FIRE	27187	DTE ENERGY	GAS - STATION #1 -FEB 24 ELECTRIC @ STATION #1 -FEB 24	880.76 <u>1,082.64</u>
					1,963.40
03/05/2024	FIRE	27188	IMPACT RESCUE	SERVICE ON RESCUE TOOLS	1,278.00
03/05/2024	FIRE	27189	SUPERIOR TOWNSHIP CREDIT CARD ACCT	1AAI 2024 MEMBERSHIP - KIMBALL	26.12
03/05/2024	FIRE	27190	SUPERIOR TWP GENERAL FUND	2024 LABOR LAW POSTERS	85.34
03/05/2024	FIRE	27191	TAZ NETWORKS, INC	NEW FIREFIGHTER SET UP	181.26
03/05/2024	FIRE	27192	WASHTENAW COUNTY TREASURER	BACKGROUND CHECK - NEW FIREFIGHTER	765.00
03/05/2024	FIRE	27193	WEST SHORE FIRE	REPAIR FIRE HOSE	690.69
03/05/2024	FIRE	27194	WEX BANK	FUEL - FEBRUARY 2024	373.11
03/12/2024	FIRE	27195	A & N ELECTRIC, INC.	REPLACE PHOTOCCELL ON FLAGPOLE	172.50
03/12/2024	FIRE	27196	ABBAY DOOR, LLC	SERVICE AT STATION #1	250.00
03/12/2024	FIRE	27197	AMAZON CAPITAL SERVICES, INC	WATER FILTERS FOR FRIDGE	26.99
03/12/2024	FIRE	27198	AMERICAN AQUA, INC.	WATER SOFTNER SUPPLIES	178.80
03/12/2024	FIRE	27199	APEX RESEARCH	ASBESTOS CHECK	108.00
03/12/2024	FIRE	27200	CORRIGAN OIL COMPANY	197.50 GALLONS DIESEL	621.95
03/12/2024	FIRE	27201	DTE ENERGY	ELECTRIC & GAS - STATION #2- FEB 24	1,076.31
03/12/2024	FIRE	27202	DUROCHER'S	REFRIGERATORS FOR STATION #2	3,585.82
03/12/2024	FIRE	27203	EMERGENT HEALTH PARTNERS	2024 - MARCH	2,495.39
03/12/2024	FIRE	27204	JW2 FIRE CONSULTANTS	GRANT WRITING	5,063.00
03/12/2024	FIRE	27205	LINDE GAS & EQUIPMENT, INC	MEDICAL OXYGEN	54.56
03/12/2024	FIRE	27206	NFPA	NATIONAL FIRE CODE RENEWAL	1,552.50
03/12/2024	FIRE	27207	OHM ADVISORS	FIRE STATION PAVEMENT REPLACEMENT	918.00
03/12/2024	FIRE	27208	RUSSELL GIRBACH	EMS TRAINING	260.00
03/12/2024	FIRE	27209	SUPERIOR TWP PAYROLL FUND	CASH TRANSFER 3/14/24 PAY	60,631.25
03/12/2024	FIRE	27210	SUPERIOR TWP UTILITY DEPARTMENT	WATER @ STATION #2	8.98
03/12/2024	FIRE	27211	TAZ NETWORKS, INC	NETWORK FLAT FEE -MARCH 2024	707.78
				TROUBLE LOGGING INTO COMPUTER	72.50
					<u>780.28</u>
03/12/2024	FIRE	27212	TIMOTHY WINTERS	HEALTH INSURANCE REIMBURSEMENT - MAR 202	285.28
03/12/2024	FIRE	27213	VERIZON WIRELESS	CELL PHONES -FEB 2024	561.10
				Total Paper Check:	<u>179,307.51</u>

FIRE TOTALS:

Total of 59 Checks:
 Less 0 Void Checks:

179,307.51
 0.00

Total of 59 Disbursements:

179,307.51

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 03/12/24
 ACCRUAL BASIS

SUPERIOR TOWNSHIP UTILITY DEPARTMENT
 CHECK REGISTER
 FEBRUARY 21 THROUGH MARCH 18, 2024

DATE	NUM	NAME	MEMO	AMOUNT
100 - CASH - O&M				
101 - CHECKING - CHASE 205000485529				
02/21/24	14696	ANN ARBOR CHARTER TOWNSHIP	W/S PURCHASED - JAN24	(9,308.08)
02/21/24	14697	BADGER METER	MONTHLY SERVICES - JAN24	(3,010.28)
02/21/24	14698	BLUE CROSS BLUE SHIELD	MEDICAL INSURANCE -MARCH 2024	(14,000.15)
02/21/24	14699	CENTRAL SQUARE	ANNUAL SUBSCRIPTION FEE - LUCITY	(18,290.49)
02/21/24	14700	CUMMINS SALES AND SERVICE	GENERATOR MAINTENANCE	(2,001.23)
02/21/24	14701	DELTA DENTAL PLAN OF MICHIGAN	DENTAL INSURANCE - MAR 24	(816.48)
02/21/24	14702	EGLE	2023 WATER USE REPORTING FEE	(200.00)
02/21/24	14703	MEDMUTUAL LIFE	LIFE INSURANCE - MAR 24	(102.15)
02/21/24	14704	OHM ENGINEERING ADVISORS	CLARK/LEFORGE WATER CONTROLS	(835.00)
02/21/24	14705	PARAGON LABORATORIES	WATER SAMPLES	(181.00)
02/21/24	14706	PLYMOUTH RUBBER & TRANSMISSION, INC.	HOSE REPLACEMENT	(241.80)
02/21/24	14707	PROFESSIONAL BUILDING MAINTENANCE	CLEANING OF BUILDINGS - FEB	(1,042.00)
02/21/24	14708	QUADIENT LEASING USA, INC.	FOLDER LEASE	(1,024.30)
02/21/24	14709	ROBERTSON MORRISON INC.	GARAGE HEATING UNITS REPLACED	(1,871.00)
02/21/24	14710	TERMINIX PROCESSING CENTER	PEST CONTROL	(72.00)
02/21/24	14711	VISION SERVICE PLAN	VISION INSURANCE - MAR 24	(186.34)
02/28/24	14712	AMAZON CAPITAL SERVICES, INC.	OFFICE SUPPLIES	(857.96)
02/28/24	14713	COMCAST	INTERNET - MAINT. FAC. - FEB	(366.39)
02/28/24	14714	COMCAST - PHONES	PHONES ADMIN/MAINT - FEB 24	(574.75)
02/28/24	14715	CUMMINS SALES AND SERVICE	GENERATOR WORK	(3,015.83)
02/28/24	14716	DTE	GAS/ELECTRIC - FEBRUARY 2024	(3,247.20)
02/28/24	14717	ETNA SUPPLY	METER WIRE	(700.00)
02/28/24	14718	MARY BURTON	MILEAGE - 01/01-01/30/24	(38.59)
02/28/24	14719	MARY BURTON	MILEAGE - 06/05-12/31/23	(269.53)
02/28/24	14720	MARY BURTON - PETTY CASH	PETTY CASH REIMBURSEMENT	(72.28)
02/28/24	14721	PARAGON LABORATORIES	SAMPLES TESTING	(164.00)
02/28/24	14722	POINT&PAY	REFUND TO POINT & PAY FOR NSF RETURN - EAVO-10264-04	(3,973.97)
02/28/24	14723	SUPERIOR TWP. PAYROLL FUND	PAYROLL 2/29/24	(37,061.19)
02/28/24	14724	VERIZON	CELL PHONES - FEB24	(647.68)
03/05/24	14725	AMAZON CAPITAL SERVICES, INC.	WORK PANTS & SHIRTS	(125.33)
03/05/24	14726	BADGER METER	MONTHLY SERVICES - FEB24	(3,068.52)
03/05/24	14727	DTE	GAS/ELEC - FEB 24	(2,951.27)
03/05/24	14728	Miss Dig 811	ANNUAL MEMBERSHIP - 2024	(1,529.76)
03/05/24	14729	TAZ NETWORKS INC.	MULTIPLE COMPUTER ISSUES	(1,232.50)
03/05/24	14730	WEX BANK	FUEL - FEBRUARY	(478.38)
03/05/24	14731	WORK 'N GEAR	WORK PANTS	(63.71)
03/12/24	14732	ANN ARBOR CHARTER TOWNSHIP	W/S PURCHASED - FEB24	(8,657.65)
03/12/24	14733	AUTO VALUE YPSILANTI	WIRE CONNECTORS	(12.25)
03/12/24	14734	CORE & MAIN	REPAIR BAND	(459.95)
03/12/24	14735	DTE	ELECTRIC @ 1385 E. CLARK - FEB24	(17.63)
03/12/24	14736	ETNA SUPPLY	WIRE	(600.00)
03/12/24	14737	GENE BUTMAN FORD	2 TRUCK BATTERIES	(339.90)
03/12/24	14738	MILLENNIUM BUSINESS SYSTEMS	COPIER LEASE	(395.80)
03/12/24	14739	OHM ENGINEERING ADVISORS	CLARK/LEFORGE BOOSTER CONTROLS	(711.25)

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SUPERIOR TOWNSHIP UTILITY DEPARTMENT
 CHECK REGISTER
 FEBRUARY 21 THROUGH MARCH 18, 2024

DATE	NUM	NAME	MEMO	AMOUNT
03/12/24	14740	PROFESSIONAL BUILDING MAINTENANCE	CLEANING OF BUILDINGS	(1,042.00)
03/12/24	14741	QUADIENT	POSTAGE METER REFILLS	(1,000.00)
03/12/24	14742	SUPERIOR TWP. GENERAL FUND	TRAVEL & LABOR POSTERS	(841.02)
03/12/24	14743	SUPERIOR TWP. PAYROLL FUND	PAYROLL 3/14/2024	(29,294.87)
03/12/24	14744	TAZ NETWORKS INC.	FLAT RATE FEE - MARCH 2024	(448.99)
03/12/24	14745	YPSILANTI ACE HARDWARE	WIRE END CAPS	(8.25)
03/12/24	14746	YPSILANTI COMM. UTILITIES AUTHORITY	W/S PURCH. - AR PROPERTIES - JAN+FEB24	(432.72)
03/12/24	14747	WORK 'N GEAR	REPLACEMENT CHECK FOR #014204	(498.19)
TOTAL 101 · CHECKING - CHASE 205000485529				(158,381.61)
TOTAL 100 · CASH - O&M				(158,381.61)
120 · CASH - CAPITAL RESERVE				
125 · CR CHKG. - CHASE 639918234				
02/21/24	967	OHM ENGINEERING ADVISORS	STAMFORD WATER MAIN	(4,088.50)
02/21/24	968	STANTE EXCAVATING	CLARK RD. SANITARY SEWER	(105,215.00)
02/28/24	969	WASHTENAW COUNTY ROAD COMMISSION	STAMFORD WATER MAIN INSTALLATION	(601.65)
03/12/24	970	OHM ENGINEERING ADVISORS	STAMFORD WATER MAIN REPLACEMENT	(1,637.25)
TOTAL 125 · CR CHKG. - CHASE 639918234				(111,542.40)
TOTAL 120 · CASH - CAPITAL RESERVE				(111,542.40)
TOTAL				(269,924.01)