

**PROPERTY OWNER**

SB INVEST LP  
23944 EUREKA ROAD, SUITE 107  
TAYLOR, MI 48180  
(734) 507-5200 p  
ATTN: CHRIS GARNER

**ARCHITECT**

HOBBS AND BLACK ARCHITECTS  
100 N. STATE STREET  
ANN ARBOR, MI, 48104  
(734) 663-4189 p  
ATTN: TOM DILLENBECK

**CIVIL ENGINEER**

GIFFELS WEBSTER  
1025 E. MAPLE ROAD, SUITE 100  
BIRMINGHAM, MI 48009  
(856) 781-8950 p  
(856) 781-8951 f  
ATTN: JOSH RATLIFF, PE

**LANDSCAPE ARCHITECT**

GIFFELS WEBSTER  
1025 E. MAPLE ROAD, SUITE 100  
BIRMINGHAM, MI 48009  
(856) 781-8950 p  
(856) 781-8951 f  
ATTN: MARK HANSEN, BLA, RLA

**BROOKWOOD SUPERIOR TOWNSHIP  
SPECIAL DISTRICT AREA PLAN AMENDMENT**

P.I.N.: J-10-33-300-001

SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN  
SECTION 33, T-02-S, R-07-E

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AU-202	ATTACHED UNIT COMPOSITE EXTERIOR ELEVATIONS



Engineers  
Surveyors  
Planners  
Landscape Architects

1025 East Maple Road  
Suite 100  
Birmingham, MI 48009  
p (248) 852-3100  
f (313) 962-5068  
www.giffelswebster.com

Executive:	AW
Manager:	JR
Designer:	JR / AR
Quality Control:	-
Section:	33
	T-02-S R-07-E

Professional Seal:



Know what's below.  
Call before you dig.

DATE	ISSUE
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06-26-2023	REV PER TWP COMMENTS
08-29-2023	REV PER TWP COMMENTS
12-21-2023	REV PER TWP COMMENTS

Developed For:

**GARNER PROPERTY MANAGEMENT**

23944 EUREKA ROAD, SUITE 105  
TAYLOR, MI 48180

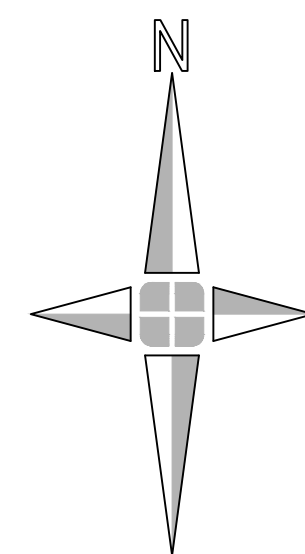
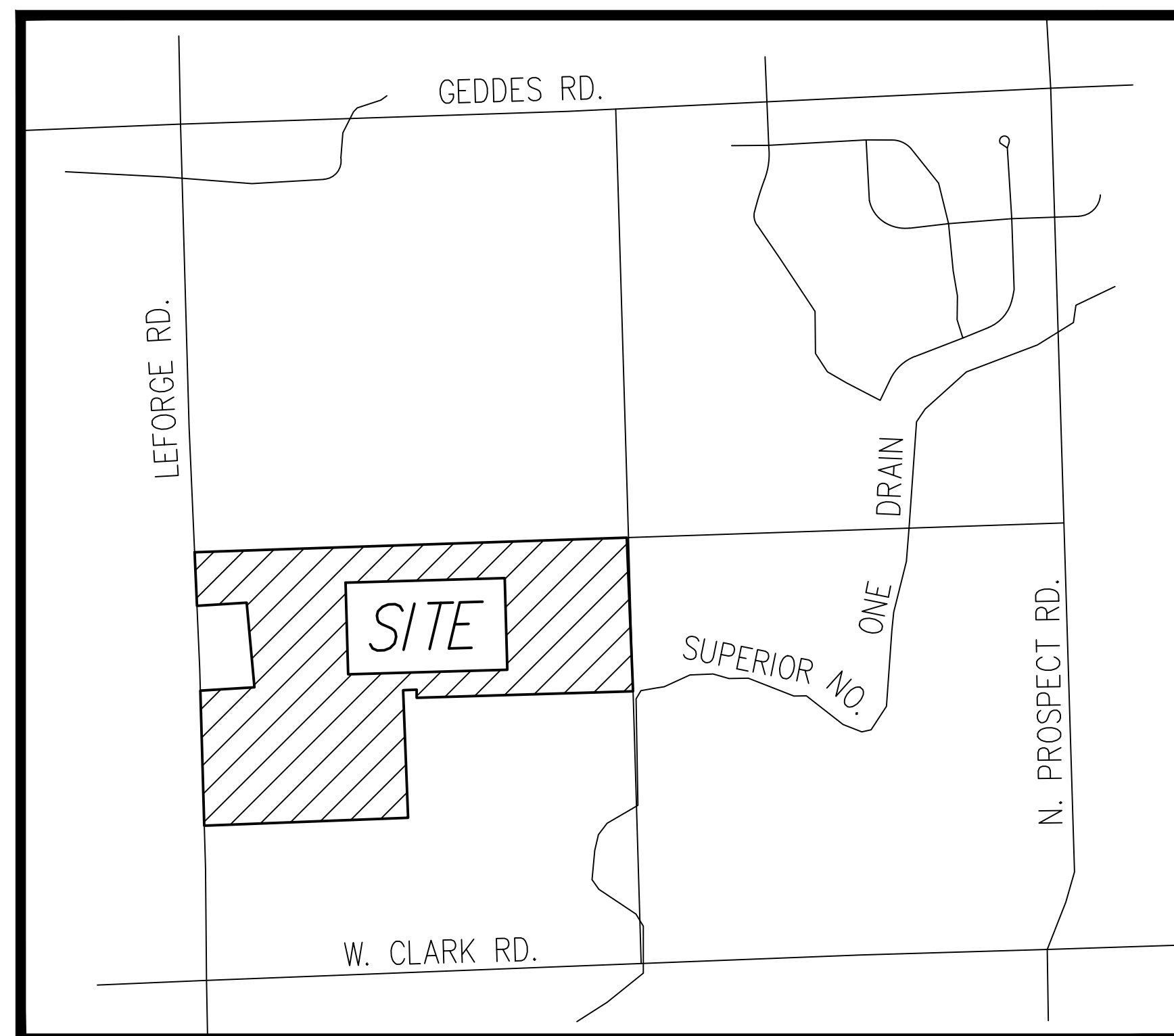
chris@livegpm.com  
(734) 287-6619

**COVER**

**BROOKWOOD SUPERIOR TOWNSHIP**

SUPERIOR TWP.  
WASHTENAW COUNTY  
MICHIGAN

Date:	04.14.2023
Scale:	NA
Sheet:	01
Project:	20249.00



*LOCATION MAP*  
( NOT TO SCALE )

**LEGAL DESCRIPTION**

(PER TAX RECORDS)

BEGINNING AT THE WEST 1/4 CORNER OF SECTION 33, THENCE NORTH 87 DEGREES 41 MINUTES 30 SECONDS EAST, 2696.01 FEET; THENCE SOUTH 02 DEGREES 42 MINUTES EAST, 971.99 FEET; THENCE SOUTH 87 DEGREES 41 MINUTES 30 SECONDS WEST, 1341.39 FEET; THENCE SOUTH 03 DEGREES 06 MINUTES EAST, 21.88 FEET; THENCE SOUTH 87 DEGREES 39 MINUTES 30 SECONDS WEST, 79.20 FEET; THENCE SOUTH 03 DEGREES 06 MINUTES EAST, 934.65 FEET; THENCE SOUTH 87 DEGREES 39 MINUTES 30 SECONDS WEST, 1255.20 FEET; THENCE NORTH 03 DEGREES 30 MINUTES WEST, 922.46 FEET; THENCE NORTH 87 DEGREES 41 MINUTES 30 SECONDS EAST, 358.19 FEET; THENCE NORTH 05 DEGREES 21 MINUTES WEST, 695.92 FEET; THENCE SOUTH 87 DEGREES 41 MINUTES 30 SECONDS WEST, 335.72 FEET; THENCE NORTH 03 DEGREES 30 MINUTES WEST, 312.10 FEET TO THE POINT OF BEGINNING. PART OF THE SOUTHWEST 1/4 OF SECTION 33, TOWN 02 SOUTH, RANGE 07 EAST.

(PER DUTHLER SURVEY DATED JULY 22, 2022, JOB # 220630LS)

LEGAL DESCRIPTION:

PART OF THE SOUTHWEST 1/4 OF SECTION 33, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, STATE OF MICHIGAN, DESCRIBED AS: BEGINNING AT THE WEST 1/4 CORNER OF SAID SECTION 33; THENCE N.87°56'32"E., 2696.00 FEET ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 33 AS FENCED, MONUMENTED, AND PREVIOUSLY SURVEYED TO THE CENTER POST OF SAID SECTION 33; THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 33 AS FENCED, MONUMENTED, AND PREVIOUSLY SURVEYED, S.02°27'10"E., 1035.48 FEET TO A LINE ESTABLISHED BY DEED RECORDED IN LIBER 3891, PAGE 492, AND MORTGAGE RECORDED IN LIBER 1467, PAGE 421 WASHTENAW COUNTY RECORDS, AND AS MONUMENTED, TAXED, FENCED, AND OCCUPIED; THENCE ALONG SAID LINE, S.87°56'50"W., 1340.80 FEET TO THE WEST 1/16TH LINE OF SAID SECTION 33; THENCE ALONG SAID 1/16TH LINE, N.02°51'03"W., 41.51 FEET; THENCE S.87°54'32"W., 79.38 FEET ALONG A LINE ESTABLISHED BY QUIT CLAIM DEED LIBER 5451, PAGE 467, AND MONUMENTED; THENCE ALONG A LINE AS MONUMENTED, FENCED, AND OCCUPIED, S.02°50'58"E., 944.76 FEET TO A LINE ESTABLISHED BY QUIT CLAIM DEED LIBER 5408, PAGE 574, QUIT CLAIM DEED LIBER 5116, PAGE 465, MONUMENTATION, FENCED, AND OCCUPIED; THENCE ALONG SAID LINE, S.87°35'37"W., 1255.01 FEET TO THE WEST LINE OF SAID SECTION 33; THENCE ALONG SAID WEST LINE, N.03°14'54"W, 939.48 FEET (922.46 FEET RECORD); THENCE N.87°56'32"E., 358.19 FEET; THENCE N.05°05'58"W., 695.92 FEET; THENCE S.87°59'32"W., 335.72 FEET TO THE WEST LINE OF SAID SECTION 33; THENCE ALONG SAID WEST LINE, N.03°14'54"W, 312.05 FEET (312.10 FEET RECORD) TO THE POINT OF BEGINNING AND CONTAINING 84.500 ACRES.

SUBJECT TO THE RIGHTS OF THE PUBLIC FOR HIGHWAY PURPOSES ALONG LEFORGE ROAD. SUBJECT TO ALL EASEMENTS, RESTRICTIONS, AND RIGHT OF WAYS OF RECORD.

Executive:	AW
Manager:	JR
Designer:	JR / AR
Quality Control:	-
Section:	33
T-02-S R-07-E	

Professional Seal:



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GARNER PROPERTY MANAGEMENT

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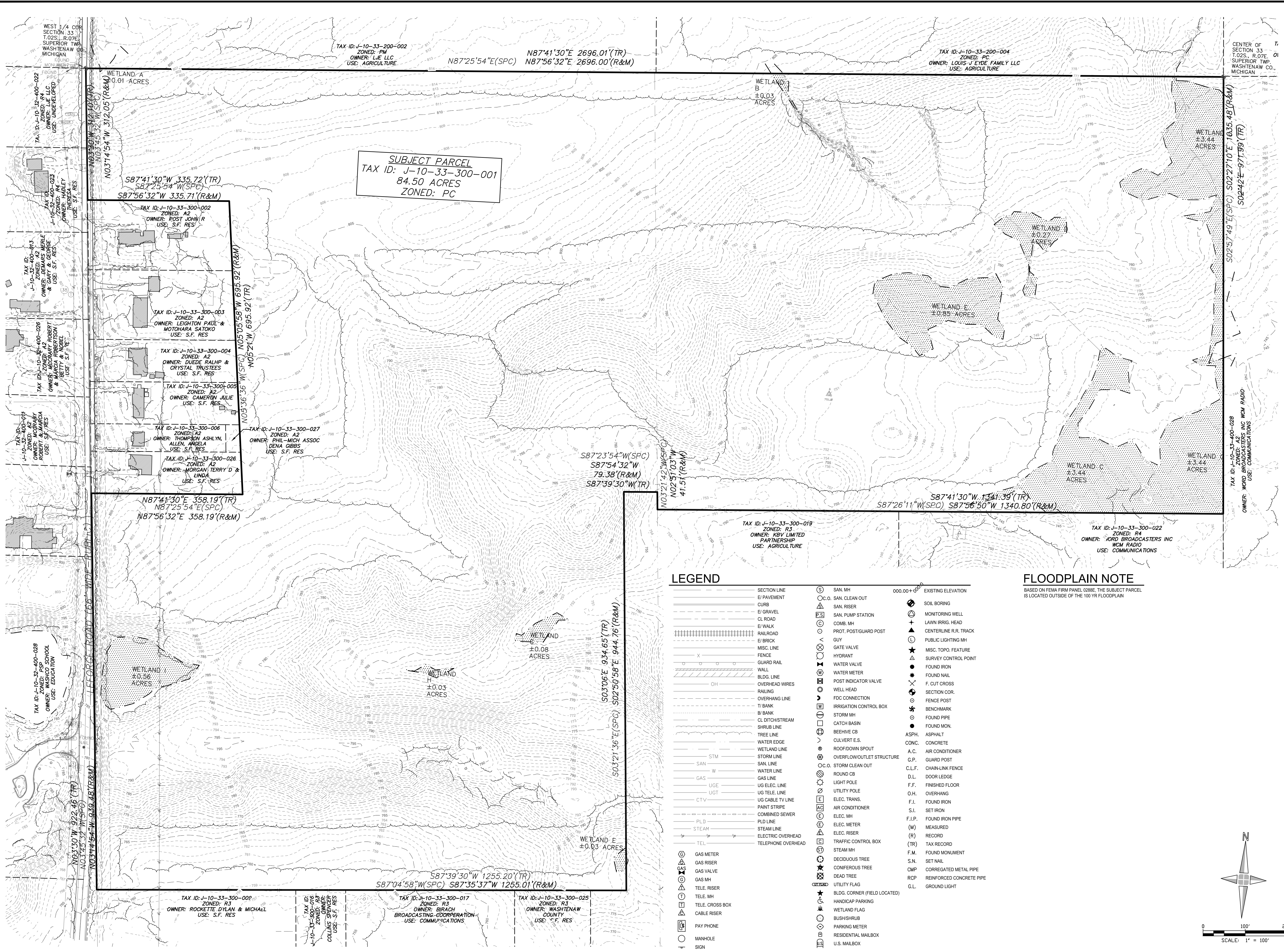
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TOPOGRAPHIC SURVEY

BROOKWOOD SUPERIOR TOWNSHIP

SUPERIOR TWP.  
WASHTENAW COUNTY  
MICHIGAN

Date:	04.14.2023
Scale:	1"=100'
Sheet:	02
Project:	20249.00



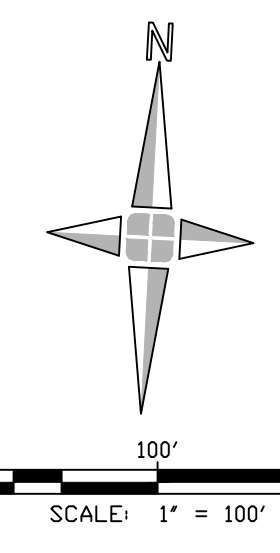
**SUBJECT PARCEL**  
TAX ID: J-10-33-300-001  
84.50 ACRES  
ZONED: PC

LEGEND

	SECTION LINE		SAN. MH		EXISTING ELEVATION
	PAVEMENT		SAN. CLEAN OUT		SOIL BORING
	CURB		SAN. RISER		MONITORING WELL
	GRAVEL		SAN. PUMP STATION		LAWN IRRIG. HEAD
	CL. ROAD		COMB. MH		CENTERLINE R.R. TRACK
	E/WALK		PROT. POSTGUARD POST		PUBLIC LIGHTING MH
	RAILROAD		GUY		GATE VALVE
	E/BRICK		HYDRANT		WATER METER
	MISC. LINE		WATER VALVE		POST INDICATOR VALVE
	FENCE		WELL HEAD		FDC CONNECTION
	GUARD RAIL		STORM MH		IRRIGATION CONTROL BOX
	WALL		CATCH BASIN		STORM MH
	BLDG. LINE		BEEHIVE CB		CULVERT E.S.
	OVERHEAD WIRES		ROOFDOWN SPOUT		OVERFLOW/OUTLET STRUCTURE
	RAILING		STORM CLEAN OUT		ROUND CB
	OVERHANG LINE		LIGHT POLE		UTILITY POLE
	TI BANK		ELEC. TRANS.		ELEC. TRANS.
	BI BANK		AIR CONDITIONER		ELEC. MH
	CL DITCH/STREAM		ELEC. METER		ELEC. RISER
	SHRUB LINE		ELECTRIC OVERHEAD		TELEPHONE OVERHEAD
	TREE LINE		TEL		GAS METER
	WATER EDGE		GAS RISER		GAS VALVE
	WETLAND LINE		GAS MH		TELE. RISER
	STORM LINE		TELE. MH		TELE. CROSS BOX
	SAN. LINE		CABLE RISER		PAY PHONE
	WATER LINE		MANHOLE		SIGN
	GAS LINE		SIGN		
	UG ELEC. LINE				
	UG TELE. LINE				
	UG CABLE TV LINE				
	PAINT STRIPE				
	COMBINED SEWER				
	PLD LINE				
	STEAM LINE				
	ELECTRIC OVERHEAD				
	TELEPHONE OVERHEAD				

FLOODPLAIN NOTE

BASED ON FEMA FIRM PANEL 0288. THE SUBJECT PARCEL IS LOCATED OUTSIDE OF THE 100 YR FLOODPLAIN



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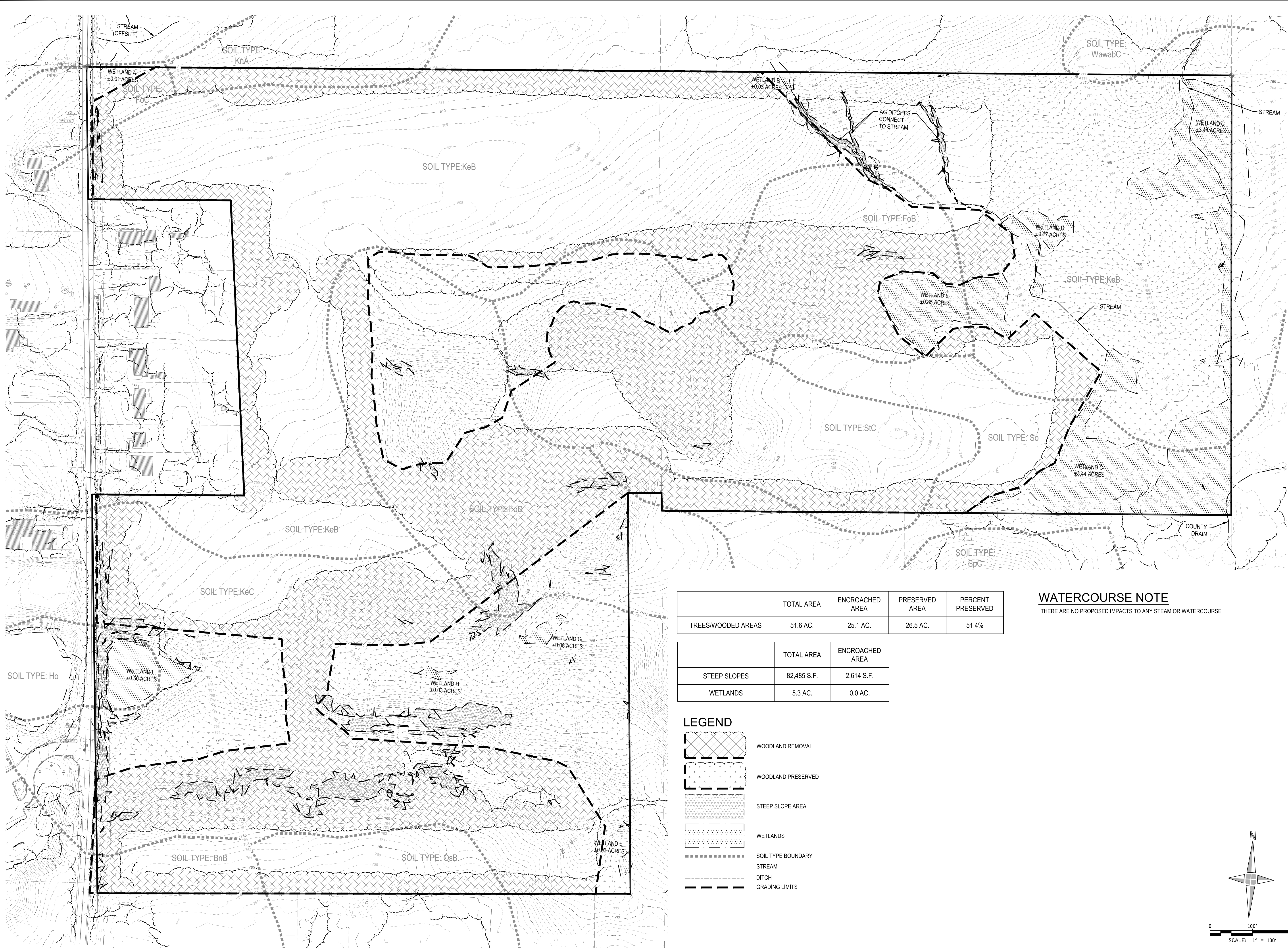
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**NATURAL FEATURES PLAN**

BROOKWOOD SUPERIOR TOWNSHIP

SUPERIOR TWP.  
WASHTENAW COUNTY  
MICHIGAN

Date:	04.14.2023
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	TOTAL AREA	ENCROACHED AREA	PRESERVED AREA	PERCENT PRESERVED
TREES/WOODED AREAS	51.6 AC.	25.1 AC.	26.5 AC.	51.4%

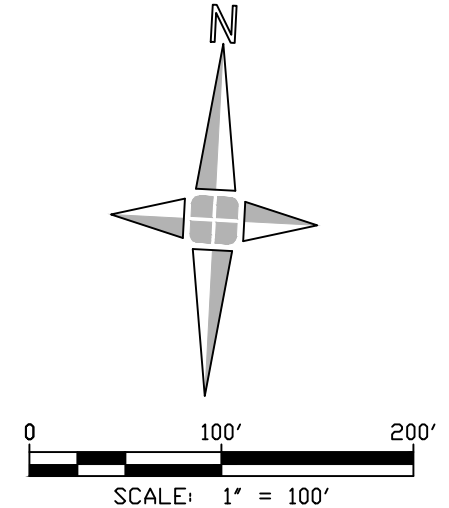
	TOTAL AREA	ENCROACHED AREA
STEEP SLOPES	82,485 S.F.	2,614 S.F.
WETLANDS	5.3 AC.	0.0 AC.

**WATERCOURSE NOTE**

THERE ARE NO PROPOSED IMPACTS TO ANY STEAM OR WATERCOURSE

**LEGEND**

- WOODLAND REMOVAL
- WOODLAND PRESERVED
- STEEP SLOPE AREA
- WETLANDS
- SOIL TYPE BOUNDARY
- STREAM
- DITCH
- GRADING LIMITS



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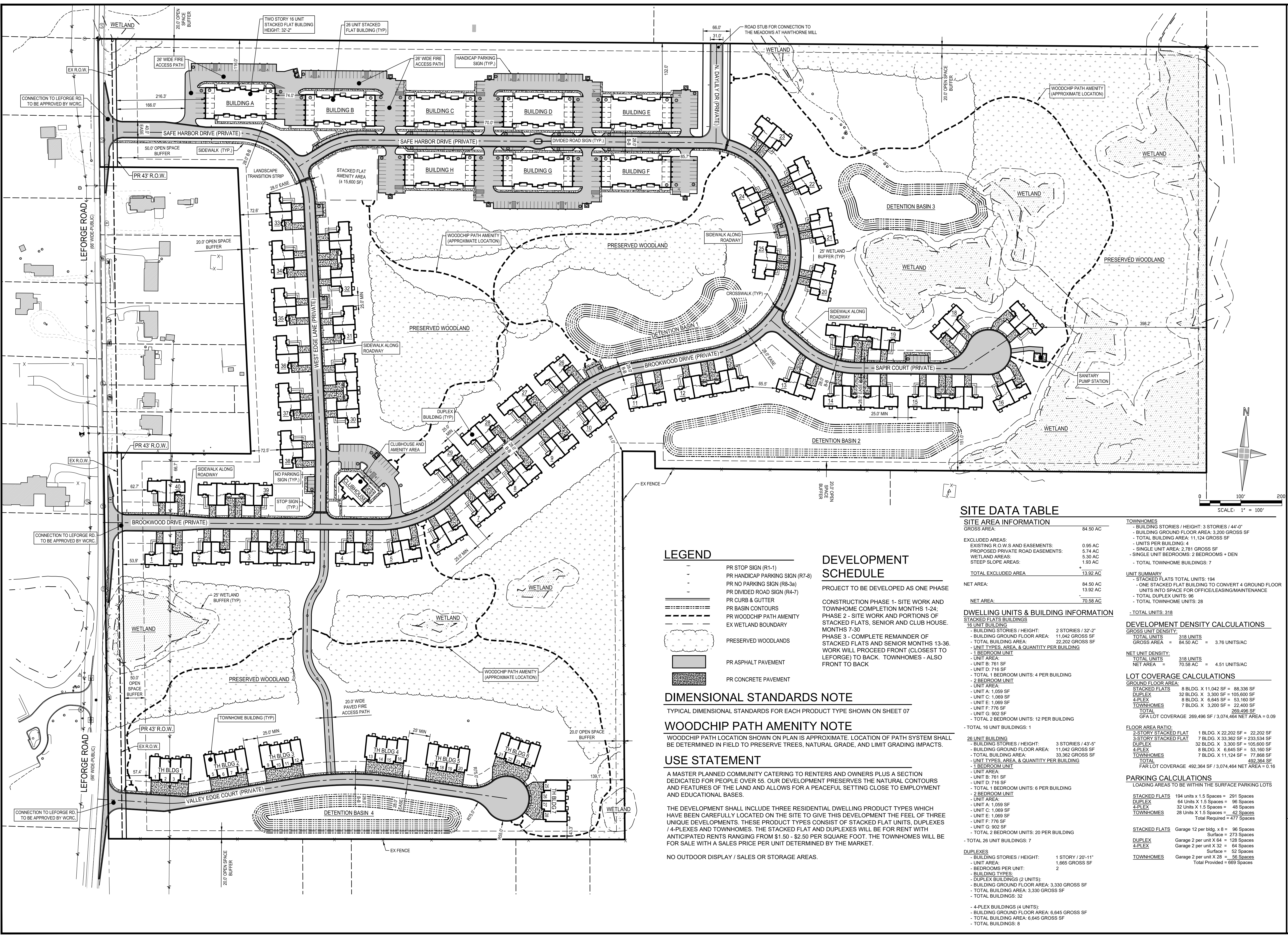
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**SITE PLAN**

**BROOKWOOD SUPERIOR TOWNSHIP**

**SUPERIOR TWP. WASHNETAW COUNTY MICHIGAN**

Date:	04.14.2023
Scale:	1"=100'
Sheet:	04
Project:	20249.00



**SITE DATA TABLE**

SITE AREA INFORMATION		TOWNHOMES	
GROSS AREA:	84.50 AC	BUILDING STORIES / HEIGHT: 3 STORIES / 44'-0"	
EXCLUDED AREAS:		BUILDING GROUND FLOOR AREA: 3,200 GROSS SF	
EXISTING R.O.W.S AND EASEMENTS:	0.95 AC	TOTAL BUILDING AREA: 11,124 GROSS SF	
PROPOSED PRIVATE ROAD EASEMENTS:	5.74 AC	UNITS PER BUILDING: 4	
WETLAND AREAS:	5.30 AC	SINGLE UNIT AREA: 2,781 GROSS SF	
STEEP SLOPE AREAS:	1.93 AC	SINGLE UNIT BEDROOMS: 2 BEDROOMS + DEN	
TOTAL EXCLUDED AREA:	13.92 AC	TOTAL TOWNHOME BUILDINGS: 7	
NET AREA:	70.58 AC		
<b>DWELLING UNITS &amp; BUILDING INFORMATION</b>		<b>UNIT SUMMARY</b>	
<b>STACKED FLATS BUILDINGS</b>		- STACKED FLATS TOTAL UNITS: 194	
16 UNIT BUILDING		- ONE STACKED FLAT BUILDING TO CONVERT 4 GROUND FLOOR UNITS INTO SPACE FOR OFFICE/LEASING/MAINTENANCE	
BUILDING STORIES / HEIGHT: 2 STORIES / 32'-2"		- TOTAL DUPLEX UNITS: 96	
BUILDING GROUND FLOOR AREA: 11,042 GROSS SF		- TOTAL TOWNHOME UNITS: 28	
TOTAL BUILDING AREA: 22,202 GROSS SF		<b>-TOTAL UNITS: 318</b>	
UNIT TYPES, AREA & QUANTITY PER BUILDING		<b>DEVELOPMENT DENSITY CALCULATIONS</b>	
1 BEDROOM UNIT		GROSS UNIT DENSITY:	
UNIT AREA:		TOTAL UNITS = 318 UNITS	
UNIT B: 761 SF		GROSS AREA = 84.50 AC = 3.76 UNITS/AC	
UNIT D: 716 SF		NET UNIT DENSITY:	
TOTAL 1 BEDROOM UNITS: 4 PER BUILDING		TOTAL UNITS = 318 UNITS	
2 BEDROOM UNIT		NET AREA = 70.58 AC = 4.51 UNITS/AC	
UNIT AREA:		<b>LOT COVERAGE CALCULATIONS</b>	
UNIT A: 1,059 SF		GROUND FLOOR AREA:	
UNIT C: 1,069 SF		STACKED FLATS 8 BLDG. X 11,042 SF = 88,336 SF	
UNIT E: 1,069 SF		DUPLEX 32 BLDG X 3,300 SF = 105,600 SF	
UNIT F: 776 SF		4-PLEX 8 BLDG. X 6,645 SF = 53,160 SF	
UNIT G: 902 SF		TOWNHOMES 7 BLDG. X 3,200 SF = 22,400 SF	
TOTAL 2 BEDROOM UNITS: 12 PER BUILDING		TOTAL 269,496 SF	
TOTAL 26 UNIT BUILDINGS: 1		GFA LOT COVERAGE 269,496 SF / 3,074,464 NET AREA = 0.09	
<b>26 UNIT BUILDING</b>		<b>FLOOR AREA RATIO:</b>	
BUILDING STORIES / HEIGHT: 3 STORIES / 43'-5"		2-STORY STACKED FLAT 1 BLDG. X 22,202 SF = 22,202 SF	
BUILDING GROUND FLOOR AREA: 11,042 GROSS SF		3-STORY STACKED FLAT 7 BLDG. X 33,362 SF = 233,534 SF	
TOTAL BUILDING AREA: 33,362 GROSS SF		DUPLEX 32 BLDG. X 3,300 SF = 105,600 SF	
UNIT TYPES, AREA & QUANTITY PER BUILDING		4-PLEX 8 BLDG. X 6,645 SF = 53,160 SF	
1 BEDROOM UNIT		TOWNHOMES 7 BLDG. X 3,200 SF = 22,400 SF	
UNIT AREA:		TOTAL 492,364 SF	
UNIT B: 761 SF		FAR LOT COVERAGE 492,364 SF / 3,074,464 NET AREA = 0.16	
UNIT D: 716 SF		<b>PARKING CALCULATIONS</b>	
TOTAL 1 BEDROOM UNITS: 4 PER BUILDING		LOADING AREAS TO BE WITHIN THE SURFACE PARKING LOTS	
2 BEDROOM UNIT		<b>STACKED FLATS</b> 194 units x 1.5 Spaces = 291 Spaces	
UNIT AREA:		<b>DUPLEX</b> 64 Units X 1.5 Spaces = 96 Spaces	
UNIT A: 1,059 SF		<b>4-PLEX</b> 32 Units X 1.5 Spaces = 48 Spaces	
UNIT C: 1,069 SF		<b>TOWNHOMES</b> 28 Units X 1.5 Spaces = 42 Spaces	
UNIT F: 776 SF		Total Required = 477 Spaces	
UNIT G: 902 SF		<b>STACKED FLATS</b> Garage 12 per bldg. x 8 = 96 Spaces	
TOTAL 2 BEDROOM UNITS: 20 PER BUILDING		Surface = 273 Spaces	
TOTAL 26 UNIT BUILDINGS: 7		<b>DUPLEX</b> Garage 2 per unit X 64 = 128 Spaces	
<b>DUPLEXES</b>		<b>4-PLEX</b> Garage 2 per unit X 32 = 64 Spaces	
BUILDING STORIES / HEIGHT: 1 STORY / 20'-11"		Surface = 52 Spaces	
UNIT AREA: 1,665 GROSS SF		TOWNHOMES Garage 2 per unit X 28 = 56 Spaces	
BEDROOMS PER UNIT: 2		Total Provided = 669 Spaces	
BUILDING TYPES:			
DUPLEX BUILDINGS (2 UNITS)			
BUILDING GROUND FLOOR AREA: 3,330 GROSS SF			
TOTAL BUILDING AREA: 3,330 GROSS SF			
TOTAL BUILDINGS: 32			
4-PLEX BUILDINGS (4 UNITS)			
BUILDING GROUND FLOOR AREA: 6,645 GROSS SF			
TOTAL BUILDING AREA: 6,645 GROSS SF			
TOTAL BUILDINGS: 8			

**LEGEND**

- PR STOP SIGN (R1-1)
- PR HANDICAP PARKING SIGN (R7-8)
- PR NO PARKING SIGN (R8-3a)
- PR DIVIDED ROAD SIGN (R4-7)
- PR CURB & GUTTER
- PR BASIN CONTOURS
- PR WOODCHIP PATH AMENITY
- EX WETLAND BOUNDARY
- PRESERVED WOODLANDS
- PR ASPHALT PAVEMENT
- PR CONCRETE PAVEMENT

**DEVELOPMENT SCHEDULE**

PROJECT TO BE DEVELOPED AS ONE PHASE  
 CONSTRUCTION PHASE 1- SITE WORK AND TOWNHOME COMPLETION MONTHS 1-24;  
 PHASE 2 - SITE WORK AND PORTIONS OF STACKED FLATS, SENIOR AND CLUB HOUSE, MONTHS 7-30  
 PHASE 3 - COMPLETE REMAINDER OF STACKED FLATS AND SENIOR MONTHS 13-36.  
 WORK WILL PROCEED FRONT (CLOSEST TO LEFORGE) TO BACK. TOWNHOMES - ALSO FRONT TO BACK

**DIMENSIONAL STANDARDS NOTE**

TYPICAL DIMENSIONAL STANDARDS FOR EACH PRODUCT TYPE SHOWN ON SHEET 07

**WOODCHIP PATH AMENITY NOTE**

WOODCHIP PATH LOCATION SHOWN ON PLAN IS APPROXIMATE. LOCATION OF PATH SYSTEM SHALL BE DETERMINED IN FIELD TO PRESERVE TREES, NATURAL GRADE, AND LIMIT GRADING IMPACTS.

**USE STATEMENT**

A MASTER PLANNED COMMUNITY CATERING TO RENTERS AND OWNERS PLUS A SECTION DEDICATED FOR PEOPLE OVER 55. OUR DEVELOPMENT PRESERVES THE NATURAL CONTOURS AND FEATURES OF THE LAND AND ALLOWS FOR A PEACEFUL SETTING CLOSE TO EMPLOYMENT AND EDUCATIONAL BASES.

THE DEVELOPMENT SHALL INCLUDE THREE RESIDENTIAL DWELLING PRODUCT TYPES WHICH HAVE BEEN CAREFULLY LOCATED ON THE SITE TO GIVE THIS DEVELOPMENT THE FEEL OF THREE UNIQUE DEVELOPMENTS. THESE PRODUCT TYPES CONSIST OF STACKED FLAT UNITS, DUPLEXES / 4-PLEXES AND TOWNHOMES. THE STACKED FLAT AND DUPLEXES WILL BE FOR RENT WITH ANTICIPATED RENTS RANGING FROM \$1.50 - \$2.50 PER SQUARE FOOT. THE TOWNHOMES WILL BE FOR SALE WITH A SALES PRICE PER UNIT DETERMINED BY THE MARKET.

NO OUTDOOR DISPLAY / SALES OR STORAGE AREAS.

H:\2024\20249.00 Brookwood Superior Twp\Design\CAD\Special District Area Plan\04 Site Plan.dwg



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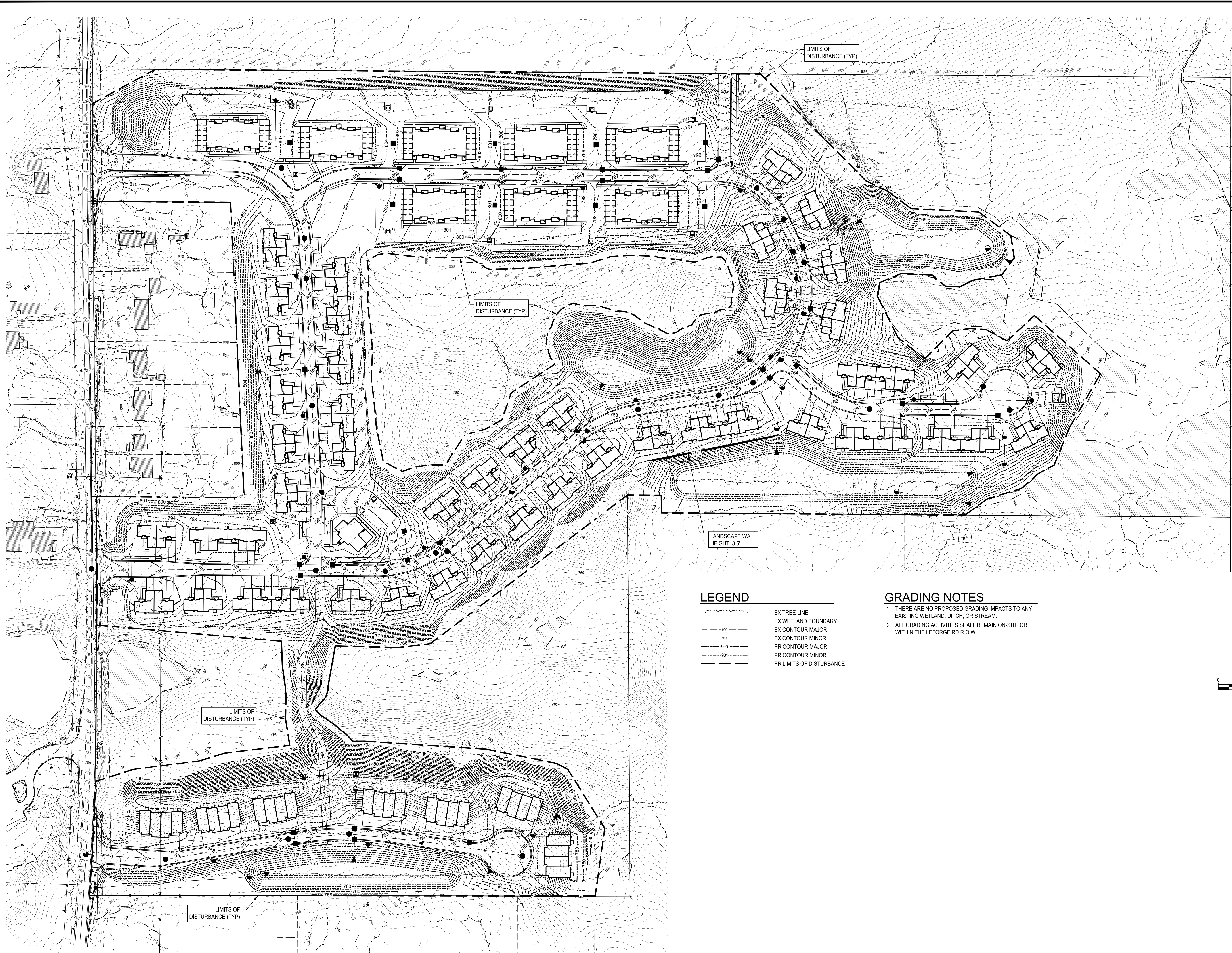
chris@livegpm.com  
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**GRADING PLAN**

**BROOKWOOD SUPERIOR  
TOWNSHIP**

SUPERIOR TWP.  
WASHTENAW COUNTY  
MICHIGAN

Date:	04.14.2023
Scale:	1"=100'
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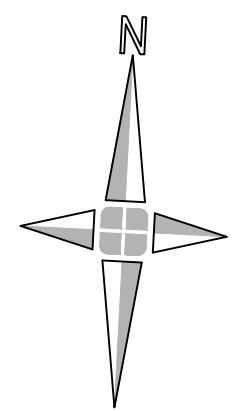


**LEGEND**

- EX TREE LINE
- EX WETLAND BOUNDARY
- EX CONTOUR MAJOR
- EX CONTOUR MINOR
- PR CONTOUR MAJOR
- PR CONTOUR MINOR
- PR LIMITS OF DISTURBANCE

**GRADING NOTES**

1. THERE ARE NO PROPOSED GRADING IMPACTS TO ANY EXISTING WETLAND, DITCH, OR STREAM.
2. ALL GRADING ACTIVITIES SHALL REMAIN ON-SITE OR WITHIN THE LEFORGE RD R.O.W.



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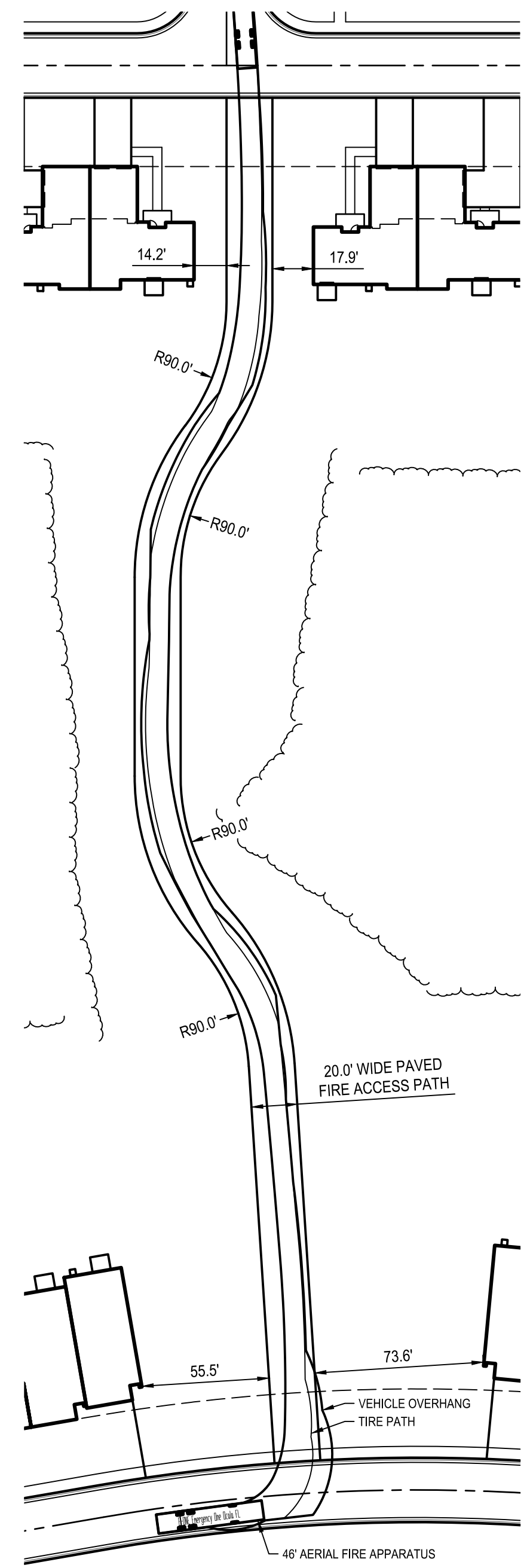
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**DIMENSIONAL  
STANDARDS & FIRE  
TURN DETAILS**

BROOKWOOD SUPERIOR  
TOWNSHIP

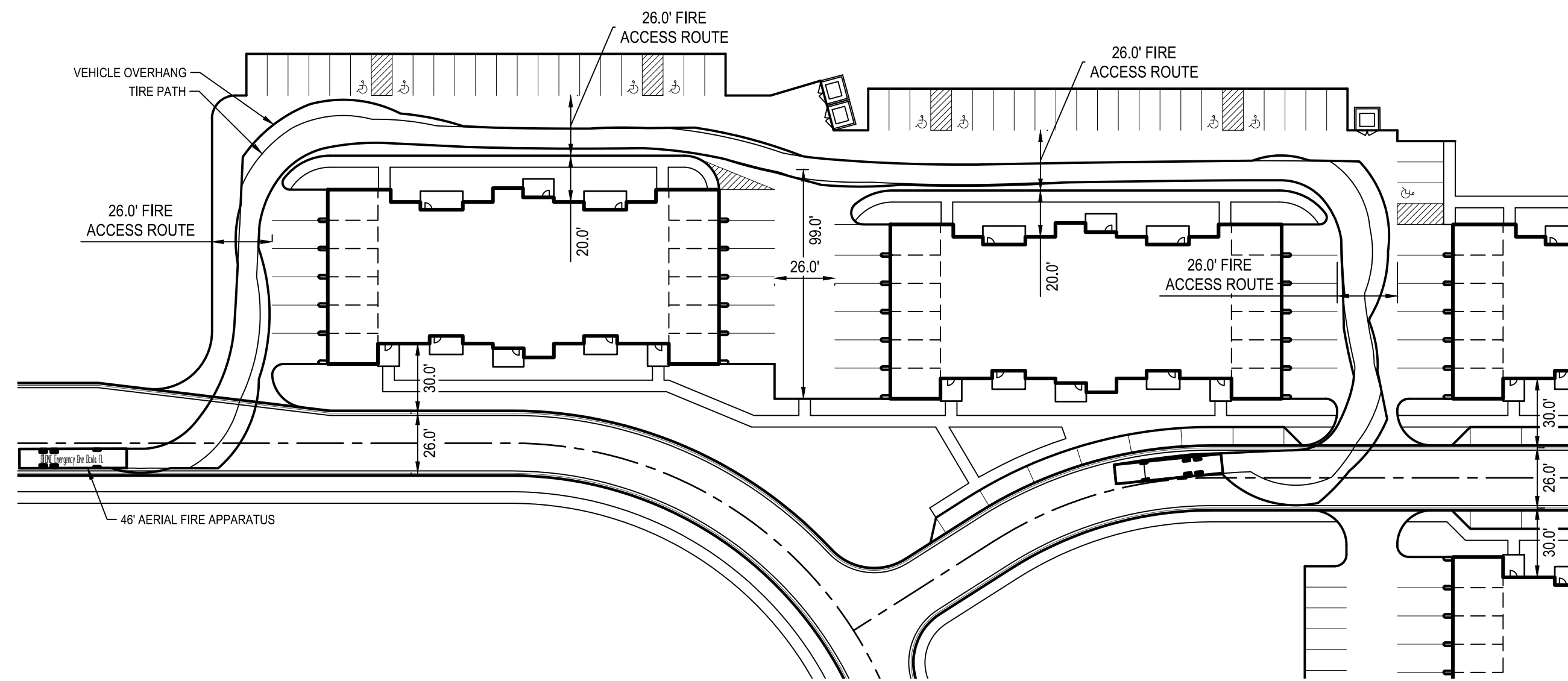
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Sheet:	07
Project:	20249.00



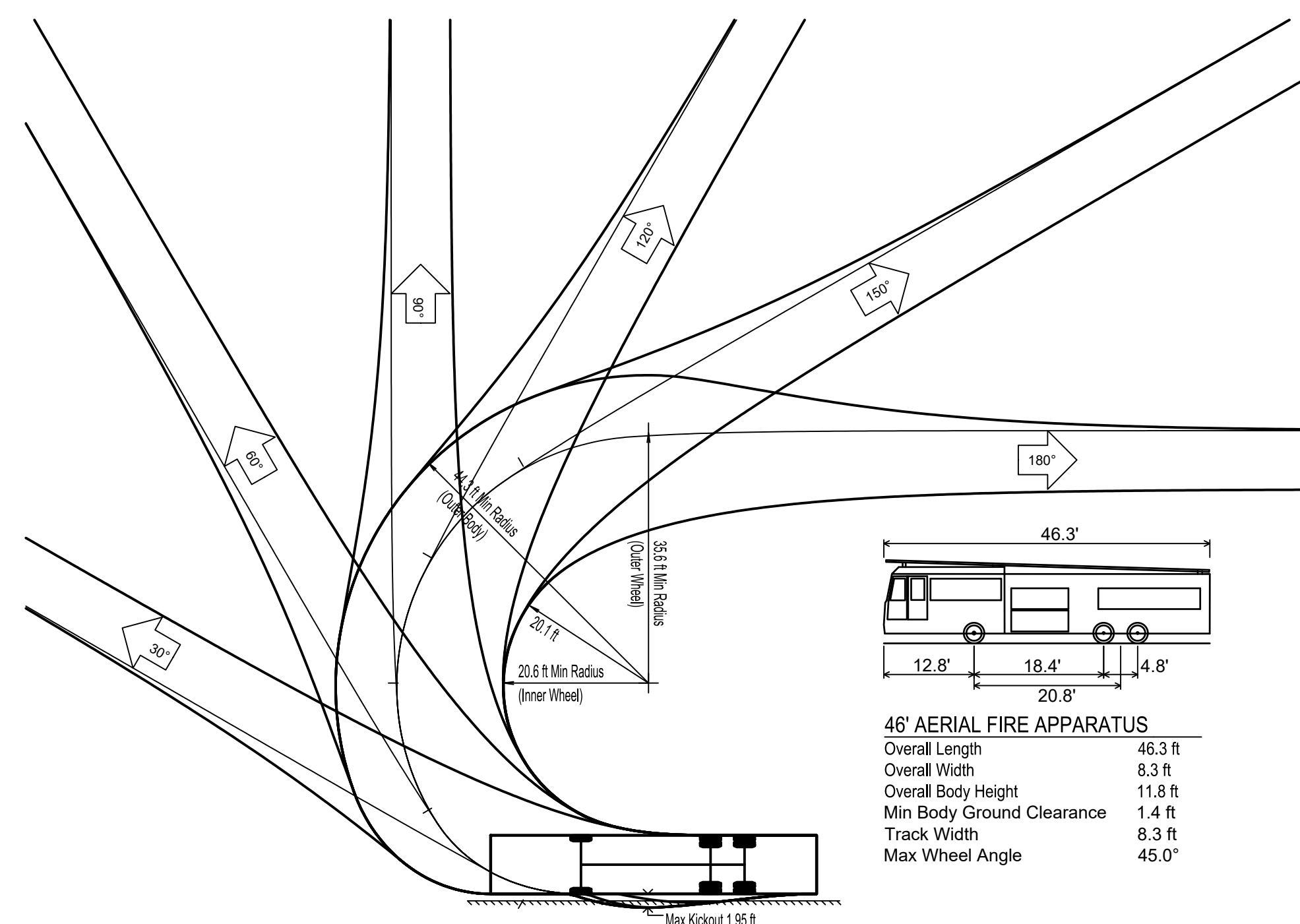
**FIRE PATH  
ACCESS DETAIL**

SCALE: 1" = 50'

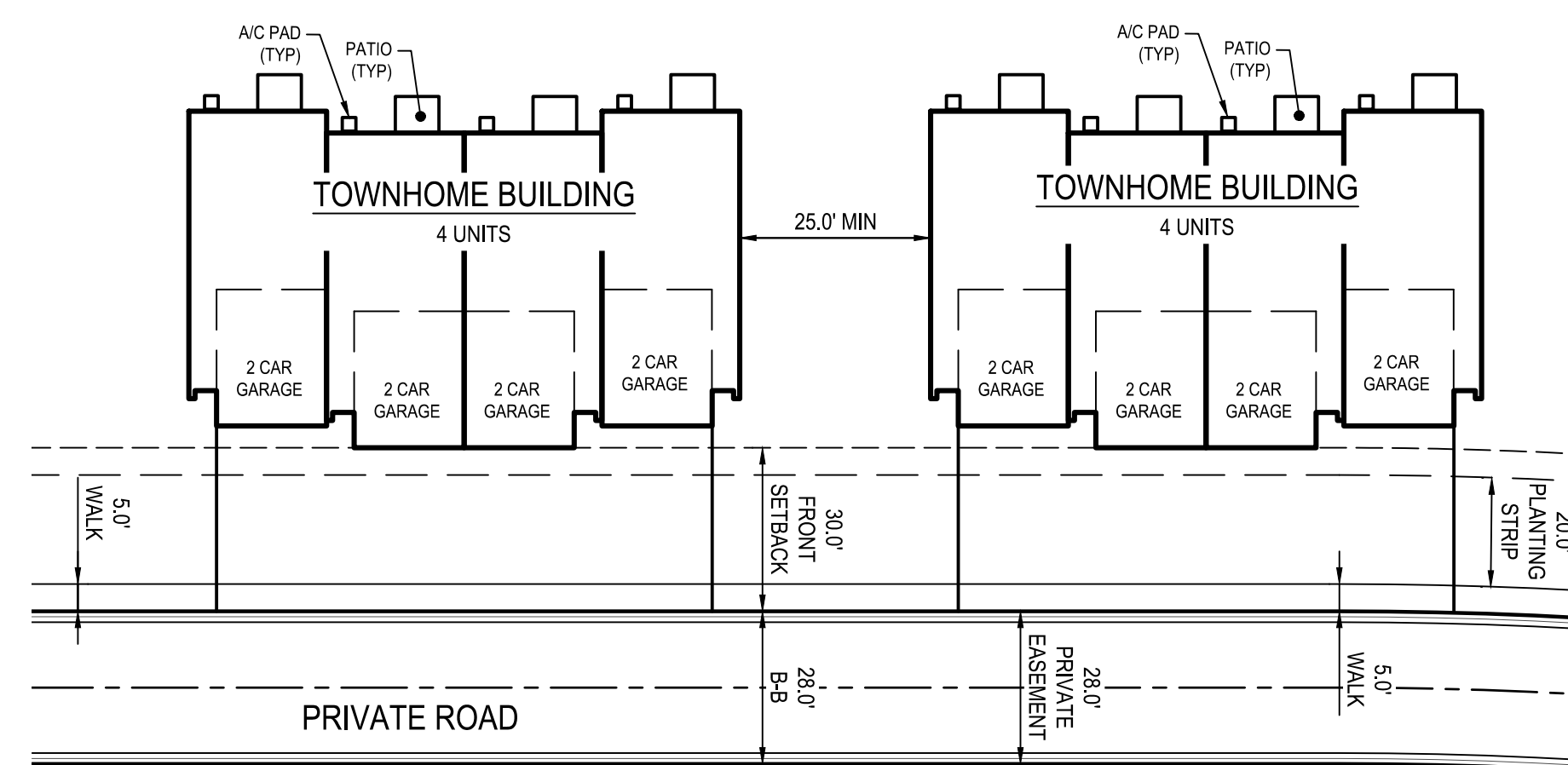


**STACKED FLATS FIRE DETAIL**

SCALE: 1" = 30'

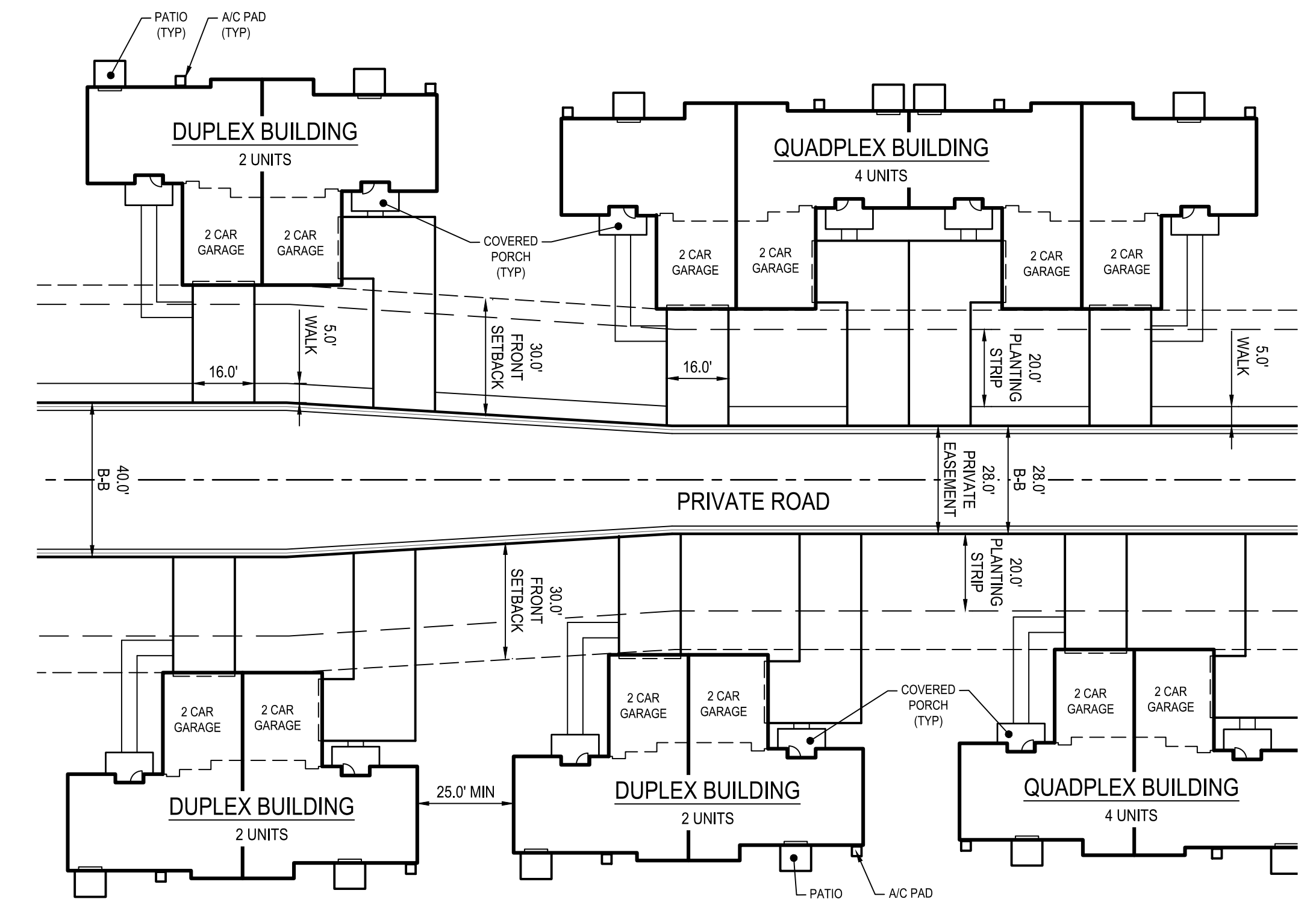


**46' AERIAL FIRE APPARATUS DETAIL**



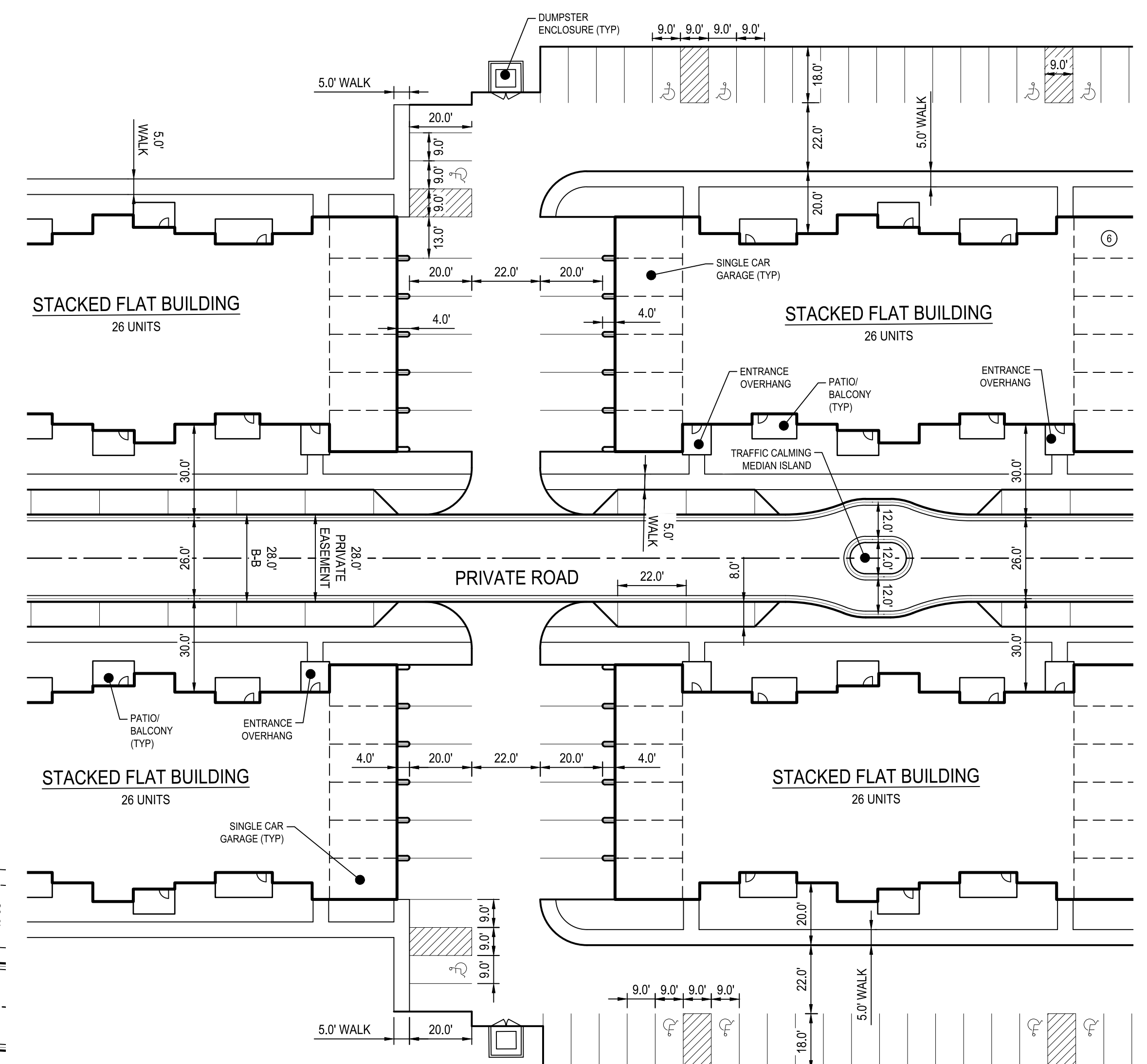
**TOWNHOME TYPICAL LAYOUT**

SCALE: 1" = 30'



**ATTACHED UNIT TYPICAL LAYOUT**

SCALE: 1" = 30'



**STACKED FLATS TYPICAL LAYOUT**

SCALE: 1" = 30'





Executive:	AW
Manager:	JR
Designer:	JR / AR
Quality Control:	-
Section:	33
	T-02-S R-07-E

Professional Seal:



Know what's below.  
Call before you dig.

DATE	ISSUE
04-14-2023	ISSUE TO CLIENT
04-24-2023	TOWNSHIP SUBMITTAL
06-26-2023	REV PER TWP COMMENTS
08-29-2023	REV PER TWP COMMENTS
12-21-2023	REV PER TWP COMMENTS

Developed For:

**GARNER PROPERTY MANAGEMENT**

23944 EUREKA ROAD, SUITE 105  
TAYLOR, MI 48180

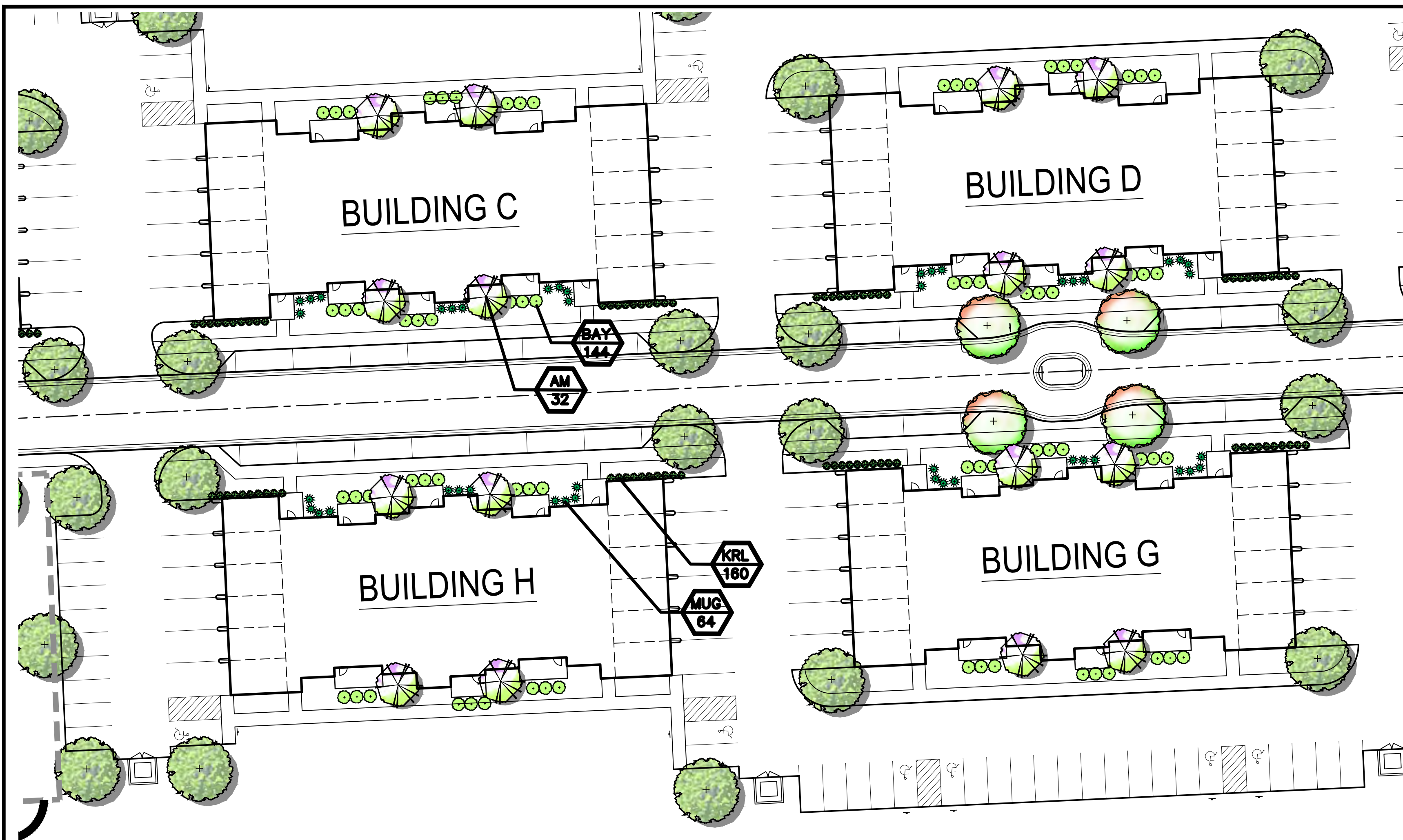
chris@livegpm.com  
(734) 287-6619

**TYPICAL LANDSCAPE PLAN**

**BROOKWOOD SUPERIOR TOWNSHIP**

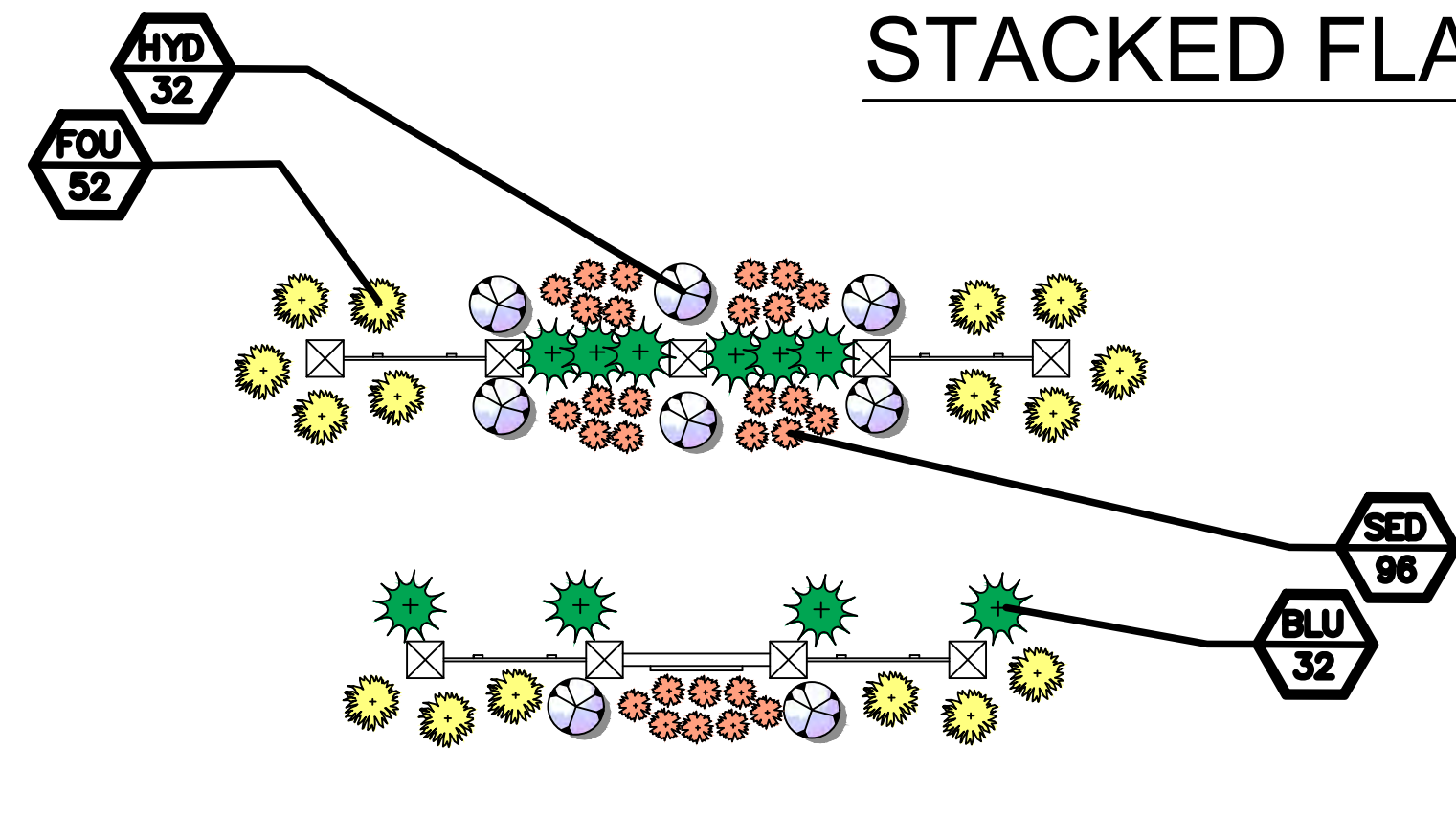
SUPERIOR TWP.  
WASHTENAW COUNTY  
MICHIGAN

Date:	04.14.2023
Scale:	1"=30'
Sheet:	L-101
Project:	20249.00

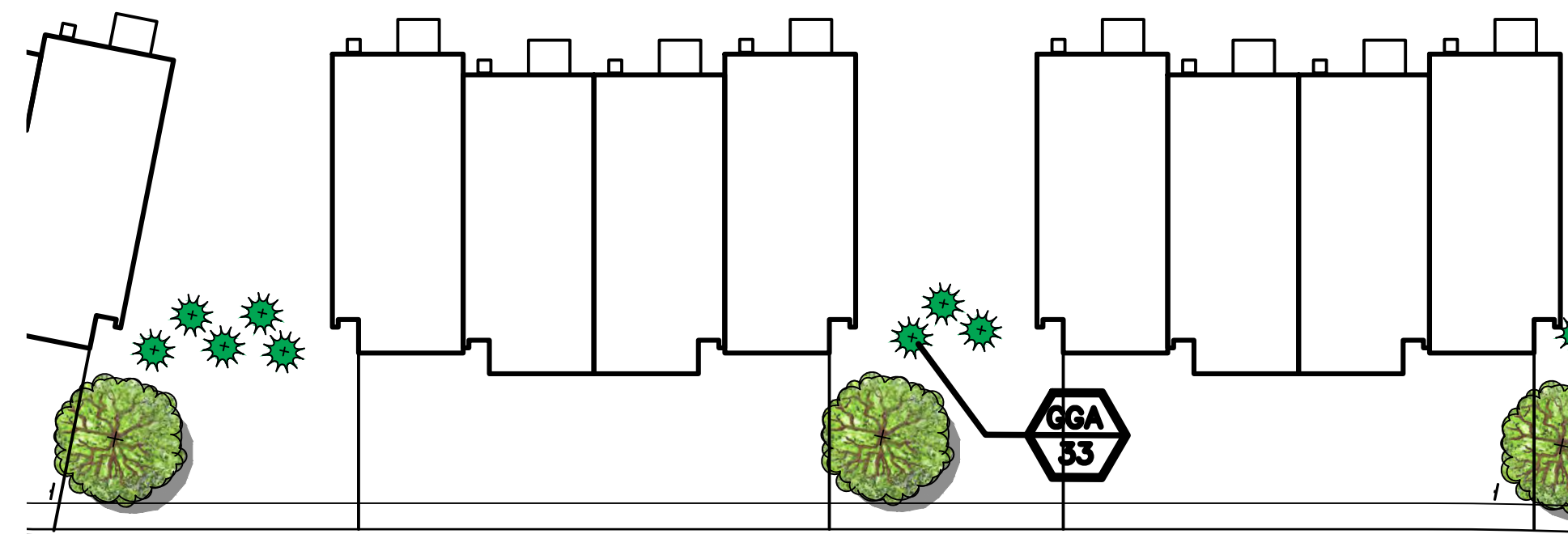


**CLUBHOUSE AREA LAYOUT**

**STACKED FLATS TYPICAL LAYOUT**



**TYPICAL SIGN & PILLAR LAYOUT**



**TOWNHOME TYPICAL LAYOUT**

**PLANT LIST:**

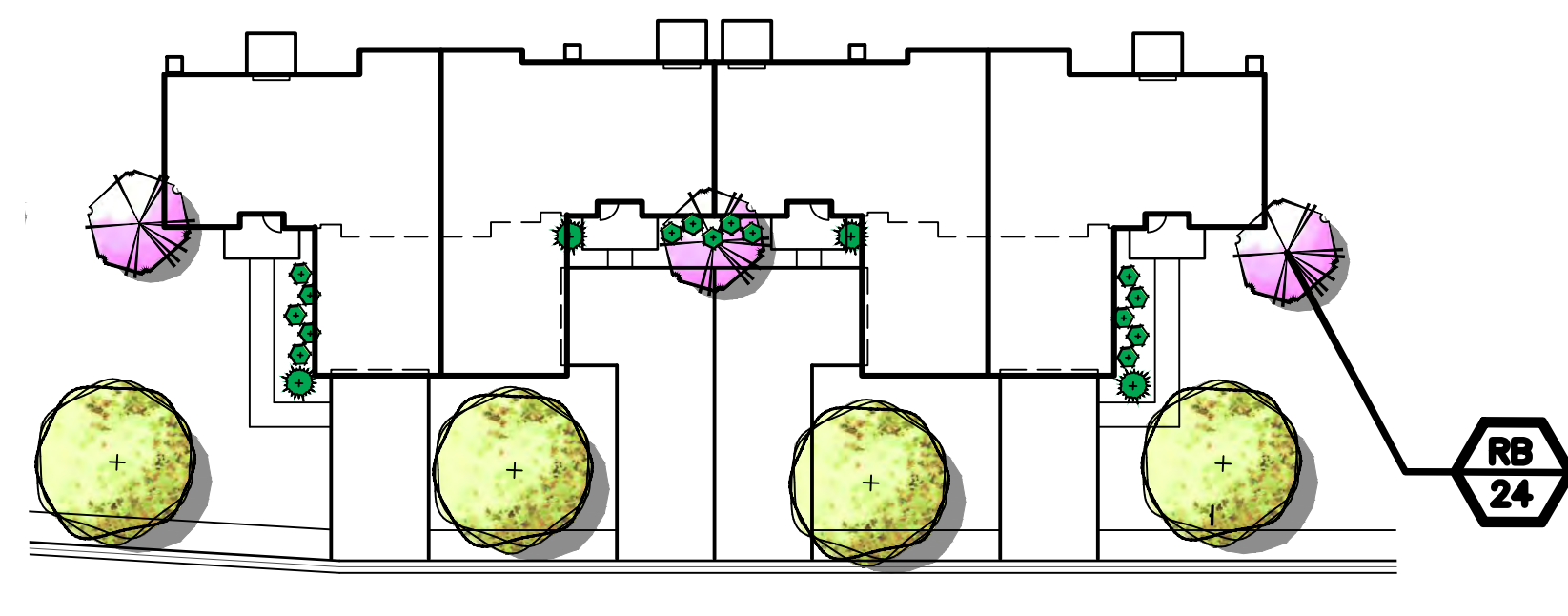
PERENNIALS:		BOTANICAL NAME	SIZE	SYMBOL
160	KARL FOERSTER'S REED GRASS	CALAMAGOSTIS x ACUTIFOLIA 'KARL FOERSTER'	1 GAL. POT	KRL
96	NEON SEDUM	SEDUM SPECTABILE NEON	1 GAL. POT	SED
52	KARLEY ROSE FOUNTAIN GRASS	PENNISETUM ORIENTALE KARLEY ROSE PP12909	1 GAL. POT	FOU

SHRUBS:		BOTANICAL NAME	SIZE	SYMBOL
7	TINY WINE NINEBARK	PHYSCARPUS OPULIFOLIUS SMPOWTW PPAF	3 GAL. POT	NIN
96	FRANKY BOY ARBORVITAE	THUJA ORIENTALIS 'FRANKY BOY'	4' HT. B&B	FRK
24	SPRINTER BOXWOOD	BUXUS MICROPHYLLA 'BULTHOUSE' PP25896	30" DIA. B&B	BOX
475	EMERALD GAETY EUNYMIUS	EUNYMIUS FORTUNEI EMERALD GAETY	3 GAL. POT	EME
11	ROSY ROCKET BARBERRY	BERBERIS THUNBERGII ROSY ROCKET PP18413	3 GAL. POT	BAR
8	SKYROCKET JUNIPERS	JUNIPERUS SCOPULORUM 'SKYROCKET'	4-5' HT. B&B	SKY
144	NORTHERN BAYBERRY	MYRICA PENNSYLVANICA	24" HT. B&B	BAY
6	SWEET EMOTION ABELIA	ABELIA MOSANENSIS 'SMNAMDS' PP27370	24" HT. B&B	ABE
31	CENTRAL PARK ROSE	ROSA CENTRAL PARK	3 GAL. POT	LIL
64	SLOWMOUND MUGO PINE	PINUS MUGO 'SLOWMOUND'	3 GAL. POT	MUG
14	SPARTAN JUNIPERS	JUNIPERUS CHINENSIS 'SPARTAN'	5' HT B&B	SPA
33	GREEN GIANT ARBORVITAE	THUJA PLICATA 'GREEN GIANT'	5' HT B&B	GGA
32	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	3 GAL. POT	HYD
32	BLUE POINT JUNIPER	JUNIPERUS CHINENSIS 'BLUE POINT'	5' HT B&B	BLU

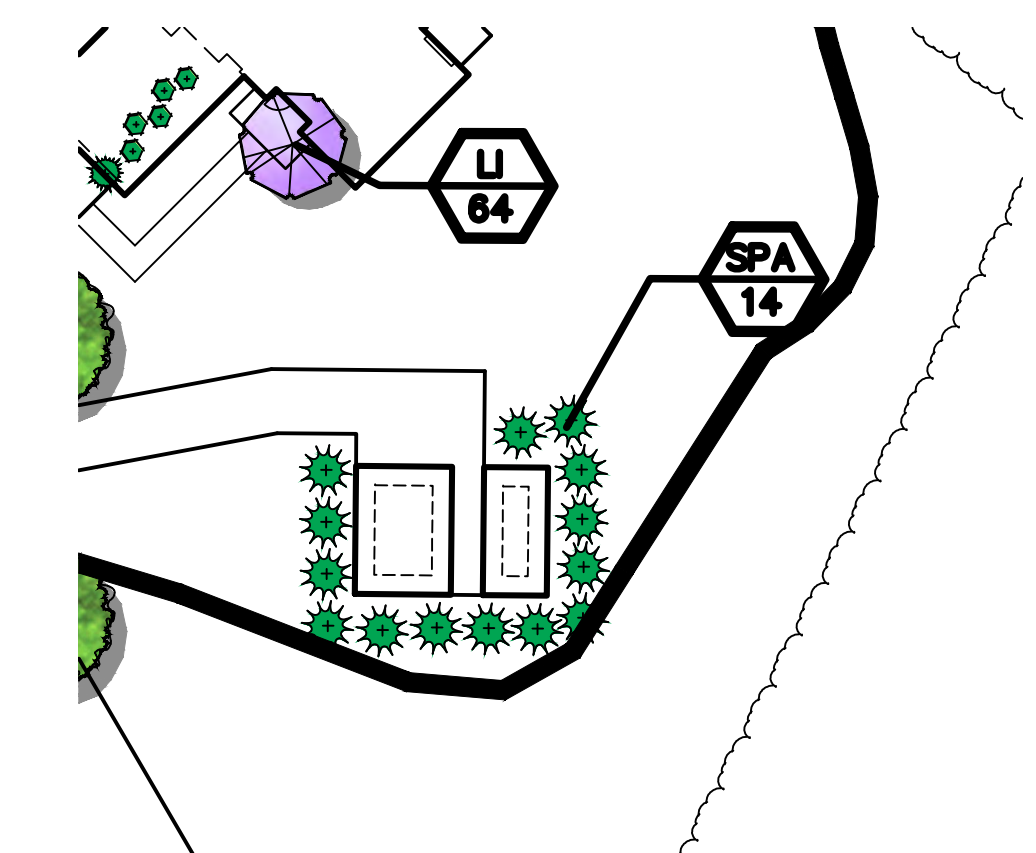
TREES:		BOTANICAL NAME	SIZE	SYMBOL
27	REDBUD	CERIS CANADENSIS	3" CAL. B&B	RB
32	SERVICEBERRY	AMELANCHIER C. x GRANDIFLORA	3" CAL. B&B	AM
64	JAPANESE, IVORY SILK	SYRINGA RETICULATA IVORY SILK	3" CAL. B&B	LI



**QUADPLEX TYPICAL LAYOUT**



**DUPLEX TYPICAL LAYOUT**



**SANITARY PUMP STATION**

**PLANT NOTES:**

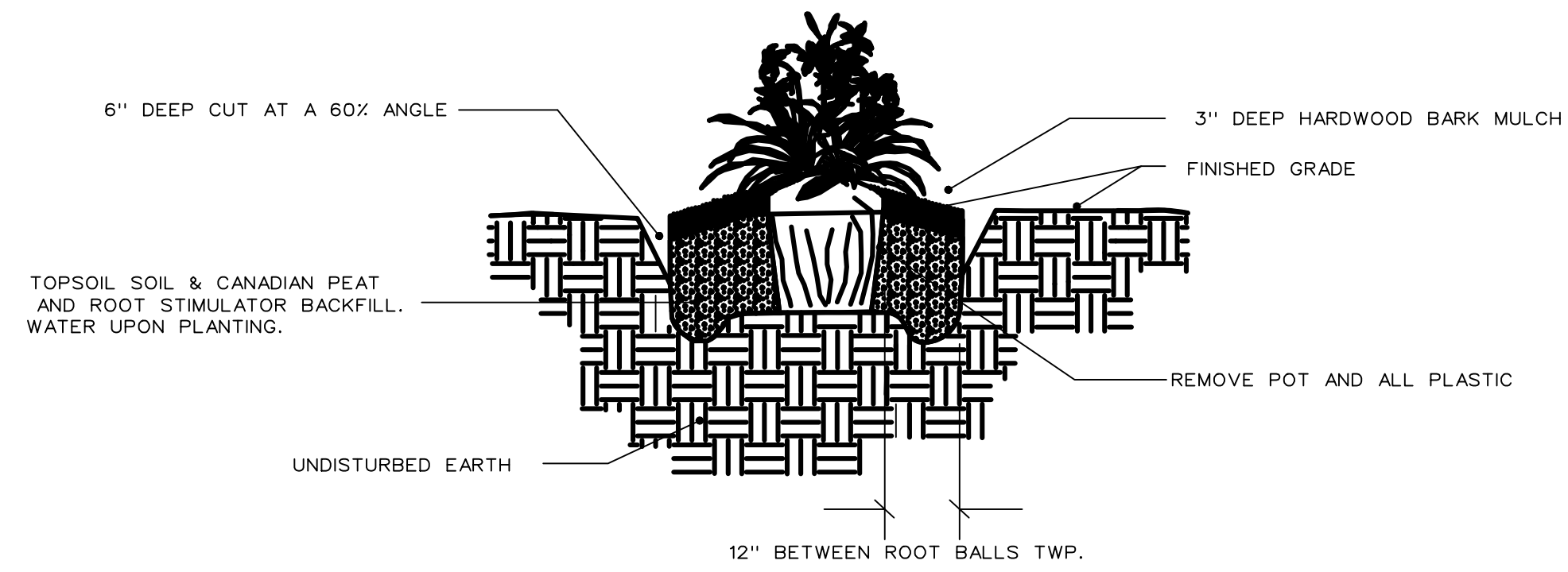
1. PLANT MATERIALS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASES AND INSECTS OR THEIR EGGS, AND SHALL HAVE NORMAL, HEALTHY ROOT SYSTEMS. CALIPER MEASUREMENTS SHALL BE TAKEN 6" ABOVE THE GROUND LEVEL. ALL OTHER MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z-60.1 - A302004.)
2. PLANTING BED SOIL FOR ANNUALS SHALL BE SCREENED TOPSOIL. TO DETER WEED GROWTH DURING THE ESTABLISHMENT OF ANNUAL & PERENNIAL BED, APPLY A PRE-EMERGENT ('PREEN' OR EQUAL) AFTER PLANTING ANNUALS. 2-3 TIMES PER GROWING SEASON, AT A RATE AS PER RECOMMENDATION OF PRODUCT MANUFACTURER.
3. PLANTING POCKETS SHALL BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL. SAUCER SHALL BE MADE ON THE EDGES OF PLANTING POCKET.
4. ALL TREE WRAP SHALL BE REMOVED UPON PLANTING.
5. MULCH SHALL BE SHREDDED HARDWOOD BARK, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF PLANTING BEDS AND INDIVIDUAL TREE PLANTINGS.
6. TREES SHALL BE MULCHED WITH MIN. 3" DEEP HARDWOOD BARK MULCH AROUND PLANTS.
7. GRASS SEED SHALL BE CERTIFIED TURF GRASS SEED COMPLYING WITH A.S.P.A. SPECIFICATIONS, AND FREE OF WEED SEEDS AND UNDESIRABLE NATIVE GRASSES. SEEDED AREAS SHALL NOT BE PERMITTED TO DRY OUT. ALL LAWN AREAS SHALL BE FERTILIZED AND WATERED AS REQUIRED DURING THE FIRST GROWING SEASON TO MAINTAIN A DENSE AND VIGOROUS GROWING LAWN.
8. PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASON (24 MONTHS). DEAD MATERIALS SHALL BE REPLACED AS NEEDED PRIOR TO THE EXPIRATION OF THE GUARANTEE PERIOD, IN ACCORDANCE WITH THE LOCAL ORDINANCE REQUIREMENTS.
9. CONTRACTOR SHALL PROVIDE IN WRITING A LIST OF RECOMMENDED MAINTENANCE PROCEDURES FOR THE FIRST TWO GROWING SEASON.
10. REMOVE TOP 1/3 OF BURLAP ON ROOT BALL OR ALL IF WRAPPED IN PLASTIC COVERING AND/OR ALL NYLON CORD.
11. PLANT MATERIALS SHALL BE USED IN COMPLIANCE WITH THE PROVISIONS OF THE LOCAL ORDINANCE AND SHALL BE NURSERY GROWN, FREE OF PESTS AND DISEASES, HARDY IN THIS COUNTY, IN CONFORMANCE WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, AND SHALL HAVE PASSED INSPECTIONS REQUIRED UNDER STATE REGULATIONS. IN ADDITION, PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF COUNTY COOPERATIVE EXTENSION SERVICE.

**GENERAL NOTES:**

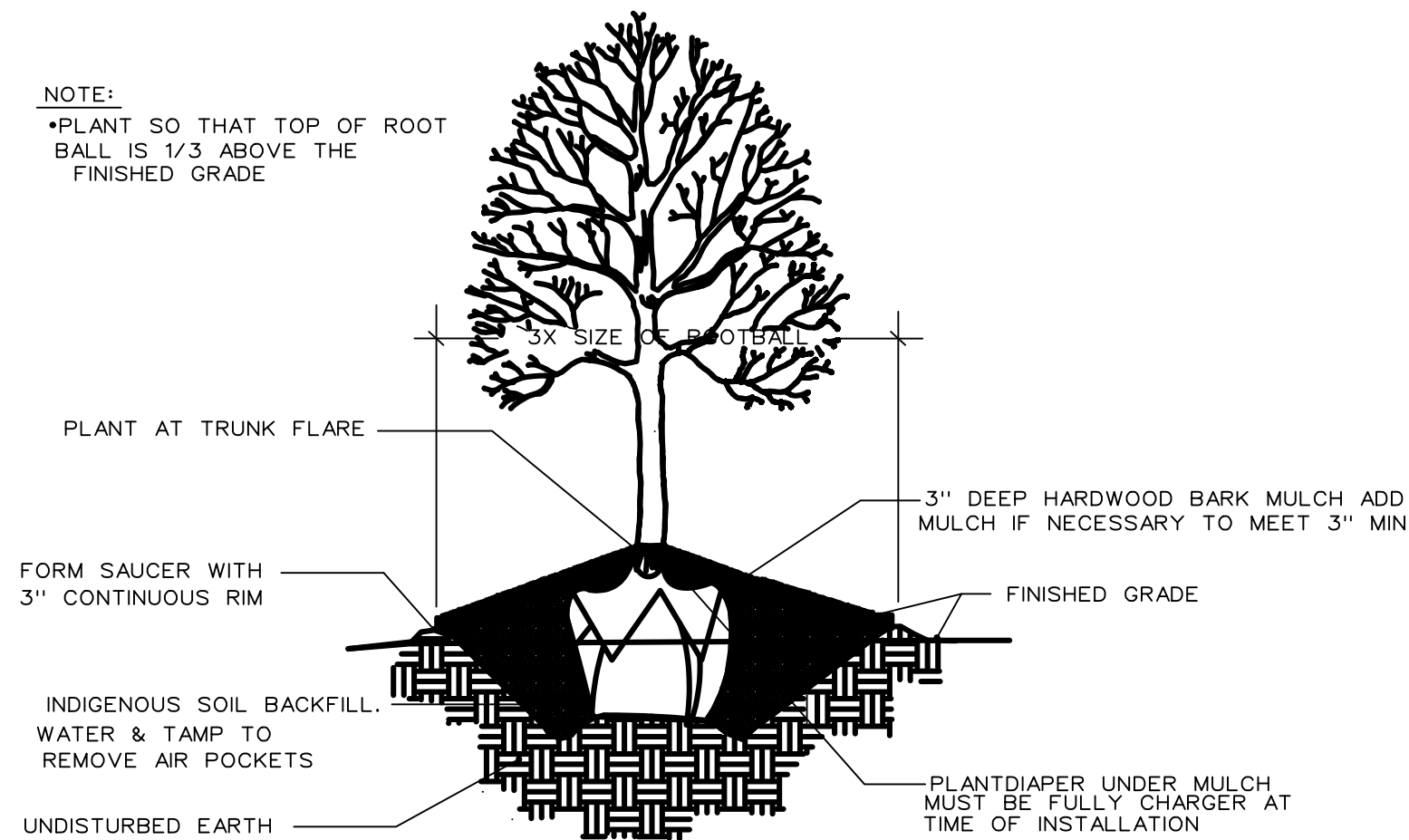
1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF LOCAL ORDINANCES.
2. ALL AREAS NOT BUILT, LANDSCAPED, OR PAVED UPON SHALL BE SEEDED OR SODDED. TERRA SEED SYSTEM OR APPROVED EQUAL IS ENCOURAGED.
3. TWO YEAR GUARANTEE PERIOD BEGINS AT FINAL INSPECTION OF LANDSCAPE MATERIAL BY THE TOWNSHIP'S REPRESENTATIVE A LANDSCAPE ARCHITECT OR NURSERYMAN.
4. BUILDING DEPARTMENT WILL NOT RELEASE CONSTRUCTION BONDS UNTIL TOWNSHIP APPROVED LANDSCAPE ARCHITECT OR NURSERYMAN HAS INSPECTED THE SITE AND APPROVED THE INSTALLATION OF LANDSCAPE PLANS. FINAL BOND WILL NOT BE RELEASED UNTIL THE TWO YEAR GUARANTEE EXPIRES AND FINAL INSPECTION IS MADE.
5. OWNER IS THEN RESPONSIBLE FOR CARE AND MAINTAINCE OF ALL PLANTS UPON RETURN OF BONDS. ALL PLANT MATERIAL IS TO BE MAINTAINED FOR THE NATURAL LIFE OF THE PLANT. NO REMOVAL OF ANY PLANT MATERIAL IS PERMITTED WITHOUT REPLACEMENT.
6. ALL LAWN AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM. IRRIGATION HEADS SHALL BE PLACED SUCH THAT WATER WILL NOT HIT ANY HARD STRUCTURES OR SURFACES.

**LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"**

IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROGRAM AND PERIODICALLY ADJUST THE IRRIGATION SYSTEM (PROVIDED BY OTHERS) AS REQUIRED TO INSURE DELIVERY OF PROPER AND ADEQUATE WATER SUPPLY TO ALL PLANT MATERIAL, AND SEEDED LAWN AREAS (SERVICED BY THE IRRIGATION SYSTEM) TO INSURE THE ESTABLISHMENT OF HEALTHY PLANT MATERIALS AND LAWNS FOR THEIR FIRST YEAR OF GROWTH. FOLLOWING THE LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD", THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A SUGGESTED "IRRIGATION MAINTENANCE SCHEDULE" FOR THEIR USE.



**PERENNIAL PLANTING DETAIL**  
NO SCALE

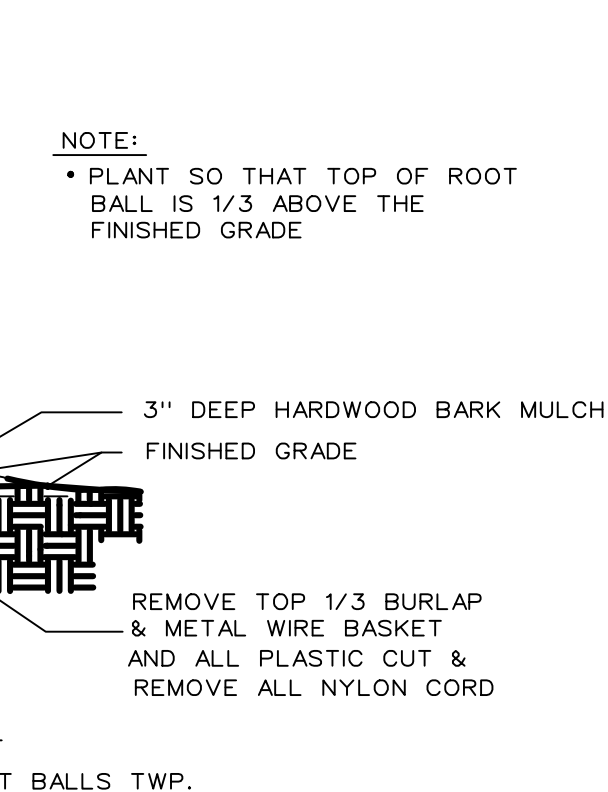


**TREE / SHRUB PLANT DIAPER DETAIL**  
NO SCALE

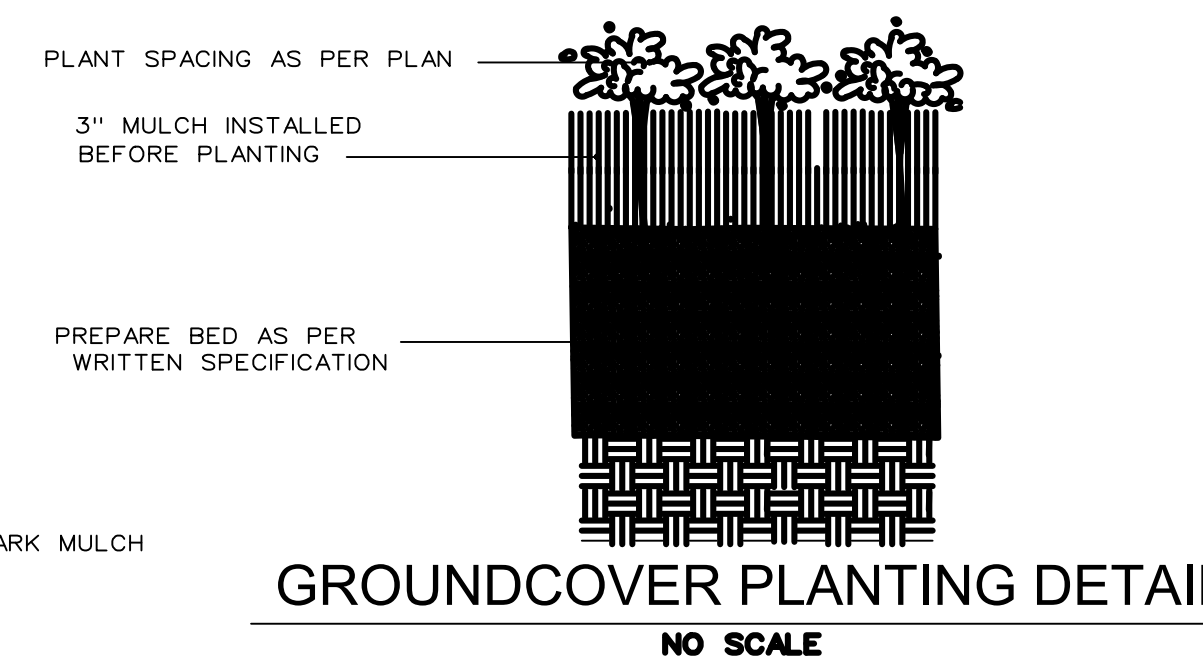
**TWO OPTIONS FOR NO DRIP IRRIGATION:**  
IRRIGATION IS NECESSARY WHEN NATURAL RAIN FALL IS LESS THAN 1" OF RAINFALL PER MONTH.  
A) PLANTDIAPERS CAN BE RECHARGED WITH WATER BY DIGGING THEM UP AND RECHARGING THEM IN A BUCKET OF WATER AT NIGHT. THEN REINSTALLED UNDER THE RING OF MULCH. THIS RECHARGED PLANTDIAPER SHOULD LAST UP TO A MONTH.  
B) SECOND OPTION IS TO WATER EACH TREE FOR 2 MINUTES PER DAY FOR A WEEK DURING A DROUGHT. MAINTENANCE OF THE PLANTDIAPER VERSUS A TRADITIONAL TREE WATERING BAG INVOLVES CHECKING SOIL MOISTURE RATHER JUST USING LOTS OF WATER TO REFILL. NORMAL WATERING OR TRADITIONAL TREE BAGS HAVE A LOT OF WATER THAT ENDS UP BEING EVAPORATED OR NOT USED EFFICIENTLY TO WATER THE TREE.

**FERTILIZATION:**  
FERTILIZERS IN SOIL UNDER PLANTDIAPER IS HIGHLY RECOMMENDED AND IT WILL CAUSE LESS POLLUTION AND RUNOFF. KNOW WHAT INGREDIENTS IN THE FERTILIZER YOU ARE USING. ALL ORGANIC FERTILIZERS ARE ACCEPTABLE.

**FERTILIZERS TO CONSIDER:**  
•N: UREA (THE LARGEST AGRICULTURAL NITROGEN FERTILIZER) SUCH AS AMMONIUM AND AMMONIUM NITRATE ARE FINE.  
•P: MONO-AMMONIUM PHOSPHATE, DI-AMMONIUM PHOSPHATE AND AMMONIUM PHOSPHATE. AT HIGH CONCENTRATION, IT MAY TEMPORARILY REDUCE WATER HOLDING CAPACITY. BUT IT CAN BE RECOVERED RATHER QUICKLY.  
•K: POTASSIUM CHLORIDE, POTASSIUM SULFATE, AND POTASSIUM NITRATE. AT HIGH CONCENTRATION, IT MAY TEMPORARILY REDUCE WATER HOLDING CAPACITY. BUT IT CAN BE RECOVERED RATHER QUICKLY.  
• AVOID FERTILIZERS OR ADDITIVES CONTAINING METAL IRONS OTHER THAN GROUP I (ALKALI METALS) SUCH AS ALUMINUM, IRON, CALCIUM, MAGNESIUM, WHICH ARE COMMON IN MANY MIXED TYPE FERTILIZERS.



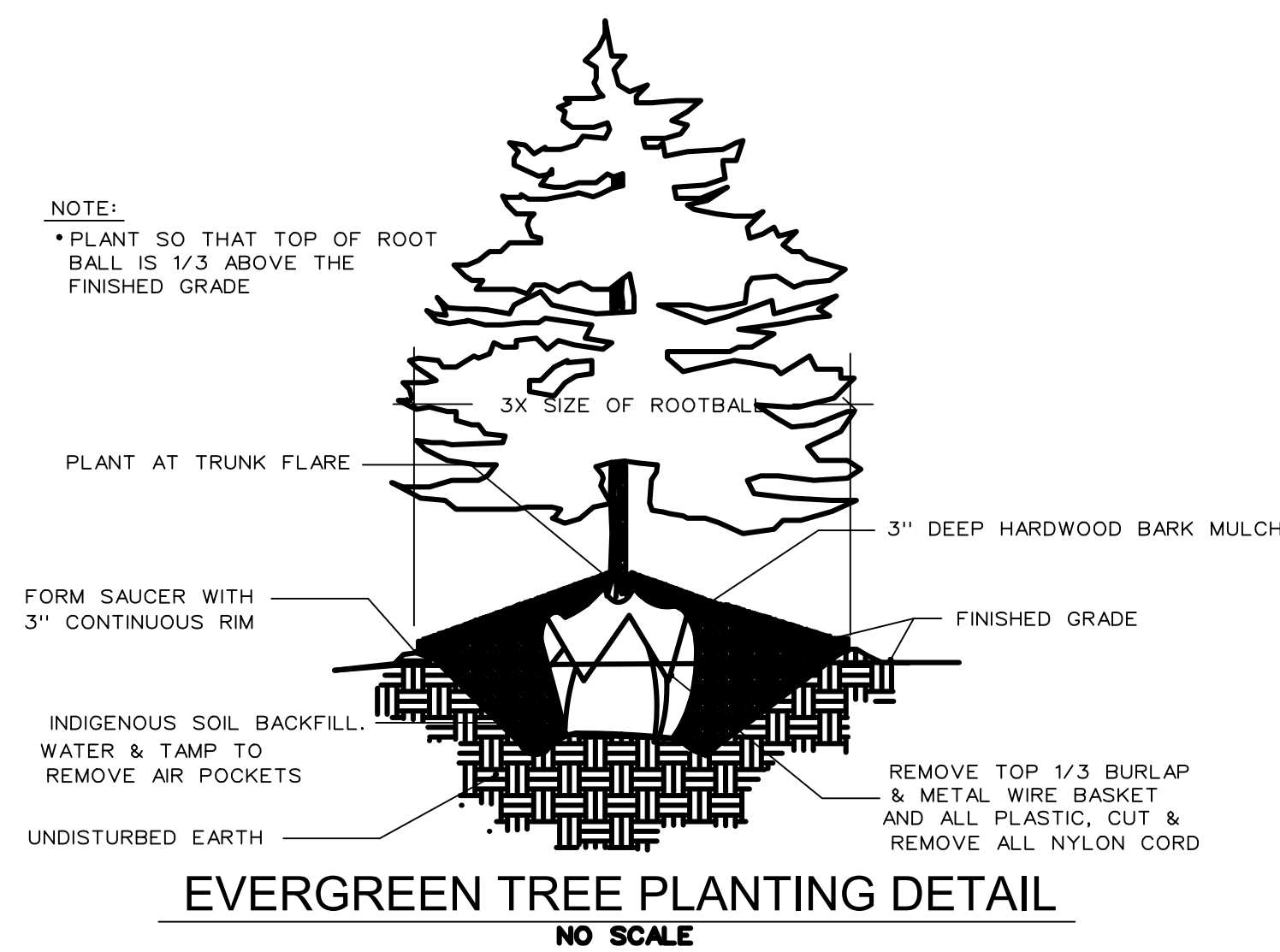
**SHRUB HEDGE PLANTING DETAIL**  
NO SCALE



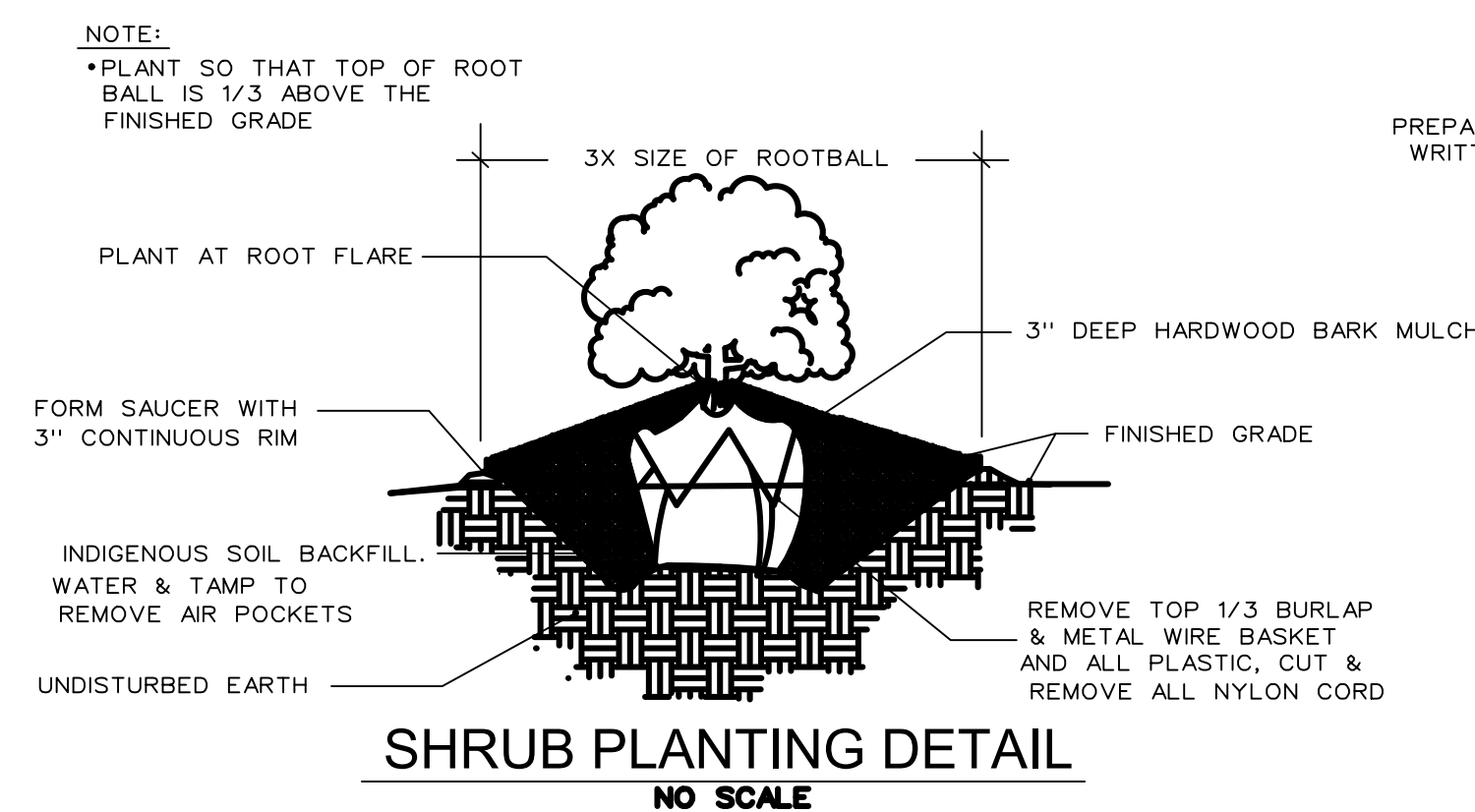
**GROUNDCOVER PLANTING DETAIL**  
NO SCALE

**LAWN SEED MIX:**

- 30% PERENNIAL RYGRASS
- 20% PARK KENTUCKY BLUEGRASS
- 45% CREEPING RED FESCUE
- 5% ANNUAL RYEGRASS
- 4\*/1000 S.F. SEEDING RATE



**EVERGREEN TREE PLANTING DETAIL**  
NO SCALE



**SHRUB PLANTING DETAIL**  
NO SCALE

Executive:	AW
Manager:	JR
Designer:	JR / AR
Quality Control:	-
Section:	33
	T-02-S R-07-E

Professional Seal:



Know what's below.  
Call before you dig.

DATE:	ISSUE:
04-14-2023	ISSUE TO CLIENT
04-24-2023	TOWNSHIP SUBMITTAL
06-26-2023	REV PER TWP COMMENTS
08-29-2023	REV PER TWP COMMENTS
12-21-2023	REV PER TWP COMMENTS

Developed For:

**GARNER PROPERTY MANAGEMENT**

23944 EUREKA ROAD, SUITE 105  
TAYLOR, MI 48180

chris@livegpm.com  
(734) 287-6619

**LANDSCAPE DETAILS**

**BROOKWOOD SUPERIOR TOWNSHIP**

SUPERIOR TWP.  
WASHTENAW COUNTY  
MICHIGAN

Date:	04.14.2023
Scale:	NTS
Sheet:	L-102
Project:	20249.00

Executive:	AW
Manager:	JR
Designer:	JR / AR
Quality Control:	-
Section:	33
	T-02-S R-07-E

Professional Seal:



Know what's below.  
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12-21-2023	REV PER TWP COMMENTS

Developed For:

**GARNER PROPERTY  
MANAGEMENT**

23944 EUREKA ROAD, SUITE 105  
TAYLOR, MI 48180

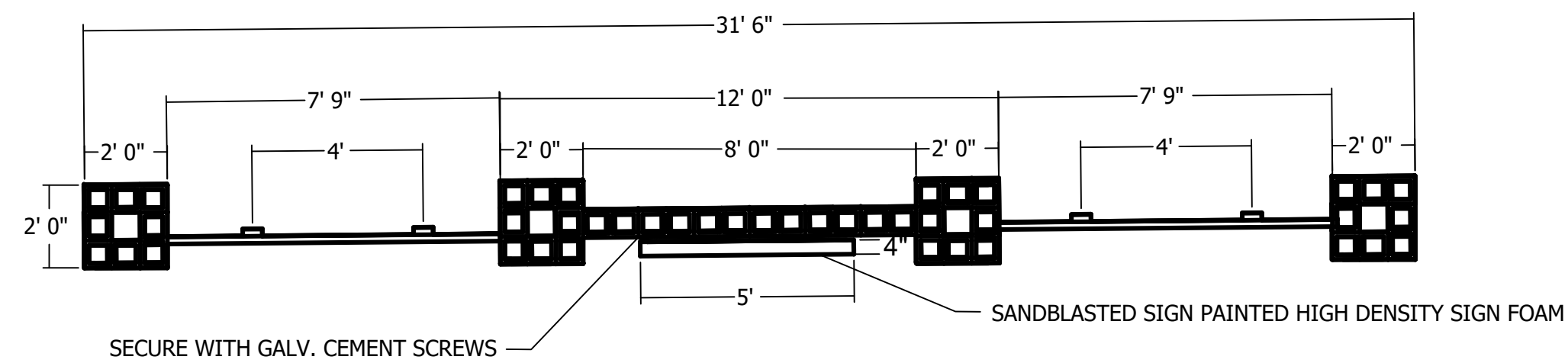
chris@livegpm.com  
(734) 287-6619

**SIGN DETAILS**

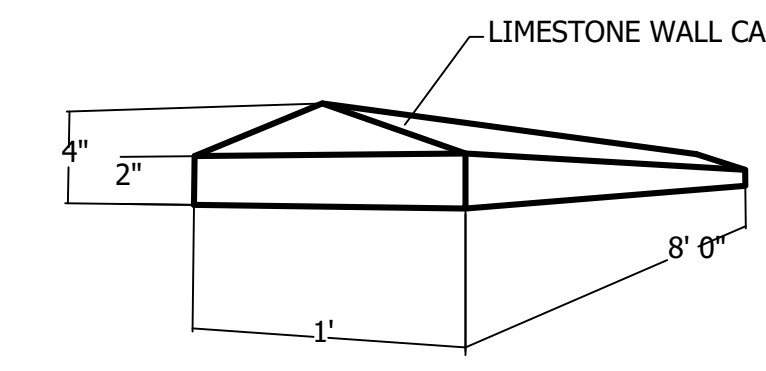
**BROOKWOOD SUPERIOR  
TOWNSHIP**

SUPERIOR TWP.  
WASHTENAW COUNTY  
MICHIGAN

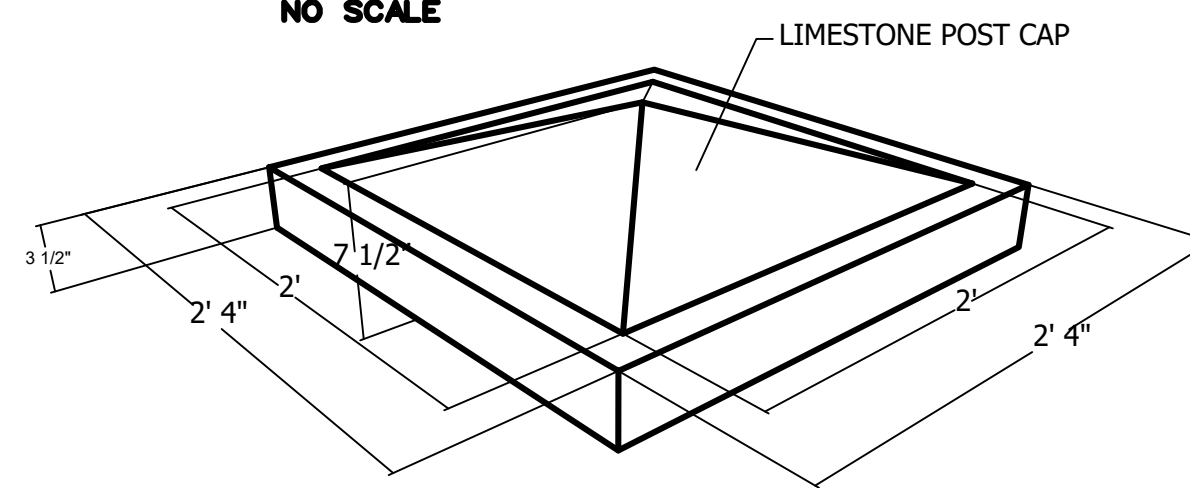
Date:	04.14.2023
Scale:	NTS
Sheet:	L-103
Project:	20249.00



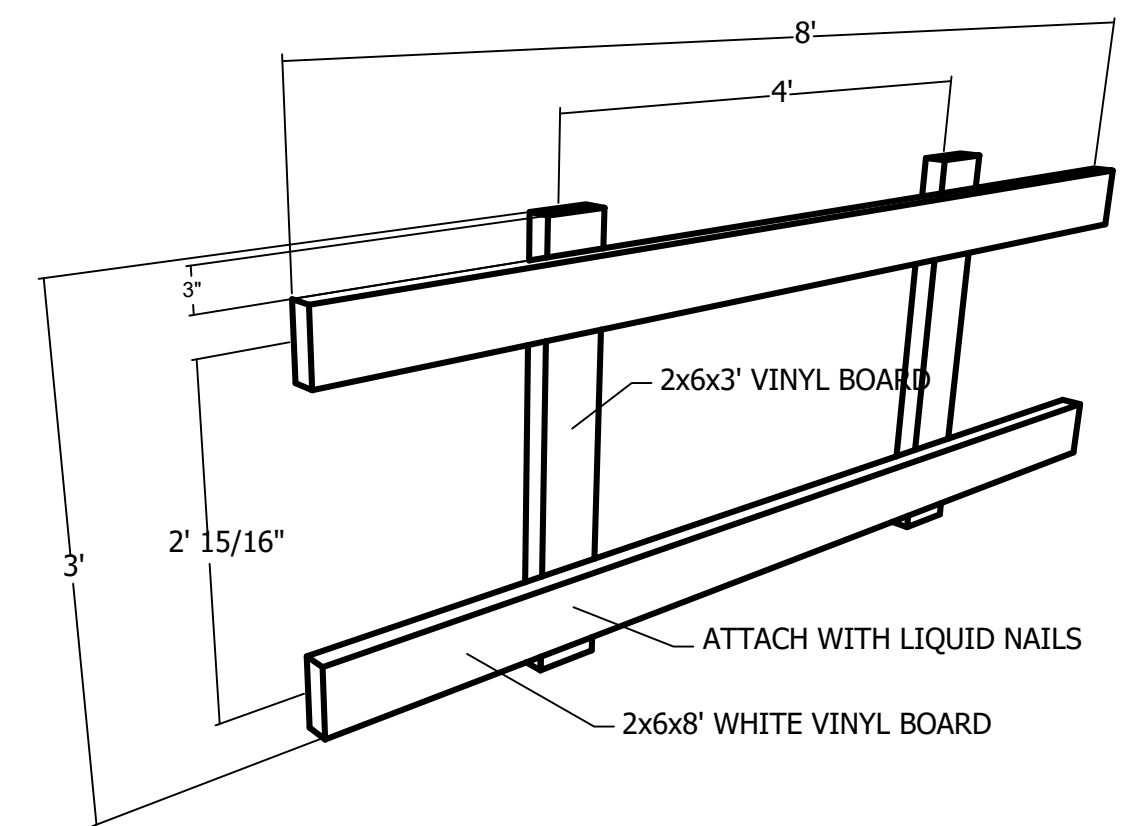
**SIGN WALL DETAIL**  
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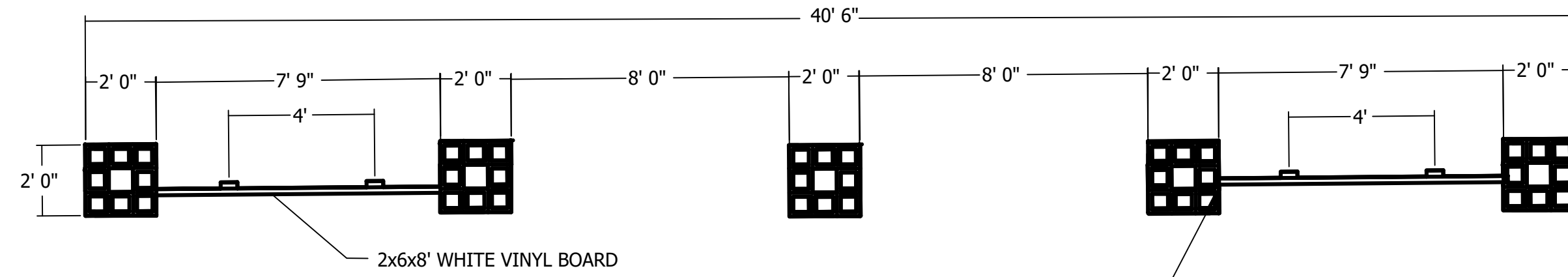
**WALL CAP DETAIL**  
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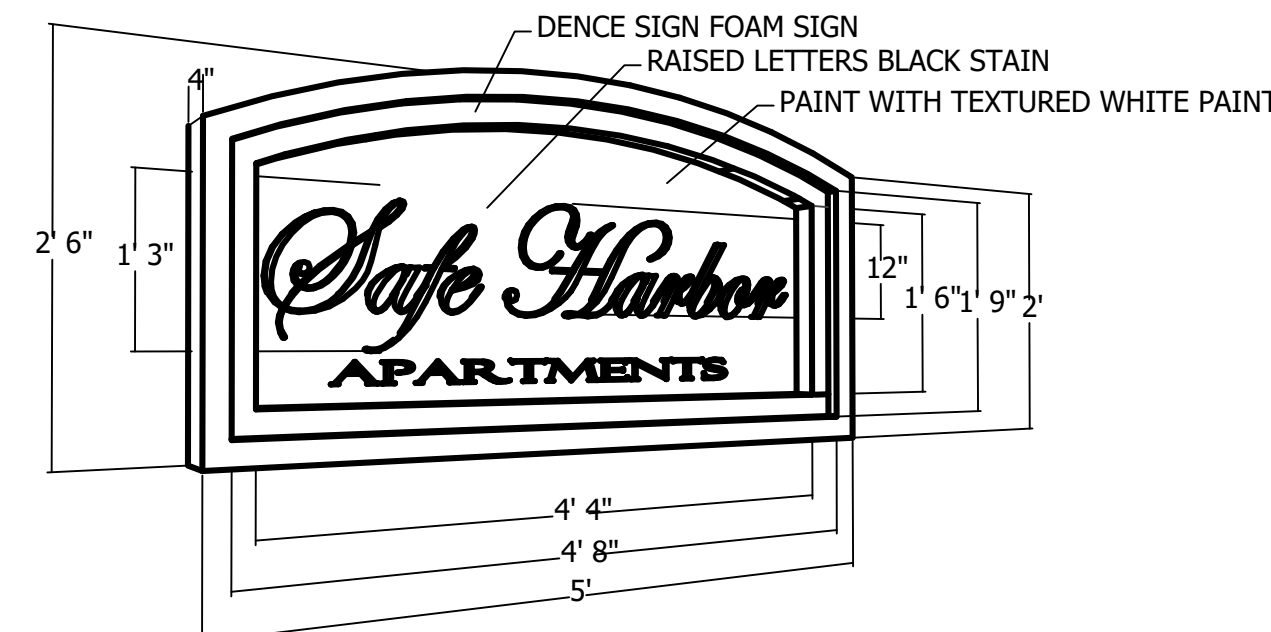
**PILLAR CAP DETAIL**  
NO SCALE



**FENCE SECTION DETAIL**  
NO SCALE



**BLOCK PILLARS DETAIL**  
NO SCALE



**A SIGN DETAIL**  
NO SCALE



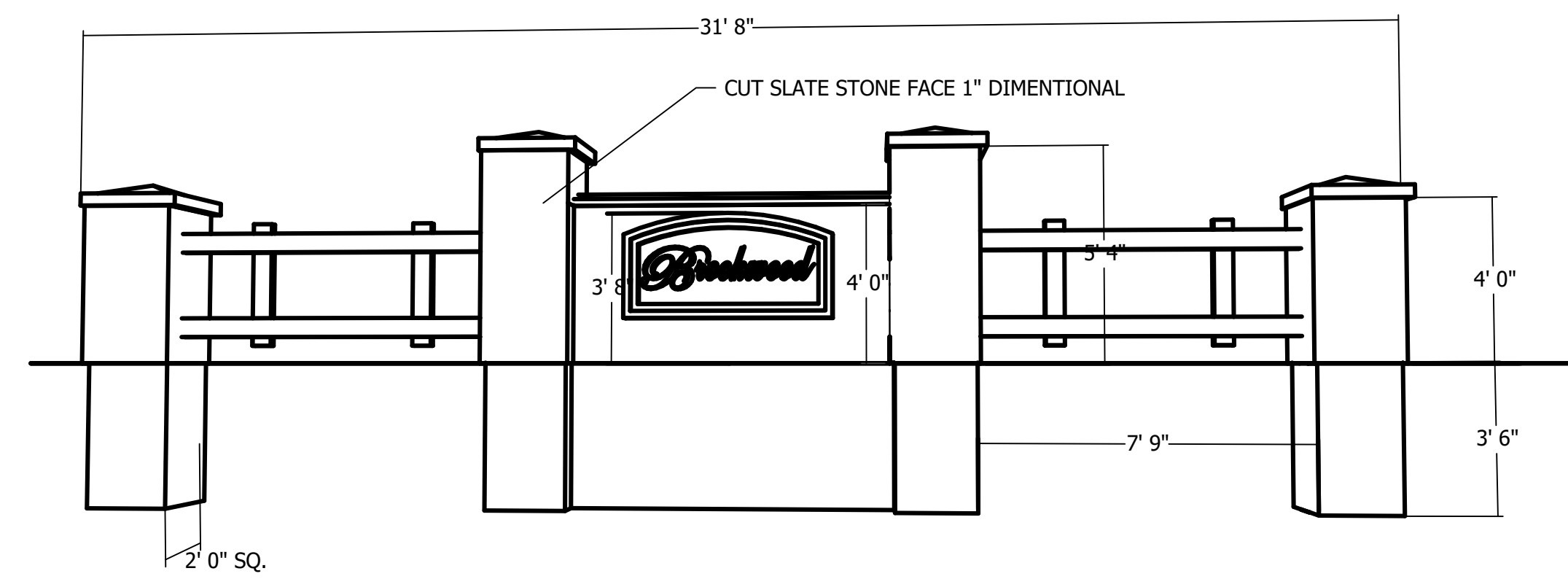
**B SIGN DETAIL**  
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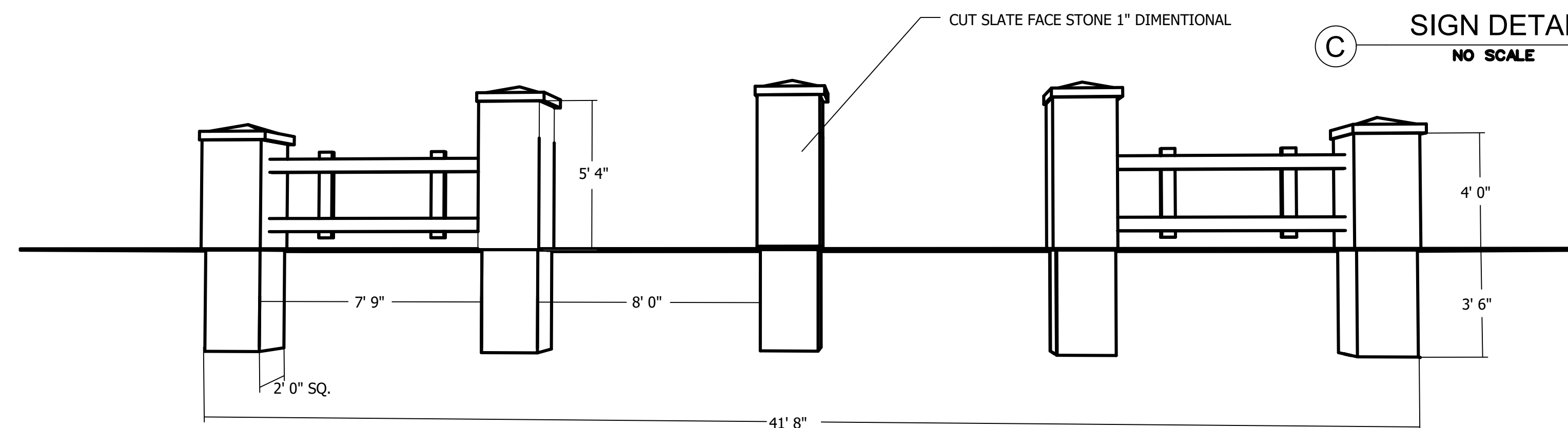
**C SIGN DETAIL**  
NO SCALE



**SIGN WALL & PILLAR CONCEPT**  
NO SCALE



**SIGN WALL & PILLAR ELEVATION**  
NO SCALE



**STONE PILLARS ELEVATION**  
NO SCALE



**STONE PILLARS CONCEPT**  
NO SCALE





**SIDE B ELEVATION: CLUBHOUSE**  
 SCALE - 1/8" = 1'-0"  
 S48VAC201



**REAR ELEVATION: CLUBHOUSE**  
 SCALE - 1/8" = 1'-0"  
 S48VAC201



**SIDE A ELEVATION: CLUBHOUSE**  
 SCALE - 1/8" = 1'-0"  
 S48VAC201



**FRONT ELEVATION: CLUBHOUSE**  
 SCALE - 1/8" = 1'-0"  
 S48VAC201

TOWNSHIP SUBMITTAL 04-23-2023  
 DATE ISSUED

DRAWN BY

CHECKED BY

**HOBBS + BLACK**  
 ARCHITECTS  
 100 N. State St.  
 Ann Arbor, MI 48104  
 P.734.663.4189  
 www.hobbs-black.com

GARNER PROPERTY MANAGEMENT  
**BROOKWOOD DEVELOPMENT**  
 Superior Township, MI

PROJECT

CONSULTANT

**STACKED FLATS COMPOSITE EXTERIOR ELEVATIONS**

SHEET TITLE

**22-629**  
 PROJECT NUMBER

**AF-201**  
 SHEET NUMBER



**REAR ELEVATION: STACKED FLATS**  
 SCALE - 1/8" = 1'-0"  
9/8/2021



**FRONT ELEVATION: STACKED FLATS**  
 SCALE - 1/8" = 1'-0"  
9/8/2021

Drawing: P:\2022\22-629\Drawings\CD\Area Plans\Revised\SHAF201.dwg  
 Date: Aug 24, 2023, 5:10pm Layout: AF201 Plotted by: mton



**SIDE B ELEVATION: STACKED FLATS**

SCALE - 1/8" = 1'-0"

SIG#P202



**SIDE A ELEVATION: STACKED FLATS**

SCALE - 1/8" = 1'-0"

SIG#P202



TOP OF ROOF LOW  
 ELEV = 122'-2"

BOTTOM OF ROOF LOW  
 ELEV = 128'-0"

BOTTOM OF ROOF LOW  
 ELEV = 123'-10"

FINISH FLOOR  
 ELEV = 100'-0"

GRADE LEVEL  
 ELEV = 99'-0"

ASPHALT SHINGLES

FIBER CEMENT TRIM

SIDING

FIBER CEMENT TRIM

FACE BRICK

CAST STONE

**FRONT ELEVATION: STACKED FLATS**  
 SCALE - 1/8" = 1'-0"  
 S&B#204-25



TOP OF ROOF LOW  
 ELEV = 122'-2"

BOTTOM OF ROOF LOW  
 ELEV = 128'-0"

BOTTOM OF ROOF LOW  
 ELEV = 123'-10"

FINISH FLOOR  
 ELEV = 100'-0"

GRADE LEVEL  
 ELEV = 99'-0"

ASPHALT SHINGLES

FIBER CEMENT TRIM

SIDING

FIBER CEMENT TRIM

FACE BRICK

CAST STONE

**REAR ELEVATION: STACKED FLATS**  
 SCALE - 1/8" = 1'-0"  
 S&B#204-25

Drawing: P:\2022\262629\Drawings\CD\Arch\Area Plan-Review\SHAF\204-205.dwg  
 Date: Dec 21, 2023, 3:24pm Layout: AF204 Plotted by: wh

TOWNSHIP SUBMITTAL 12-21-2023  
 DATE ISSUED

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 Ann Arbor, MI 48104  
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GARNER PROPERTY MANAGEMENT

**BROOKWOOD**  
 DEVELOPMENT

Superior Township, MI

PROJECT

CONSULTANT

**STACKED FLATS**  
 EXTERIOR  
 ELEVATIONS

SHEET TITLE

**22-629**

PROJECT NUMBER

**AF-204**

SHEET NUMBER





- TOP OF ROOF LOW  
ELEV = 122'-2"
- BOTTOM OF ROOF LOW  
ELEV = 128'-0"
- BOTTOM OF ROOF LOW  
ELEV = 123'-10"
- FINISH FLOOR  
ELEV = 100'-0"
- GRADE LEVEL  
ELEV = 99'-0"

**SIDE A ELEVATION: STACKED FLATS**  
 SCALE - 1/8" = 1'-0"  
S&B-WF204-205



- TOP OF ROOF LOW  
ELEV = 122'-2"
- BOTTOM OF ROOF LOW  
ELEV = 128'-0"
- BOTTOM OF ROOF LOW  
ELEV = 123'-10"
- FINISH FLOOR  
ELEV = 100'-0"
- GRADE LEVEL  
ELEV = 99'-0"

**SIDE B ELEVATION: STACKED FLATS**  
 SCALE - 1/8" = 1'-0"  
S&B-WF204-205

TOWNSHIP SUBMITTAL 12-21-2023  
 DATE ISSUED  
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 CHECKED BY

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GARNER PROPERTY MANAGEMENT  
**BROOKWOOD**  
 DEVELOPMENT  
 Superior Township, MI  
 PROJECT

CONSULTANT

**STACKED FLATS**  
 EXTERIOR  
 ELEVATIONS  
 SHEET TITLE

**22-629**  
 PROJECT NUMBER

**AF-205**  
 SHEET NUMBER



**REAR ELEVATION: 4-UNIT**  
 SCALE - 1/8" = 1'-0"  
 S&S/ATZ01



**SIDE B ELEVATION: 4-UNIT**  
 SCALE - 1/8" = 1'-0"  
 S&S/ATZ01



**FRONT ELEVATION: 4-UNIT**  
 SCALE - 1/8" = 1'-0"  
 S&S/ATZ01



**SIDE A ELEVATION: 4-UNIT**  
 SCALE - 1/8" = 1'-0"  
 S&S/ATZ01

H G F E D C B A



**REAR ELEVATION: 2-UNIT A**  
 SCALE - 1/8" = 1'-0"  
 SASHL021



**FRONT ELEVATION: 2-UNIT A**  
 SCALE - 1/8" = 1'-0"  
 SASHL021



**FRONT ELEVATION: 4-UNIT**  
 SCALE - 1/8" = 1'-0"  
 SASHL021



**REAR ELEVATION: 4-UNIT**  
 SCALE - 1/8" = 1'-0"  
 SASHL021

Drawing: P:\2022\22-629\DWG\CD\Arch\Area Plan\_Rear\AU201.dwg  
 Date: Aug 28, 2023, 1:14am  
 Layer: AU201 Plotted by: mton

TOWNSHIP SUBMITTAL 04-23-2023  
 DATE ISSUED  
 DRAWN BY  
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GARNER PROPERTY MANAGEMENT  
**BROOKWOOD DEVELOPMENT**  
 Superior Township, MI  
 PROJECT

CONSULTANT

**ATTACHED UNIT COMPOSITE EXTERIOR ELEVATIONS**  
 SHEET TITLE

**22-629**  
 PROJECT NUMBER

**AU-201**  
 SHEET NUMBER

H G F E D C B A



**REAL ELEVATION: 2-UNIT B**  
 SCALE - 1/8" = 1'-0"  
SASHA1202



**FRONT ELEVATION: 2-UNIT B**  
 SCALE - 1/8" = 1'-0"  
SASHA1202



**SIDE A ELEVATION UNIT A**  
 SCALE - 1/8" = 1'-0"  
SASHA1202



**SIDE A ELEVATION UNIT B**  
 SCALE - 1/8" = 1'-0"  
SASHA1202



**SIDE B ELEVATION UNIT B**  
 SCALE - 1/8" = 1'-0"  
SASHA1202

Drawing: P:\2022\22-629\Drawings\CD\ArchArea Plan Render\SAHA1202.dwg  
 Date: Aug 24, 2023, 6:38pm Layout: AU202 Plotted by: mlon

TOWNSHIP SUBMITTAL 04-24-2023  
 DATE ISSUED  
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GARNER PROPERTY MANAGEMENT  
**BROOKWOOD DEVELOPMENT**  
 Superior Township, MI

PROJECT

CONSULTANT

ATTACHED UNIT  
 COMPOSITE  
 EXTERIOR  
 ELEVATIONS

SHEET TITLE

22-629  
 PROJECT NUMBER

AU-202  
 SHEET NUMBER