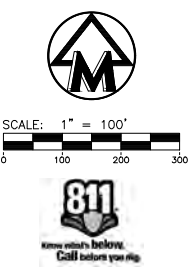
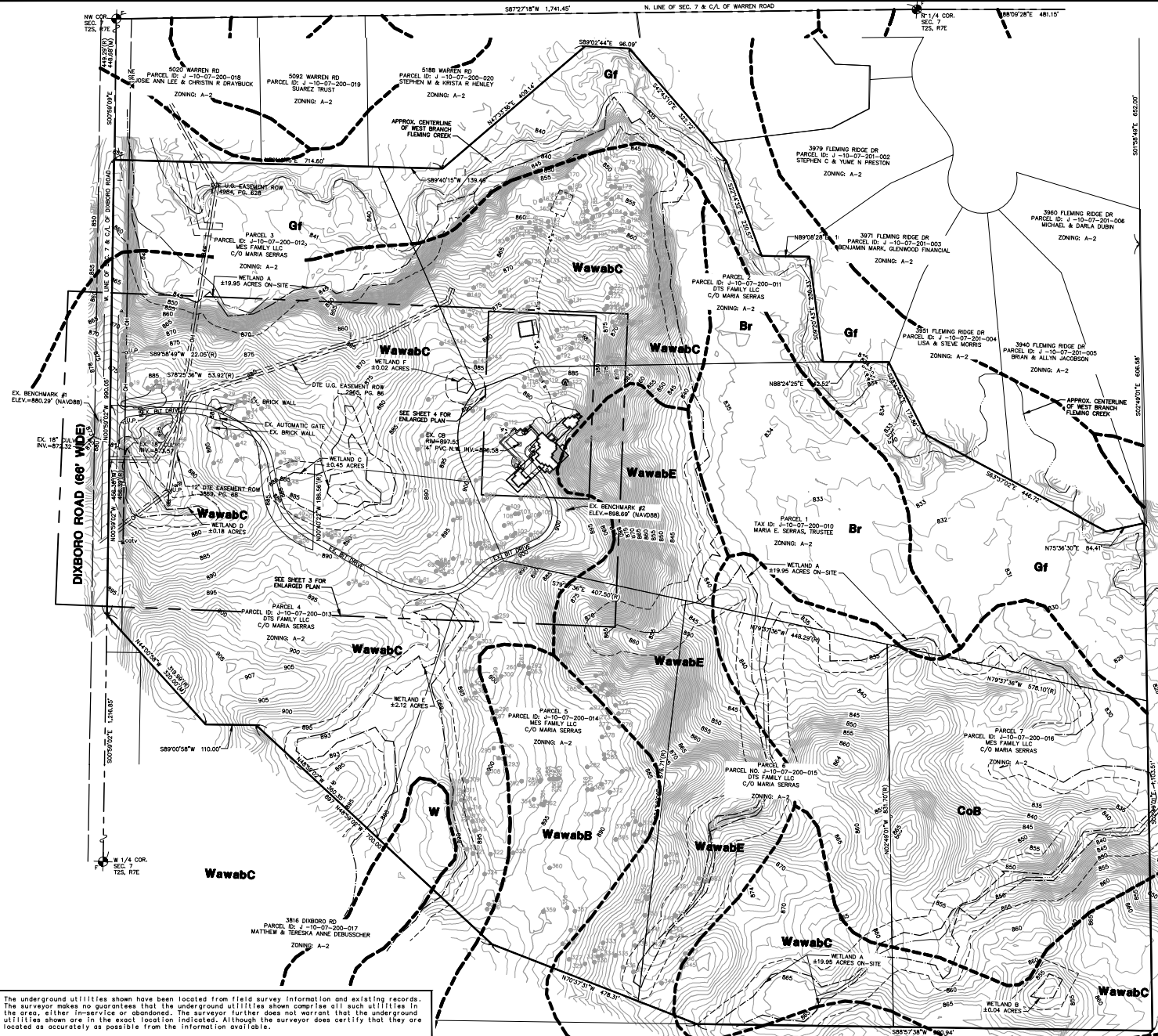


MW 2301 (SUBV) 22265 (REV) 11/20/2023 10:59 AM, Cheryl A. Fitzmaurice, 2 ORIGINAL EXISTING CONDITIONS PLAN, MCLC REF #3
 22265 (SUBV) 22265 (REV) 11/20/2023 10:59 AM, Cheryl A. Fitzmaurice, 2 ORIGINAL EXISTING CONDITIONS PLAN, MCLC REF #3
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- NOTES**
1. THE BASE SURVEY WAS PREPARED BY MIDWESTERN CONSULTING IN NOVEMBER 2022. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.
 2. EXISTING WETLANDS HAVE BEEN DEPICTED BASED ON WETLAND DELINEATIONS BY MARX WETLANDS LLC ON JUNE 8-9 2023.
 3. THIS SITE IS LOCATED IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X) PER FEMA FLOOD INSURANCE RATE MAP PANELS 261610226B AND 261610226B DATED APRIL 3, 2012.
 4. PER THE WASHTENAW COUNTY DRAIN INFORMATION AVAILABLE ON MAP WASHTENAW, THIS SITE DOES NOT APPEAR TO CONTAIN A DESIGNATED COUNTY DRAIN. FLEMING CREEK IS LOCATED ALONG THE NORTHERN AND EASTERN PROPERTY LINES OF THE SITE.

BENCHMARKS

BENCHMARK #1: SET MAG NAIL IN EAST SIDE OF 10" OAK LOCATED 45' WEST OF DIXBORO DIRECTLY ACROSS FROM ENTRANCE.
 ELEVATION: 880.29' (NAVD88)

BENCHMARK #2: SET NAIL IN NORTHWEST SIDE OF 8" WALNUT, LOCATED ON EAST SIDE OF DRIVEWAY.
 ELEVATION: 898.69' (NAVD88)

- LEGEND**
- 83.8 EXIST. CONTOUR
 - 836.2 EXIST. SPOT ELEVATION
 - EXIST. UTILITY POLE
 - GUY WIRE
 - EXIST. OVERHEAD UTILITY LINE
 - EXIST. STORM SEWER
 - EXIST. CATCH BASIN OR INLET
 - EXIST. SANITARY SEWER
 - EXIST. CLEANOUT
 - EXIST. CABLE TELEVISION RISER
 - SINGLE TREE
 - EXIST. SOIL TYPE LIMITS
 - EXIST. SOIL TYPE
 - CREEK CENTERLINE
 - EXIST. WETLAND LIMITS
 - EXIST. WETLAND BUFFER

GENERAL SOILS DESCRIPTION
 BASED ON SOIL SURVEY OF WASHTENAW COUNTY MICHIGAN

- Br - BROOKSTON LOAM
- CoB - CONOVER-BROOKSTON LOAM, 0 TO 4 PERCENT SLOPES
- CoA - CONOVER-BROOKSTON LOAMS, 0 TO 2 PERCENT SLOPES
- Gf - GILFORD SANDY LOAM
- W - WATER
- WawabB - WAWASSEE LOAM, 2 TO 6 PERCENT SLOPES
- WawabC - WAWASSEE LOAM, 6 TO 12 PERCENT SLOPES
- WawabE - WAWASSEE LOAM, 18 TO 25 PERCENT SLOPES

CURVE DATA

CURVE	ARC	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	170.80°	150.00'	65°15'47"	S08°09'09"W	161.77'
C2	178.07°	150.00'	68°01'07"	N42°21'18"W	167.80'
C3	86.43°	100.00'	55°15'01"	N35°49'14"W	92.74'
C4	133.09°	200.00'	38°07'44"	N82°30'33"W	130.65'
C5(A)	40.37°	200.00'	11°33'39"	N89°14'28"W	40.31'
C5(B)	41.87°	200.00'	11°33'39"	N89°14'28"W	41.80'
C6	29.52°	100.00'	16°54'45"	N54°17'30"E	29.41'
C7(A)	44.77°	150.00'	17°03'14"	N54°22'25"E	44.61'
C7(B)	45.44°	150.00'	17°03'14"	N54°20'48"E	45.27'

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

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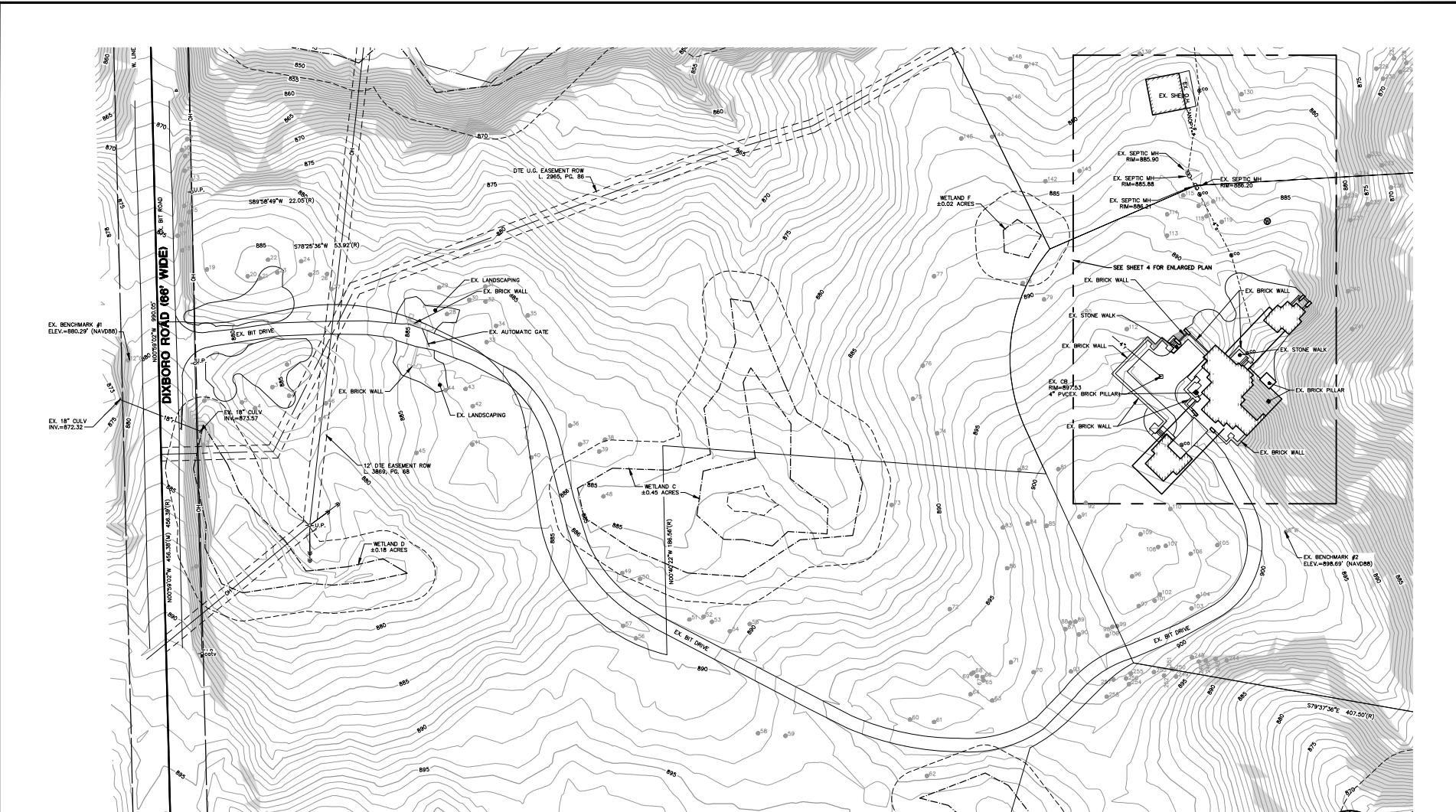
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 ANN ARBOR, MI 48104
 SCOTT HUBERT
 (734) 709-7684

GARRETT'S SPACE
 OVERALL EXISTING CONDITIONS PLAN

2

DATE: 11/20/2023	SCALE: 1" = 100'
DRAWN: C.A.F.	PROJECT: 22265
CHECKED: B.H.	DATE: 11/20/23
IN CHARGE: C.A.F.	PROJECT: 22265
DATE: 11/20/2023	SCALE: 1" = 100'
DRAWN: C.A.F.	PROJECT: 22265
CHECKED: B.H.	DATE: 11/20/23
IN CHARGE: C.A.F.	PROJECT: 22265
DATE: 11/20/2023	SCALE: 1" = 100'
DRAWN: C.A.F.	PROJECT: 22265
CHECKED: B.H.	DATE: 11/20/23
IN CHARGE: C.A.F.	PROJECT: 22265

11/20/2023 10:50 AM Cheryl A. Eberwein, 3 Licensed Existing Conditions Plan, MLLC Per #43
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GENERAL SOILS DESCRIPTION
 BASED ON SOIL SURVEY OF WASHTENAW COUNTY MICHIGAN

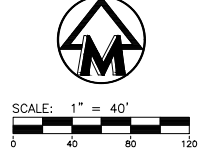
Br - BROOKSTON LOAM
 CoB - CONOVER LOAM, 0 TO 4 PERCENT SLOPES
 CoA - CONOVER-BROOKSTON LOAMS, 0 TO 2 PERCENT SLOPES
 Gf - GILFORD SANDY LOAM
 W - WATER
 Ww4aB - WAWASEE LOAM, 2 TO 6 PERCENT SLOPES
 Ww4aC - WAWASEE LOAM, 6 TO 12 PERCENT SLOPES
 Ww4aE - WAWASEE LOAM, 18 TO 25 PERCENT SLOPES

BENCHMARKS

BENCHMARK #1: SET WAG NAIL IN EAST SIDE OF 10' OAK LOCATED 55' WEST OF DIXBORO DIRECTLY ACROSS FROM ENTRANCE.
 ELEVATION: 880.29' (NAVD88)

BENCHMARK #2: SET NAIL IN NORTHWEST SIDE OF 8' WALNUT, LOCATED ON EAST SIDE OF DRIVEWAY.
 ELEVATION: 898.69' (NAVD88)

- LEGEND**
- 838 - EXIST. CONTOUR
 - x836.2 - EXIST. SPOT ELEVATION
 - U.P. - EXIST. UTILITY POLE
 - OH - GUY WIRE
 - OH - EXIST. OVERHEAD UTILITY LINE
 - r - EXIST. STORM SEWER
 - - EXIST. CATCH BASIN OR INLET CULVERT
 - s - EXIST. SANITARY SEWER
 - - EXIST. CLEANOUT
 - ▲ - SIGN
 - ▲ - CABLE TELEVISION RISER
 - ⊙ - WELL
 - ⊙ - SINGLE TREE
 - ▲ - CONTROL PT.
 - - EXIST. SOIL TYPE LIMITS
 - - EXIST. SOIL TYPE
 - - CREEK CENTERLINE
 - - EXIST. WETLAND LIMITS
 - - EXIST. WETLAND BUFFER



The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

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 SCOTT HULLBERG
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GARRETT'S SPACE
 ENLARGED EXISTING CONDITIONS PLAN

3

DATE: 11/20/2023
 SHEET NO. OF 35
 PROJECT NO. 22265
 SCALE: 1" = 40'
 DRAWN BY: CH
 CHECKED BY: CH
 DATE: 11/20/23
 22265-031-1

JOB No. 22265
 REVISIONS:

LEGAL DESCRIPTION

(PER AMERICAN TITLE COMPANY OF WASHTENAW, COMMITMENT NO. 115015, COMMITMENT DATE: 06/22/2022)

PARCEL I:
Commencing at the North 1/4 corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence North 89°09'28" East 481.15 feet along the centerline of Warren Road; thence South 0°59'02" East 652.00 feet; thence South 02°49'01" East 606.58 feet to the POINT OF BEGINNING; thence South 75°26'30" West 84.81 feet; thence North 63°37'02" West 446.72 feet; thence North 28°47'56" West 175.26 feet; thence South 14°25'25" East 142.74 feet; thence South 87°08'25" West 622.90 feet; thence South 66°26'16" West 141.74 feet; thence 170.86 feet along the arc of a curve to the left with a radius of 150.00 feet and a chord which bears South 08°09'08" West 161.77 feet; thence South 24°19'30" East 228.93 feet; thence South 79°37'36" East 1,432.71 feet; thence North 02°49'01" West 386.11 feet to the POINT OF BEGINNING.

Parcel I is together with and subject to a non-exclusive easement for ingress, egress and public utility purposes described as follows:
Commencing at the Northwest corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South 00°59'02" East 949.34 feet to the POINT OF BEGINNING; thence North 89°58'49" East 24.59 feet; thence 33.71 feet along the arc of a curve to the left with a radius of 167.00 feet and a chord which bears South 88°35'24" East 33.65 feet; thence North 78°25'36" East 51.94 feet; thence 155.05 feet along the arc of a curve to the right with a radius of 233.00 feet and a chord which bears South 82°30'33" East 152.21 feet; thence South 63°26'43" East 30.72 feet; thence 128.25 feet along the arc of a curve to the right with a radius of 133.00 feet and a chord which bears South 55°49'14" East 123.34 feet; thence South 08°11'46" East 80.56 feet; thence 143.82 feet along the arc of a curve to the left with a radius of 117.00 feet and a chord which bears North 43°24'55" East 134.93 feet; thence South 73°24'25" East 36.19 feet; thence 65.32 feet along the arc of a curve to the right with a radius of 183.00 feet and a chord which bears South 68°25'53" East 64.97 feet; thence South 58°10'21" East 95.89 feet; thence 155.18 feet along the arc of a curve to the left with a radius of 117.00 feet and a chord which bears North 83°49'53" East 144.05 feet; thence North 45°00'07" East 45.53 feet; thence 40.95 feet along the arc of a curve to the right with a radius of 133.00 feet and a chord which bears North 54°59'14" East 40.78 feet; thence South 24°19'30" East 33.03 feet; thence South 79°37'36" East 70.33 feet; thence 36.88 feet along the arc of a curve to the right with a radius of 121.00 feet and a chord which bears North 73°43'00" West 36.74 feet; thence 39.71 feet along the arc of a curve to the left with a radius of 67.00 feet and a chord which bears South 62°46'52" West 39.13 feet; thence South 45°00'07" West 45.53 feet; thence 242.72 feet along the arc of a curve to the right with a radius of 183.00 feet and a chord which bears South 83°49'53" West 225.31 feet; thence North 58°10'21" West 95.89 feet; thence 41.76 feet along the arc of a curve to the left with a radius of 117.00 feet and a chord which bears North 68°25'53" West 41.54 feet; thence North 78°37'25" West 38.59 feet; thence 224.94 feet along the arc of a curve to the right with a radius of 183.00 feet and a chord which bears North 43°24'55" West 211.05 feet; thence North 08°11'46" West 80.56 feet; thence 64.61 feet along the arc of a curve to the left with a radius of 67.00 feet and a chord which bears North 35°49'14" West 62.13 feet; thence North 63°26'43" West 30.72 feet; thence 111.13 feet along the arc of a curve to the left with a radius of 167.00 feet and a chord which bears North 82°30'33" West 109.09 feet; thence South 78°25'36" West 55.75 feet; thence 47.02 feet along the arc of a curve to the right with a radius of 233.00 feet and a chord which bears North 89°14'48" West 46.94 feet; thence South 89°58'49" West 19.67 feet; thence North 00°59'02" West 66.00 feet to the POINT OF BEGINNING.

PARCEL II:
Commencing at the Northwest corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South 00°59'02" East 449.29 feet; thence North 89°40'15" East 575.11 feet to the POINT OF BEGINNING; thence South 25°32'08" East 530.06 feet; thence North 89°58'49" East 141.74 feet; thence North 87°08'25" East 622.90 feet; thence North 09°20'43" West 230.33 feet; thence South 89°08'28" West 103.71 feet; thence North 22°14'32" West 220.57 feet; thence North 42°43'07" West 322.72 feet; thence North 89°02'44" West 96.09 feet; thence South 47°33'36" West 409.14 feet; thence South 89°40'15" West 130.49 feet to the POINT OF BEGINNING.

PARCEL III:
Commencing at the Northwest corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South 00°59'02" East 449.29 feet to the POINT OF BEGINNING; thence North 89°40'15" East 575.11 feet; thence South 25°32'08" East 530.06 feet; thence North 89°58'49" East 141.74 feet; thence North 87°08'25" East 622.90 feet; thence North 09°20'43" West 230.33 feet; thence South 89°08'28" West 103.71 feet; thence North 22°14'32" West 220.57 feet; thence North 42°43'07" West 322.72 feet; thence North 89°02'44" West 96.09 feet; thence South 47°33'36" West 409.14 feet; thence South 89°40'15" West 130.49 feet to the POINT OF BEGINNING.

PARCEL IV:
Commencing at the Northwest corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South 00°59'02" East 982.34 feet to the POINT OF BEGINNING; thence North 89°58'49" East 24.59 feet; thence 41.87 feet along the arc of a curve to the left with a radius of 200.00 feet and a chord which bears South 89°14'28" East 41.80 feet; thence North 78°25'36" East 53.92 feet; thence 133.09 feet along the arc of a curve to the right with a radius of 200.00 feet and a chord which bears South 08°09'08" West 161.77 feet; thence South 24°19'30" East 43.64 feet; thence North 85°20'39" West 342.12 feet; thence South 00°40'22" East 186.56 feet; thence 178.07 feet along the arc of a curve to the right with a radius of 150.00 feet and a chord which bears North 42°12'18" West 167.80 feet; thence North 08°11'46" West 80.56 feet; thence 96.43 feet along the arc of a curve to the left with a radius of 100.00 feet and a chord which bears North 35°49'14" West 92.74 feet; thence North 63°26'43" West 30.72 feet; thence 133.09 feet along the arc of a curve to the left with a radius of 200.00 feet and a chord which bears North 82°30'33" West 130.65 feet; thence South 78°25'36" West 53.92 feet; thence 41.87 feet along the arc of a curve to the right with a radius of 200.00 feet and a chord which bears North 89°14'28" West 41.80 feet; thence South 89°58'49" West 22.05 feet; thence North 00°59'02" West 533.66 feet to the POINT OF BEGINNING.

PARCEL V:
Commencing at the Northwest corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South 00°59'02" East 982.34 feet to the POINT OF BEGINNING; thence North 89°58'49" East 24.59 feet; thence 41.87 feet along the arc of a curve to the left with a radius of 200.00 feet and a chord which bears South 89°14'28" East 41.80 feet; thence North 78°25'36" East 53.92 feet; thence 133.09 feet along the arc of a curve to the right with a radius of 200.00 feet and a chord which bears South 08°09'08" West 161.77 feet; thence South 24°19'30" East 43.64 feet; thence North 85°20'39" West 342.12 feet; thence South 00°40'22" East 186.56 feet; thence 178.07 feet along the arc of a curve to the right with a radius of 150.00 feet and a chord which bears North 42°12'18" West 167.80 feet; thence North 08°11'46" West 80.56 feet; thence 96.43 feet along the arc of a curve to the left with a radius of 100.00 feet and a chord which bears North 35°49'14" West 92.74 feet; thence North 63°26'43" West 30.72 feet; thence 133.09 feet along the arc of a curve to the left with a radius of 200.00 feet and a chord which bears North 82°30'33" West 130.65 feet; thence South 78°25'36" West 53.92 feet; thence 41.87 feet along the arc of a curve to the right with a radius of 200.00 feet and a chord which bears North 89°14'28" West 41.80 feet; thence South 89°58'49" West 22.05 feet; thence North 00°59'02" West 533.66 feet to the POINT OF BEGINNING.

PARCEL VI:
Commencing at the Northwest corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence South 00°59'02" East 1,438.73 feet to the POINT OF BEGINNING; thence South 44°00'59" East 319.89 feet; thence North 89°00'58" East 110.00 feet; thence South 48°59'02" East 360.35 feet to the POINT OF BEGINNING; thence North 16°42'39" East 559.67 feet; thence 45.44 feet along the arc of a curve to the left with a radius of 150.00 feet and a chord which bears North 54°30'48" East 45.27 feet; thence North 45°50'07" East 45.53 feet; thence 29.52 feet along the arc of a curve to the right with a radius 100.00 feet and a chord which bears North 54°17'00" East 29.41 feet; thence South 79°37'36" East 407.50 feet; thence South 04°56'00" West 876.71 feet; thence North 70°37'31" West 341.00 feet; thence North 48°59'02" West 339.65 feet to the POINT OF BEGINNING.

PARCEL VII:
Commencing at the North 1/4 corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence North 88°09'28" East 481.15 feet along the centerline of Warren Road; thence South 01°58'49" East 652.00 feet; thence South 02°49'01" East 1,710.09 feet; thence South 88°57'38" West 563.16 feet to the POINT OF BEGINNING; thence North 02°49'01" West 831.70 feet; thence North 79°37'36" West 448.29 feet; thence South 04°56'00" West 876.71 feet; thence South 70°37'31" West 137.31 feet; thence North 88°57'38" East 427.76 feet to the POINT OF BEGINNING.

PARCEL VIII:
Commencing at the North 1/4 corner of Section 7, Town 2 South, Range 7 East, Superior Township, Washtenaw County, Michigan; thence North 88°09'28" East 481.15 feet along the centerline of Warren Road; thence South 01°58'49" East 652.00 feet; thence South 02°49'01" East 992.69 feet to the POINT OF BEGINNING; thence North 79°37'36" West 578.10 feet; thence South 02°49'01" East 831.70 feet; thence North 88°57'38" East 563.16 feet; thence North 02°49'01" West 717.40 feet to the POINT OF BEGINNING.

PARCEL VII described for tax purposes as:
Commencing at the Northwest corner of Section 7; thence South 00°59'02" East 1,438.73 feet; thence South 44°00'59" East 319.89 feet; thence North 89°00'58" East 110.00 feet; thence South 48°59'02" East 700.00 feet; thence South 70°37'31" East 478.31 feet; thence North 88°57'38" East 427.76 feet to the POINT OF BEGINNING; thence continuing North 88°57'38" East 563.16 feet; thence North 02°49'01" West 717.40 feet; thence North 79°37'36" West 578.10 feet; thence South 02°49'01" East 831.70 feet to the POINT OF BEGINNING. Part of the Northwest 1/4 of Section 7, Town 2 South, Range 7 East.

OVERALL LEGAL DESCRIPTION

Commencing at the N.W. corner of fractional Section 7, T2S, R7E, Superior Township, Washtenaw County, Michigan, thence S 00° 59' 02" E 448.69 feet along the west line of said Section 7 and the center line of Dixboro Road to the POINT OF BEGINNING;

thence N 89° 40' 15" E 714.60 feet, thence N 47° 33' 36" E 409.14 feet, thence S 89° 02' 44" E 96.09 feet, thence S 42° 43' 07" E 322.72 feet, thence S 22° 14' 32" E 220.57 feet, thence N 89° 08' 28" E 103.71 feet, thence S 9° 20' 43" E 230.33 feet, thence N 88° 24' 25" E 142.52 feet, thence S 28° 47' 56" E 175.68 feet, thence S 63° 37' 02" E 446.72 feet, thence N 75° 36' 30" E 84.41 feet, thence S 2° 49' 01" E 1103.51 feet, thence along the northerly right of way line of M-14 expressway in the following five (5) courses:

S 88° 57' 38" W 990.94 feet, N 70° 37' 31" W 478.31 feet, N 48° 59' 02" W 700.00 feet, S 89° 00' 58" W 110.00 feet, N 44° 00' 58" W 320.00 feet, thence N 00° 59' 02" W 990.05 feet along the west line of said Section 7 and the center line of Dixboro Road to the POINT OF BEGINNING, being a part of the N 1/2 if said Section 7, T2S, R7E, Superior Township, Washtenaw County, Michigan, containing 76.97 acre of land more or less, subject to the rights of the public over the west 33.00 feet thereof as occupied by Dixboro Road, subject to easements or restrictions of record, if any.

M:\3171\Survey\22265\115015\115015.dwg, 11/20/2023 10:09 AM, Cheryl A. Heinicke, a L.L.C., 22265 Midwestern Consulting L.L.C., All rights reserved. No part of this drawing may be used or reproduced in any form or by any means, or stored in a database or retrieval system, without prior permission of Midwestern Consulting L.L.C.

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Professional Surveyors
Professional Engineers
Professional Land Surveyors

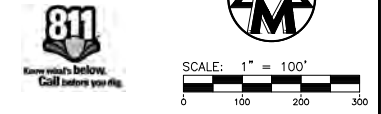
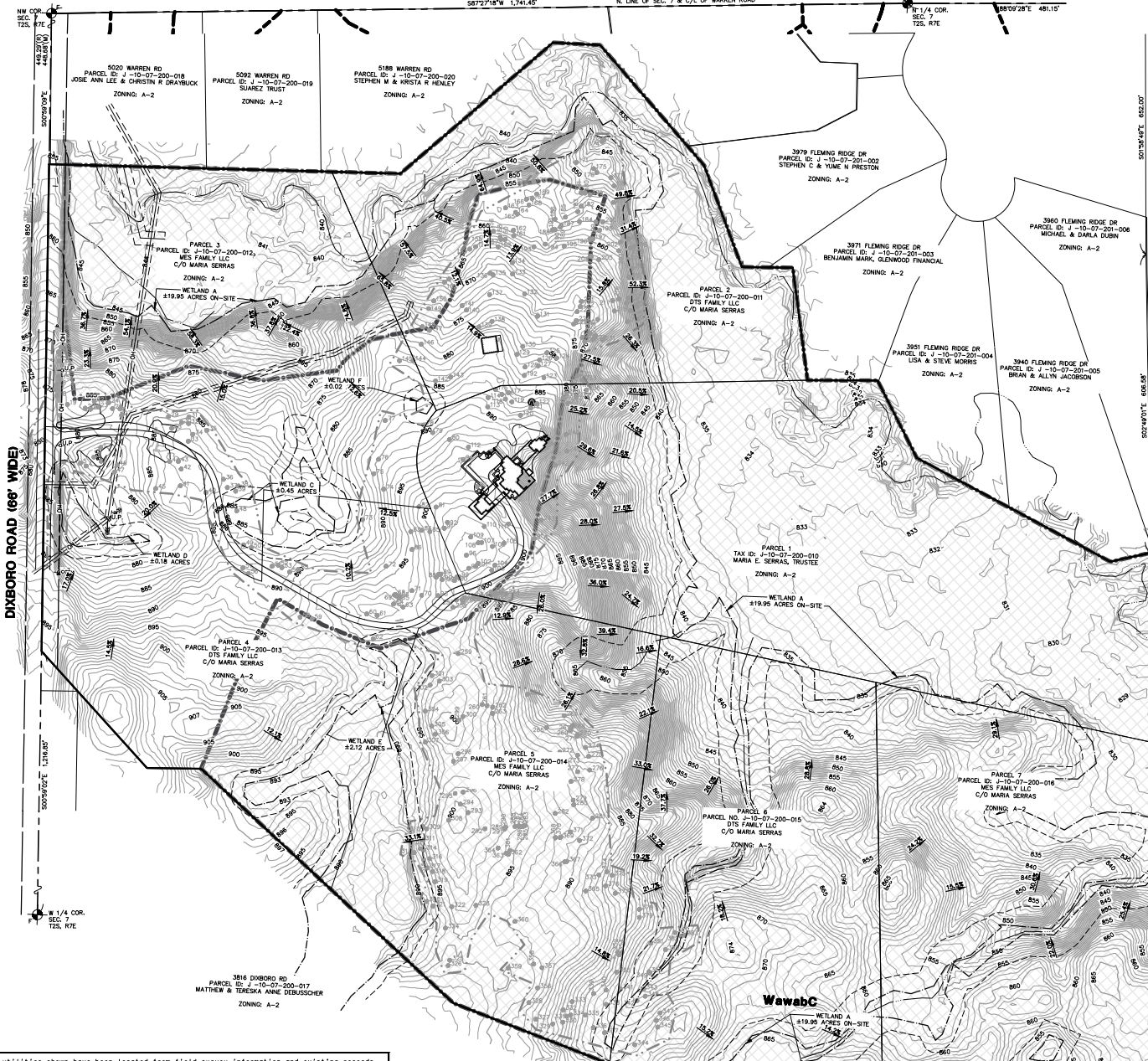


CLIENT
GARRETT'S SPACE
1400 GRANBER AVENUE
ANN ARBOR MI 48104
SCOTT HANFORD
(734) 709-7684

GARRETT'S SPACE
LEGAL DESCRIPTIONS

5

JOB NO.	22265
ENCLOSURES	
DATE	11/20/2023
SHEET NO.	OF 35
DATE PLOTTED	
SCALE	AS SHOWN
DATE	
BY	
DATE	
BY	
DATE	
BY	



NATURAL FEATURES SUMMARY

- SECTION 14.12, NATURAL FEATURES PROTECTION**
- A. WETLANDS AND WETLANDS**
- The project area is located along the southern and eastern property lines of the site. No impacts to wetlands are anticipated as part of the proposed site improvements.
 - All wetland determinations completed by MWH will include a field visit to the site to verify the wetland location and boundaries. The wetland location and boundaries will be indicated on the site plan by a shaded area. The wetland boundaries will be indicated on the site plan by a shaded area. The wetland boundaries will be indicated on the site plan by a shaded area.
 - The wetland area is primarily a 4-foot deep waterway located along the eastern boundary of the site. The wetland area is primarily a 4-foot deep waterway located along the eastern boundary of the site.
 - The wetland area is primarily a 4-foot deep waterway located along the eastern boundary of the site. The wetland area is primarily a 4-foot deep waterway located along the eastern boundary of the site.
- B. SLOPES**
- Based on the soil survey of Warren County, the general soil types in this area are predominantly silt loam, clay loam, and silt loam. The soil types are predominantly silt loam, clay loam, and silt loam. The soil types are predominantly silt loam, clay loam, and silt loam.
 - The area of steep slopes (15% or greater) is located within the project area. The area of steep slopes (15% or greater) is located within the project area. The area of steep slopes (15% or greater) is located within the project area.
- C. FLOODPLAIN**
- The site is located in an area of minimal flood hazard (Zone I). The site is located in an area of minimal flood hazard (Zone I). The site is located in an area of minimal flood hazard (Zone I).
 - The site is located in an area of minimal flood hazard (Zone I). The site is located in an area of minimal flood hazard (Zone I). The site is located in an area of minimal flood hazard (Zone I).
- D. WETLANDS AND TREE PROTECTION**
- The existing site contains wetlands. The existing site contains wetlands. The existing site contains wetlands.
 - A tree survey was completed by Midwestern Consulting, LLC on 10/26/2023 to locate and identify all existing trees on the site. The tree survey was limited to the area of the site that will be impacted by the proposed site improvements. The tree survey was limited to the area of the site that will be impacted by the proposed site improvements.
- LEGEND**
- EXIST. CONTOUR
 - SINGLE TREE
 - PROP. CONSERVATION EASEMENT
 - EXISTING SLOPES
 - EXISTING SLOPES OVER 25%
 - TREE SURVEY LIMITS
 - CREEK CENTERLINE
 - EXIST. WETLAND LIMITS
 - EXIST. WETLAND BUFFER

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that the underground utilities shown are in the exact location indicated.

MWH PROJECT NO. 22265-MW-11-20-2023 10:01 AM, Cheryl A. Finnerman, Wetland Features Plan, 1/16/2023, 11/20/2023, 11/20/2023 10:01 AM, Cheryl A. Finnerman, Wetland Features Plan, 1/16/2023, 11/20/2023, 11/20/2023 10:01 AM. All rights reserved. No part of this drawing may be used or reproduced in any form or by any means, or stored in a database or retrieval system, without prior permission of Midwestern Consulting LLC.

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GARRETT'S SPACE
NATURAL FEATURES PLAN

6

JOB NO. 22265
DATE: 11/20/2023
SHEET NO. 35
SCALE: AS SHOWN

M:\2023\22265\112072023\112072023.dwg, 11/20/2023 10:59 AM, Cheryl A. Ettemer, © ORIGINAL RECORDS FROM MCLC PER #30
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The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.



SCALE: 1" = 100'
 0 100 200 300



- LEGEND**
- - - - - EXIST. CONTOUR
 - +336.2 EXIST. SPOT ELEVATION
 - O - U.P. EXIST. UTILITY POLE
 - - - - - GUY WIRE
 - - - - - EXIST. OVERHEAD UTILITY LINE
 - - - - - EXIST. STORM SEWER
 - - - - - EXIST. CATCH BASIN OR INLET CULVERT
 - - - - - EXIST. SANITARY SEWER
 - - - - - EXIST. CLEANOUT
 - - - - - CABLE TELEVISION RISER
 - - - - - SINGLE TREE
 - WELL
 - ▣ STRUCTURE TO BE REMOVED
 - ▨ BITUMINOUS TO BE REMOVED
 - LANDSCAPE TO BE REMOVED
 - ▨ WETLAND TO BE REMOVED
 - ▨ UTILITY TO BE REMOVED
 - SITE FEATURE TO BE REMOVED
 - X TREE TO BE REMOVED
 - ◻ ITEM TO BE REMOVED

- NOTES**
- ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLISHING OR RELOCATING ANY SITE FEATURES ACCORDING TO PLAN OR AS APPROPRIATE TO FACILITATE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
 - ANY ITEM NOT INDICATED FOR REMOVAL SHALL REMAIN AND BE PROTECTED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION. ANY SUCH ITEM THAT IS REMOVED AND/OR DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE REQUIRED STANDARD AT THE CONTRACTOR'S EXPENSE.
 - ALL CONCRETE AND ASPHALT PAVEMENT TO BE REMOVED SHALL BE SAW CUT TO THE FULL DEPTH OF PAVEMENT. THE CONTRACTOR SHALL TAKE CARE TO MAINTAIN A CLEAN EDGE OF PAVEMENT.
 - PRIOR TO REMOVING, RELOCATING, OR PERFORMING ANY WORK ON A UTILITY, THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY OWNER.
 - REMOVAL OF EXISTING LANDSCAPING SHALL INCLUDE STUMPS.
 - ALL DEMOLISHED MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN LEGALLY DESIGNATED DISPOSAL AREA.
 - ALL WORK SHALL COMPLY WITH CURRENT SUPERIOR TOWNSHIP STANDARDS.

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 SCOTT HUMBERG

JOB NO. 22265

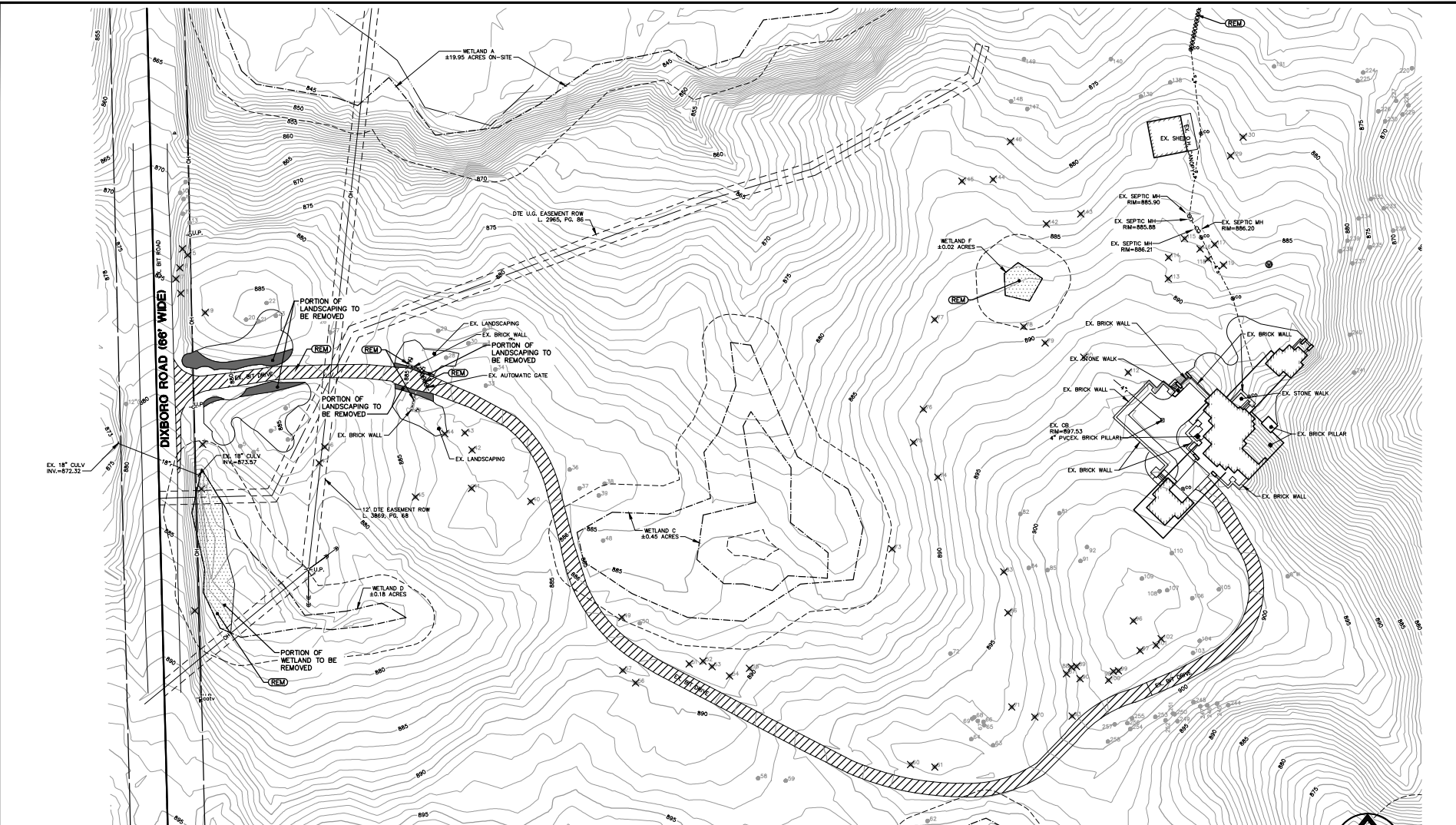
DATE: 11/20/2023
 SHEET 28 OF 35
 DESIGNED BY: CHL
 CHECKED BY: CHL
 DATE PLOTTED: 11/20/2023 10:59 AM

GARRETT'S SPACE

OVERALL REMOVALS PLAN








7


M:\2023\22265\11/20/2023\11/20/2023.dwg, 11/20/2023 10:51 AM, Cheryl A. Eberwein, 8 scanned removals plan, 1x11.00, 1x11.00
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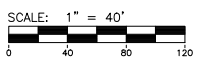

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

LEGEND

- | | | | |
|----------|------------------------------|---|----------------------------|
| — 8.36 — | EXIST. CONTOUR |  | STRUCTURE TO BE REMOVED |
| + 8.36.2 | EXIST. SPOT ELEVATION |  | BITUMINOUS TO BE REMOVED |
| -> U.P. | EXIST. UTILITY POLE |  | LANDSCAPE TO BE REMOVED |
| — OH — | EXIST. OVERHEAD UTILITY LINE |  | WETLAND TO BE REMOVED |
| — r — | EXIST. STORM SEWER |  | UTILITY TO BE ABANDONED |
| — O — | EXIST. CATCH BASIN OR INLET |  | SITE FEATURE TO BE REMOVED |
| — s — | EXIST. SANITARY SEWER |  | TREE TO BE REMOVED |
| ● | EXIST. CLEANOUT | X | ITEM TO BE REMOVED |
| + | SIGN | (REM) | |
| ● | CABLE TELEVISION RISER | | |
| ⊙ | WELL | | |
| ⊙ | SINGLE TREE | | |
| ⊙ | CONTROL PT. | | |



SCALE: 1" = 40'

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JOB NO. 22265

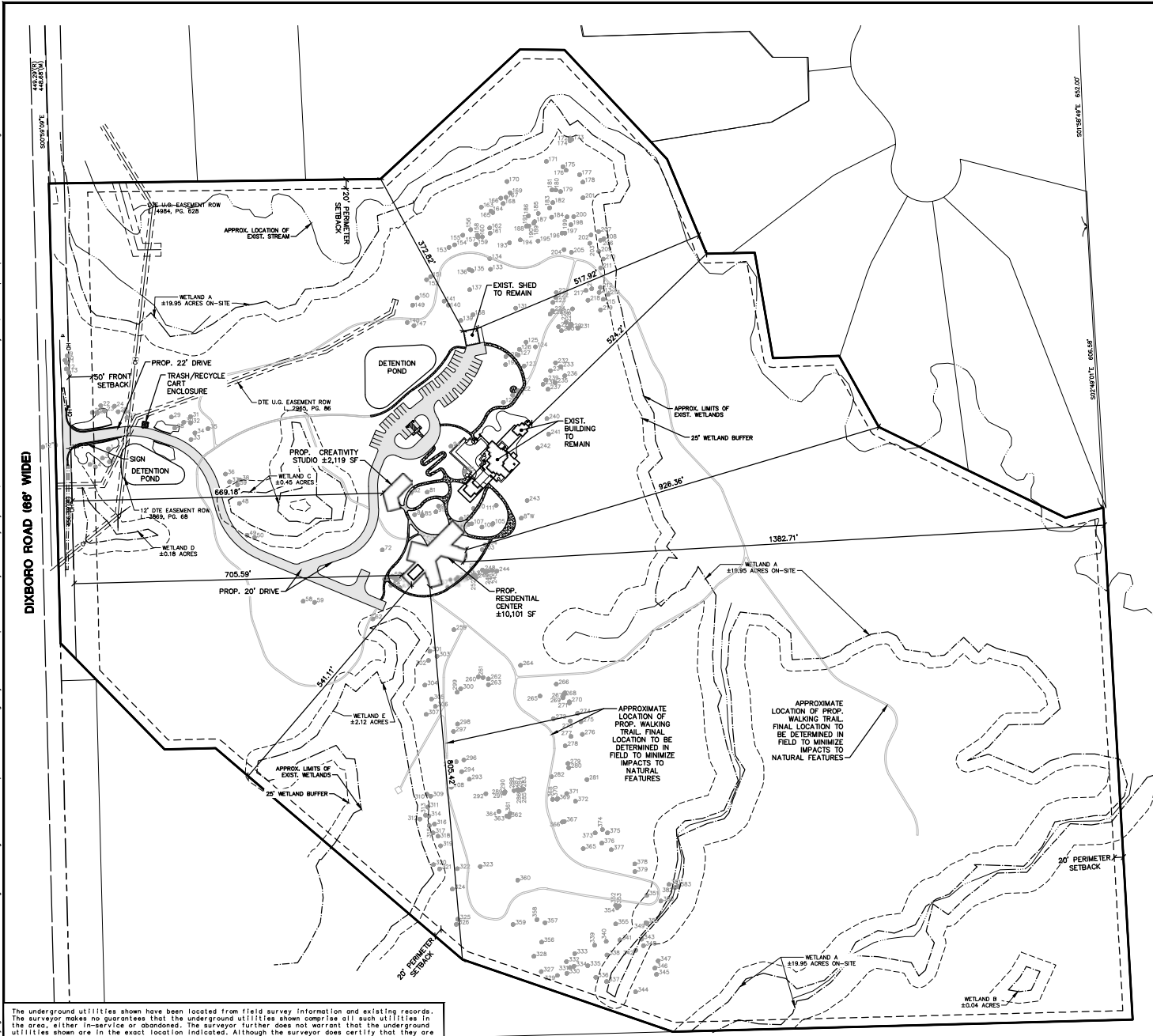
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SCALE: 1" = 40'

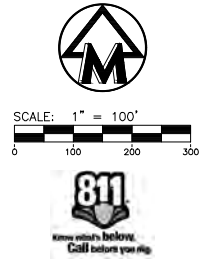
REVISIONS:

811

M:\Projects\22265\22265.dwg (11/20/2023 10:51 AM, Cheryl A. Eberwein, 2 DIMENSIONAL LAYOUT PLAN, MCLC, PLOT #2) © 2023, Midwestern Consulting LLC. All rights reserved. No part of this drawing may be used or reproduced in any form or by any means, or stored in a database or retrieval system, without prior permission of Midwestern Consulting LLC.



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- NOTES**
1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH CURRENT STANDARDS, SPECIFICATIONS, AND GENERAL CONDITIONS OF THE AUTHORITY HAVING JURISDICTION.
 2. REFER TO THE ARCHITECTURAL PLANS FOR DETAILS REGARDING THE SCOPE OF WORK FOR THE BUILDING ELEVATIONS, INTERIORS, AND APPURTENANCES.
 3. ALL DIMENSIONS ARE MEASURED TO THE PAINT LINE OR FACE OF CURB UNLESS OTHERWISE NOTED.
 4. THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR ENGINEER PRIOR TO COMMENCING WORK SHOULD THERE BE ANY FIELD CONFLICTS WITH THE DESIGN INTENT.

- LEGEND**
- NUMBER OF STANDARD PARKING SPACES IN ROW
 - ⊙ NUMBER OF BARRIER FREE PARKING SPACES IN ROW
 - BF BARRIER FREE PARKING SIGN
 - PROP. CURB & GUTTER
 - ▒ PROP. BITUMINOUS PAVEMENT
 - ▒ PROP. CONCRETE PAVEMENT
 - ⊙ SIGN
 - ⊙ PROP. SINGLE LIGHT
 - PROP. WALKING TRAIL

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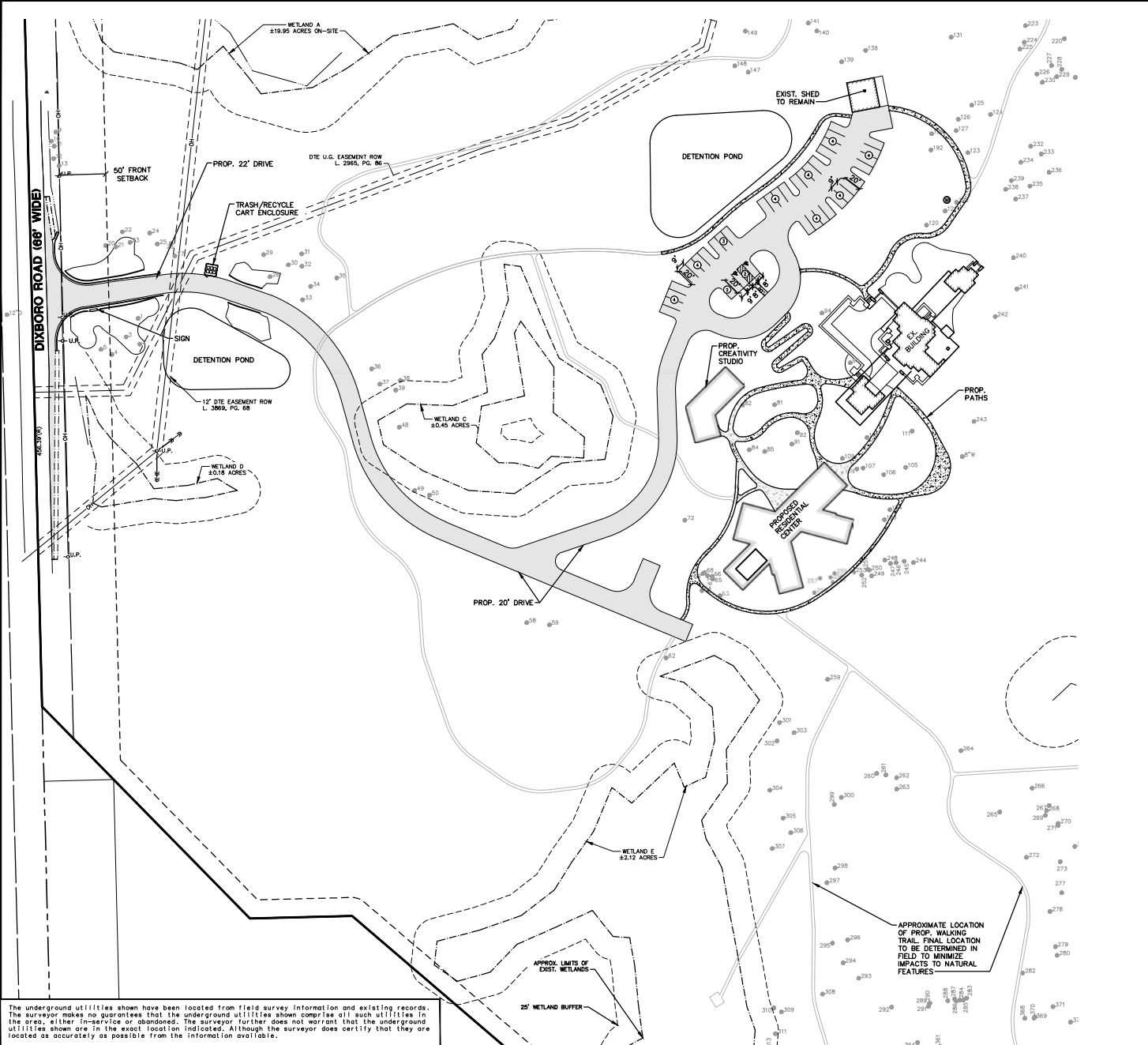
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GARRETT'S SPACE
 DIMENSIONAL LAYOUT PLAN

9

JOB NO.	22265
DATE:	11/20/2023
SCALE:	AS SHOWN
DATE:	11/20/2023
SCALE:	AS SHOWN
DATE:	11/20/2023
SCALE:	AS SHOWN

M:\Projects\22265\22265.dwg (11/20/2023 10:01 AM, Cheryl A. Eberwein, 10 SHEWAS LAYOUT PLAN, MCLC PER #3) © 2023, Midwestern Consulting, LLC. All rights reserved. No part of this drawing may be used or reproduced in any form or by any means, or stored in a database or retrieval system, without prior permission of Midwestern Consulting, LLC.



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NOTES

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3. ALL DIMENSIONS ARE MEASURED TO THE PAINT LINE OR FACE OF CURB UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR ENGINEER PRIOR TO COMMENCING WORK SHOULD THERE BE ANY FIELD CONFLICTS WITH THE DESIGN INTENT.

LEGEND

- ⊙ NUMBER OF STANDARD PARKING SPACES IN ROW
- ⊕ NUMBER OF BARRIER FREE PARKING SPACES IN ROW
- ⊕^{BF} BARRIER FREE PARKING SIGN
- PROP. CURB & GUTTER
- ▭ PROP. BITUMINOUS PAVEMENT
- ▭ PROP. CONCRETE PAVEMENT
- ⊕ SIGN
- ⊕ PROP. SINGLE LIGHT
- PROP. WALKING TRAIL

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GARRETT'S SPACE
 ENLARGED LAYOUT PLAN

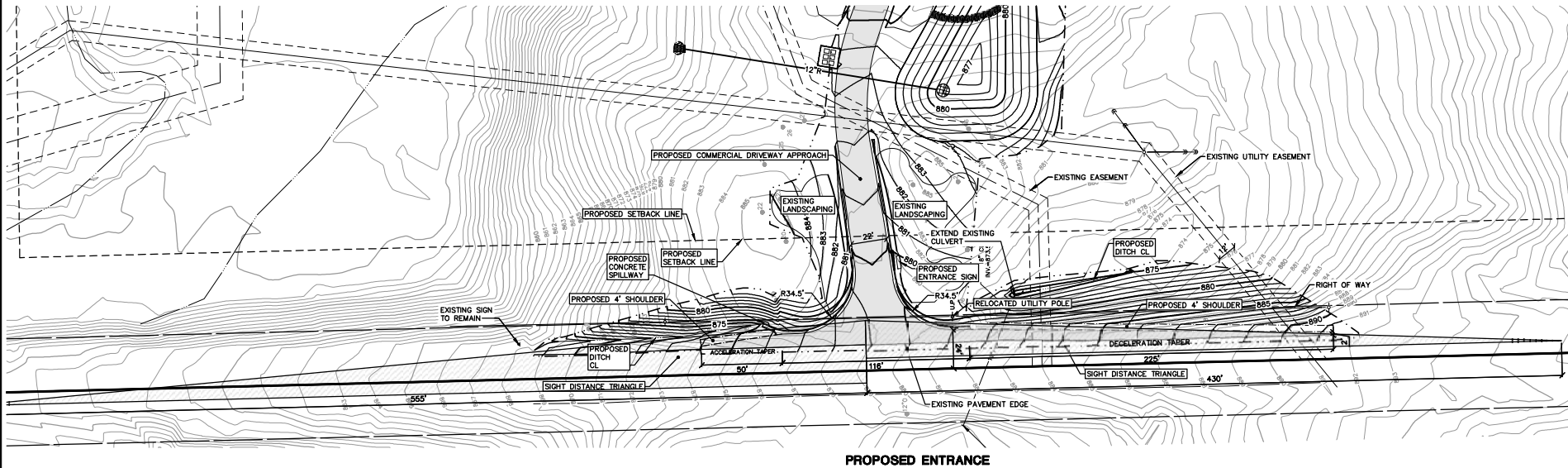
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JOB NO. 22265	DATE: 11/20/2023
REVISIONS:	SHEET NO. OF 35
	DATE: 11/20/23
	BY: CHA
	CHK: JAE
	APP: JAE
	DATE: 11/20/23
	BY: CHA
	CHK: JAE
	APP: JAE

M:\2023\22265\22265.dwg 11/20/2023 10:59 AM, Cheryl A. Etienne, 11 ENTRENCH PLAN, NCLC PER A/S
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EXISTING ENTRANCE



PROPOSED ENTRANCE

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SCALE: 1" = 30'

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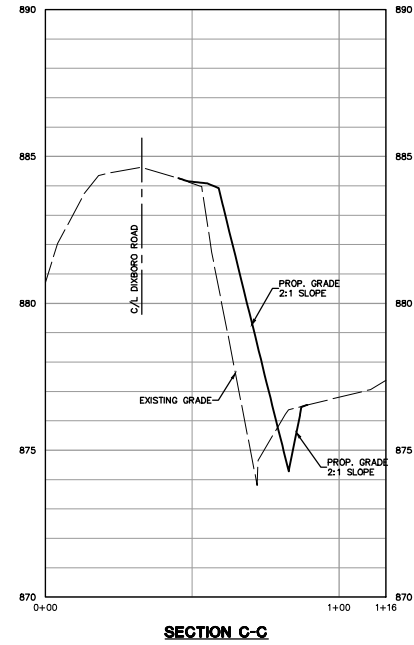
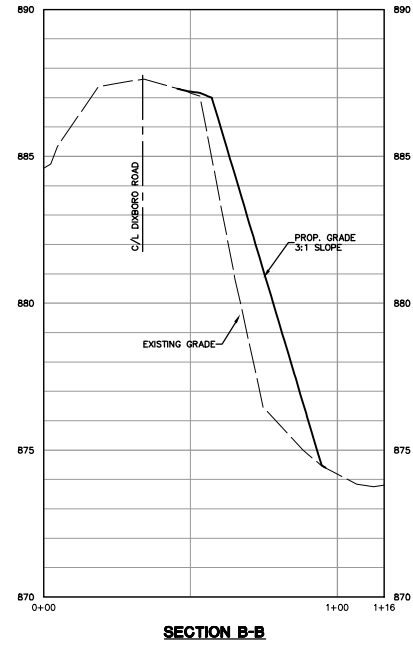
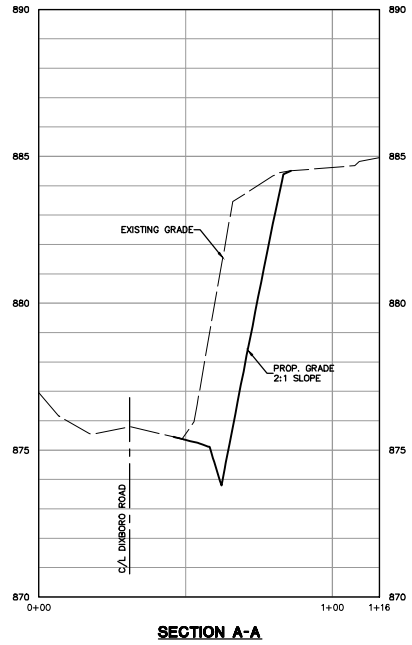
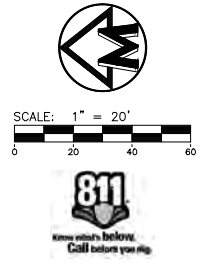
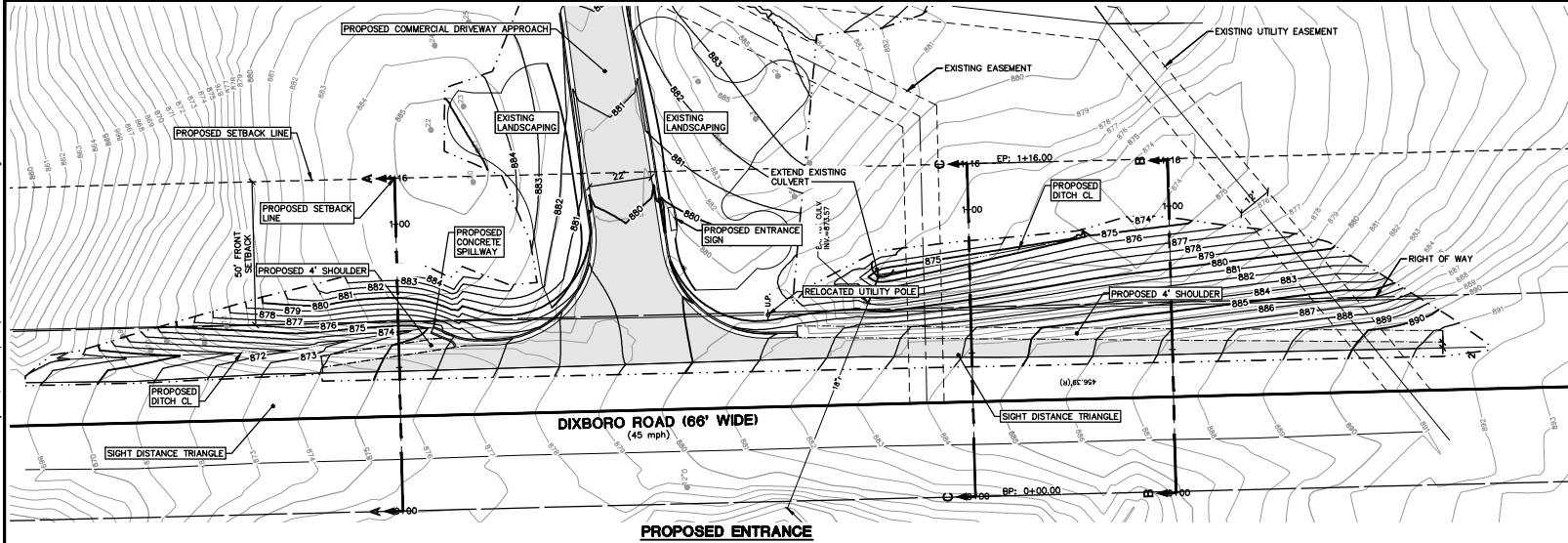
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GARRET'S SPACE
 ENTRANCE PLAN

11

JOB No.	22265
DATE	11/20/2023
SCALE	AS SHOWN
PROJECT	ENTRENCH PLAN
NO.	11
DATE	11/20/2023
BY	CE
CHECKED	CE
DATE	11/20/2023

M:\2023\22265\122265.dwg 11/20/2023 10:58 AM Cheryl A. Eberwein, 12 ENTRANCE GRADING AND DETAILS, MISC PER #43
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JOB NO. 22265
 DATE: 11/20/2023
 SHEET NO. OF 35
 PLOT DATE: 11/20/2023
 PLOT TIME: 10:58 AM
 PLOT USER: Cheryl A. Eberwein
 PLOT DEVICE: HP DesignJet T1300

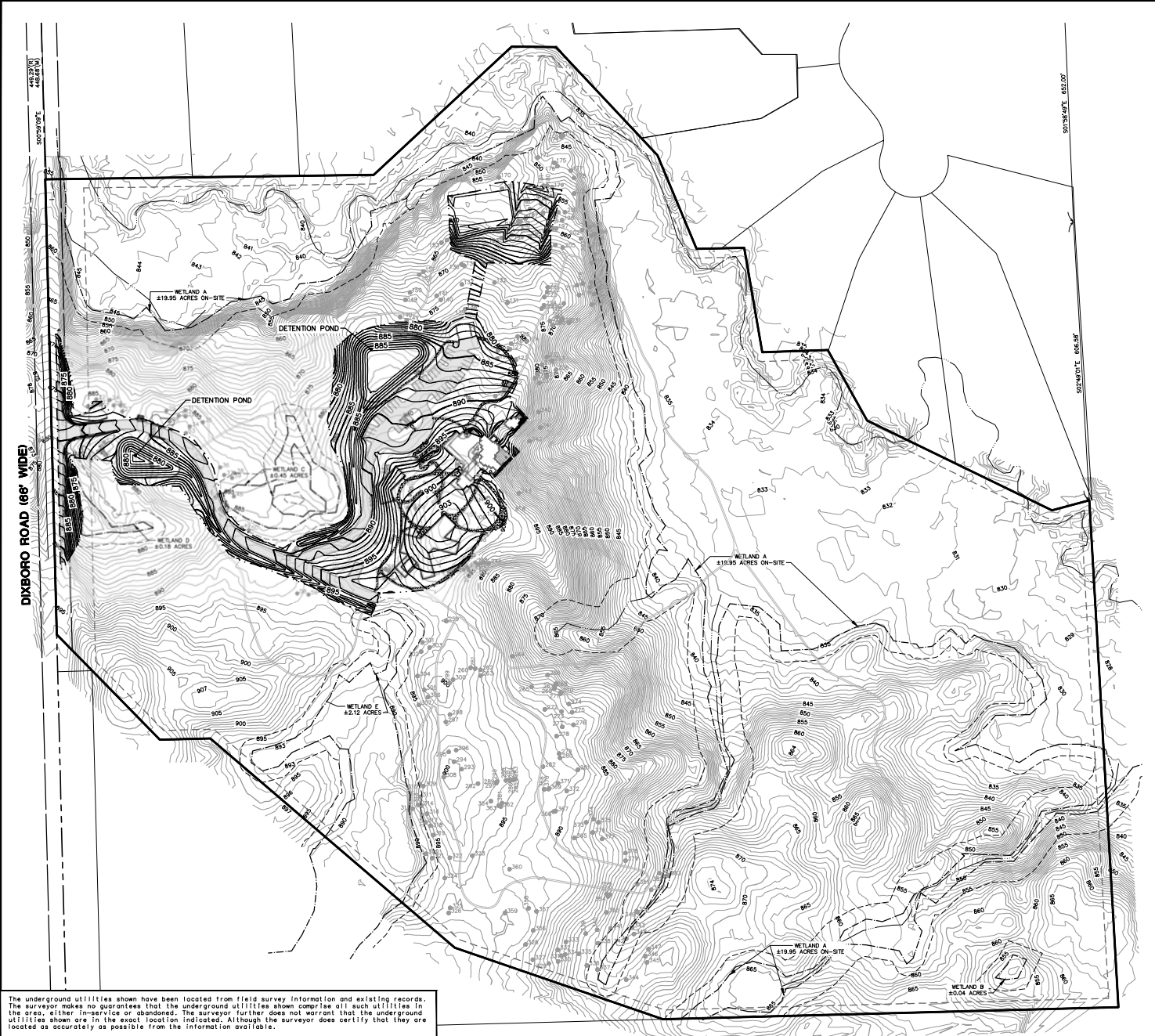
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GARRETT'S SPACE
 ENTRANCE GRADING AND DETAILS

12

M:\Projects\22265\Drawings\Grading\22265-GS-01.dwg, 13.00.00, 11/20/2023 10:01 AM, Cheryl A. Fienner, 13.00.00, 11/20/2023 10:01 AM, MDC LLC per p.e.d.
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SCALE: 1" = 100'



NOTES

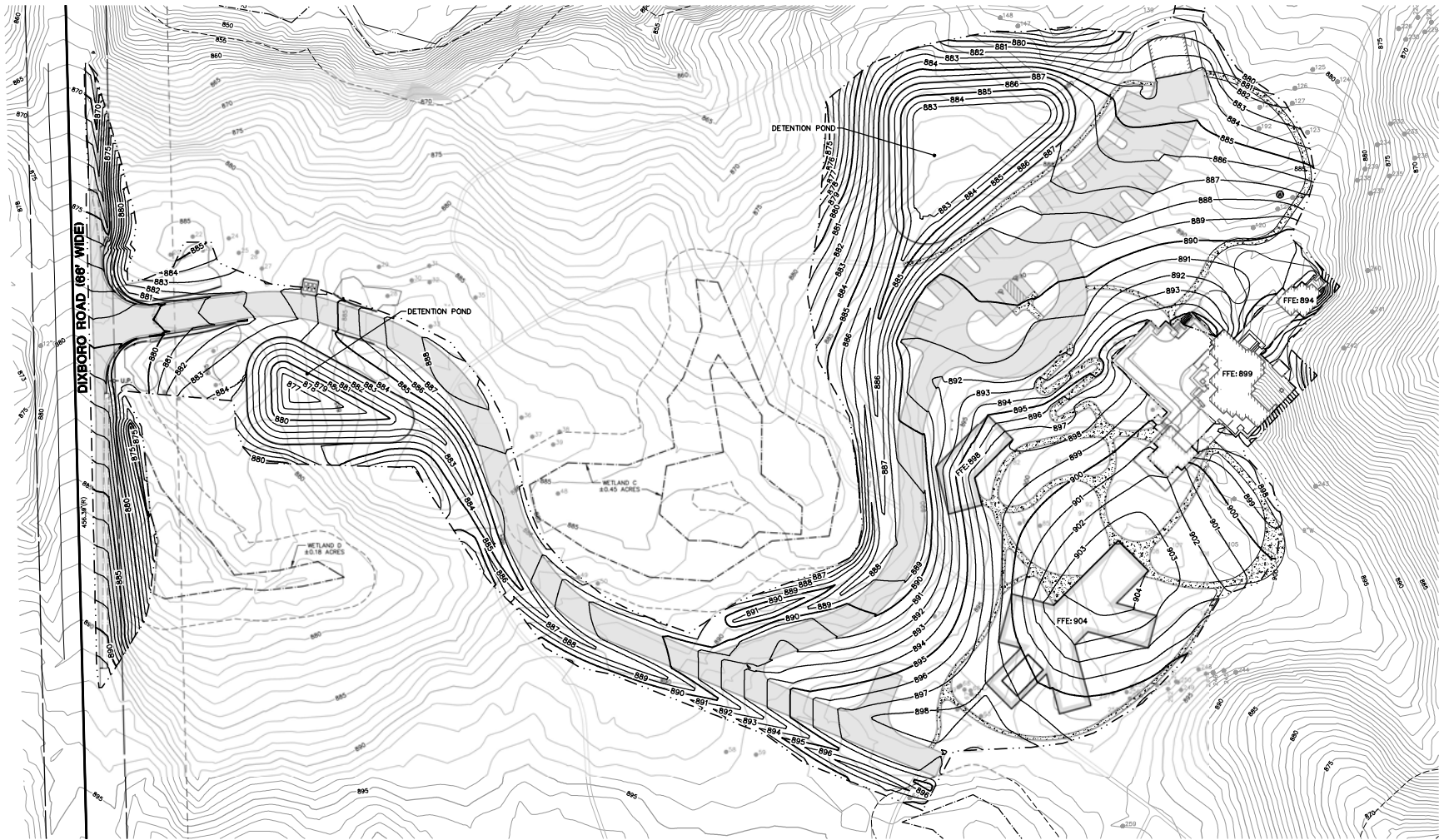
- GRADES AT ADA ACCESS AISLES AND BARRIER FREE PARKING STALLS SHALL NOT EXCEED 2.0% SLOPE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE DURING AND AFTER CONSTRUCTION, AND NO ADVERSE IMPACTS WILL OCCUR TO NEIGHBORING PROPERTIES DURING OR AFTER COMPLETION OF CONSTRUCTION.
- ALL STORM SEWER AND UTILITY STRUCTURE RIMS SHALL BE FLUSH WITH PAVEMENT OR FINISHED GRADE.
- ALL DISTURBED AREAS TO BE RESTORED AS NOTED ON PLAN.

LEGEND

- | | |
|---------|-----------------------------------|
| — 838 — | EXIST. CONTOUR |
| — 838 — | PROP. CONTOUR |
| ⊕ 836.2 | EXIST. SPOT ELEVATION |
| ⊕ 86.60 | PROP. SPOT ELEVATION |
| • U.P. | EXIST. UTILITY POLE |
| • U.P. | EXIST. UTILITY POLE W/ TRANS. |
| ⊕ | GUY WIRE |
| ⊗ | ELEC. TRANSFORMER |
| ⊕ | EXIST. AC UNIT |
| ⊕ | EXIST. GENERATOR |
| OH | EXIST. OVERHEAD UTILITY LINE |
| ⊕ | EXIST. LIGHT POLE |
| ⊕ | PROP. LIGHT POLE |
| ⊕ | EXIST. TELEPHONE LINE |
| ⊕ | EXIST. ELECTRIC LINE |
| ⊕ | EXIST. GAS LINE |
| ⊕ | EXIST. GAS VALVE |
| ⊕ | EXIST. FIBER OPTIC LINE |
| w | EXIST. WATER MAIN |
| w | PROP. WATER MAIN |
| H | EXIST. HYDRANT |
| H | PROP. HYDRANT |
| ⊕ | EXIST. GATE VALVE IN BOX |
| ⊕ | PROP. GATE VALVE IN BOX |
| ⊕ | EXIST. GATE VALVE IN WELL |
| ⊕ | PROP. GATE VALVE IN WELL |
| ⊕ | EXIST. CURB STOP & BOX |
| ⊕ | PROP. CURB STOP & BOX |
| ⊕ | REDUCER |
| ⊕ | EXIST. BLOW-OFF |
| ⊕ | PROP. BLOW-OFF |
| ⊕ | POST INDICATOR VALVE |
| ⊕ | PROP. POST INDICATOR VALVE |
| ⊕ | THRUST BLOCK |
| ⊕ | PROP. KNOXBOX |
| ⊕ | EXIST. FIRE DEPARTMENT CONNECTION |
| ⊕ | PROP. FIRE DEPARTMENT CONNECTION |
| ⊕ | EXIST. STORM SEWER |
| ⊕ | PROP. STORM SEWER |
| ⊕ | EXIST. CATCH BASIN OR INLET |
| ⊕ | PROP. CATCH BASIN OR INLET |
| ⊕ | EXIST. BEEHIVE INLET |
| ⊕ | PROP. BEEHIVE INLET |
| ⊕ | PROP. ROOF DRAIN |
| ⊕ | END SECTION |
| ⊕ | HEAD WALL |
| ⊕ | CULVERT |
| ⊕ | EXIST. DOWNSPOUT |
| ⊕ | PROP. DOWNSPOUT |
| ⊕ | EXIST. SANITARY SEWER |
| ⊕ | PROP. SANITARY SEWER |
| ⊕ | EXIST. CLEANOUT |
| ⊕ | PROP. CLEANOUT |
| ⊕ | C/L OF DITCH |
| ⊕ | DRAINAGE DIRECTION |
| ⊕ | SIGN |
| ⊕ | SINGLE TREE |
| ⊕ | TREE OR BRUSH LIMIT |
| ⊕ | FENCE |
| ⊕ | SILTENCE |
| ⊕ | LIMITS OF DISTURBANCE |

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11/20/2023 10:51 AM Cheryl A. Eberwein, 14 ENLARGED ENRAGED PLAN, SCALE PER SET
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NOTES

- GRADES AT ADA ACCESS AISLES AND BARRIER FREE PARKING STALLS SHALL NOT EXCEED 2.0% SLOPE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE DURING AND AFTER CONSTRUCTION, AND NO ADVERSE IMPACTS WILL OCCUR TO NEIGHBORING PROPERTIES DURING OR AFTER COMPLETION OF CONSTRUCTION.
- ALL STORM SEWER AND UTILITY STRUCTURE RIMS SHALL BE FLUSH WITH PAVEMENT OR FINISHED GRADE.
- ALL DISTURBED AREAS TO BE RESTORED AS NOTED ON PLAN.

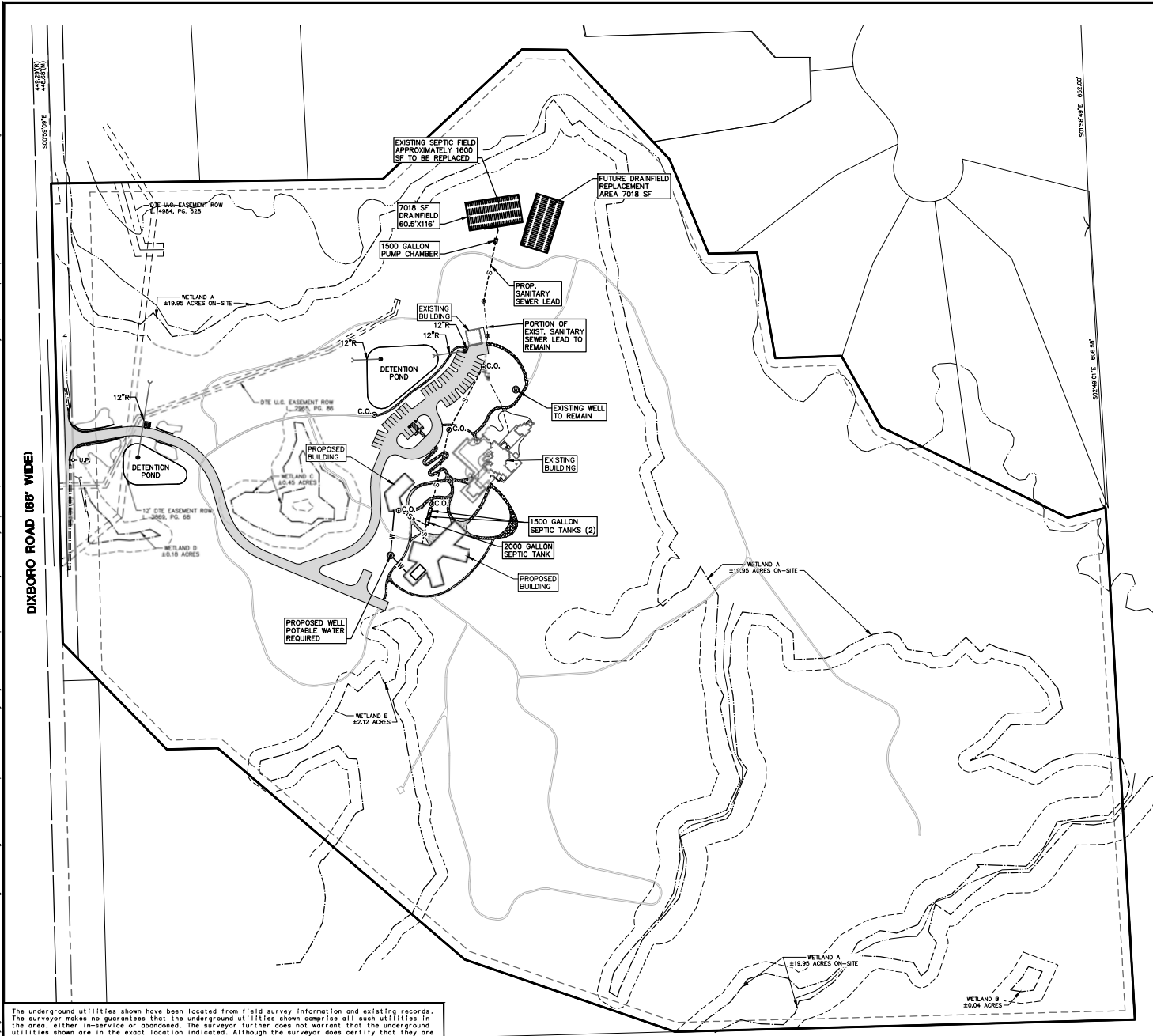
LEGEND

838	EXIST. CONTOUR	— —	EXIST. GATE VALVE IN BOX	— —	END SECTION
838	PROP. CONTOUR	— —	EXIST. GATE VALVE IN WELL	— —	HEAD WALL
+836.2	EXIST. SPOT ELEVATION	— —	PROP. GATE VALVE IN WELL	— —	CULVERT
-36.60	PROP. SPOT ELEVATION	— —	PROP. CURB STOP & BOX	— —	EXIST. DOWNSPOUT
→ U.P.	EXIST. UTILITY POLE W/ TRANS.	— —	REDUCER	— —	PROP. DOWNSPOUT
→ U.P.	GLY WIRE	— —	THRUST BLOCK	— —	EXIST. SANITARY SEWER
⊠	ELEC. TRANSFORMER	— —	PROP. KNOXBOX	— —	PROP. SANITARY SEWER
⊠	EXIST. AC UNIT	— —	EXIST. FIRE DEPARTMENT CONNECTION	— —	EXIST. CLEANOUT
⊠	EXIST. GENERATOR	— —	PROP. FIRE DEPARTMENT CONNECTION	— —	PROP. CLEANOUT
— —	EXIST. OVERHEAD UTILITY LINE	— —	EXIST. STORM SEWER	— —	EXIST. CLEANOUT
⊠	EXIST. LIGHT POLE	— —	PROP. STORM SEWER	— —	C/L OF DITCH
⊠	PROP. LIGHT POLE	— —	EXIST. CATCH BASIN OR INLET	— —	DRAINAGE DIRECTION
— —	EXIST. TELEPHONE LINE	— —	EXIST. BEEHIVE INLET	— —	SIGN
— —	EXIST. ELECTRIC LINE	— —	PROP. BEEHIVE INLET	— —	SINGLE TREE
— —	EXIST. GAS LINE	— —	PROP. ROOF DRAIN	— —	TREE OR BRUSH LIMIT
— —	EXIST. GAS VALVE	— —			LIMITS OF DISTURBANCE
— —	EXIST. FIBER OPTIC LINE	— —			
— —	EXIST. WATER MAIN	— —			
— —	PROP. WATER MAIN	— —			
— —	EXIST. HYDRANT	— —			
— —	PROP. HYDRANT	— —			

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GARRETT'S SPACE	ENLARGED GRADING PLAN
14	
DATE: 11/20/2023 SHEET NO. OF 35 REV. DATE: _____ DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____ PROJECT NO.: 22265	JOB NO. 22265 REVISIONS: _____

M:\Projects\22265\22265.dwg (11/20/2023 10:51 AM, Cheryl A. Eberwein, 15 Utility Plan, MDC Per.s) © 2023, Midwestern Consulting LLC. All rights reserved. No part of this drawing may be used or reproduced in any form or by any means, or stored in a database or retrieval system, without prior permission of Midwestern Consulting LLC.



LEGEND	
---	EXIST. CONTOUR
○-○	EXIST. UTILITY POLE
○-○	EXIST. UTILITY POLE W/ TRANS.
---	CON. WIRE
□	ELEC. TRANSFORMER
□	EXIST. AC UNIT
□	EXIST. GENERATOR
---	EXIST. OVERHEAD UTILITY LINE
○	EXIST. LIGHT POLE
○	PROP. LIGHT POLE
---	EXIST. TELEPHONE LINE
---	EXIST. ELECTRIC LINE
---	EXIST. GAS LINE
---	EXIST. GAS VALVE
---	EXIST. FIBER OPTIC LINE
---	EXIST. WATER MAIN
---	PROP. WATER MAIN
○	EXIST. HYDRANT
○	EXIST. GATE VALVE IN BOX
○	PROP. GATE VALVE IN BOX
○	EXIST. GATE VALVE IN WELL
○	PROP. GATE VALVE IN WELL
○	EXIST. CURB STOP & BOX
○	PROP. CURB STOP & BOX
○	REDUCER
○	EXIST. BLOW-OFF
○	PROP. BLOW-OFF
○	POST INDICATOR VALVE
○	POST INDICATOR VALVE
○	THRUST BLOCK
○	PROP. KNOXBOX
○	EXIST. FIRE DEPARTMENT CONNECTION
○	PROP. FIRE DEPARTMENT CONNECTION
○	EXIST. STORM SEWER
○	PROP. STORM SEWER
○	EXIST. CATCH BASIN OR INLET
○	PROP. CATCH BASIN OR INLET
○	EXIST. BEEHIVE INLET
○	PROP. BEEHIVE INLET
○	PROP. ROOF DRAIN
○	END SECTION
○	HEAD WALL
○	CULVERT
○	EXIST. DOWNSPOUT
○	PROP. DOWNSPOUT
○	EXIST. SANITARY SEWER
○	PROP. SANITARY SEWER
○	EXIST. CLEANOUT
○	PROP. CLEANOUT
○	C/L OF DITCH
○	SINGLE TREE
○	LIMITS OF DISTURBANCE
○	SOIL BORING

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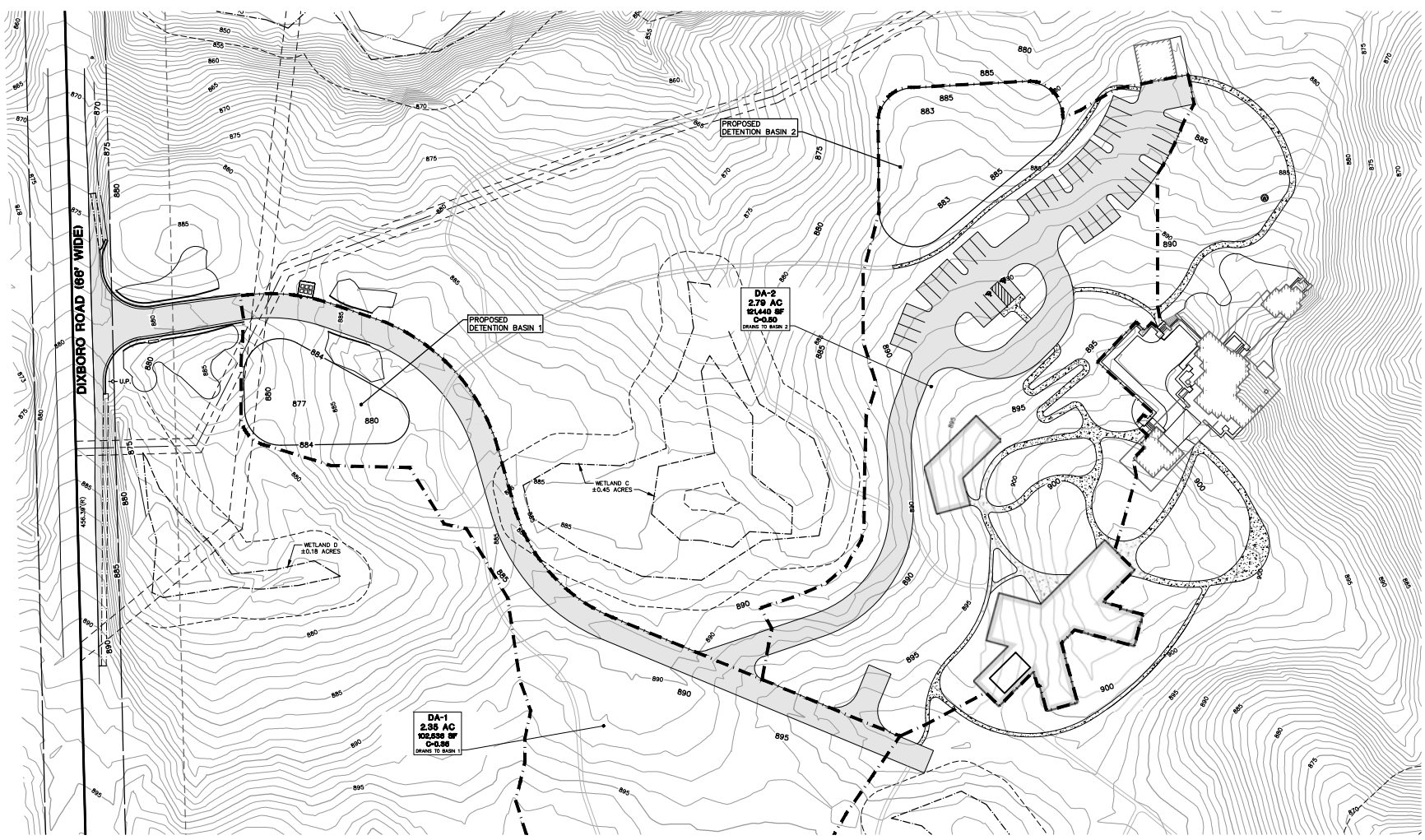
GARRETT'S SPACE
 UTILITY PLAN

15

JOB NO.	22265
DATE:	11/20/2023
NO. SHEETS:	15 OF 35
DATE:	11/20/2023
NO. SHEETS:	15 OF 35
DATE:	11/20/2023
NO. SHEETS:	15 OF 35

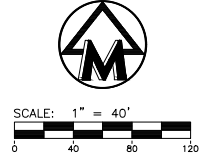
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LEGEND

	EXIST. STORM SEWER
	PROP. STORM SEWER
	EXIST. CATCH BASIN OR INLET
	PROP. CATCH BASIN OR INLET
	PROP. ROOF DRAIN
	EXIST. CLEANOUT
	PROP. CLEANOUT
	PROP. DRAINAGE AREA BOUNDARY
	PROP. DRAINAGE AREA LABEL



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GARRETT'S SPACE ENLARGED STORM WATER MANAGEMENT PLAN
17
DATE: 11/20/2023 SHEET NO. OF 35 PROJ. NAME: GARRETT'S SPACE LENS: 30T TYP: 10T PLOT: 10T 22265.DWG (11/20/2023 10:58 AM)
JOB NO. 22265 REVISIONS:
CLIENT: GARRETT'S SPACE 1400 GRANGER AVENUE ANN ARBOR MI 48104 SCOTT W. GARRETT (734) 709-7684

STORM WATER CALCULATIONS - BASIN 1

W1 - Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients. Table with columns for Cover Type, Soil Type, Area (sf), Runoff Coef (C), and C x Area.

W2 - First Flush Runoff Calculations (H). Formula: A x Vh + Vh^2 x 4.590 A^0.56 x A^0.5. Values for A=1712, Vh=0.35.

W3 - Pre-Development Baseflow Runoff Calculations (Hr-yr). Table for peak flow rate and volume.

W4 - Penetration Cover Post-Development Baseflow Runoff Calculations (Hr-yr per inch). Table for different cover types.

W5 - Impervious Cover Post-Development Baseflow Runoff Calculations (Hr-yr per inch). Table for impervious areas.

W6 - WS - Penetration Cover Post-Development 100-Year Runoff Calculations (Hr-yr per inch). Table for 100-year runoff.

W7 - Impervious Cover Post-Development 100-Year Runoff Calculations (Hr-yr per inch). Table for 100-year runoff.

W8 - Time of Concentration (Tc-hr). Calculation of Tc based on assumptions.

W9 - Runoff Summary & On-Site Infiltration Requirement. Summary table for runoff volumes and infiltration requirements.

W10 - Detention/Retention Requirement. Detailed calculations for detention volume, peak flow, and retention requirements.

Retention: A. Vret = 2 x V100. Calculated retention volume of 41,400 ft³.

STORM WATER CALCULATIONS - BASIN 2

W1 - Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients. Table for Basin 2 cover types.

W2 - First Flush Runoff Calculations (H). Formula: A x Vh + Vh^2 x 4.590 A^0.56 x A^0.5. Values for A=1712, Vh=0.35.

W3 - Pre-Development Baseflow Runoff Calculations (Hr-yr). Table for peak flow rate and volume.

W4 - Penetration Cover Post-Development Baseflow Runoff Calculations (Hr-yr per inch). Table for different cover types.

W5 - Impervious Cover Post-Development Baseflow Runoff Calculations (Hr-yr per inch). Table for impervious areas.

W6 - WS - Penetration Cover Post-Development 100-Year Runoff Calculations (Hr-yr per inch). Table for 100-year runoff.

W7 - Impervious Cover Post-Development 100-Year Runoff Calculations (Hr-yr per inch). Table for 100-year runoff.

W8 - Time of Concentration (Tc-hr). Calculation of Tc based on assumptions.

W9 - Runoff Summary & On-Site Infiltration Requirement. Summary table for runoff volumes and infiltration requirements.

W10 - Detention/Retention Requirement. Detailed calculations for detention volume, peak flow, and retention requirements.

Retention: A. Vret = 2 x V100. Calculated retention volume of 61,882 ft³.

W11 - Determine Applicable BMPs and Associated Volume Credits. Table listing various BMP types and their associated runoff reduction credits.

W12 - Natural Features Inventory. Table for natural features on the site.

W13 - Site Summary of Infiltration & Detention. Summary table for infiltration and detention requirements.

W14 - Penetration Cover Post-Development Baseflow Runoff Calculations (Hr-yr per inch). Table for different cover types.

W15 - Impervious Cover Post-Development Baseflow Runoff Calculations (Hr-yr per inch). Table for impervious areas.

W16 - WS - Penetration Cover Post-Development 100-Year Runoff Calculations (Hr-yr per inch). Table for 100-year runoff.

W17 - Impervious Cover Post-Development 100-Year Runoff Calculations (Hr-yr per inch). Table for 100-year runoff.

W18 - Time of Concentration (Tc-hr). Calculation of Tc based on assumptions.

W19 - Runoff Summary & On-Site Infiltration Requirement. Summary table for runoff volumes and infiltration requirements.

W20 - Detention/Retention Requirement. Detailed calculations for detention volume, peak flow, and retention requirements.

Retention: A. Vret = 2 x V100. Calculated retention volume of 98,182 ft³.

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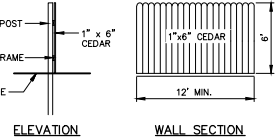
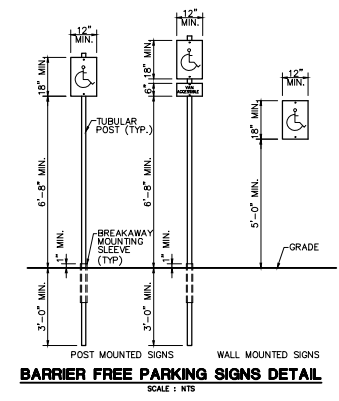
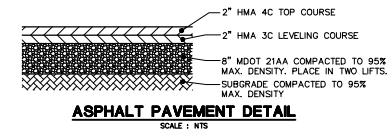
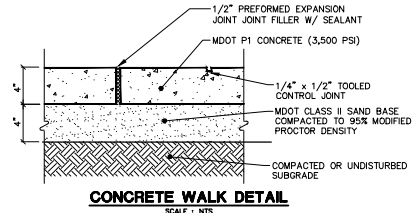
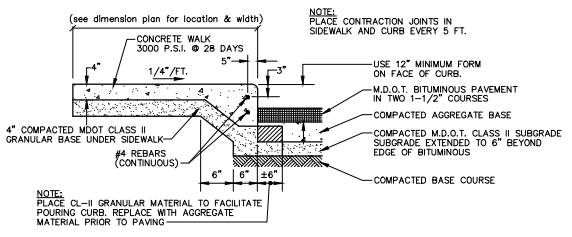
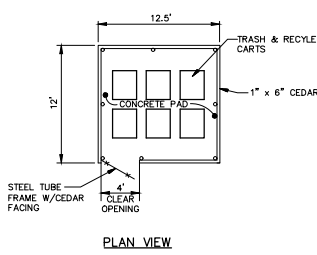
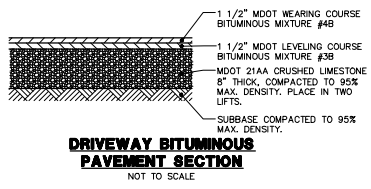
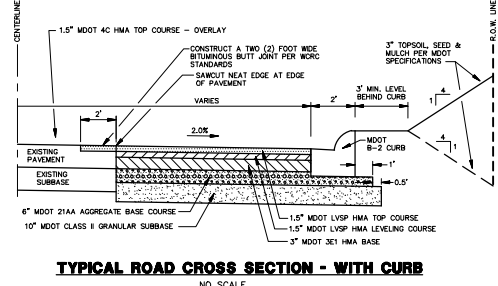
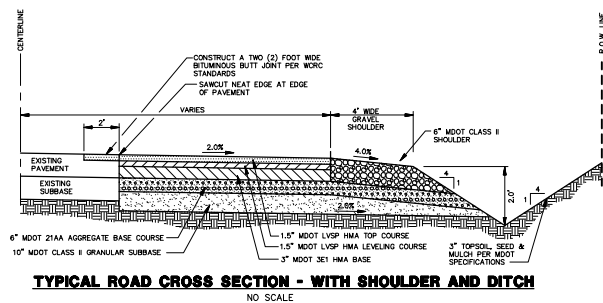
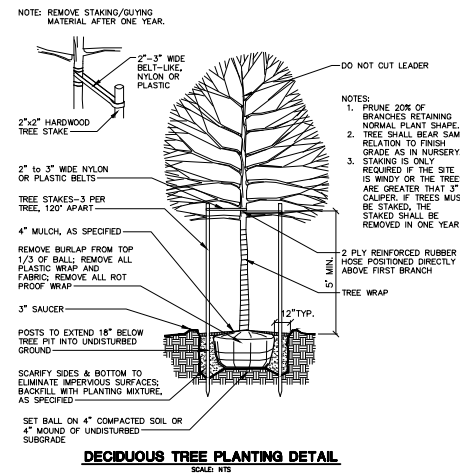
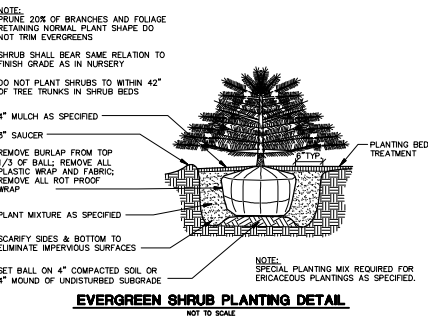
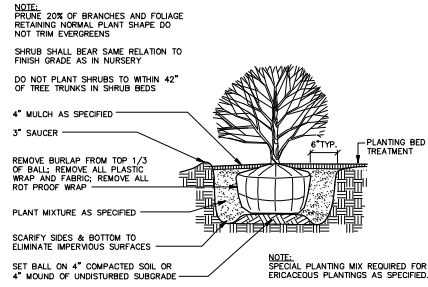
Garrett's Space logo and address: 1400 GRAMMER AVENUE, SUITE 100, SCOTTS DALE, PA 18957. Phone: (717) 409-7874.

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GARRETT'S SPACE logo and text: STORM WATER MANAGEMENT CALCULATIONS.

Revision table with columns for No., Date, and Description. Includes revision number 22265 and date 11/20/2023. Large number 18 is also present.

MIDWESTERN CONSULTING 22865 11/20/2023 TO MR. CHARLIE A. GARRETT, 19 SITE DETAILS, MISC PER.#3 03/20/2011 © 2023, Midwestern Consulting LLC. All rights reserved. No part of this drawing may be used or reproduced in any form or by any means, or stored in a database or retrieval system, without prior permission of Midwestern Consulting LLC.



TRASH/RECYCLE CART ENCLOSURE DETAIL
NOT TO SCALE

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(734) 709-7684

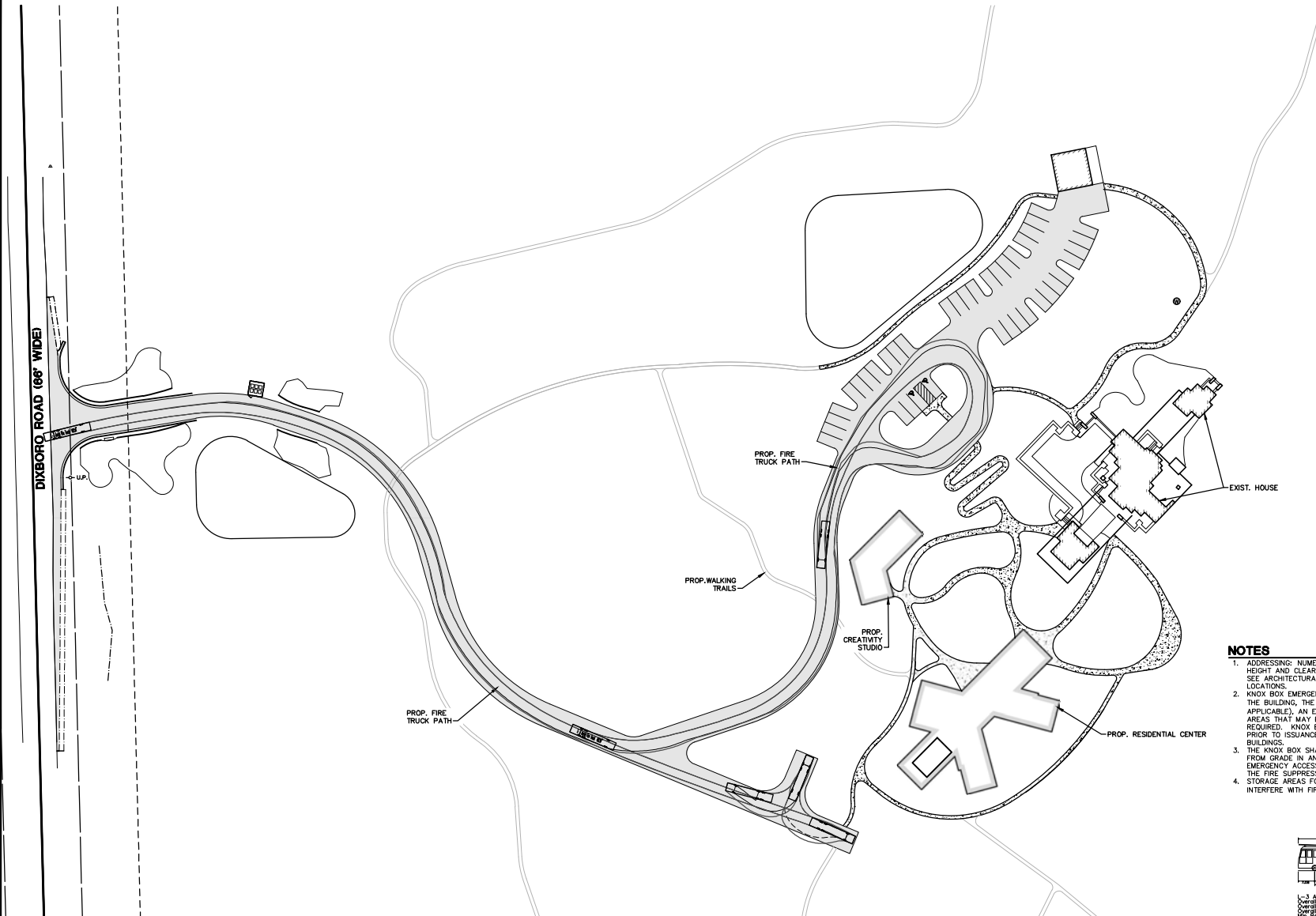
GARRETT'S SPACE
SITE DETAILS


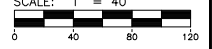

19

DATE: 11/20/2023
SHEET: 19 OF 35
PROJECT: 22865 PER.#3
SCALE: NTS
REV. DATE
NO.
DESCRIPTION

JOB NO: 22265

M:\Projects\22265\22265.dwg (1/20/2023 10:28 AM, Cheryl A. Etienne, 2D FIRE PROTECTION PLAN, MCLC PER #30)
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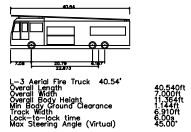

 SCALE: 1" = 40'



DIXBORO ROAD (66' WIDE)

UP

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- NOTES**
1. ADDRESSING: NUMERICS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AND CLEARLY VISIBLE WHEN APPROACHING THE BUILDING. SEE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND LOCATIONS.
 2. KNOX BOX EMERGENCY ACCESS SYSTEM WITH KEYS TO ACCESS THE BUILDING, THE FIRE SUPPRESSION SYSTEM CONTROL ROOM (IF APPLICABLE), AN ELEVATOR KEY, AND ANY OTHER KEYS TO AREAS THAT MAY BE RELEVANT DURING EMERGENCIES WILL BE REQUIRED. KNOX BOX WITH PROPER KEYS SHALL BE IN PLACE PRIOR TO ISSUANCE OF CERTIFICATES OF OCCUPANCY FOR THE BUILDINGS.
 3. THE KNOX BOX SHALL BE MOUNTED NO HIGHER THAN 6 FEET FROM GRADE IN AN APPROVED LOCATION ON THE EXTERIOR FOR EMERGENCY ACCESS TO THE BUILDING AS WELL AS ACCESS TO THE FIRE SUPPRESSION SYSTEM CONTROL ROOMS IF APPLICABLE.
 4. STORAGE AREAS FOR CONSTRUCTION MATERIALS SHALL NOT INTERFERE WITH FIRE/EMERGENCY SERVICES.



JOB NO. 22265
 DATE: 11/20/2023
 SHEET NO. OF 35
 REV. DATE: _____
 REV. BY: _____
 REV. DATE: _____
 REV. BY: _____
 REV. DATE: _____
 REV. BY: _____
 REV. DATE: _____
 REV. BY: _____

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GARRET'S SPACE
 FIRE PROTECTION PLAN

20

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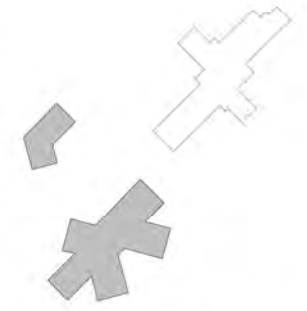
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No.	Description	Date

NOTES

LEGEND

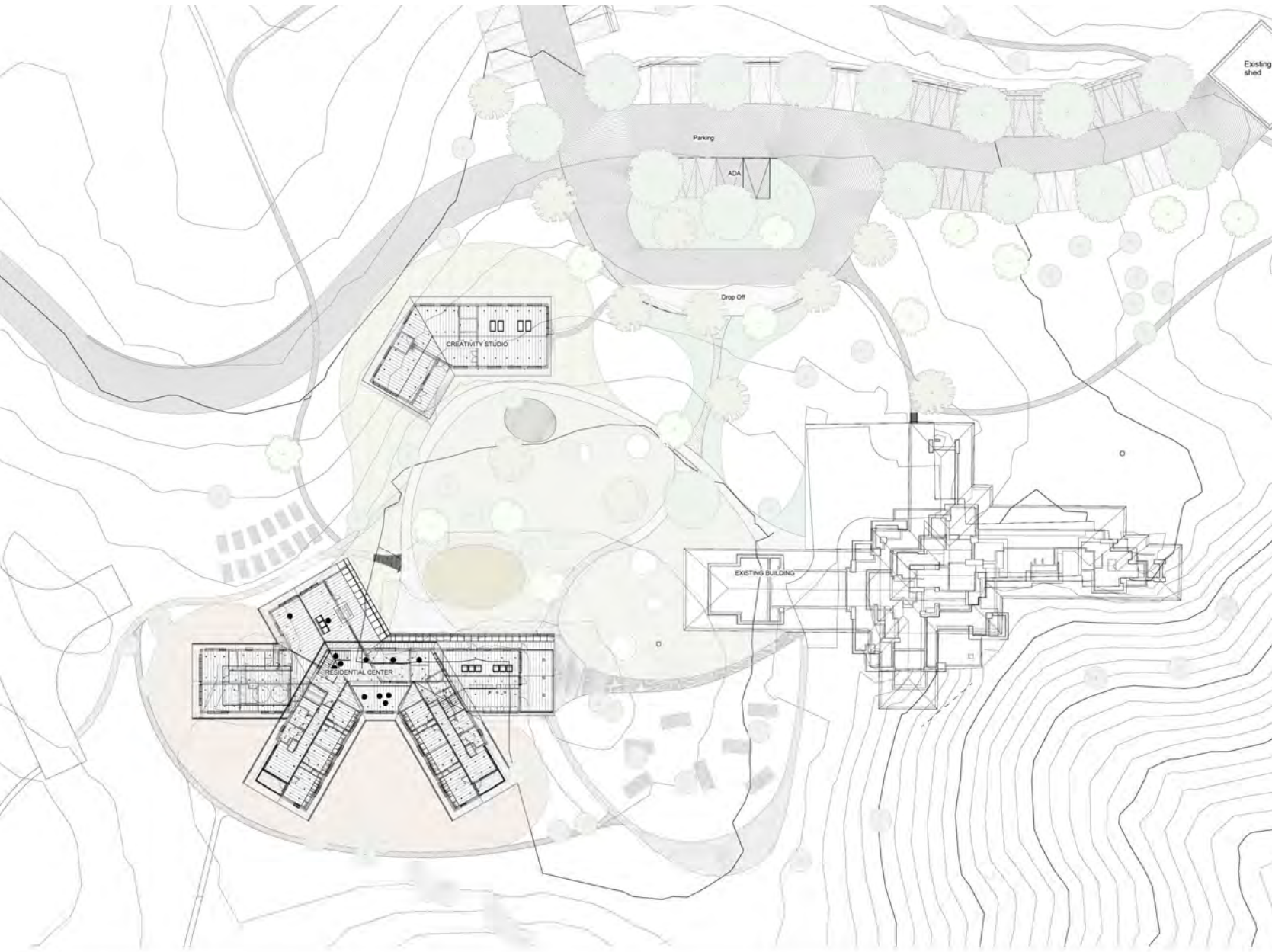
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- Perennial planting site Area 10.0288
- Native grasses and larger shrubs Area 5.4202
- Wood mulch surface Area 7.0282
- Lawn surface Area 1.2259
- Existing Trees
- Proposed Trees

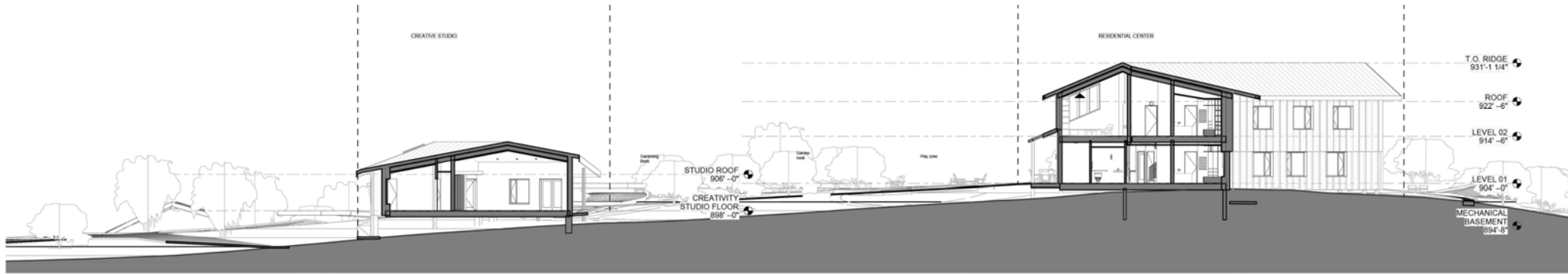
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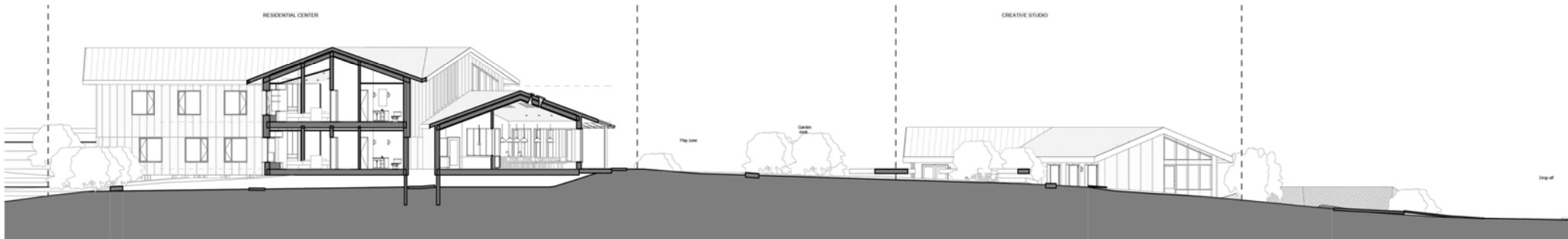
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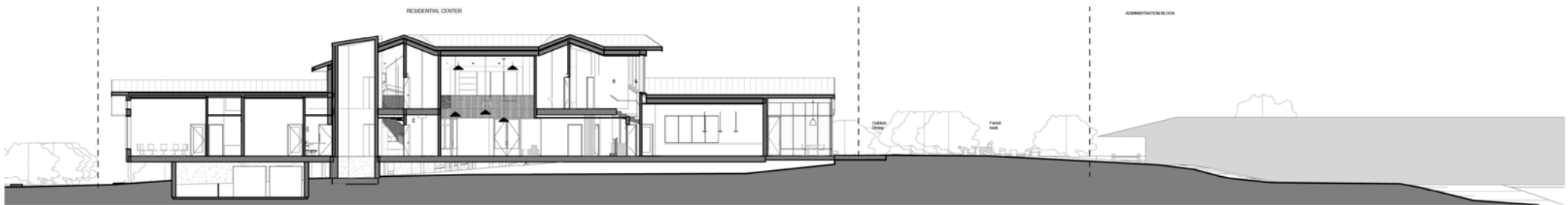




1 Section 1-1
1" = 10'-0"



2 Section 2-2
1" = 10'-0"



3 Section 3-3
1" = 10'-0"



1 RESIDENTIAL BUILDING - SOUTHEAST ELEVATION
1/8" = 1'-0"



2 RESIDENTIAL BUILDING - NORTHEAST ELEVATION
1/8" = 1'-0"

		REVISIONS
No.	Description	Date

NOTES



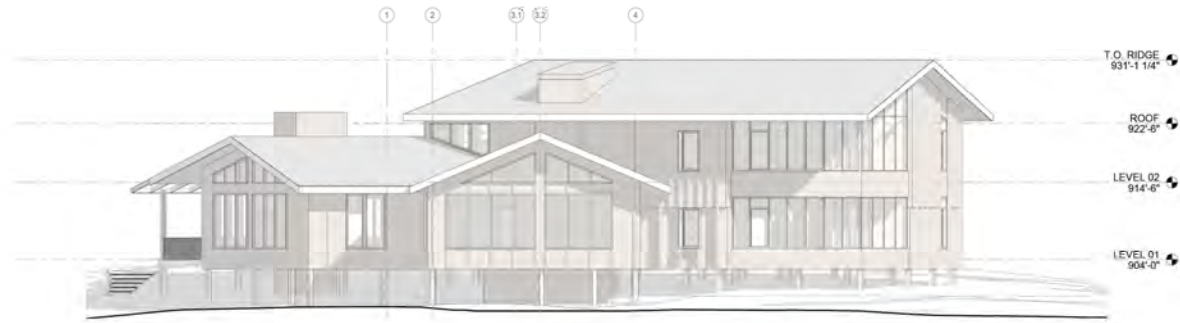
KEY PLAN

STAMP + SIGNATURE

NOT FOR CONSTRUCTION



1 RESIDENTIAL BUILDING - NORTHWEST ELEVATION
1/8" = 1'-0"

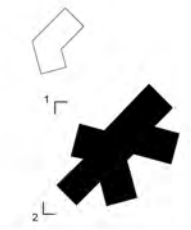


2 RESIDENTIAL BUILDING - SOUTHWEST ELEVATION
1/8" = 1'-0"

		REVISIONS
No.	Description	Date

NOTES

KEY PLAN



STAMP + SIGNATURE

NOT FOR CONSTRUCTION



1 CREATIVITY STUDIO - NORTHWEST ELEVATION
1/8" = 1'-0"



2 CREATIVITY STUDIO - SOUTHWEST ELEVATION
1/8" = 1'-0"



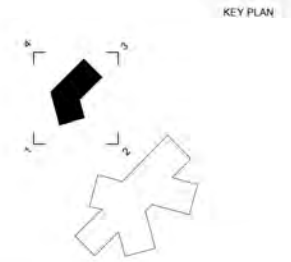
3 CREATIVITY STUDIO - SOUTHEAST ELEVATION
1/8" = 1'-0"



4 CREATIVITY STUDIO - NORTHEAST ELEVATION
1/8" = 1'-0"

		REVISIONS
No.	Description	Date

NOTES

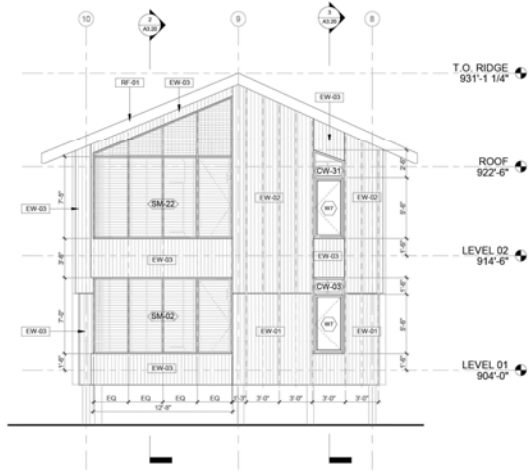


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2 RESIDENTIAL BUILDING UNROLLED ELEVATION 2
3/16" = 1'-0"

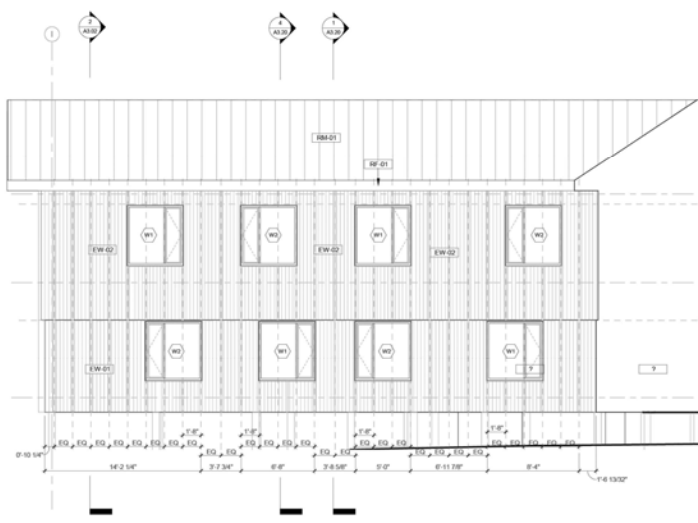


3 RESIDENTIAL BUILDING UNROLLED ELEVATION 3
3/16" = 1'-0"

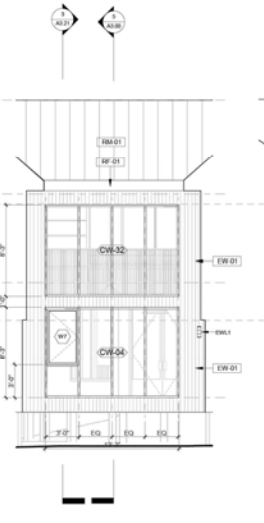
		REVISIONS
No.	Description	Date

NOTES
ALL WINDOWS TO BE PROVIDED WITH BLACKOUT AND VISION ROLLER SHADES.
ALL OPERABLE WINDOWS TO BE PROVIDED WITH AN OPENING CONTROL DEVICE.

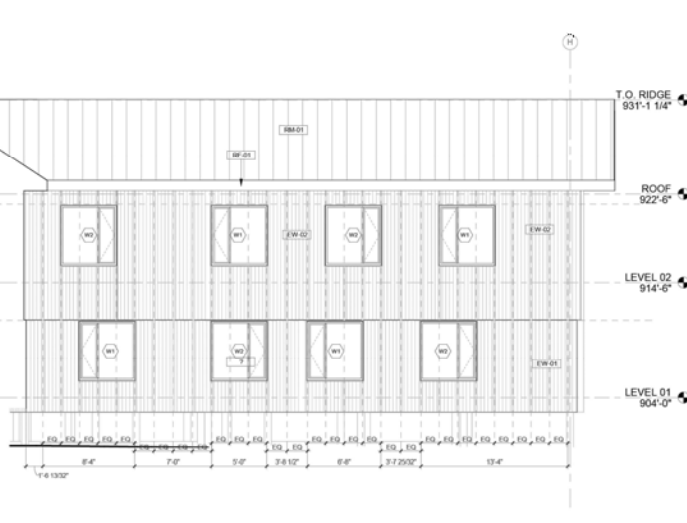
T.O. RIDGE
931'-1 1/4"
ROOF
922'-6"
LEVEL 02
914'-6"
LEVEL 01
904'-0"



4 RESIDENTIAL BUILDING UNROLLED ELEVATION 4
3/16" = 1'-0"



5 RESIDENTIAL BUILDING UNROLLED ELEVATION 5
3/16" = 1'-0"



6 RESIDENTIAL BUILDING UNROLLED ELEVATION 6
3/16" = 1'-0"

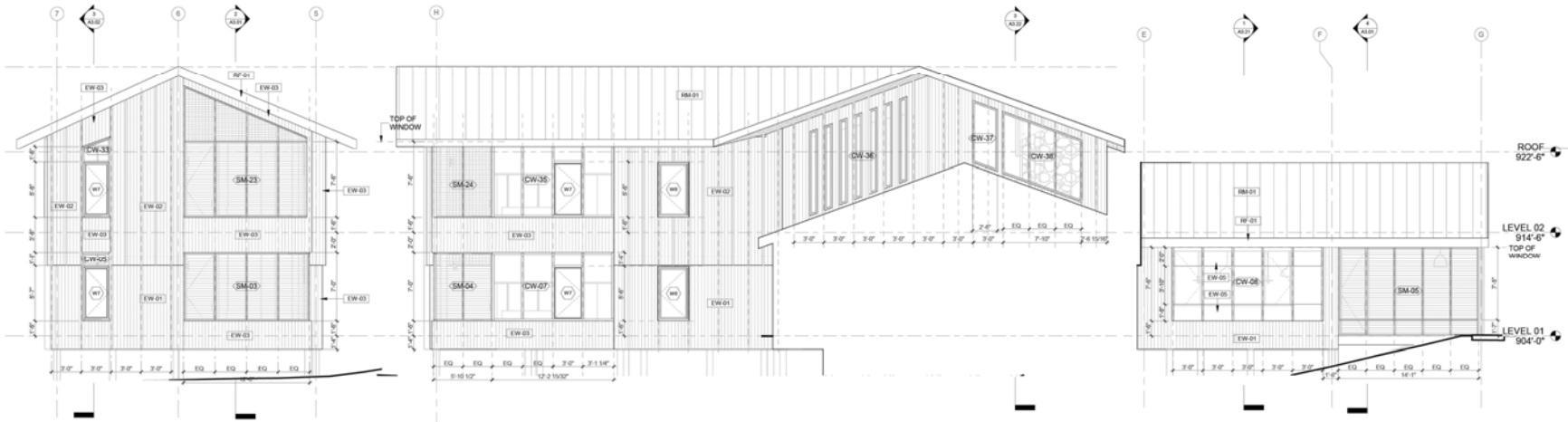
KEY PLAN



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REVISIONS		
No.	Description	Date



1 RESIDENTIAL BUILDING UNROLLED ELEVATION 7
3/16" = 1'-0"

2 RESIDENTIAL BUILDING UNROLLED ELEVATION 8
3/16" = 1'-0"

3 RESIDENTIAL BUILDING UNROLLED ELEVATION 9
3/16" = 1'-0"

NOTES

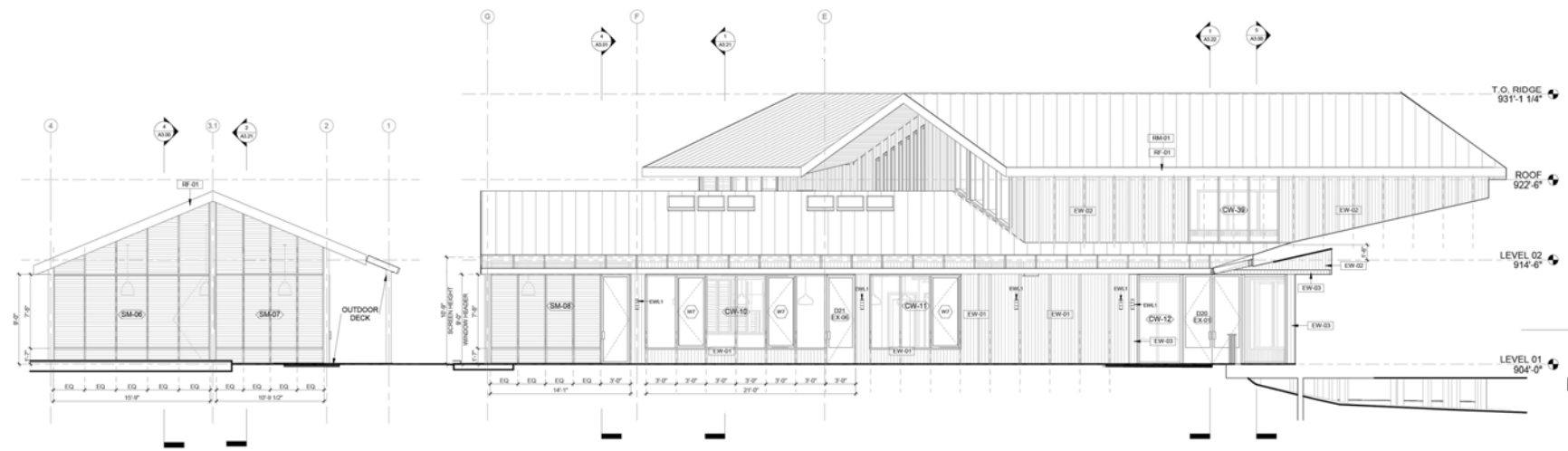
ROOF 922'-6"

LEVEL 02 914'-6"
TOP OF WINDOW

LEVEL 01 904'-0"

ALL WINDOWS TO BE PROVIDED WITH BLACKOUT AND VISION ROLLER SHADES.

ALL OPERABLE WINDOWS TO BE PROVIDED WITH AN OPENING CONTROL DEVICE.



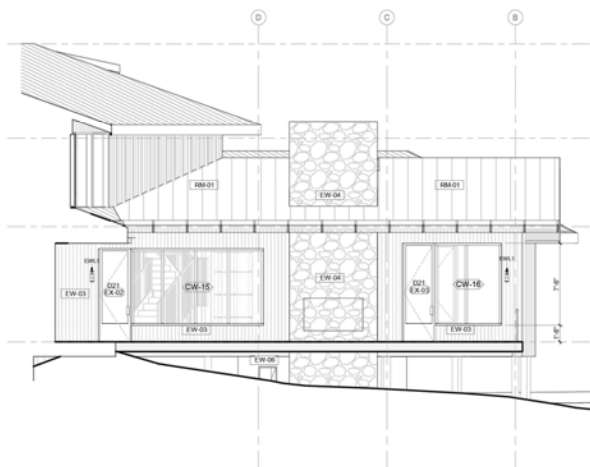
4 RESIDENTIAL BUILDING UNROLLED ELEVATION 10
3/16" = 1'-0"

5 RESIDENTIAL BUILDING UNROLLED ELEVATION 11
3/16" = 1'-0"

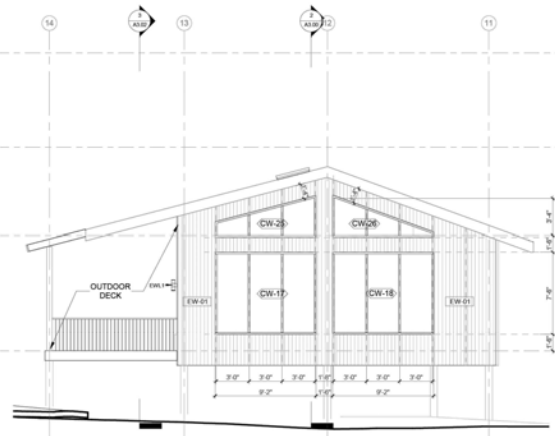


STAMP + SIGNATURE

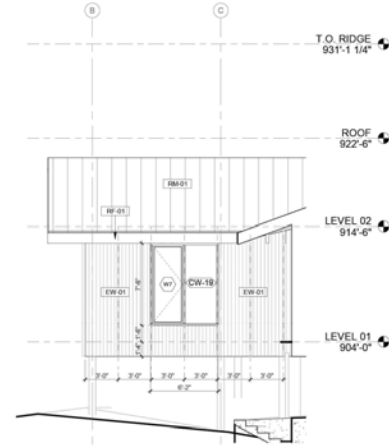
NOT FOR CONSTRUCTION



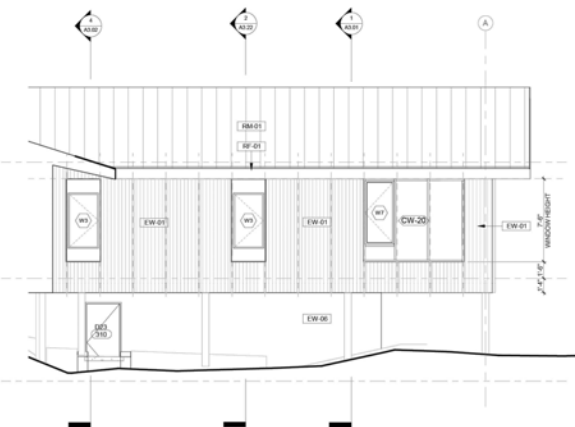
1 RESIDENTIAL BUILDING UNROLLED ELEVATION 12
3/16" = 1'-0"



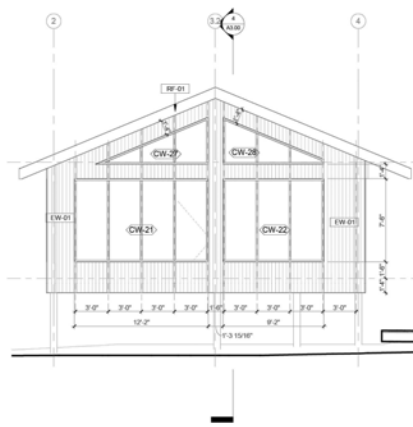
2 RESIDENTIAL BUILDING UNROLLED ELEVATION 13
3/16" = 1'-0"



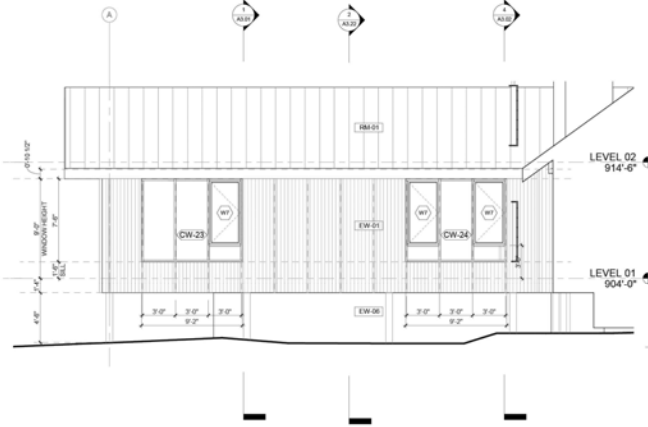
3 RESIDENTIAL BUILDING UNROLLED ELEVATION 14
3/16" = 1'-0"



4 RESIDENTIAL BUILDING UNROLLED ELEVATION 15
3/16" = 1'-0"



5 RESIDENTIAL BUILDING UNROLLED ELEVATION - 16
3/16" = 1'-0"



6 RESIDENTIAL BUILDING UNROLLED ELEVATION 1
3/16" = 1'-0"

		REVISIONS
No.	Description	Date

NOTES

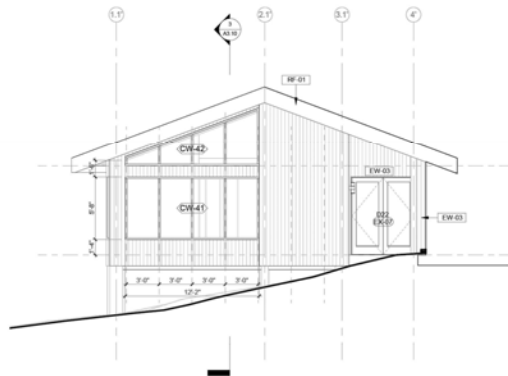
ALL WINDOWS TO BE PROVIDED WITH BLACKOUT AND VISION ROLLER SHADES.
ALL OPERABLE WINDOWS TO BE PROVIDED WITH AN OPENING CONTROL DEVICE.

KEY PLAN

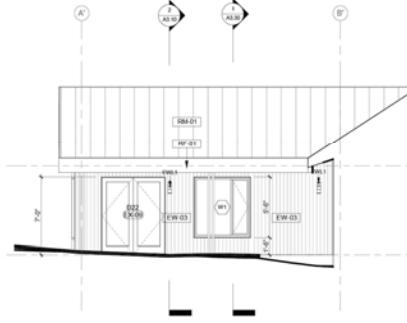


STAMP + SIGNATURE

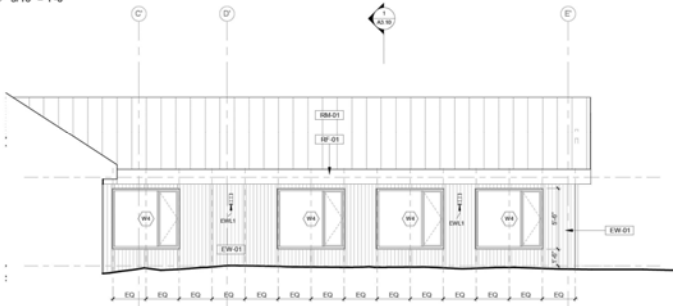
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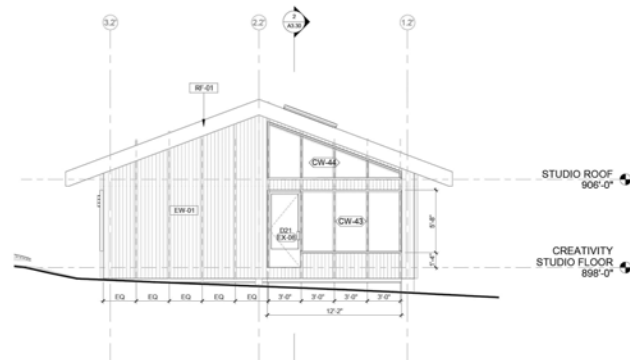
5 CREATIVITY STUDIO - UNROLLED ELEVATION 5
3/16" = 1'-0"



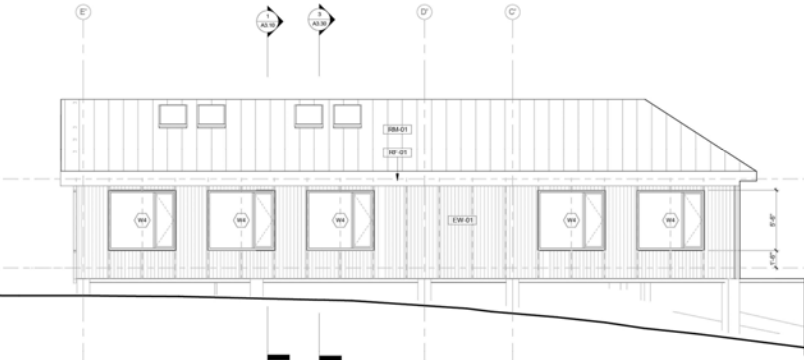
6 CREATIVITY STUDIO - UNROLLED ELEVATION 6
3/16" = 1'-0"



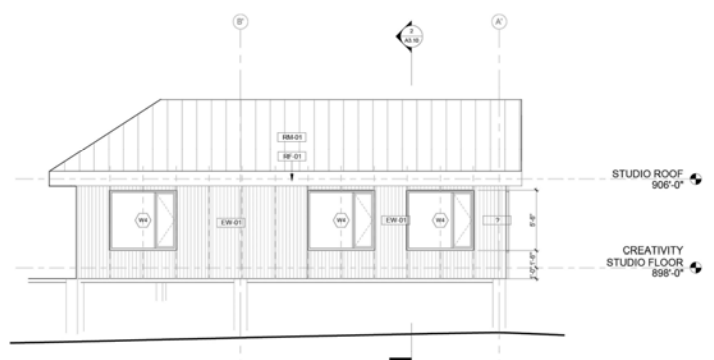
3 CREATIVITY STUDIO - UNROLLED ELEVATION 1
3/16" = 1'-0"



2 CREATIVITY STUDIO - UNROLLED ELEVATION 2
3/16" = 1'-0"



1 CREATIVITY STUDIO - UNROLLED ELEVATION 3
3/16" = 1'-0"



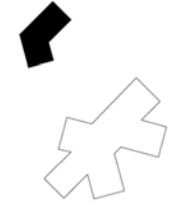
4 CREATIVITY STUDIO - UNROLLED ELEVATION 4
3/16" = 1'-0"

REVISIONS		
No.	Description	Date

NOTES

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ALL OPERABLE WINDOWS TO BE PROVIDED WITH AN OPENING CONTROL DEVICE.

KEY PLAN



STAMP + SIGNATURE

NOT FOR CONSTRUCTION



Revisions		
NO.	DATE	DESCRIPTION

Key Plan:

Client
Garrett's Space

Designer
MASS Design Group

Architect of Record
MASS Design Group

Structural Engineering Consultant
Midwestern Engineering Consultants

MEP Consultant
Midwestern Consulting

Civil Engineer Consultant
Midwestern Consulting

MASS.

Project
GARRETT'S SPACE
Superior Township
Ann Arbor, Michigan

Date
Area Plan

Drawing Title
**EXISTING BUILDING
ELEVATION IMAGES**

Drawing Date
FEBRUARY 28, 2023

Drawing Number
A.201