

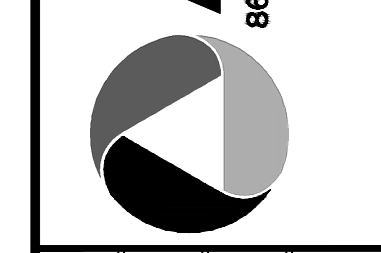


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SECTION 33 TOWN 2 SOUTH, RANGE 7 EAST SUPERIOR TOWNSHIP WASHTENAW COUNTY, MICHIGAN

CLIENT SE MICHIGAN LAND HOLDING LLC PROSPECT POINTE WEST FINAL SITE PLAN - PHASE 1 OVERALL EXISTING CONDITIONS

DATE JULY 08, 2022

2022-08-12 PER SESO 2022-08-16 PER FIRE DEP. 2022-08-28 PER SESO 2022-09-15 PER TWP

Table with 2 columns: REVISIONS, DR. JW CH. SS

SCALE: 1" = 150 FEET P.M. MB BOOK --- JOB 16000819 SHEET NO. 02

LEGEND

- BOUNDARY LINE
EXISTING EASEMENT
SECTION LINE
BOUNDARY/PROPERTY LINE
EXISTING CONTOUR
EXISTING TREE LINE
EXISTING CURB AND GUTTER
EXISTING FENCE
EXISTING BUILDING
EXISTING STRUCTURE
EXISTING WALL
EXISTING WATER MAIN
EXISTING SANITARY
EXISTING GAS
EXISTING STORM
EXISTING OVERHEAD ELECTRICAL LINE
EXISTING OVERHEAD TELEPHONE LINE
EXIST. CULVERT
EXIST. CATCH BASIN/INLET
EXIST. HYDRANT
EXIST. VALVE
EXIST. SANITARY SEWER
EXIST. UNSPECIFIED UTILITY
EXISTING WETLAND
EXISTING WETLAND BUFFER
EXISTING SOILS LIMIT
EXISTING SOILS TYPE
EXISTING TEST PIT

BENCHMARKS

- BM#1 ARROW ON HYDRANT SW CORNER OF LOT 1, NORTH SIDE OF ABIGAIL DR 150' WEST OF HUNTERS CREEK DR ELEV=822.79 NAVD88
BM#2 ARROW ON HYDRANT SE CORNER OF LEAH LAKE AND HUNTERS CREEK DRIVE ELEV=798.38 NAVD88
BM#3 ARROW ON HYDRANT SW CORNER OF FRANCES WAY AND HUNTERS CREEK DRIVE ELEV=771.22 NAVD88

TEST PIT LOCATIONS

Table with 4 columns: TEST PIT ID, NORTHING (SPC MI S), EASTING (SPC MI S), ELEVATION (NAVD 88)

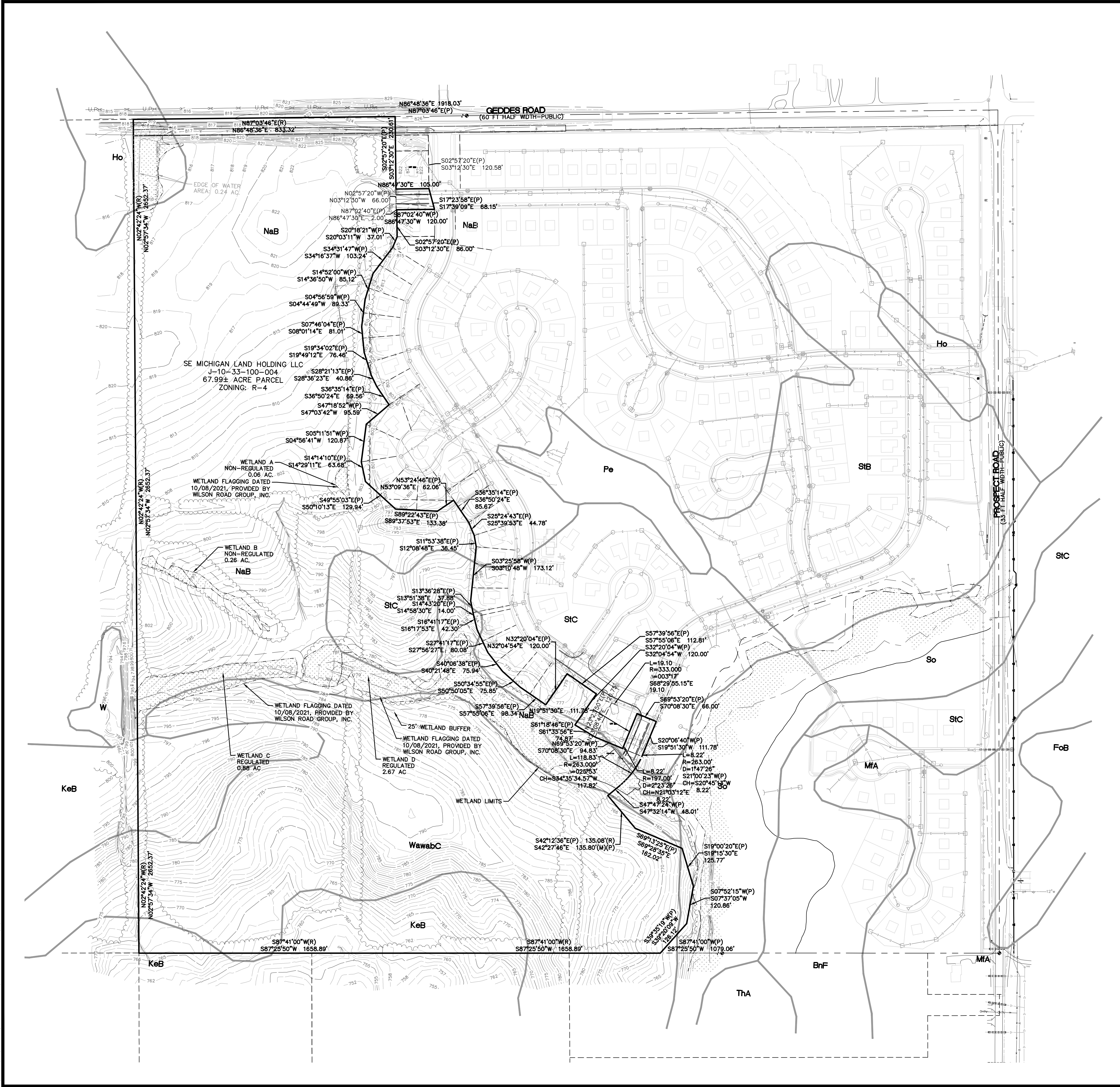
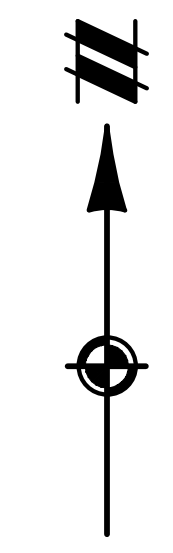
SOIL INFORMATION

- BNC BOYER LOAMY SAND, 6 TO 12 PERCENT SLOPES
BNF BOYER LOAMY SAND, 25 TO 50 PERCENT SLOPES
BOB FOX SANDY LOAM, TILL PLAIN, 2 TO 6 PERCENT SLOPES
HO HOYTVILLE SILTY CLAY LOAM
KEB KENDALLVILLE LOAM, 2 TO 6 PERCENT SLOPES
MDA MATHERTON SANDY LOAM, 0 TO 4 PERCENT SLOPES
MFA METAMORA SANDY LOAM, 0 TO 4 PERCENT SLOPES
NAB NAPPANEE SILTY CLAY LOAM, 2 TO 6 PERCENT SLOPES
OSB OSHTOME LOAMY SAND, 0 TO 6 PERCENT SLOPES
PE PEWAWO CLAY LOAM, 0 TO 2 PERCENT SLOPES
SB SEBEWA LOAM, DISINTEGRATION MORAINES, 0 TO 2 PERCENT SLOPES
SO SLOAN SILT LOAM, WET
SPB SPINKS LOAMY SAND, 0 TO 6 PERCENT SLOPES
STB ST. CLAIR CLAY LOAM, 2 TO 6 PERCENT SLOPES
STC ST. CLAIR CLAY LOAM, 6 TO 12 PERCENT SLOPES
THA THETFORD LOAMY SAND, 0 TO 4 PERCENT SLOPES
W WATER
WAWABC WAWASEE LOAM, 6 TO 12 PERCENT SLOPES

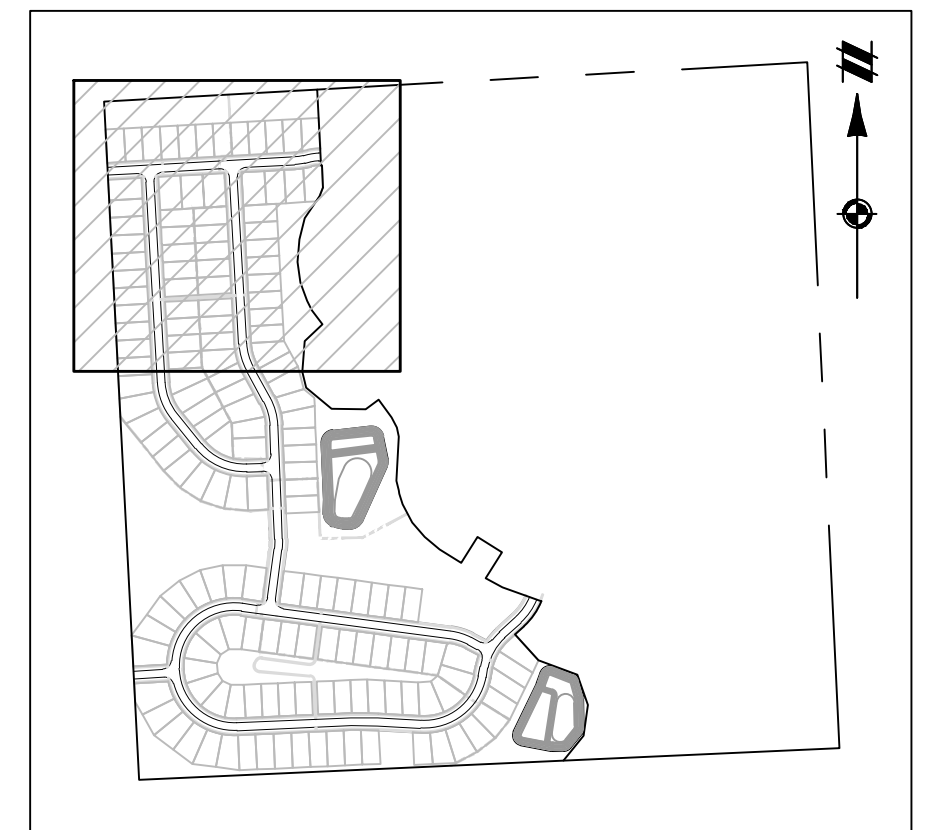
SCHEDULE B II - EXCEPTIONS (PER TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE, FILE NO.: 755321, COMMITMENT DATE SEPTEMBER 07, 2016)

- 6. TERMS AND CONDITIONS CONTAINED IN AGREEMENT TO ESTABLISH THE PROSPECT POINTE DRAIN DRAINAGE DISTRICT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 4366, PAGE 973. (COVERS SUBJECT PARCEL AND ADDITIONAL LANDS, BLANKET IN NATURE.)
7. TERMS AND CONDITIONS CONTAINED IN SUPERIOR CHARTER TOWNSHIP DEVELOPMENT AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 4320, PAGE 260; FIRST AMENDMENT TO SUPERIOR CHARTER TOWNSHIP DEVELOPMENT AGREEMENT RECORDED IN LIBER 5023, PAGE 805. ASSIGNMENT OF DEVELOPER RIGHTS RECORDED IN LIBER 5061, PAGE 898. (L.4320, P.260 COVERS SUBJECT PARCEL AND ADDITIONAL LANDS, BLANKET IN NATURE. L.5023, P.805 COVERS SUBJECT PARCEL SUBDIVISION NO. 1 AND PROSPECT POINTE SUBDIVISION NO. 2. L.5061, P.898 COVERS SUBJECT PARCEL AND ADDITIONAL LANDS, BLANKET IN NATURE.)
8. TERMS AND CONDITIONS CONTAINED IN PLANNED COMMUNITY AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 1549, PAGE 467. (COVERS SUBJECT PARCEL AND ADDITIONAL LANDS, BLANKET IN NATURE.)
9. TERMS AND CONDITIONS CONTAINED IN SANITARY SEWER AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 1549, PAGE 462. (COVERS SUBJECT PARCEL AND ADDITIONAL LANDS, BLANKET IN NATURE.)
10. RIGHT OF WAY IN FAVOR OF THE MICHIGAN BELL TELEPHONE COMPANY AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 1330, PAGE 362 AND LIBER 1793, PAGE 509. (L.1793, P.509 AS SHOWN. L.1330, P.362 LIES APPROX. 500' EAST OF SUBJECT PARCEL.)

10



Vertical text on the left edge of the page, likely a scale or reference line.



**KEYMAP**  
SCALE: 1" = 750'

**LEGEND**

- BOUNDARY LINE
- SECTION LINE
- BOUNDARY/PROPERTY LINE
- EXISTING CONTOUR
- EXISTING TREE LINE
- EXISTING CURB AND GUTTER
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING STRUCTURE
- EXISTING WALL
- EXISTING WATER MAIN
- EXISTING SANITARY
- EXISTING GAS
- EXISTING STORM
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- EXISTING WATER EDGE
- EXISTING WETLAND
- EXISTING WETLAND BUFFER
- EXISTING TREES
- EXISTING TREES TO BE REMOVED

**BENCHMARKS**

- BM#1** ARROW ON HYDRANT  
SW CORNER OF LOT 1, NORTH  
SIDE OF ABIGAIL DR 150'  
WEST OF HUNTERS CREEK DR  
ELEV=822.79 NAVD88
- BM#2** ARROW ON HYDRANT  
SE CORNER OF LEAH LANE  
AND HUNTERS CREEK DRIVE  
ELEV=798.38 NAVD88
- BM#3** ARROW ON HYDRANT  
SW CORNER OF FRANCES WAY  
AND HUNTERS CREEK DRIVE  
ELEV=771.22 NAVD88

**NOTES**

- 1) BEARINGS ARE BASED ON NAD83 MICHIGAN STATE PLANE COORDINATE SYSTEM SOUTH ZONE, INTERNATIONAL FEET, HORIZONTAL DISTANCES. VERTICAL DATUM: NAVD88.
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- 6) PROSPECT POINT SUBDIVISION NO. 1 PLAT WAS AMENDED TO REMOVE ABIGAIL DRIVE STUB AS PUBLIC RIGHT-OF-WAY AS RECORDED IN LIBER 35, PAGES 67-68 AS OF 12/12/22 AND PROSPECT POINT SUBDIVISION NO. 2 PLAT WAS AMENDED TO REMOVE THE FRANCES WAY STUB AS A PUBLIC RIGHT OF WAY AS RECORDED IN LIBER 5426, PAGE 892, AS OF 11/5/22, AS REQUIRED BY THE WASHTENAW COUNTY ROAD COMMISSION.

SEE SHEET 04 FOR CONTINUATION

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SECTION 33

TOWN 2 SOUTH, RANGE 7 EAST

SUPERIOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

SE MICHIGAN LAND HOLDING LLC

PROSPECT POINT WEST

FINAL SITE PLAN - PHASE 1

EXISTING CONDITIONS & DEMOLITION PLAN

---

CLIENT

SE MICHIGAN LAND HOLDING LLC

PROSPECT POINT WEST

FINAL SITE PLAN - PHASE 1

EXISTING CONDITIONS & DEMOLITION PLAN

DATE

JULY 08, 2022

2022-08-12 PER SEC

2022-08-16 PER FIRE DEP.

2022-08-26 PER SEC

2022-09-15 PER TWP

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REVISIONS

0 25 50

SCALE: 1" = 50 FEET

DR. JW CH. SS

P.M. MB

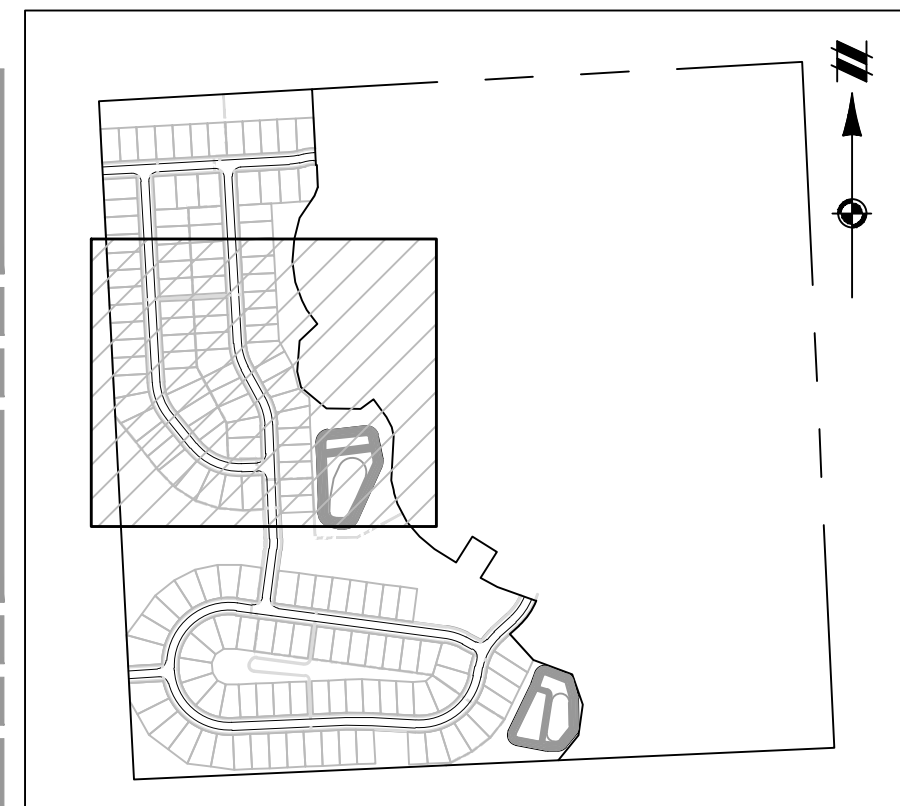
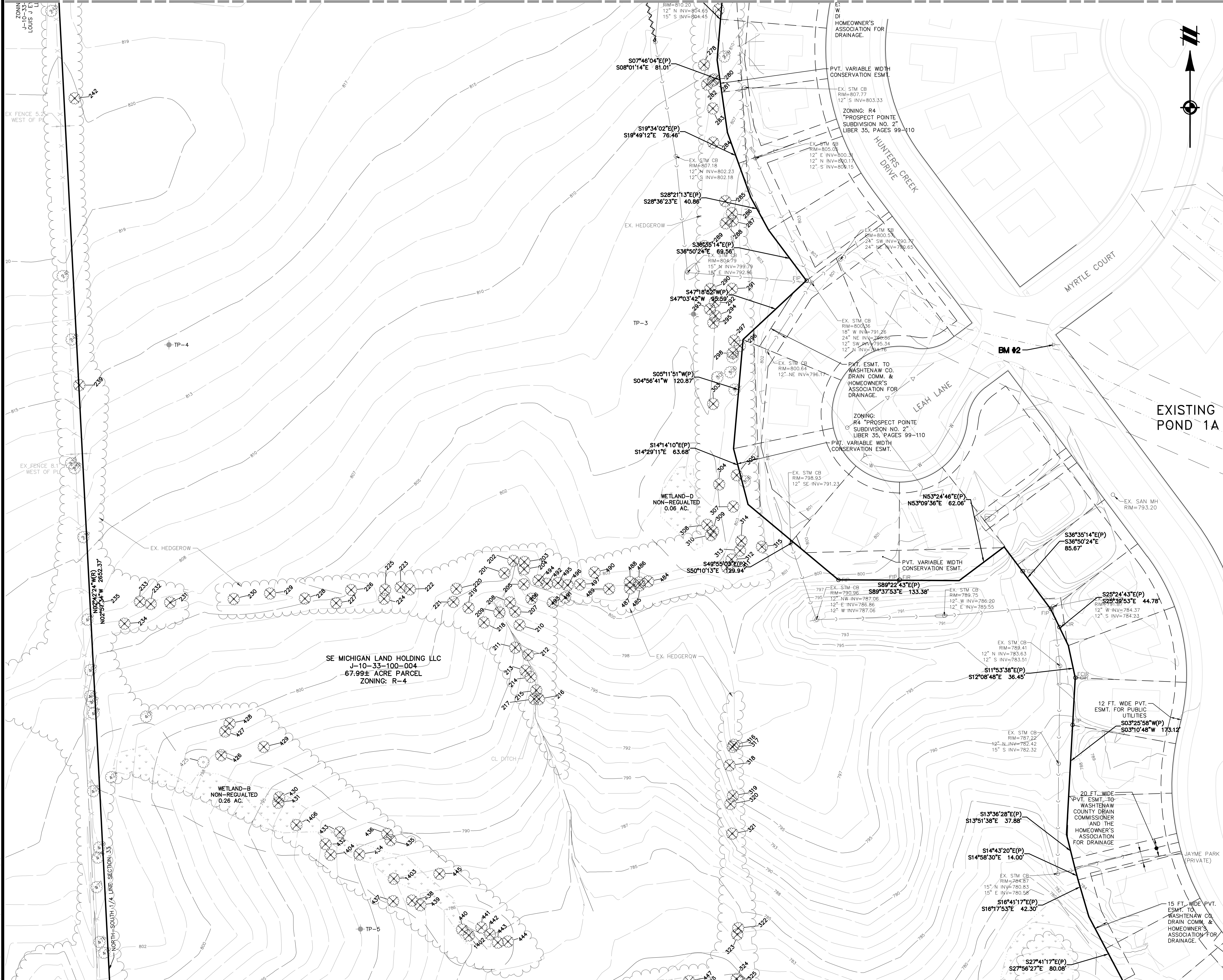
BOOK ---

JOB 16000819

SHEET NO.

03

SEE SHEET 03 FOR CONTINUATION



KEYMAP  
SCALE: 1" = 750'

LEGEND

	BOUNDARY LINE
	EXISTING EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXISTING CONTOUR
	EXISTING TREE LINE
	EXISTING CURB AND GUTTER
	EXISTING FENCE
	EXISTING BUILDING
	EXISTING STRUCTURE
	EXISTING WALL
	EXISTING WATER MAIN
	EXISTING SANITARY
	EXISTING GAS
	EXISTING STORM
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	EXISTING WATER EDGE
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BENCHMARKS

<b>BM#1</b> ARROW ON HYDRANT SW CORNER OF LOT 1, NORTH SIDE OF ABIGAIL DR 150' WEST OF HUNTERS CREEK DR ELEV=822.79 NAVD88
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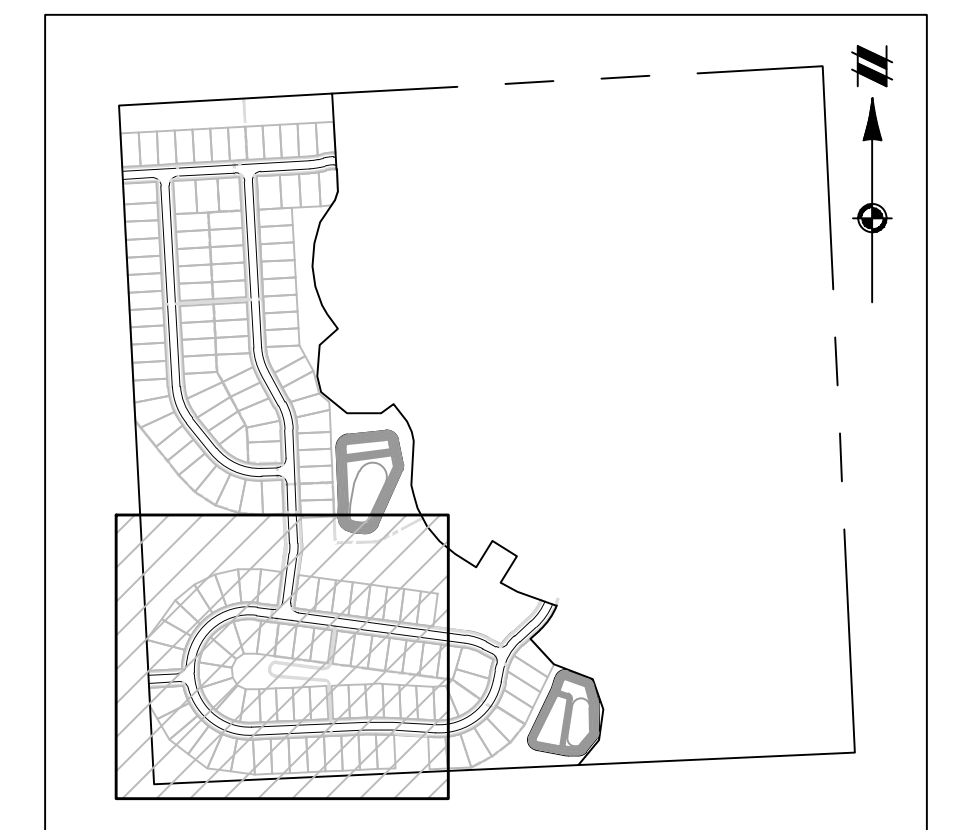
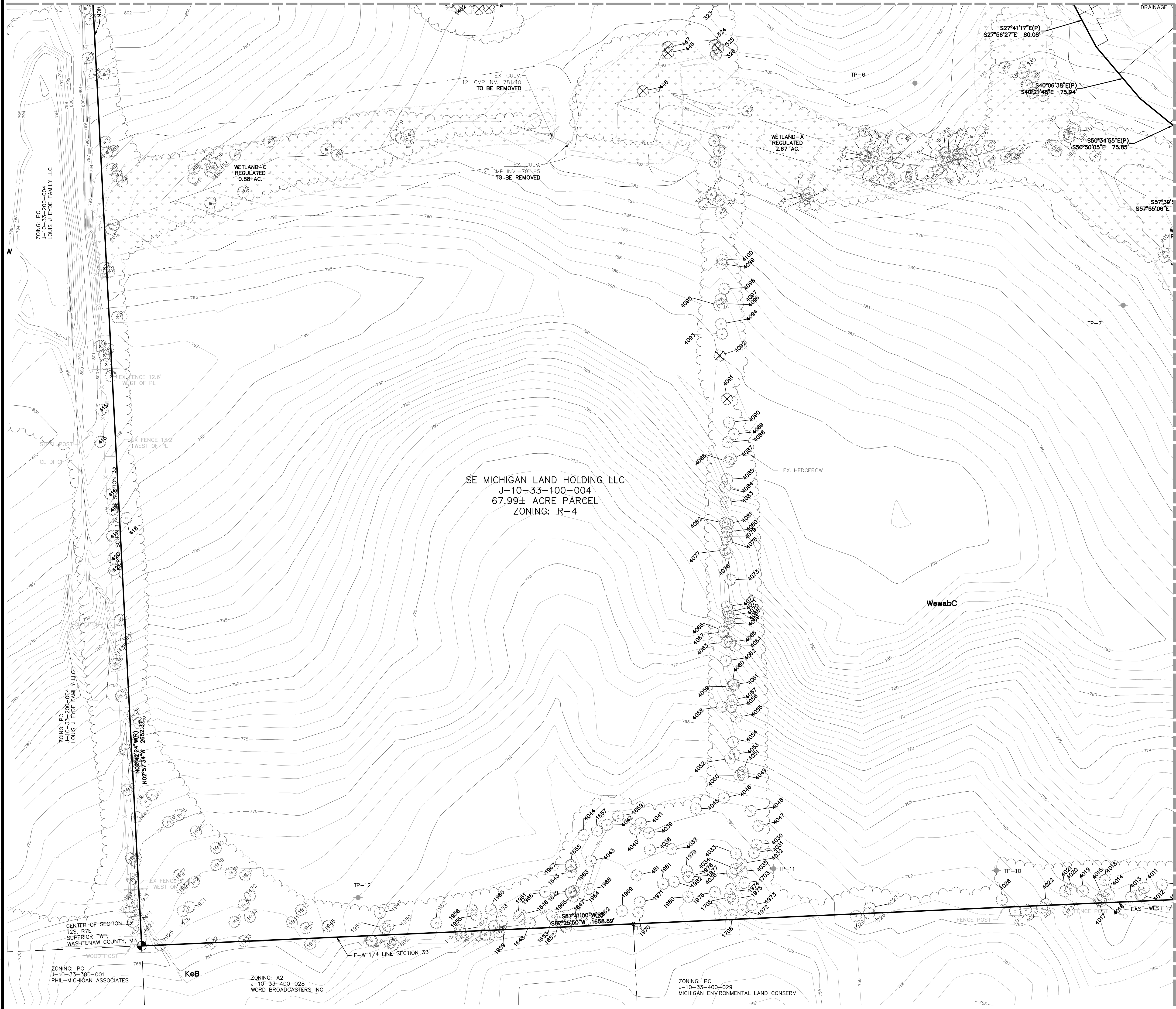
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SECTION 33	TOWN 2 SOUTH, RANGE 7 EAST	SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN								
CLIENT	SE MICHIGAN LAND HOLDING LLC PROSPECT POINT WEST FINAL SITE PLAN - PHASE 1 EXISTING CONDITIONS & DEMOLITION PLAN										
DATE	JULY 08, 2022										
REVISIONS	<table border="1" style="width: 100%; text-align: center;"> <tr> <td>2022-08-12</td> <td>PER SEC</td> </tr> <tr> <td>2022-08-16</td> <td>PER FIRE DEP.</td> </tr> <tr> <td>2022-08-28</td> <td>PER SEC</td> </tr> <tr> <td>2022-09-15</td> <td>PER TWP</td> </tr> </table>			2022-08-12	PER SEC	2022-08-16	PER FIRE DEP.	2022-08-28	PER SEC	2022-09-15	PER TWP
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2022-09-15	PER TWP										
DR.	JW	CH.	SS								
P.M.	MB										
BOOK	---										
JOB	16000819										
SHEET NO.	04										

SEE SHEET 05 FOR CONTINUATION

SEE SHEET 04 FOR CONTINUATION



KEYMAP  
SCALE: 1" = 750'

LEGEND

- BOUNDARY LINE
- EXISTING EASEMENT
- SECTION LINE
- BOUNDARY/PROPERTY LINE
- EXISTING CONTOUR
- EXISTING TREE LINE
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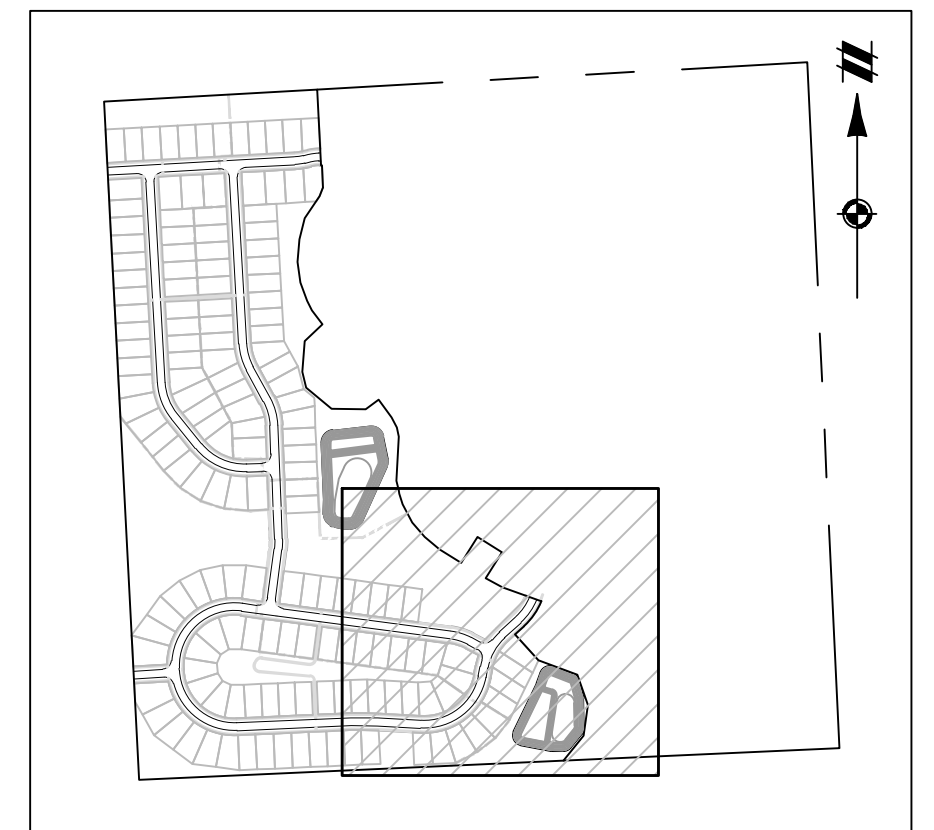
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CLIENT: SE MICHIGAN LAND HOLDING LLC PROJECT: PROSPECT POINT WEST FINAL SITE PLAN - PHASE 1 EXISTING CONDITIONS & DEMOLITION PLAN			
DATE: JULY 08, 2022			
2022-08-12 PER SEC 2022-08-16 PER FIRE DEP. 2022-08-28 PER SEC 2022-09-15 PER TWP			
REVISIONS  SCALE: 1" = 50 FEET			
DR. JW	CH. SS		
P.M. MB			
BOOK ---			
JOB 16000819			
SHEET NO.		05	

SEE SHEET 05 FOR CONTINUATION

SEE SHEET 04 FOR CONTINUATION



KEYMAP SCALE: 1" = 750'

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- BOUNDARY LINE
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4) SUBJECT PROPERTY AS SHOWN AND NOTED ON SURVEY DESCRIBES THE SAME PROPERTY AS SCHEDULE C PROPERTY DESCRIPTION (PER TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE, FILE NO.: 755321, COMMITMENT DATE SEPTEMBER 07, 2016)
5) SUBJECT PROPERTY IS NOT LOCATED WITHIN A FLOODPLAIN PER FIRM MAP NUMBER 26161C0288E DATED APRIL 3, 2012.
6) PROSPECT POINT SUBDIVISION NO. 1 PLAT WAS AMENDED TO REMOVE ABIGAIL DRIVE STUB AS PUBLIC RIGHT-OF-WAY AS RECORDED IN LIBER 35, PAGES 67-68 AS OF 12/12/22 AND PROSPECT POINT SUBDIVISION NO. 2 PLAT WAS AMENDED TO REMOVE THE FRANCES WAY STUB AS A PUBLIC RIGHT OF WAY AS RECORDED IN LIBER 5426, PAGE 892, AS OF 11/5/22, AS REQUIRED BY THE WASHTENAW COUNTY ROAD COMMISSION.

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SECTION 33 TOWN 2 SOUTH, RANGE 7 EAST SUPERIOR TOWNSHIP SUPERIOR COUNTY, MICHIGAN
SE MICHIGAN LAND HOLDING LLC PROSPECT POINT WEST FINAL SITE PLAN - PHASE 1 EXISTING CONDITIONS & DEMOLITION PLAN
CLIENT: SE MICHIGAN LAND HOLDING LLC
DATE: JULY 08, 2022
REVISIONS: 0 25 50 SCALE: 1" = 50 FEET
DR. JW CH. SS P.M. MB BOOK --- JOB 16000819 SHEET NO. 06



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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN  
TREE LIST

SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1

CLIENT DATE

JULY 08, 2022

2022-08-12 PER SECC  
2022-08-16 PER FIRE DEP.  
2022-08-26 PER SECC  
2022-09-15 PER TWP

REVISIONS

NA NA NA  
N/A

DR. JW CH. SS

P.M. MB  
BOOK --

JOB 1600819

SHEET NO.

07

Table with columns: TAG #, COMMON NAME, BOTANICAL NAME, DIAMETER (IN.), CONDITION, LANDMARK, INVASIVE, EXEMPT, REMOVE. Contains tree inventory data for tags 392-1705.

Table with columns: TAG #, COMMON NAME, BOTANICAL NAME, DIAMETER (IN.), CONDITION, LANDMARK, INVASIVE, EXEMPT, REMOVE. Contains tree inventory data for tags 361-391.

Table with columns: TAG #, COMMON NAME, BOTANICAL NAME, DIAMETER (IN.), CONDITION, LANDMARK, INVASIVE, EXEMPT, REMOVE. Contains tree inventory data for tags 331-360.

Table with columns: TAG #, COMMON NAME, BOTANICAL NAME, DIAMETER (IN.), CONDITION, LANDMARK, INVASIVE, EXEMPT, REMOVE. Contains tree inventory data for tags 1-330.



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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
TREE LIST

DATE  
JULY 08, 2022

2022-08-12 PER SECC  
2022-08-16 PER FIRE DEP.  
2022-08-26 PER SECC  
2022-09-15 PER TWP

Table with 3 columns: REVISIONS, NA, NA, NA. Row 1: N/A

Table with 3 columns: DR, CH, SS. Row 1: P.M. MB

BOOK --

JOB 16000819

SHEET NO. 08

Table with columns: TAG #, COMMON NAME, BOTANICAL NAME, DIAMETER (IN.), CONDITION, LANDMARK, INVASIVE, EXEMPT, REMOVE. Rows 1708-4064.

Table with columns: TAG #, COMMON NAME, BOTANICAL NAME, DIAMETER (IN.), CONDITION, LANDMARK, INVASIVE, EXEMPT, REMOVE. Rows 4055-4300.

Table with columns: COMMON NAME, DIAMETER (IN.), SOVEREIGN DIAMETER (IN.), COMMON NAME. Rows: Basswood, Beech, Ohio Buckeye, Catalpa, Black Cherry, American Elm, Fir, Douglas Fir, Kentucky Coffee Tree, Pine, Sycamore, London Plane, Spruce, Tulip-tree, Black Walnut, Shagbark Hickory, Pignut Hickory, Bitternut Hickory, Red Maple, Bur Oak, White Oak, Black Oak, Swamp White Oak, Birch, Cherry, Sweet Cherry, American Chestnut, Butternut.

TREE REMOVAL/REPLACEMENT CALCULATION  
REGULATED 8"-12" TREES REMOVED: 76 : 76 REPLACEMENT TREES REQUIRED  
REGULATED 12.1"-16" TREES REMOVED: 25 : 75 REPLACEMENT TREES REQUIRED  
REGULATED 16.1" & GREATER TREES REMOVED: 9 : 54 REPLACEMENT TREES REQUIRED  
TOTAL NUMBER OF REGULATED TREES REMOVED: 110 : 205 REPLACEMENT TREES REQUIRED  
TOTAL NUMBER OF LANDMARK TREES REMOVED: 3  
TOTAL LANDMARK DBH REMOVED (INCHES): 68 : 68 REPLACEMENT TREES REQUIRED  
TOTAL NUMBER OF REPLACEMENT TREES: 273 TREES

TREE SURVEY NOTES

- 1. TREE LIST INCLUDES SURVEYED TREES OUTSIDE PHASE 1 AREA. REMOVALS SHOWN ON THIS SHEET ARE FOR PHASE 0 AND PHASE 1 SCOPE OF WORK ONLY.
- 2. CLASSIFICATION: BASED ON SUBSECTION 14.05F (WOODLANDS AND TREE PRESERVATION) OF SUPERIOR TOWNSHIP ZONING ORDINANCE. LANDMARK CRITERIA CORRESPONDS TO LANDMARK TREE. AS REGULATED BY THIS SECTION, SHALL BE ANY TREE THAT HAS A DIAMETER AT BREAST HEIGHT (D.B.H.) OF 24 INCHES OR GREATER; OR THAT IS OF A TYPE AND D.B.H. EQUAL TO OR GREATER THAN THAT SHOWN IN THE ZONING ORDINANCE A SOVEREIGN TREE. AS REGULATED BY THIS SECTION, SHALL BE ANY TREE THAT IS REGISTERED ON THE NATIONAL BIG TREE REGISTRY OR A SIMILAR NATIONAL OR STATE REGISTRY ACCEPTED BY THE PLANNING COMMISSION; THAT HAS BEEN DOCUMENTED BY THE TOWNSHIP, A HISTORIAN, OR OTHER MEANS ACCEPTED BY THE PLANNING COMMISSION TO BE CLOSELY ASSOCIATED WITH AN EVENT, PERSON, OR PLACE OF HISTORICAL SIGNIFICANCE TO THE TOWNSHIP; OR THAT IS OF A SPECIES AND DIAMETER AT BREAST HEIGHT (D.B.H.) EQUAL TO OR GREATER THAN THAT SHOWN UNDER SUBSECTION 14.05F4 LANDMARK & SOVEREIGN TREE STANDARDS.
- 3. NO REPLACEMENT NEEDED: NO REPLACEMENTS SHALL BE REQUIRED FOR FOLLOWING TREES OTHERWISE REGULATED BY THIS SECTION, SUBJECT TO DOCUMENTATION AND VERIFICATION AS PART OF THE REQUIRED PLAN INFORMATION, AND SUCH TREES SHALL NOT COUNT TOWARDS THE MINIMUM REQUIRED PERCENTAGE OF PRESERVED TREES:  
1. DYING AND DISEASED TREES.  
2. ANY INVASIVE WOODY SHRUB SPECIES LISTED IN SECTION 14.05F.3, INCLUDING COMMON BUCKTHORN (RHAMNUS CATHARTICA)  
3. ANY OF THE FOLLOWING SPECIES OF TREES: BOX ELDER (ACER NEGUNDO), SILVER MAPLE (ACER SACCHARINUM), COTTONWOOD (POPULUS DELTOIDS), AND RED CEDAR (JUNIPERUS VIRGINIANA).





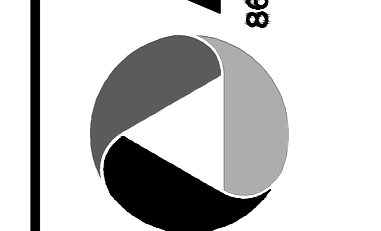
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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
NATURAL FEATURES PLAN

CLIENT

DATE

JULY 08, 2022  
2022-08-12 PER SESC  
2022-08-16 PER FIRE DEP.  
2022-08-28 PER SESC  
2022-09-15 PER TWP

Table with 2 columns: REVISIONS, and empty rows for revision tracking.

SCALE: 1" = 150 FEET

DR. JW CH. SS

P.M. MB

BOOK --

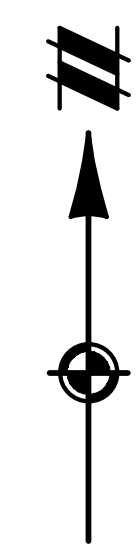
JOB 16000819

SHEET NO.

09

### LEGEND

- 12%-18% SLOPES
- 18%+ SLOPES
- REMOVE WOODS
- EXISTING WETLAND
- WETLAND IMPACTS
- PHASE 1 LIMITS OF GRADING
- EXISTING SOILS LIMIT
- EXISTING SOILS TYPE



### NATURAL FEATURES NARRATIVE

NATURAL FEATURES ON THE SITE CONSIST OF WETLAND, TREES, SLOPES AND AGRICULTURAL FIELD. WITH TWO MAIN HIGH POINTS ON THE SITE, ONE IN THE NORTHERN PORTION AND THE SECOND ON THE FAR SOUTH SIDE, THE TOPOGRAPHY GENERALLY SLOPES TOWARD A WETLAND SWALE IN THE LOWER THIRD OF THE PROPERTY. THERE IS APPROXIMATELY 45 FEET OF TOPOGRAPHIC RELIEF ACROSS THE SITE. THERE ARE STEEP SLOPES ON THE SITE IN THE SOUTHERN PORTION IN THE AREA OF 18%.

THERE ARE FOUR WETLANDS ON THE SITE. THE TWO LARGER REGULATED WETLANDS (C AND D) ARE HYDRAULICALLY CONNECTED VIA A 12" CULVERT AND BOTH RUN EAST TO WEST ACROSS THE PROPERTY AND LEAD ALL THE WAY TO PROSPECT ROAD, WHERE IT'S CONNECTED TO ANOTHER LARGE WETLAND, BY A 12" CULVERT THAT FLOWS EAST TO WEST. THE TWO SMALLER, POCKET WETLANDS (A AND B), ARE JUST NORTH OF THE LARGER SYSTEM, THEY ARE DEPENDENT ON AGRICULTURAL TILE RUNOFF, WHICH WHEN DISTURBED THE TILE WILL BE REMOVED AND THE RESULTANT HYDROLOGICAL PATTERN WILL BE ALTERED. WETLAND A IS PREDOMINANTLY COTTONWOOD, ELM AND BOXELDER.

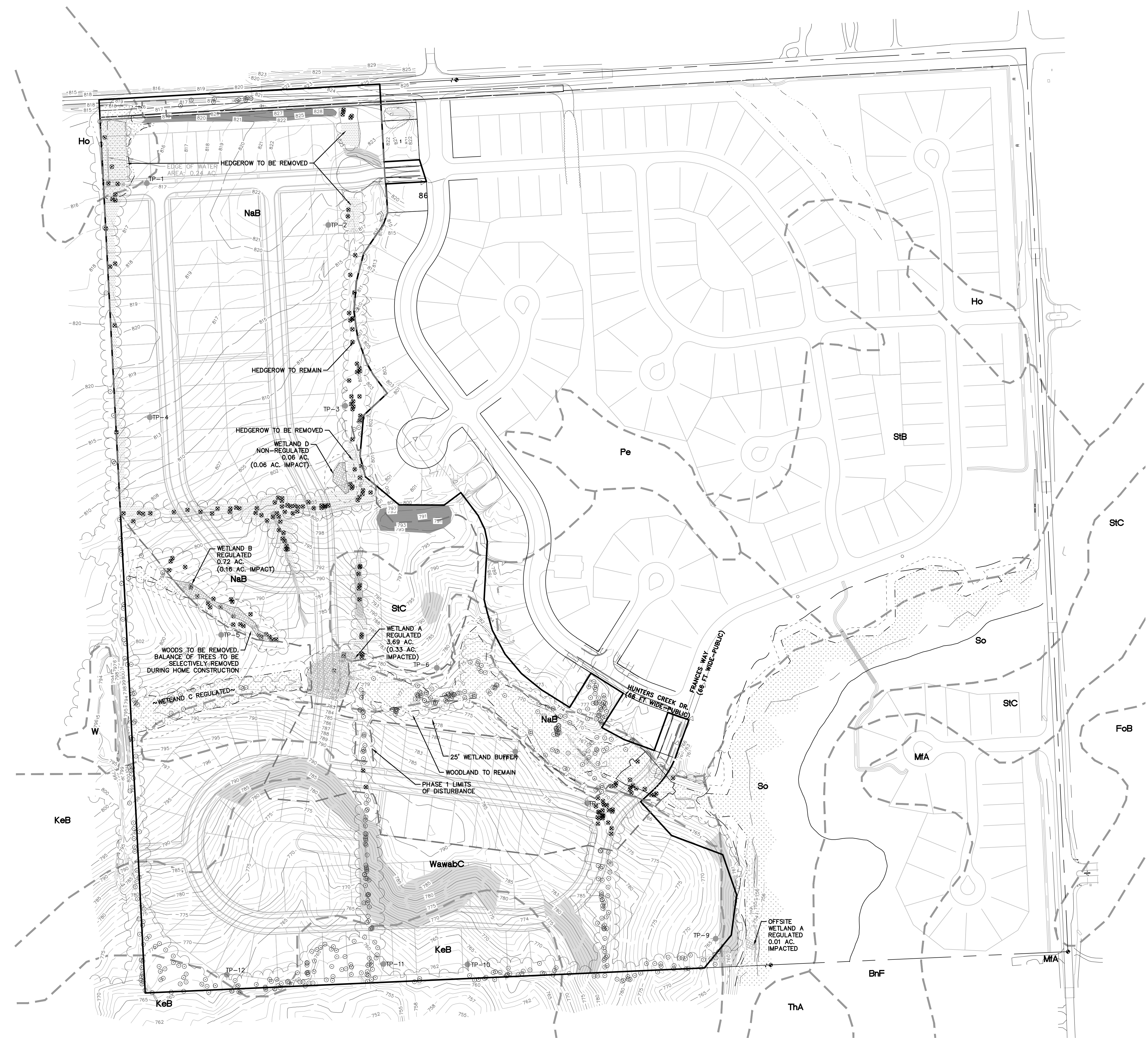
TREES ON THE SITE ALTHOUGH IN GOOD CONDITION, ARE NOT NECESSARILY HIGH QUALITY WITH RESPECT TO SPECIES. THE TREES EXIST LARGELY IN HEDGE ROWS AND SCATTERED CLUSTERS. THE PREDOMINANT SPECIES ARE ELM, BOXELDER AND POPLAR RANGING FROM 6"-24" WITH THE VAST MAJORITY IN THE 7"-13" RANGE.

### SOIL INFORMATION

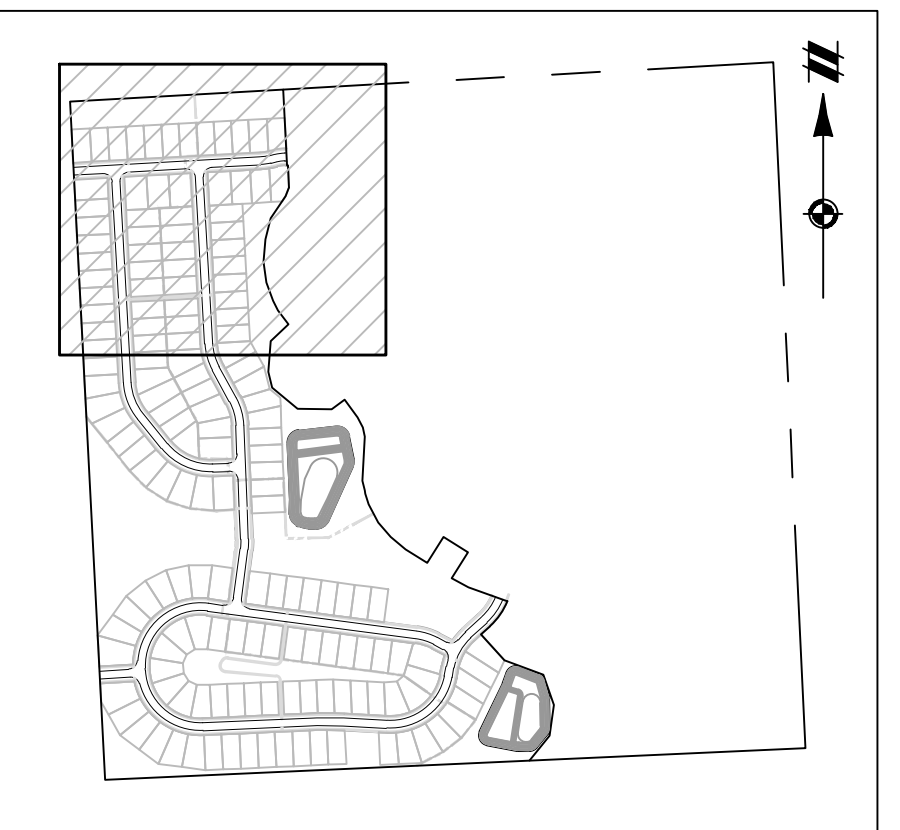
- BNC BOYER LOAMY SAND, 6 TO 12 PERCENT SLOPES
- BNF BOYER LOAMY SAND, 25 TO 50 PERCENT SLOPES
- F0B FOX SANDY LOAM, TILL PLAIN, 2 TO 6 PERCENT SLOPES
- HO HOYTVILLE SILTY CLAY LOAM
- KEB KENDALLVILLE LOAM, 2 TO 6 PERCENT SLOPES
- MDA MATHERTON SANDY LOAM, 0 TO 4 PERCENT SLOPES
- MFA METAMORA SANDY LOAM, 0 TO 4 PERCENT SLOPES
- NAB NAPPANEE SILTY CLAY LOAM, 2 TO 6 PERCENT SLOPES
- OSB OSHTEMO LOAMY SAND, 0 TO 6 PERCENT SLOPES
- PEB PEWAMO CLAY LOAM, 0 TO 2 PERCENT SLOPES
- SB SEBEWA LOAM, DISINTEGRATION MORAINES, 0 TO 2 PERCENT SLOPES
- SO SLOAN SILT LOAM, WET
- SPB SPINKS LOAMY SAND, 0 TO 6 PERCENT SLOPES
- STB ST. CLAIR CLAY LOAM, 2 TO 6 PERCENT SLOPES
- STC ST. CLAIR CLAY LOAM, 6 TO 12 PERCENT SLOPES
- THA THETFORD LOAMY SAND, 0 TO 4 PERCENT SLOPES
- W WATER
- WAWABC WAWASEE LOAM, 6 TO 12 PERCENT SLOPES

### WETLAND IMPACT SUMMARY

Wetland Impact	Wetland Area (acre)	EGLE Regulated	Regulated Wetland Impact Area (SF)	Regulated Wetland Impact Area	Estimated Cut Impact Volume (cubic yards)	Estimated Fill Impact Volume (cubic yards)	Estimated Net Impact Volume (cubic yards)
A1	3.69	Yes	14,480	0.33	0	2950	2950
A2	3.69	Yes	611	0.01	52	0	-52
B	0.72	Yes	6,892	0.16	41	295	254
D	0.06	No	0	0.00	-	-	-
<b>Total</b>	-	-	<b>21,983</b>	<b>0.50</b>	<b>93</b>	<b>3245</b>	<b>3152</b>



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KEYMAP  
SCALE: 1" = 750'

LEGEND

- PROPERTY LINE
- EASEMENT
- 588 EXISTING 1' CONTOUR
- 590 EXISTING 5' CONTOUR
- 588 PROPOSED 1' CONTOUR
- 590 PROPOSED 5' CONTOUR
- EXISTING MANHOLE/CATCH BASIN/END SECTION
- PROPOSED MANHOLE/CATCH BASIN/END SECTION
- PROPOSED SILT FENCE
- GRADING LIMITS
- TREE PROTECTION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED SILT SACK INLET FILTER
- PROPOSED YARD INLET FILTER
- PROPOSED RIP-RAP
- EX. SOIL TYPE BOUNDARY
- Pe EX. SOIL TYPE LABEL
- PR. LIMIT OF DISTURBANCE

NOTE

IF STOCKPILING IS NECESSARY AND/OR CREATED, SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE PERIMETER OF THE STOCKPILE IF THE STOCKPILE WILL BE ON-SITE FOR AN EXTENDED PERIOD OF TIME.

SEE SHEET 11 FOR CONTINUATION

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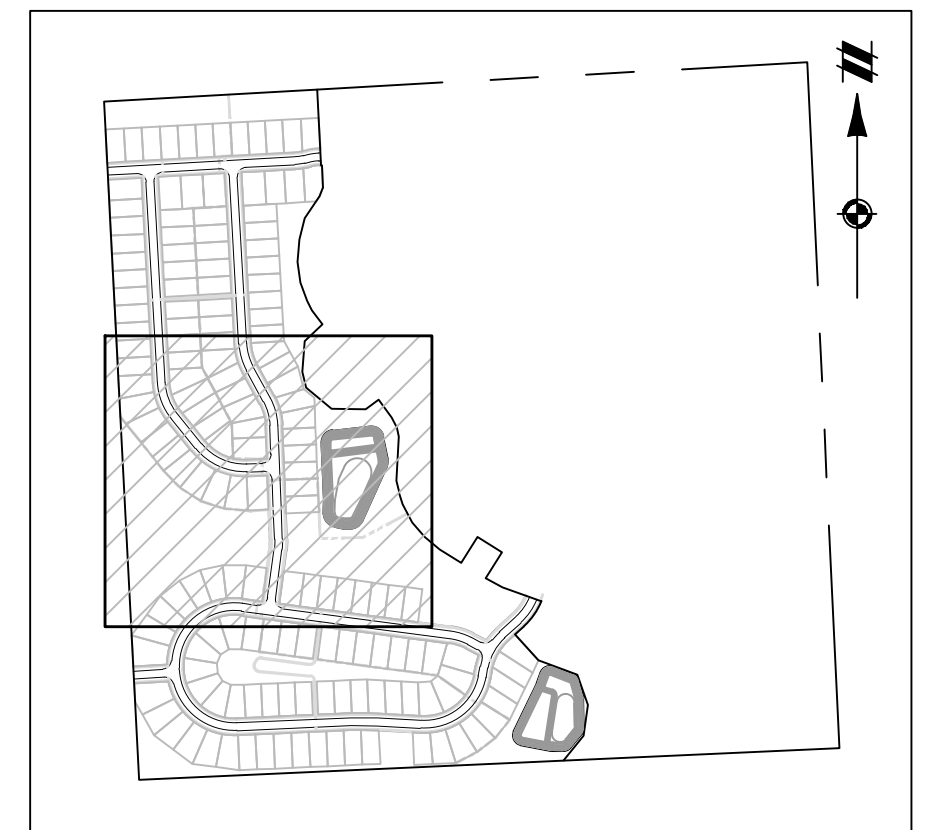
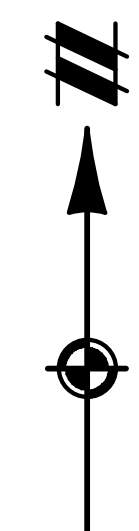
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SECTION 33	TOWN 2 SOUTH, RANGE 7 EAST	SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN									
CLIENT	SE MICHIGAN LAND HOLDING LLC PROSPECT POINTE WEST FINAL SITE PLAN - PHASE 1 SOIL EROSION CONTROL PLAN											
DATE	JULY 08, 2022											
	2022-08-12 PER SESS											
	2022-08-16 PER FIRE DEP.											
	2022-08-28 PER SESS											
	2022-09-15 PER TWP											
REVISIONS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">NO.</td> <td style="width: 15%;">DATE</td> <td style="width: 80%;">DESCRIPTION</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>			NO.	DATE	DESCRIPTION						
NO.	DATE	DESCRIPTION										
	 SCALE: 1" = 50 FEET											
	DR. JW	CH. SS										
	P.M. MB											
	BOOK --											
	JOB 16000819											
SHEET NO.	10											

SEE SHEET 10 FOR CONTINUATION



KEYMAP  
SCALE: 1" = 750'

LEGEND

- 588 --- EXISTING 1' CONTOUR
- 590 --- EXISTING 5' CONTOUR
- 588 --- PROPOSED 1' CONTOUR
- 590 --- PROPOSED 5' CONTOUR
- ○ ○ ○ ○ EXISTING MANHOLE/CATCH BASIN/END SECTION
- □ □ □ □ PROPOSED MANHOLE/CATCH BASIN/END SECTION
- x x x x x --- PROPOSED SILT FENCE
- x x x x x --- GRADING LIMITS
- x x x x x --- TREE PROTECTION
- x x x x x --- EXISTING CURB AND GUTTER
- x x x x x --- PROPOSED CURB AND GUTTER
- x x x x x --- PROPOSED SILT SACK INLET FILTER
- x x x x x --- PROPOSED YARD INLET FILTER
- x x x x x --- PROPOSED RIP-RAP
- x x x x x --- EX. SOIL TYPE BOUNDARY
- x x x x x --- EX. SOIL TYPE LABEL
- x x x x x --- PR. LIMIT OF DISTURBANCE

**811**  
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SECTION 33	TOWN 2 SOUTH, RANGE 7 EAST	SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN
------------	----------------------------	-------------------	----------------------------

CLIENT: SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
SOIL EROSION CONTROL PLAN

DATE: JULY 08, 2022

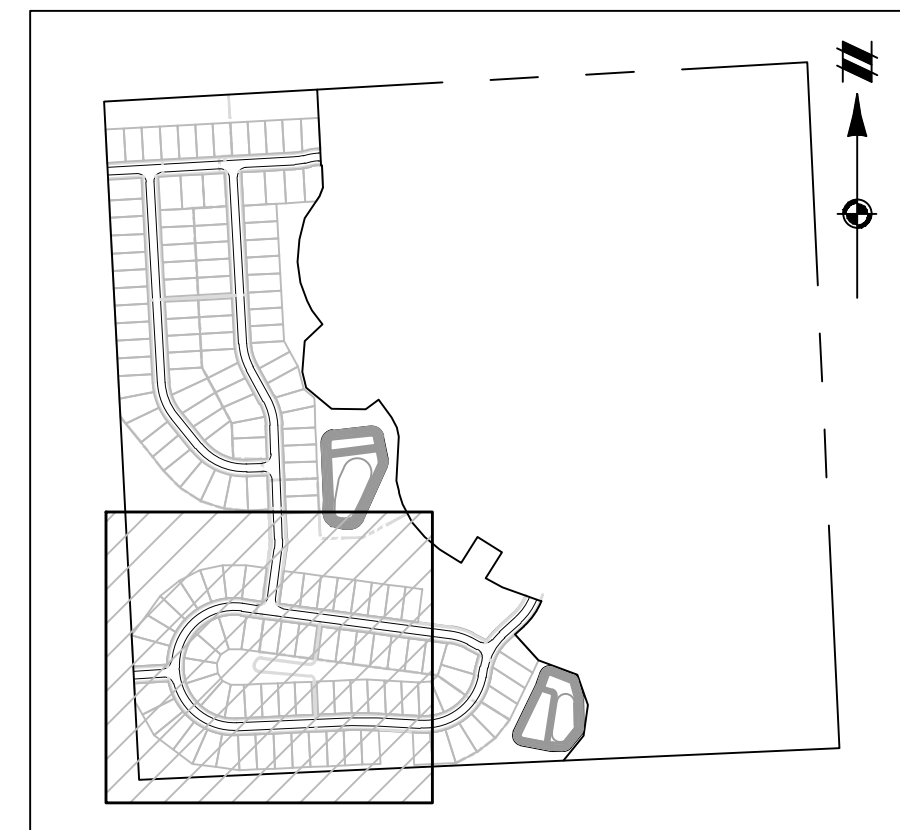
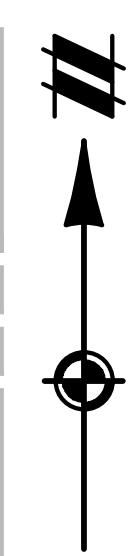
2022-08-12 PER SESC  
2022-08-16 PER FIRE DEP.  
2022-08-28 PER SESC  
2022-09-15 PER TWP

REVISIONS

0 25 50  
SCALE: 1" = 50 FEET

DR. JW CH. SS  
P.M. MB  
BOOK --  
JOB 16000819  
SHEET NO. 11

SEE SHEET 11 FOR CONTINUATION



KEYMAP  
SCALE: 1" = 750'

LEGEND

- PROPERTY LINE
- EASEMENT
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- EXISTING MANHOLE/CATCH BASIN/END SECTION
- PROPOSED MANHOLE/CATCH BASIN/END SECTION
- PROPOSED SILT FENCE
- GRADING LIMITS
- TREE PROTECTION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED SILT SACK INLET FILTER
- PROPOSED YARD INLET FILTER
- PROPOSED RIP-RAP
- EX. SOIL TYPE BOUNDARY
- EX. SOIL TYPE LABEL

SEE SHEET 13 FOR CONTINUATION

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SECTION 33	TOWN 2 SOUTH, RANGE 7 EAST	SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN
CLIENT SE MICHIGAN LAND HOLDING LLC PROSPECT POINT WEST FINAL SITE PLAN - PHASE 1 SOIL EROSION CONTROL PLAN			
DATE JULY 08, 2022			
2022-08-12 PER SESC 2022-08-16 PER FIRE DEP. 2022-08-28 PER SESC 2022-09-15 PER TWP			
REVISIONS 0 25 50 SCALE: 1" = 50 FEET			
DR. JW	CH. SS		
BOOK --			
JOB 16000819			
SHEET NO. 12			

K:\V00001000\PLAN SET\UTILS - FINAL PHASE 1\00000819-06-SEC030-3/17/2023 11:12 AM STEVE GILL

CENTER OF SECTION 33,  
T2S, R7E  
SUPERIOR TWP.,  
WASHTENAW COUNTY, MI

E-W 1/4 LINE SECTION 33

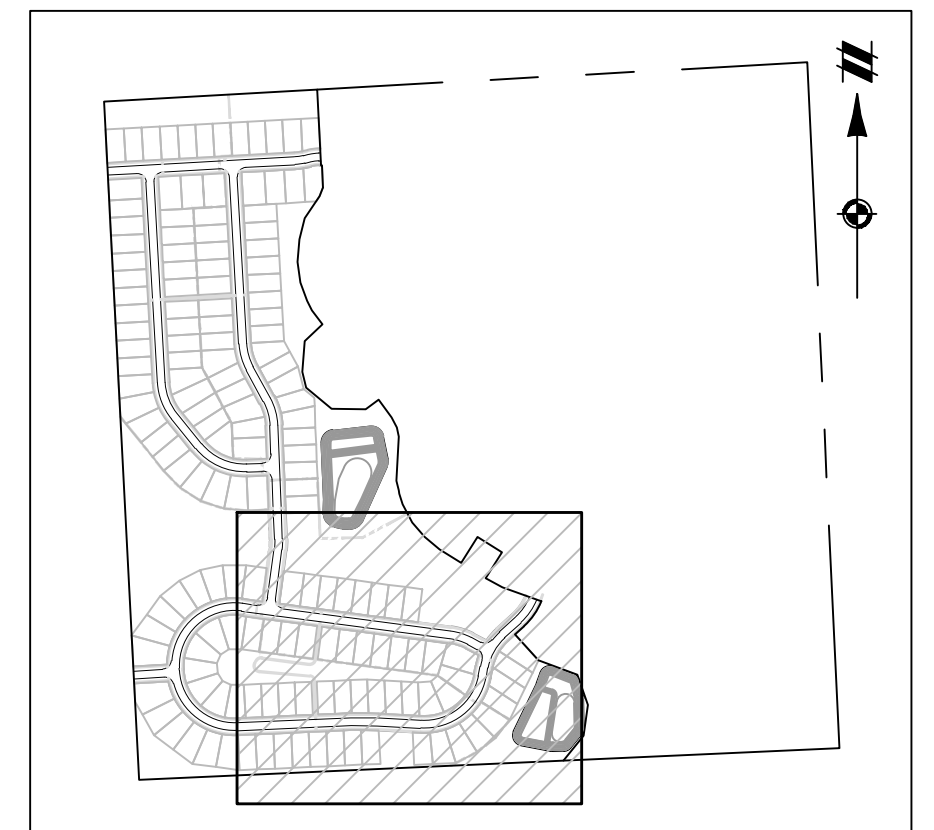
SEE SHEET 11 FOR CONTINUATION

SEE SHEET 12 FOR CONTINUATION



**LEGEND**

- — — — — PROPERTY LINE
- — — — — EASEMENT
- — — — — EXISTING 1' CONTOUR
- — — — — EXISTING 5' CONTOUR
- — — — — PROPOSED 1' CONTOUR
- — — — — PROPOSED 5' CONTOUR
- — — — — EXISTING MANHOLE/CATCH BASIN/END SECTION
- — — — — PROPOSED MANHOLE/CATCH BASIN/END SECTION
- — — — — PROPOSED SILT FENCE
- — — — — GRADING LIMITS
- — — — — TREE PROTECTION
- — — — — EXISTING CURB AND GUTTER
- — — — — PROPOSED CURB AND GUTTER
- — — — — PROPOSED SILT SACK INLET FILTER
- — — — — PROPOSED YARD INLET FILTER
- — — — — PROPOSED RIP-RAP
- — — — — EX. SOIL TYPE BOUNDARY
- — — — — EX. SOIL TYPE LABEL



**KEYMAP**  
SCALE: 1" = 750'

**811**  
Know what's below.  
Call before you dig.

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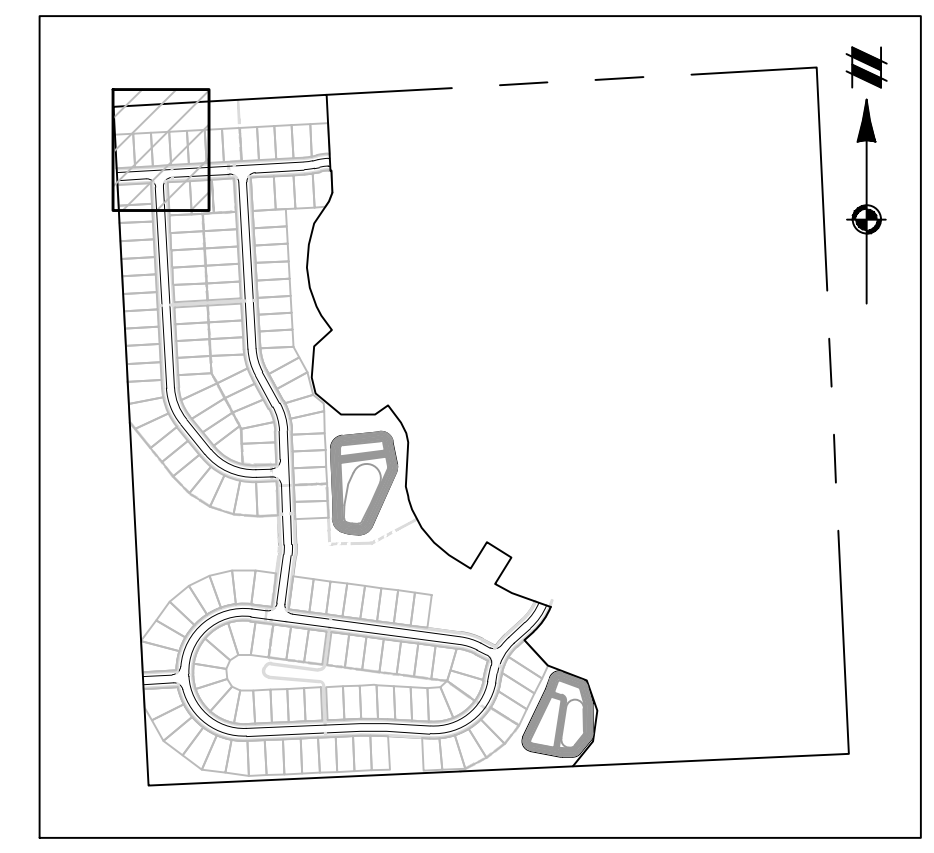
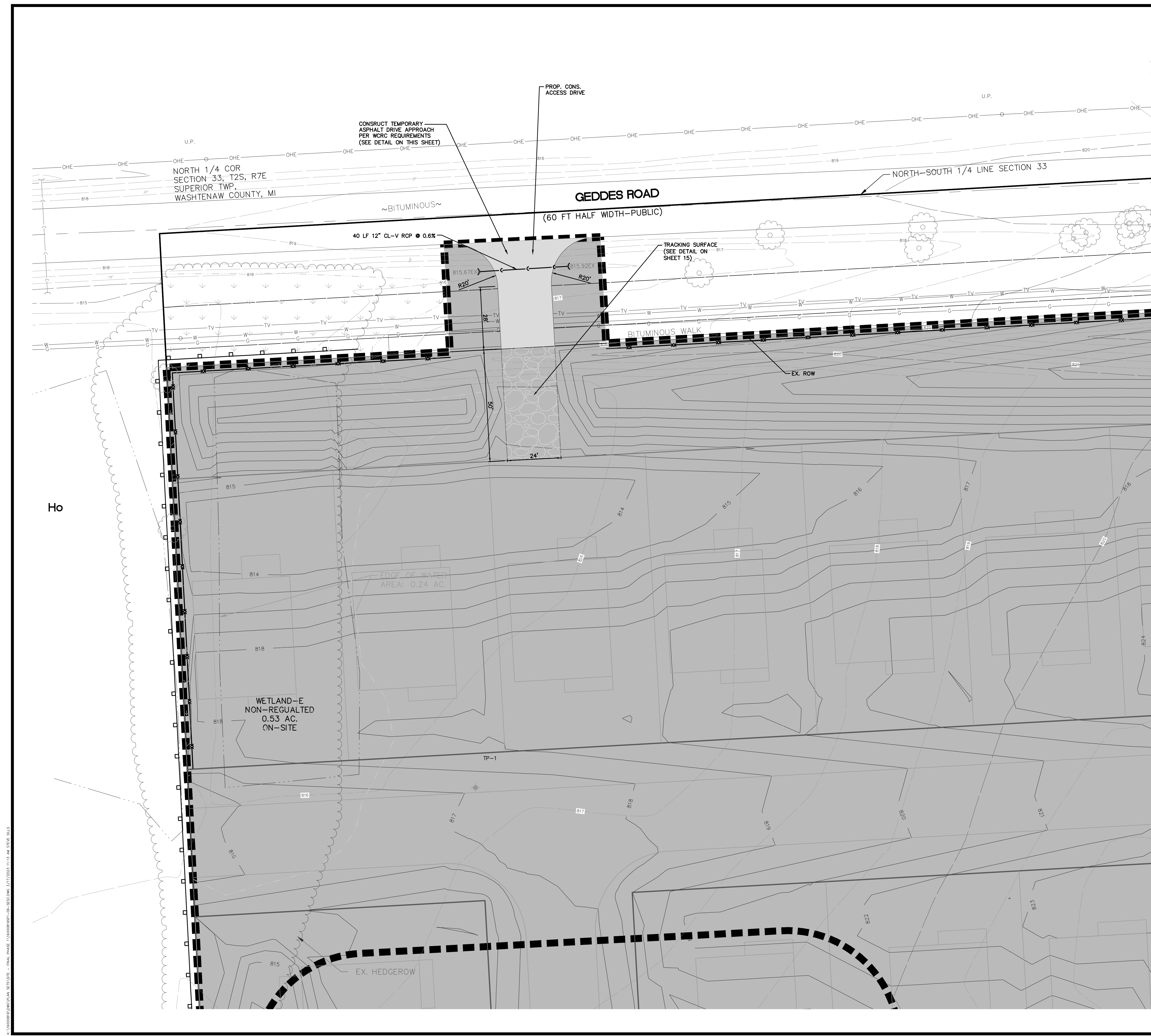
SECTION 33
TOWN 2 SOUTH, RANGE 7 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
SOIL EROSION CONTROL PLAN

DATE	JULY 08, 2022
2022-08-12 PER SESC	
2022-08-16 PER FIRE DEP.	
2022-08-28 PER SESC	
2022-09-15 PER TWP	

REVISIONS	

DR.	JW	CH.	SS
P.M.	MB		
BOOK	---		
JOB	16000819		
SHEET NO.	13		

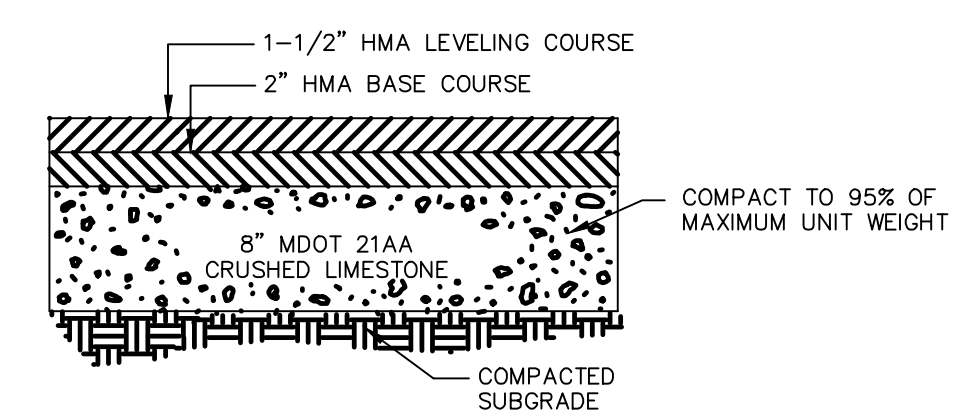


**KEYMAP**  
SCALE: 1" = 750'

**LEGEND**

- 588 PROPOSED 1' CONTOUR
- 590 PROPOSED 5' CONTOUR
- 585 EXISTING 1' CONTOUR
- 595 EXISTING 5' CONTOUR
- PROPERTY LINE
- GRADING LIMITS
- EXISTING MANHOLE / CATCH BASIN
- EXISTING MANHOLE / CATCH BASIN / END SECTION
- EXISTING HYDRANT
- PROPOSED HYDRANT
- EXISTING GATE VALVE & WELL
- PROPOSED GATE VALVE & WELL
- EXISTING WATER MAIN MANHOLE
- PROPOSED WATER MAIN MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING STORM SEWER
- ▭ PROPOSED ASPHALT
- ▭ PROPOSED CONCRETE
- PROPOSED EMERGENCY OVERFLOW ROUTE

- SPOT GRADE DESIGNATIONS**
- FG = FINISH GRADE
  - DBL = DROP BRICK LEDGE
  - GV = GARDEN VIEW
  - DLV = DAYLIGHT VIEW
  - WD = WALKOUT
  - RIM = RIM GRADE/FLOW LINE
  - HP = HIGH POINT
  - TC = TOP OF CURB
  - TW = TOP OF WALK
  - T/WALL = TOP OF WALL
  - B/WALL = BOTTOM OF WALL



**TEMPORARY ASPHALT CROSS SECTION**  
NO SCALE

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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
TEMPORARY CONSTRUCTION  
ACCESS DRIVE

DATE  
JULY 08, 2022

2022-08-12 PER SESC  
2022-08-16 PER FIRE DEP.  
2022-08-26 PER SESC  
2022-09-15 PER TWP

REVISIONS

0 10 20  
SCALE: 1" = 20 FEET

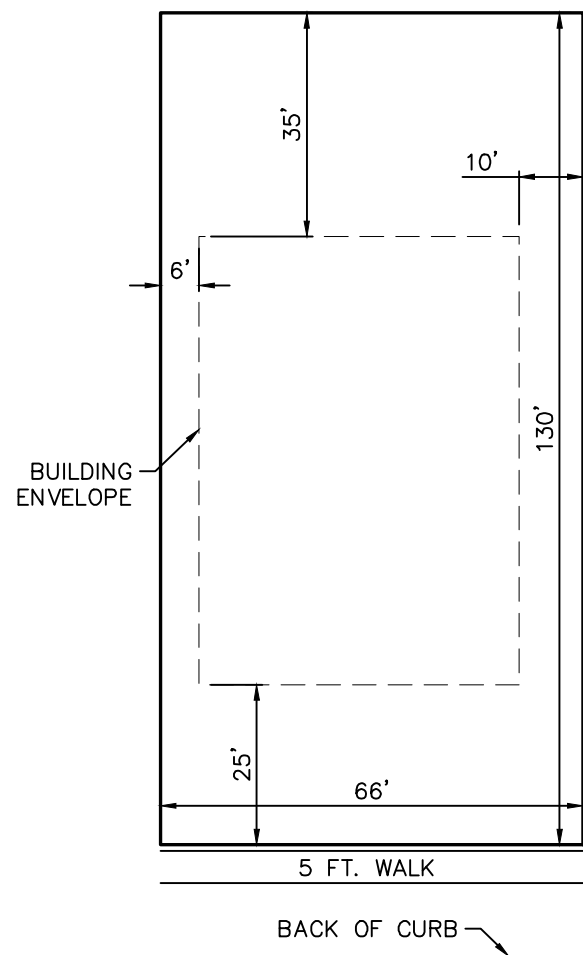
DR. JW CH. SS  
P.M. MB  
BOOK --  
JOB 16000819  
SHEET NO. 14

K:\V\000819\DWG\PLAN\_FINAL\PHASE 1\000819P1-06-SSC.dwg, 3/7/2023 11:13 AM BTVC, BLS



Parcel #	Area (S.F.)
1	8,613
2	9,295
3	8,840
4	8,840
5	8,840
6	9,219
7	9,903
8	9,880
9	11,752
10	8,840
11	8,840
12	8,840
13	8,840
14	8,728
15	8,580
16	8,580
17	8,584
18	11,106
19	8,589
20	8,764
21	10,988
22	8,985
23	10,942
24	8,840
25	8,840
26	8,840
27	8,840
28	8,840
29	8,580
30	8,580

Parcel #	Area (S.F.)
31	8,580
32	10,290
33	9,039
34	9,689
35	9,224
36	9,662
37	8,580
38	8,580
39	8,580



TYPICAL 66' LOT DETAIL  
N.T.S.

**SITE DATA**

GROSS AREA: 67.99 ACRES  
 GEDDES ROAD ROW: 1.15 ACRES  
 NET AREA: 66.84 ACRES

EXISTING ZONING: R4 SINGLE FAMILY RESIDENTIAL  
 PROPOSED ZONING: R4 SINGLE FAMILY RESIDENTIAL  
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL SITE CONDOMINIUM

NUMBER OF PROPOSED LOTS: 157  
 PROPOSED DENSITY (GROSS): 2.31  
 PROPOSED DENSITY (NET): 2.35

LOT AREA PER DWELLING UNIT: 66' X 130' = 8580 SF (TYPICAL)

MINIMUM LOT WIDTH: 66'

LOT SETBACKS:  
 FRONT: 25'  
 SIDE: 6' MIN. (16' TOTAL)  
 REAR: 35'

PROPOSED LOT COVERAGE (2,000 SF - 3200 SF HOMES): MAX 25%

PROPOSED GENERAL COMMON ELEMENT (G.C.E.): 21.65 ACRES

PROPOSED WETLAND IMPACTS:  
 REGULATED: 0.63 ACRES  
 NON-REGULATED: 0.22 ACRES

**LEGEND**

- BOUNDARY LINE
- EXIST. EASEMENT
- SECTION LINE
- BOUNDARY/PROPERTY LINE
- EXIST. SETBACK
- EXIST. TREE LINE
- EXIST. CURB AND GUTTER
- EXIST. BUILDING
- EXIST. WETLAND BUFFER
- PROP. SETBACK BUFFER
- PROP. LOT LINE
- PROP. ROAD CENTERLINE
- PROP. BACK OF CURB
- PROP. WALK
- PROP. ASPH.
- GENERAL COMMENT ELEMENT
- EXISTING WETLAND
- PROP. PHASE LINE
- GENERAL COMMON ELEMENT
- PROP. DRIVE LOCATION

**811**  
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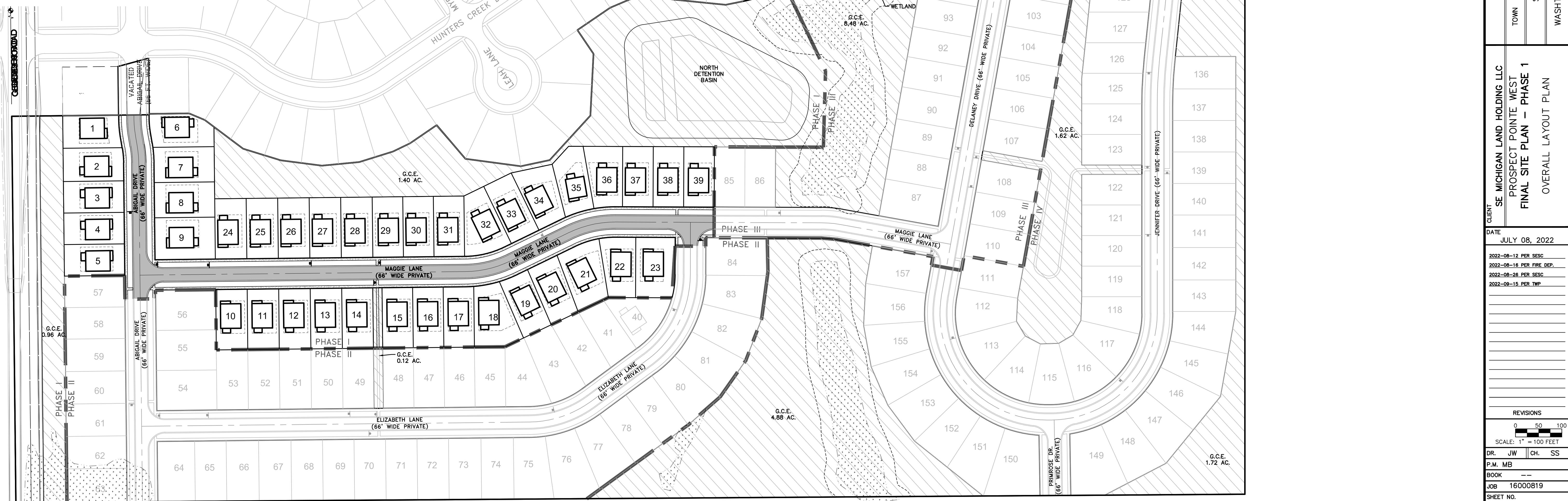
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**PARKING CALC SUMMARY - PHASE 1**

PARKING SUMMARY	ORDINANCE	UNIT	REQUIRED	PROVIDED	NOTES
RESIDENTIAL					
DETACHED CONDOS	2 PER DWELLING	39	82	156	2 PER GARAGE + 2 PER DRIVEWAY REQUIREMENT MET
TOTAL			82	156	



SECTION 33  
 TOWN 2 SOUTH, RANGE 7 EAST  
 SUPERIOR TOWNSHIP  
 WASHTENAW COUNTY, MICHIGAN

CLIENT: SE MICHIGAN LAND HOLDING LLC  
 PROSPECT POINTE WEST  
 FINAL SITE PLAN - PHASE 1  
 OVERALL LAYOUT PLAN

DATE: JULY 08, 2022

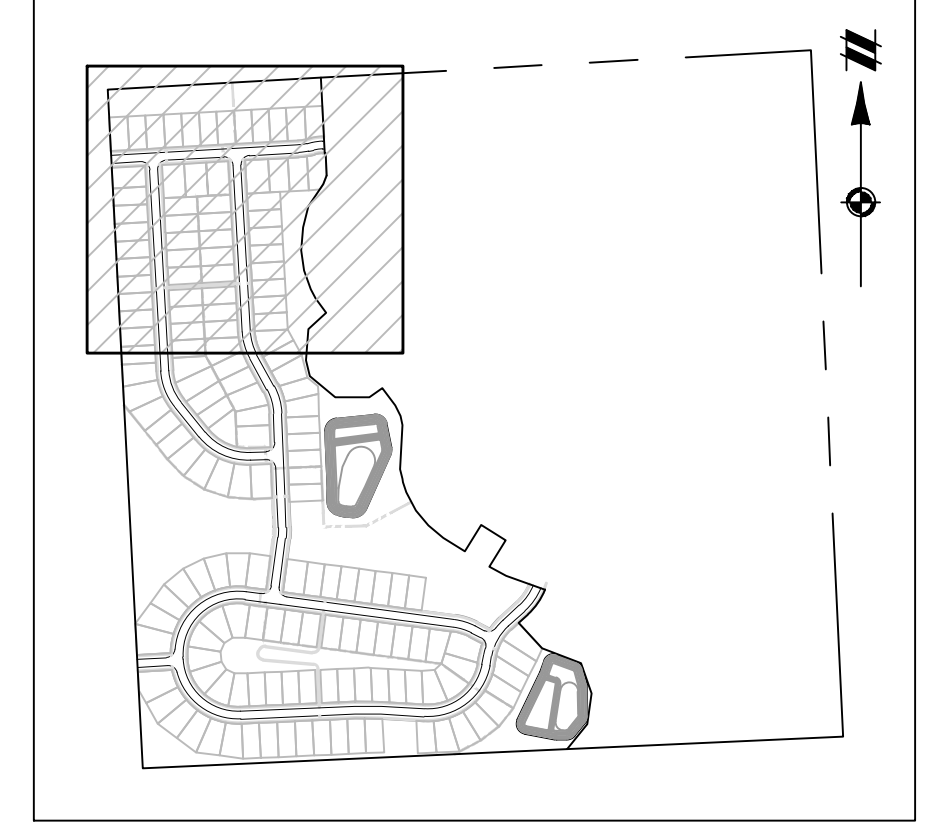
2022-08-12 PER SESS  
 2022-08-16 PER FIRE DEP.  
 2022-08-28 PER SESS  
 2022-09-15 PER TWP

REVISIONS

SCALE: 1" = 100 FEET

DR. JW CH. SS  
 P.M. MB  
 BOOK --  
 JOB 16000819  
 SHEET NO. 16





**KEYMAP**  
SCALE: 1" = 750'

**LEGEND**

- BOUNDARY LINE
- EXIST. EASEMENT
- SECTION LINE
- BOUNDARY/PROPERTY LINE
- EXIST. SETBACK
- EXIST. TREE LINE
- EXIST. CURB AND GUTTER
- EXIST. BUILDING
- EXIST. WETLAND BUFFER
- PROP. SETBACK
- PROP. LOT LINE
- PROP. ROAD CENTERLINE
- PROP. BACK OF CURB
- PROP. WALK
- PROP. ASPH.
- GENERAL COMMON ELEMENT
- PROP. PHASE LINE
- EXIST. WETLAND
- GENERAL COMMON ELEMENT
- GARAGE/DRIVEWAY LOCATION INDICATOR

**SIGN LEGEND**

- W11A-2 PEDESTRIAN CROSSING SIGN
- R1-1 STOP SIGN
- D3-1 STREET NAME SIGN
- 'NO PARKING' FIRE LANE SIGN

**ABIGAIL DRIVE**

ALIGNMENT LINE TABLE				
Line #	Length	Direction	Start Point	End Point
L1	731.26	N86° 48' 35.57"E	(13327274.84,283145.90)	(13328004.96,283186.59)
L2	20.93	N77° 32' 06.87"E	(13328041.80,283191.65)	(13328062.24,283196.17)
L3	8.52	N86° 47' 29.57"E	(13328099.01,283201.23)	(13328107.52,283201.71)

ALIGNMENT CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHD. BEARING	CHORD
C1	230.00'	37.23'	9°16'29"	N82°10'21"E	37.19'
C2	230.00'	37.16'	9°15'23"	N82°09'48"E	37.12'

**ELIZABETH LANE**

ALIGNMENT LINE TABLE				
Line #	Length	Direction	Start Point	End Point
L4	836.40	S3° 11' 24.43"E	(13327437.45,283154.96)	(13327484.00,282319.86)
L5	149.62	S39° 00' 17.08"E	(13327534.91,282187.90)	(13327629.08,282071.63)
L6	112.85	N87° 38' 06.28"E	(13327817.30,281986.58)	(13327930.06,281991.24)

ALIGNMENT CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHD. BEARING	CHORD
C3	230.00'	143.77'	35°48'53"	S21°05'51"E	141.44'
C4	230.00'	214.20'	53°21'37"	S65°41'05"E	206.54'

**MAGGIE LANE**

ALIGNMENT LINE TABLE				
Line #	Length	Direction	Start Point	End Point
L7	701.88	S3° 11' 24.43"E	(13327762.95,283173.10)	(13327802.00,282472.31)
L8	138.84	S28° 29' 14.76"E	(13327829.50,282375.40)	(13327895.72,282253.38)
L9	444.75	S2° 21' 53.72"E	(13327923.37,282153.16)	(13327941.72,281708.79)
L10	242.84	S7° 33' 17.32"E	(13327939.92,281669.06)	(13327907.99,281428.33)

ALIGNMENT CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHD. BEARING	CHORD
C5	230.00'	101.55'	25°17'50"	S15°50'20"E	100.73'
C6	230.00'	104.86'	26°07'21"	S15°25'34"E	103.96'
C7	230.00'	39.82'	9°55'11"	S2°35'42"W	39.77'

SEE SHEET 18 FOR CONTINUATION

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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT: SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINT WEST  
FINAL SITE PLAN - PHASE 1  
LAYOUT PLAN

DATE: JULY 08, 2022

2022-08-12 PER SEC.  
2022-08-16 PER FIRE DEP.  
2022-08-28 PER SEC.  
2022-09-15 PER TWP.

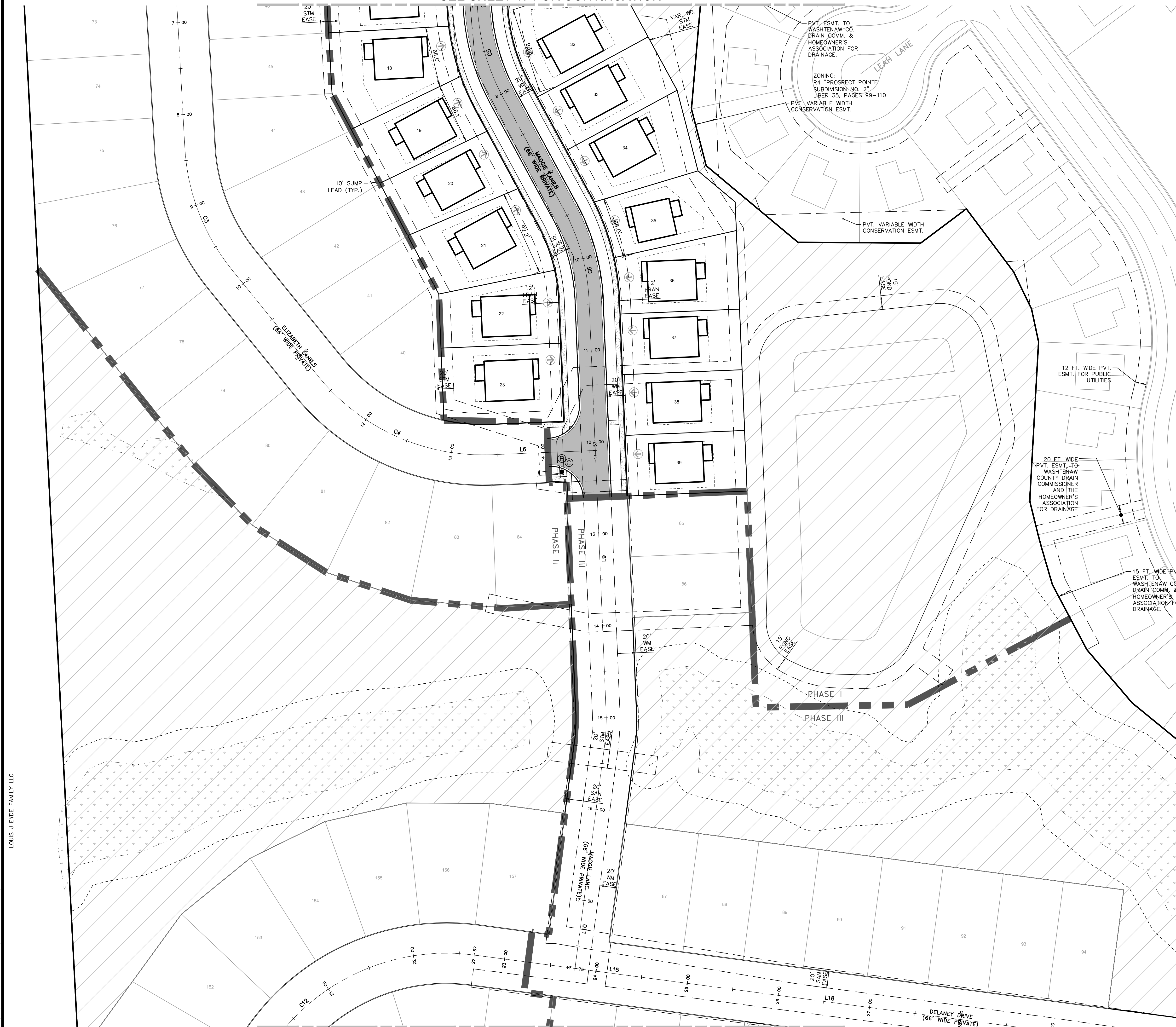
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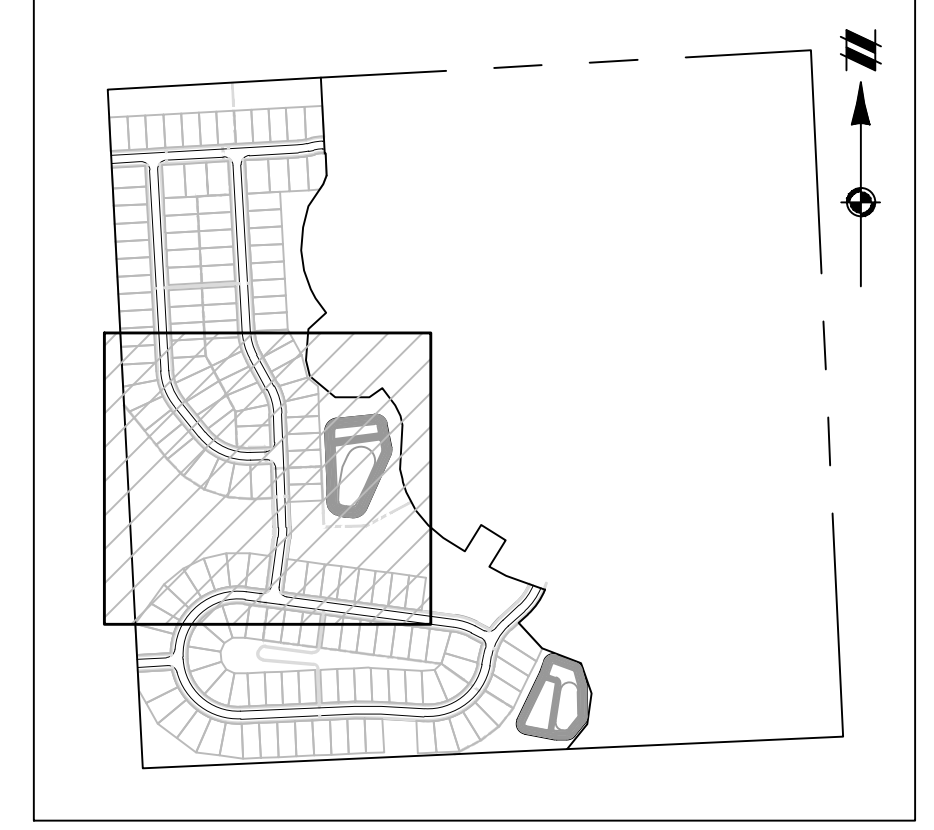
SCALE: 1" = 50 FEET

DR. JW | CH. SS  
P.M. MB  
BOOK ---  
JOB 16000819  
SHEET NO. 17

SEE SHEET 17 FOR CONTINUATION



SEE SHEET 19 FOR CONTINUATION



KEYMAP  
SCALE: 1" = 750'

LEGEND

- BOUNDARY LINE
- EXIST. EASEMENT
- SECTION LINE
- BOUNDARY/PROPERTY LINE
- EXIST. SETBACK
- EXIST. TREE LINE
- EXIST. CURB AND GUTTER
- EXIST. BUILDING
- EXIST. WETLAND BUFFER
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- PROP. ASPH.
- GENERAL COMMON ELEMENT
- PROP. PHASE LINE
- EXIST. WETLAND
- GENERAL COMMON ELEMENT
- GARAGE/DRIVEWAY LOCATION INDICATOR

SIGN LEGEND

- W11A-2 PEDESTRIAN CROSSING SIGN
- R1-1 STOP SIGN
- D3-1 STREET NAME SIGN
- 'NO PARKING' FIRE LANE SIGN

ABIGAIL DRIVE

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MAGGIE LANE

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C7	230.00'	39.82'	9°55'11"	S2°35'42"W	39.77'



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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
LAYOUT PLAN

DATE  
JULY 08, 2022

2022-08-12 PER SEPC  
2022-08-16 PER FIRE DEP.  
2022-08-28 PER SEPC  
2022-09-15 PER TWP

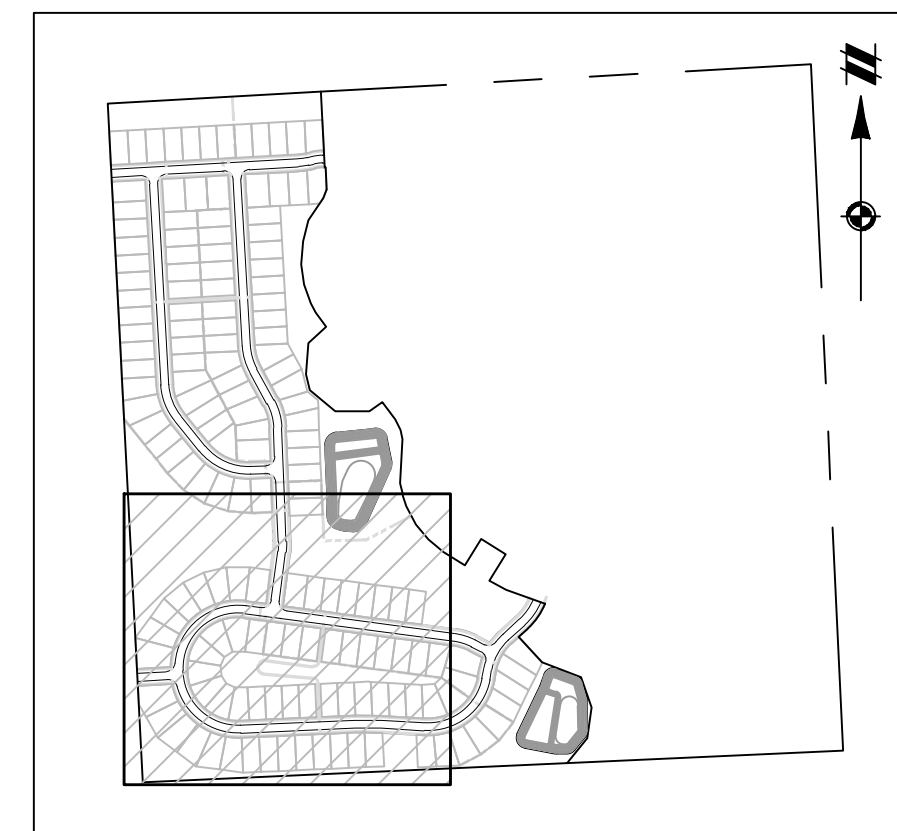
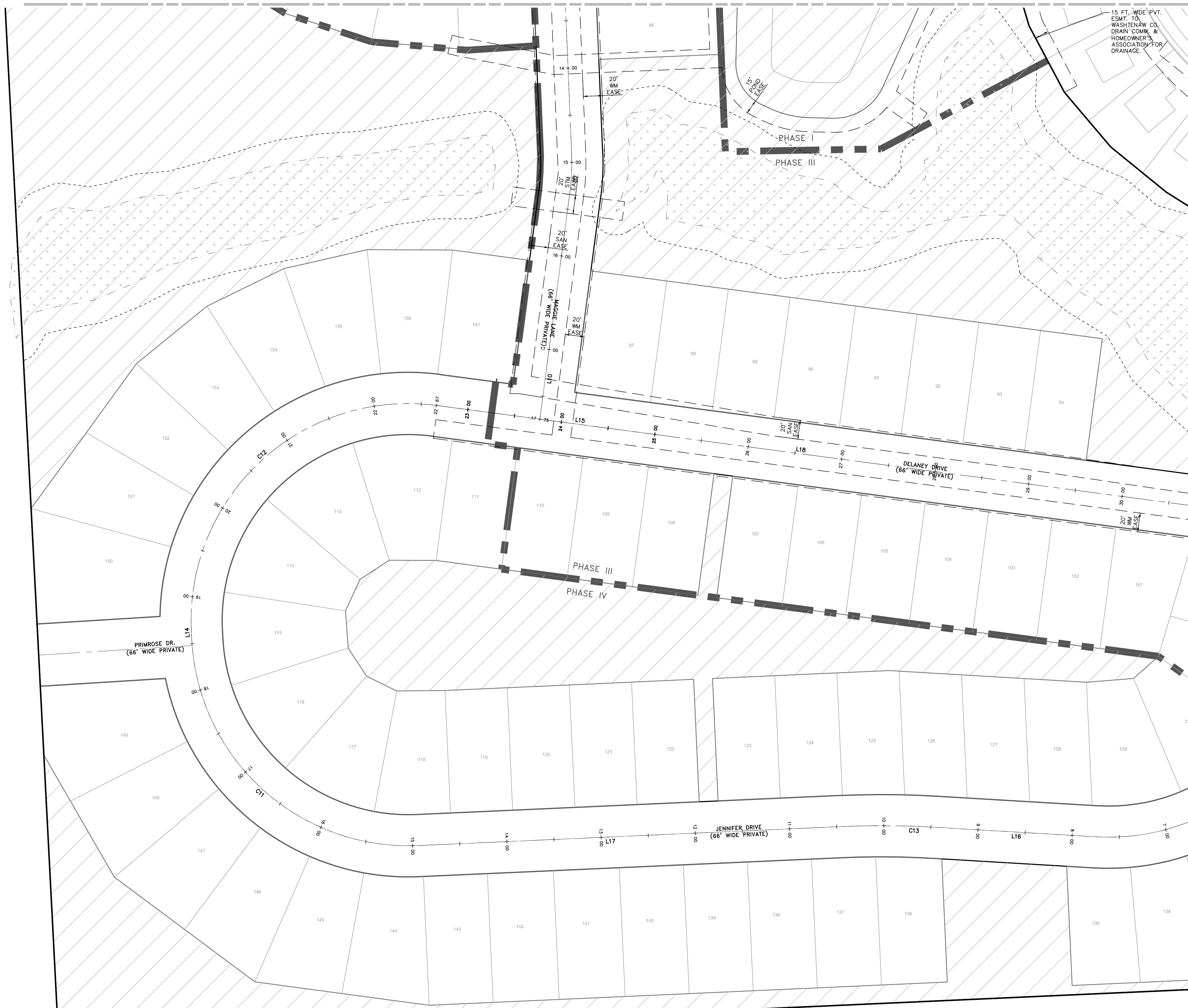
REVISIONS			
NO.	DATE	DESCRIPTION	BY

SCALE: 1" = 50 FEET

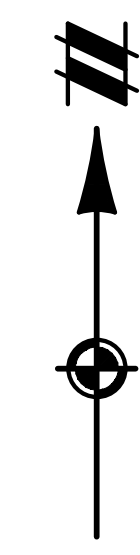
DR. JW CH. SS  
P.M. MB  
BOOK ---  
JOB 16000819  
SHEET NO. 18

LOUIS J EYDE FAMILY LLC

SEE SHEET 18 FOR CONTINUATION



KEYMAP  
SCALE: 1" = 750'



LEGEND

- BOUNDARY LINE
- EXIST. EASEMENT
- SECTION LINE
- BOUNDARY/PROPERTY LINE
- EXIST. SETBACK
- EXIST. TREE LINE
- EXIST. CURB AND GUTTER
- EXIST. BUILDING
- EXIST. WETLAND BUFFER
- PROP. SETBACK
- PROP. LOT LINE
- PROP. ROAD CENTERLINE
- PROP. BACK OF CURB
- PROP. WALK
- PROP. ASPH.
- GENERAL COMMON ELEMENT
- PROP. PHASE LINE
- EXIST. WETLAND
- GENERAL COMMON ELEMENT
- GARAGE/DRIVEWAY LOCATION INDICATOR

SIGN LEGEND

- W11A-2 PEDESTRIAN CROSSING SIGN
- R1-1 STOP SIGN
- D3-1 STREET NAME SIGN
- 'NO PARKING' FIRE LANE SIGN

SEE SHEET 20 FOR CONTINUATION

FRANCES WAY, JENNIFER DR., DELANEY DR.

ALIGNMENT LINE TABLE				
Line #	Length	Direction	Start Point	End Point
L11	60.27	S19° 51' 29.48"W	(13328960.63,281542.12)	(13328940.16,281485.43)
L12	86.82	S47° 32' 13.57"W	(13328879.11,281393.89)	(13328815.06,281335.27)
L13	38.17	S10° 54' 11.78"W	(13328744.49,281209.10)	(13328737.27,281171.62)
L14	8.86	N2° 57' 34.43"W	(13327538.96,281194.13)	(13327538.50,281202.98)
L15	233.73	S82° 26' 42.68"E	(13327798.44,281442.86)	(13328030.13,281412.13)
L16	168.78	N86° 36' 24.80"W	(13328497.81,280985.53)	(13328329.32,280995.52)
L17	446.79	S87° 25' 49.58"W	(13328225.30,280996.27)	(13327778.96,280976.24)
L18	820.96	S82° 26' 42.68"E	(13327798.44,281442.86)	(13328612.26,281334.92)
L19	88.32	S62° 44' 35.31"E	(13328687.36,281311.38)	(13328765.87,281270.93)

ALIGNMENT CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHD. BEARING	CHORD
C8	230.00'	111.11'	27°40'44"	S33°41'52"W	110.03'
C9	230.00'	147.06'	36°38'02"	S29°13'13"W	144.57'
C10	230.00'	331.14'	82°29'23"	S52°08'53"W	303.27'
C11	230.00'	359.72'	89°36'36"	N47°45'52"W	324.16'
C12	230.00'	403.49'	100°30'52"	N47°17'51"E	353.70'
C13	1000.00'	104.07'	5°57'46"	N89°35'18"W	104.02'
C14	230.00'	79.09'	19°42'07"	S72°35'39"E	78.70'

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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
LAYOUT PLAN

DATE  
JULY 08, 2022

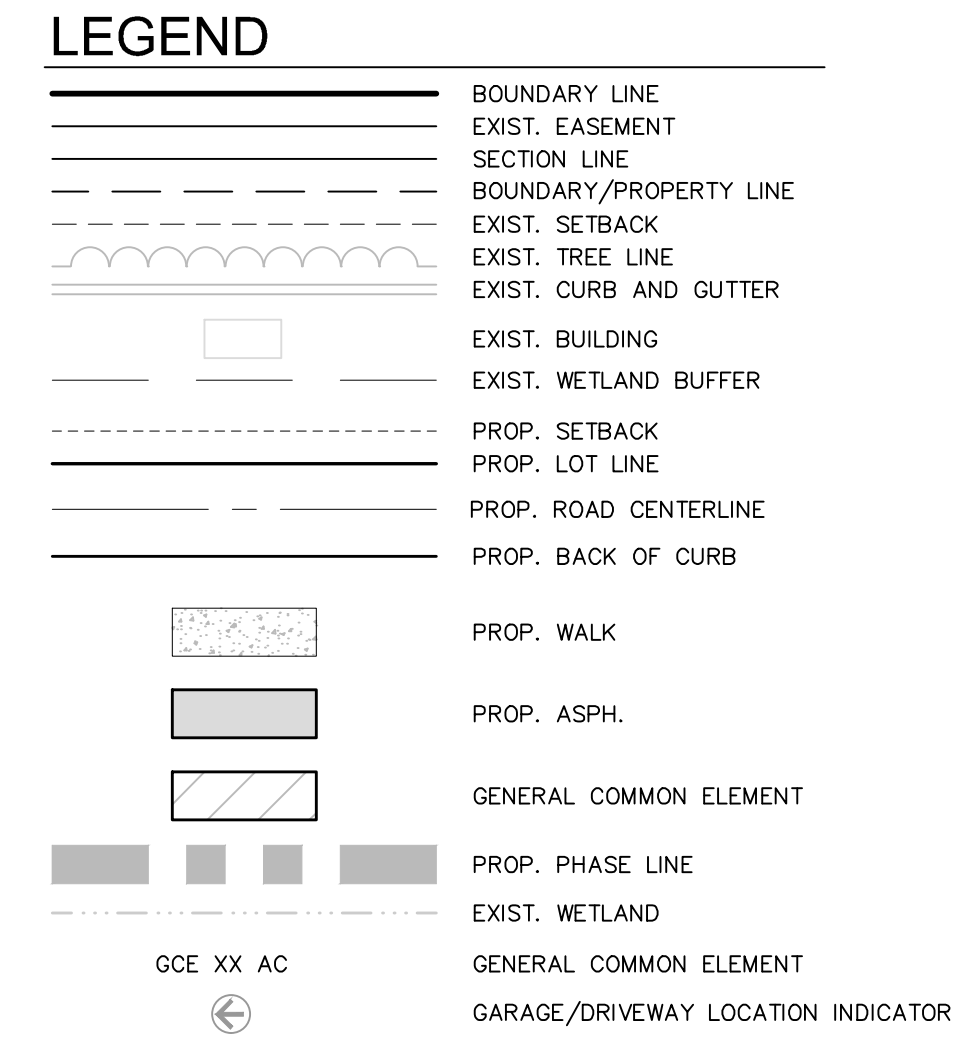
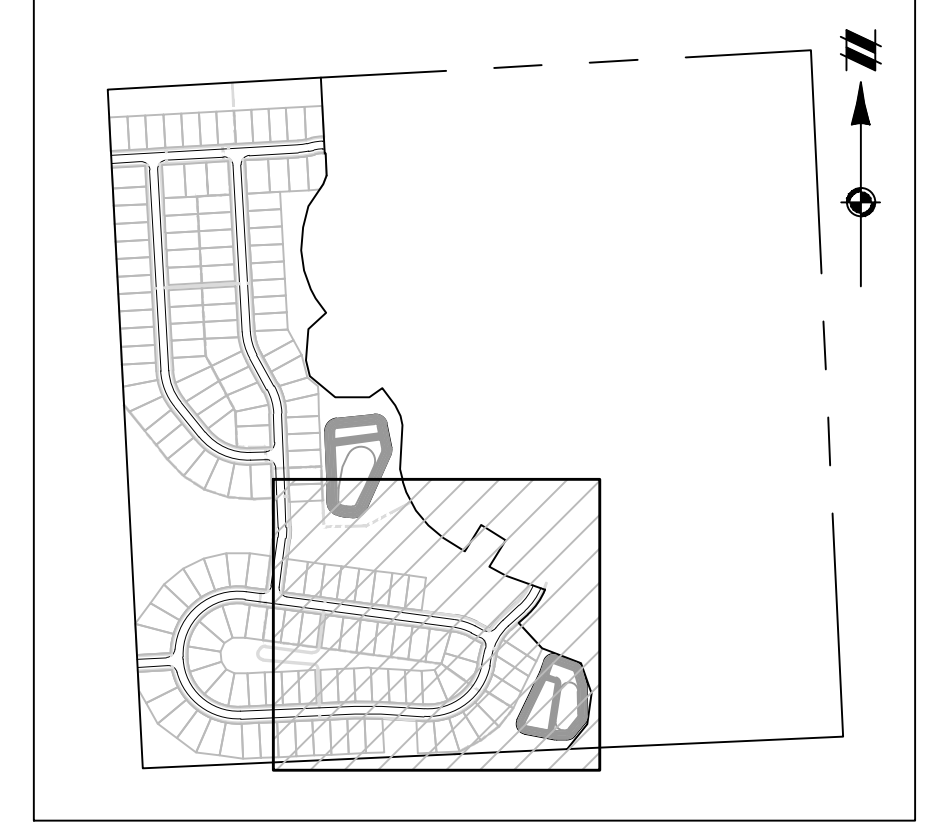
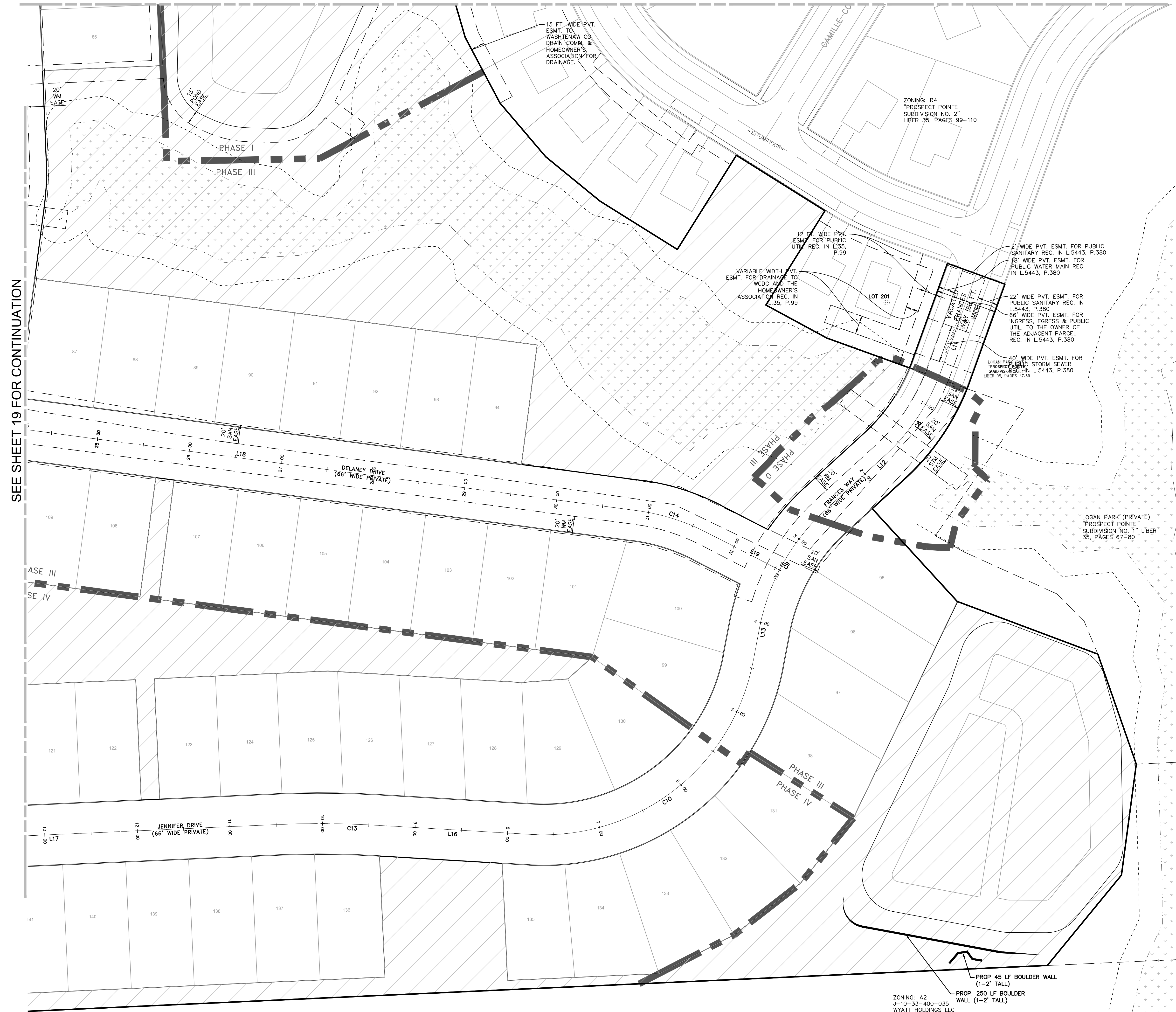
2022-08-12 PER SECC  
2022-08-16 PER FIRE DEP.  
2022-08-28 PER SECC  
2022-09-15 PER TWP

REVISIONS

SCALE: 1" = 50 FEET

DR. JW CH. SS  
P.M. MB  
BOOK --  
JOB 16000819  
SHEET NO. 19

SEE SHEET 18 FOR CONTINUATION



FRANCES WAY, JENNIFER DR., DELANEY DR.

ALIGNMENT LINE TABLE				
Line #	Length	Direction	Start Point	End Point
L11	60.27	S19° 51' 29.48"W	(13328960.63,281542.12)	(13328940.16,281485.43)
L12	86.82	S47° 32' 13.57"W	(13328879.11,281393.89)	(13328815.06,281335.27)
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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINT WEST  
FINAL SITE PLAN - PHASE 1  
LAYOUT PLAN

CLIENT: SE MICHIGAN LAND HOLDING LLC  
DATE: JULY 08, 2022

2022-08-12 PER SEC.  
2022-08-16 PER FIRE DEP.  
2022-08-28 PER SEC.  
2022-09-15 PER TWP.

REVISIONS

SCALE: 1" = 50 FEET

DR. JW CH. SS  
P.M. MB  
BOOK --  
JOB 16000819  
SHEET NO. 20

SEE SHEET 19 FOR CONTINUATION

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**PAVING & GRADING NOTES**

1. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE REMAINS IN POST CONSTRUCTION CONDITIONS AND NO ADVERSE IMPACTS WILL OCCUR TO NEIGHBORING PROPERTIES DURING AND AFTER COMPLETION OF CONSTRUCTION.
2. ALL PROPOSED SPOT GRADES SHOWN AT THE BACK OF CURBS OR TURF, UNLESS OTHERWISE NOTED. DRAINAGE SLOPES ARE APPROXIMATE AS SHOWN.
3. THE STORMWATER MANAGEMENT BASINS SHALL BE EXCAVATED, TOPSOILED, SEEDED, MULCHED AND TACKED PRIOR TO MAJOR EARTH DISTURBANCE ACTIVITIES.
4. DRIVEWAYS SHOWN IN APPROXIMATE LOCATIONS ONLY. SPECIFIC DRIVE LOCATIONS/CONFIGURATIONS TO BE SUBMITTED WITH INDIVIDUAL LOT PLOT PLANS. EFFORTS WILL BE MADE TO AVOID LAYOUTS WHICH WOULD PLACE UTILITY STRUCTURES IN DRIVES BUT MAY OCCUR IF STRUCTURES ARE PROTECTED WITH A CONCRETE APRON.
5. EXISTING TREES ARE LOCATED ON THE PLAN PER THE BEST AVAILABLE INFORMATION. IF VARIATIONS IN LOCATION ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER IS TO BE NOTIFIED OF VARIATION AND REASONABLE EFFORTS MADE TO FOLLOW THE INTENT OF THE GRADING AND TREE PRESERVATION SHOWN ON THIS SHEET.

**LEGEND**

	PROPOSED 2' CONTOUR
	PROPOSED 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	PROPERTY LINE
	GRADING LIMITS
	PROPOSED MANHOLE / CATCH BASIN
	EXISTING MANHOLE / CATCH BASIN
	EXISTING WETLAND
	PROPOSED ASPHALT



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SECTION 33

TOWN 2 SOUTH, RANGE 7 EAST

SUPERIOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT SE MICHIGAN LAND HOLDING LLC

PROSPECT POINTE WEST

FINAL SITE PLAN - PHASE 1

OVERALL GRADING PLAN

DATE

JULY 08, 2022

2022-08-12	PER SEC
2022-08-16	PER FIRE DEP.
2022-08-28	PER SEC
2022-09-15	PER TWP

REVISIONS

0	50	100
SCALE: 1" = 100 FEET		

DR. JW CH. SS

P.M. MB

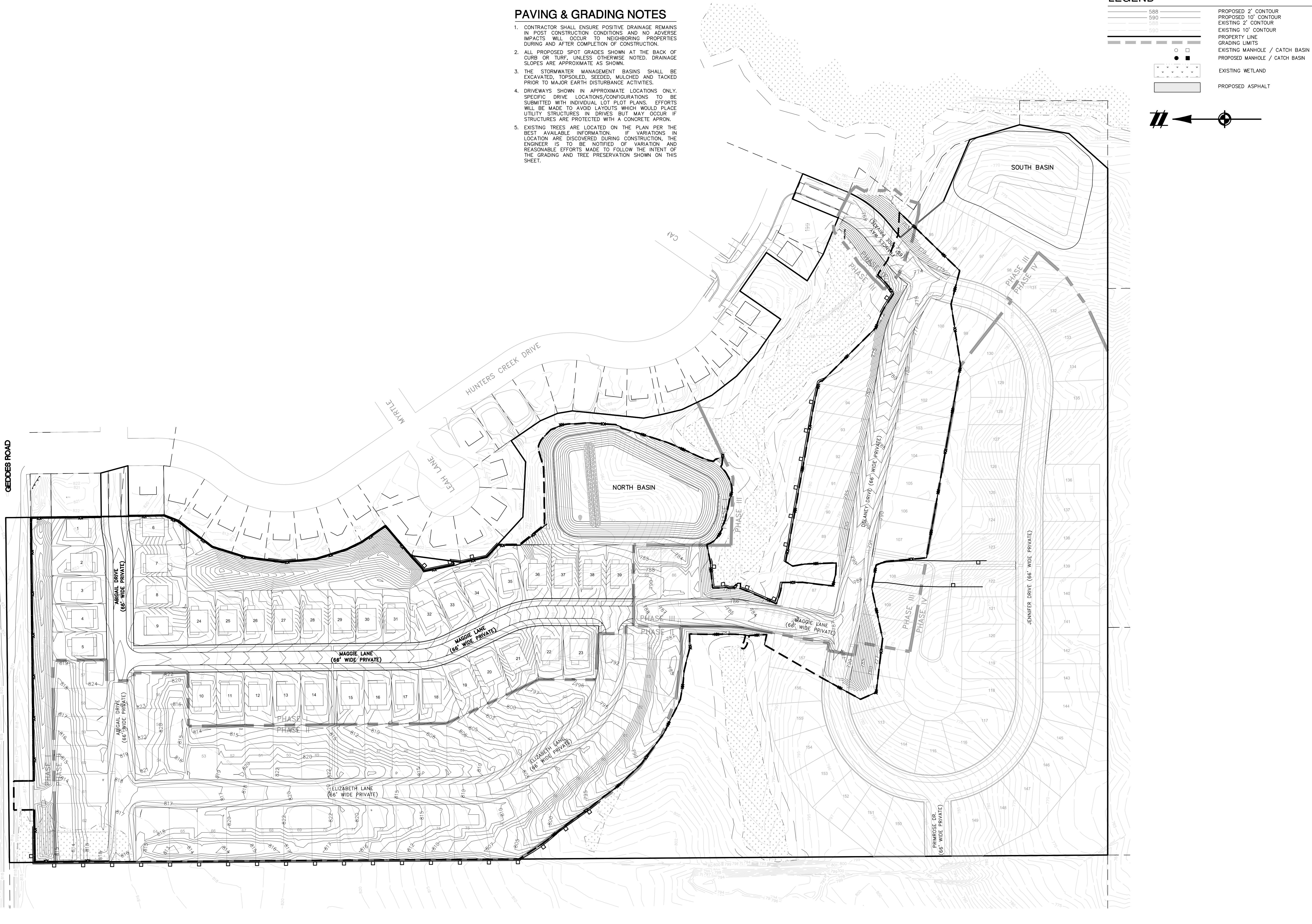
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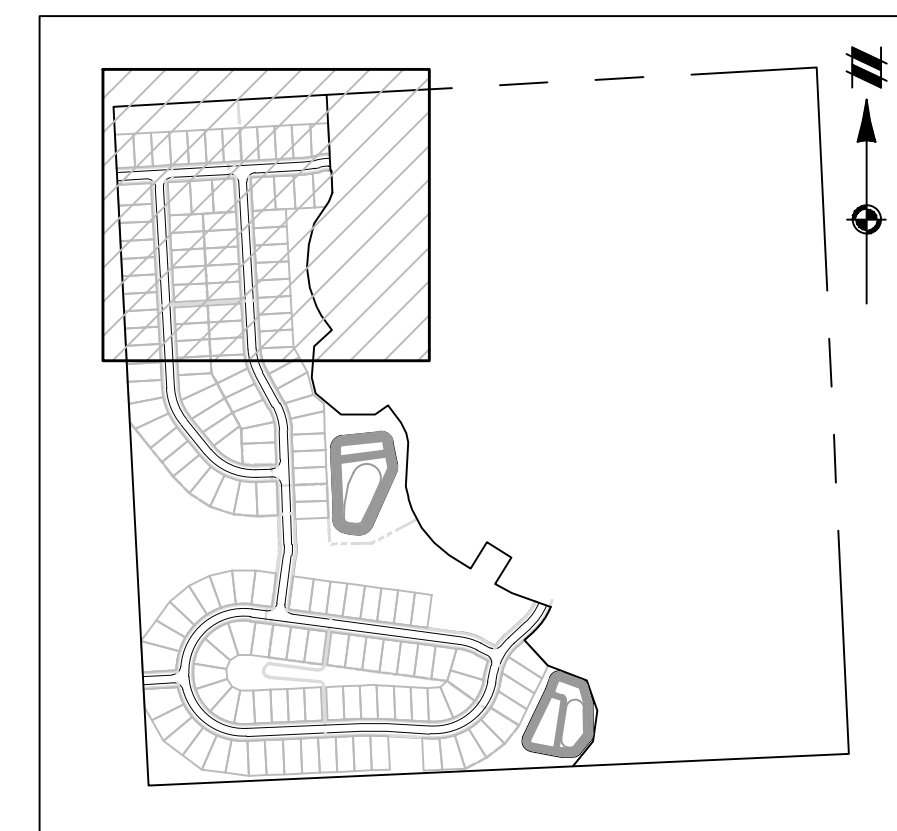
JOB 16000819

SHEET NO.

18

GEDDES ROAD





**LEGEND**

	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOUR
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	PROPERTY LINE
	GRADING LIMITS
	EXISTING MANHOLE / CATCH BASIN
	PROPOSED MANHOLE / CATCH BASIN
	EXISTING HYDRANT
	PROPOSED HYDRANT
	EXISTING GATE VALVE & WELL
	PROPOSED GATE VALVE & WELL
	EXISTING WATER MAIN MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WETLAND
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED EMERGENCY OVERFLOW ROUTE

**SPOT GRADE DESIGNATIONS**  
 FG = FINISH GRADE  
 DBL = DROP BRICK LEDGE  
 GV = GARDEN VIEW  
 DLV = DAYLIGHT VIEW  
 WO = WALKOUT  
 RIM = RIM GRADE/FLOW LINE  
 HP = HIGH POINT  
 TC = TOP OF CURB  
 TW = TOP OF WALK  
 T/WALL = TOP OF WALL  
 B/WALL = BOTTOM OF WALL

- PAVING & GRADING NOTES**
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE REMAINS IN POST CONSTRUCTION CONDITIONS AND NO ADVERSE IMPACTS WILL OCCUR TO NEIGHBORING PROPERTIES DURING AND AFTER COMPLETION OF CONSTRUCTION.
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SEE SHEET 20 FOR CONTINUATION

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SECTION 33	TOWN 2 SOUTH, RANGE 7 EAST	SUPERIOR TOWNSHIP
SE MICHIGAN LAND HOLDING LLC	PROSPECT POINTE WEST	GRADING PLAN
FINAL SITE PLAN - PHASE 1		

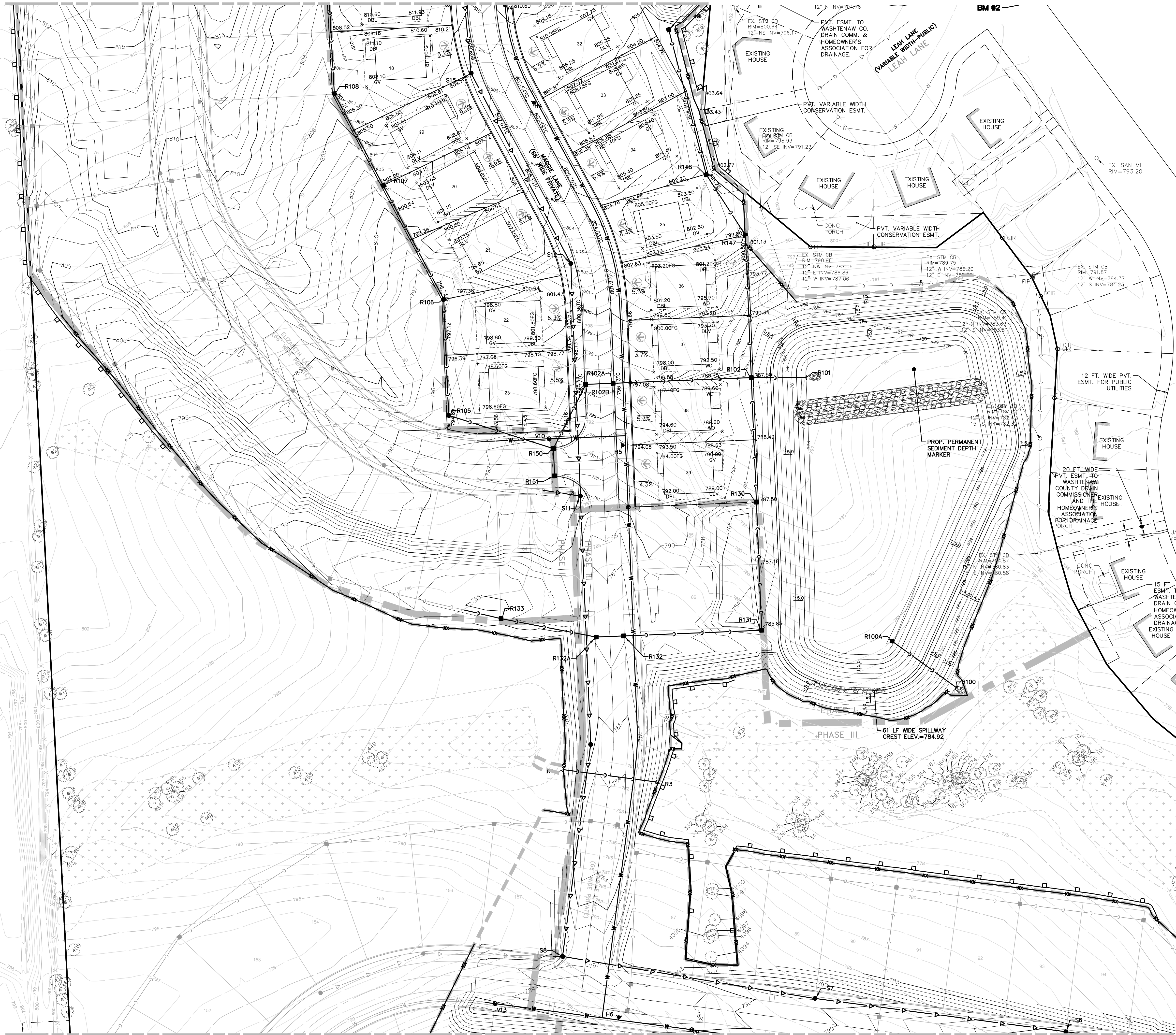
CLIENT: SE MICHIGAN LAND HOLDING LLC  
 PROJECT: PROSPECT POINTE WEST  
 DATE: JULY 08, 2022

2022-08-12 PER SEC
2022-08-16 PER FIRE DEP.
2022-08-26 PER SEC
2022-09-15 PER TWP

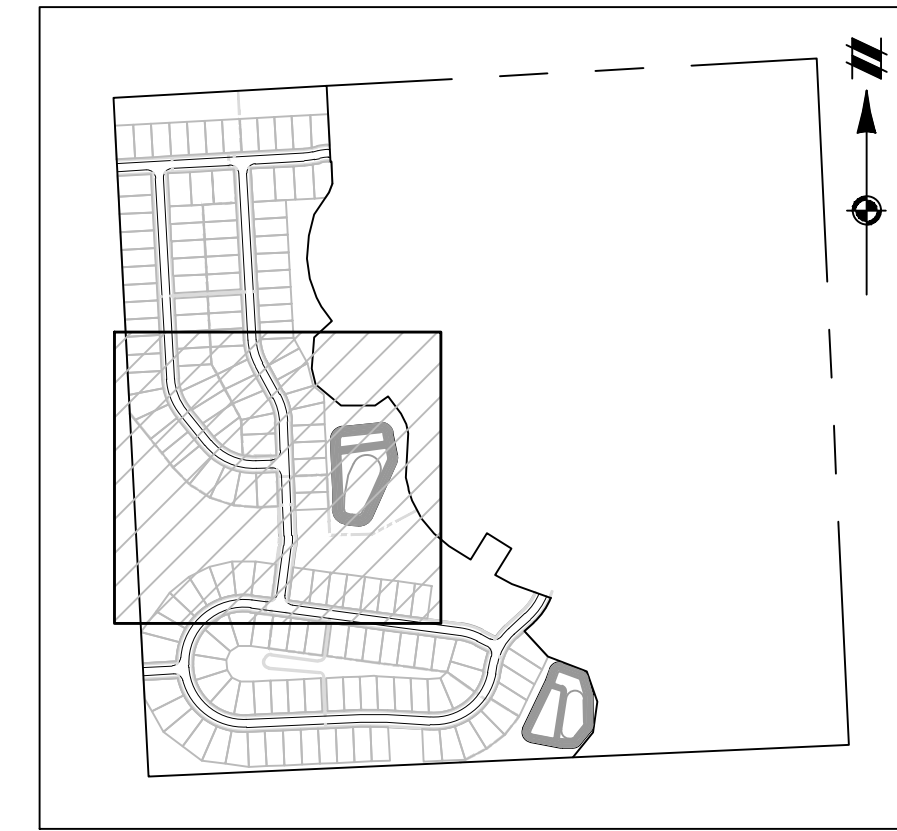
REVISIONS

DR. JW	CH. SS
P.M. MB	
BOOK	
JOB 16000819	
SHEET NO. 22	

SEE SHEET 19 FOR CONTINUATION



SEE SHEET 21 FOR CONTINUATION



KEYMAP  
SCALE: 1" = 750'

LEGEND

- 588 PROPOSED 1' CONTOUR
- 590 PROPOSED 5' CONTOUR
- 592 EXISTING 1' CONTOUR
- 594 EXISTING 5' CONTOUR
- PROPERTY LINE
- GRADING LIMITS
- EXISTING MANHOLE / CATCH BASIN
- PROPOSED MANHOLE / CATCH BASIN
- EXISTING HYDRANT
- PROPOSED HYDRANT
- EXISTING GATE VALVE & WELL
- PROPOSED GATE VALVE & WELL
- EXISTING WATER MAIN MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WETLAND
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED EMERGENCY OVERFLOW ROUTE

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SECTION 33  
 TOWN 2 SOUTH, RANGE 7 EAST  
 SUPERIOR TOWNSHIP  
 WASHTENAW COUNTY, MICHIGAN

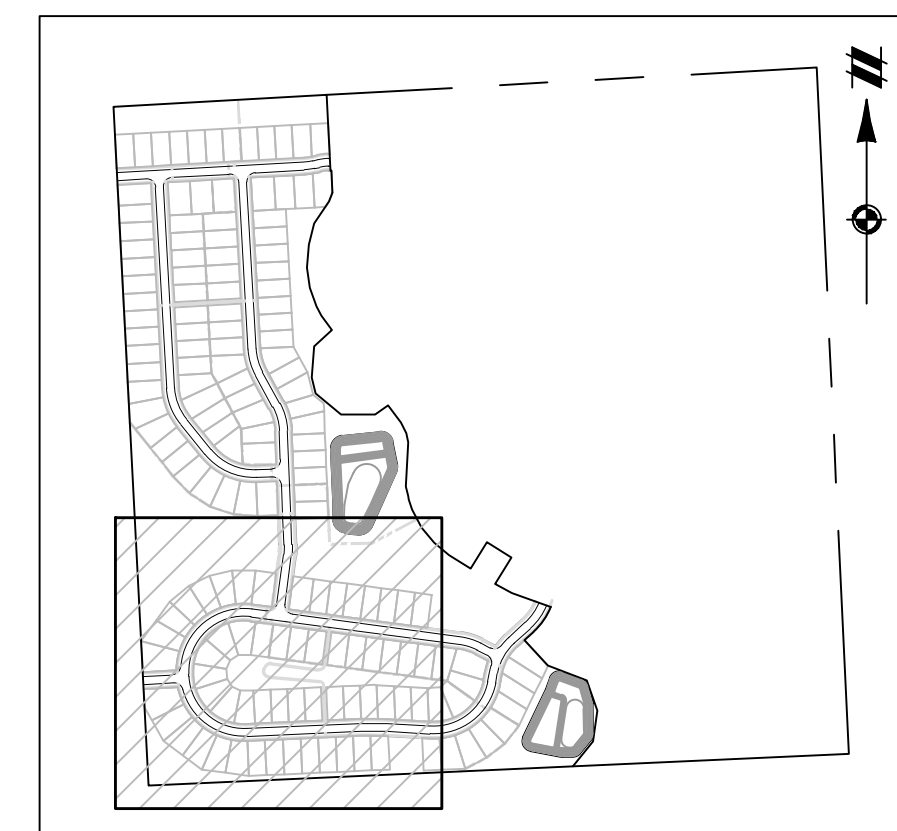
CLIENT  
 SE MICHIGAN LAND HOLDING LLC  
 PROSPECT POINTE WEST  
 FINAL SITE PLAN - PHASE 1  
 GRADING PLAN

DATE  
 JULY 08, 2022

2022-08-12 PER SEC
2022-08-16 PER FIRE DEP.
2022-08-26 PER SEC
2022-09-15 PER TWP

REVISIONS	
0	25
0	50
SCALE: 1" = 50 FEET	
DR. JW	CH. SS
P.M. MB	
BOOK	
JOB	16000819
SHEET NO.	23

SEE SHEET 20 FOR CONTINUATION



**LEGEND**

	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOUR
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	PROPERTY LINE
	GRADING LIMITS
	PROPOSED MANHOLE / CATCH BASIN
	EXISTING MANHOLE / CATCH BASIN
	PROPOSED HYDRANT
	EXISTING HYDRANT
	PROPOSED GATE VALVE & WELL
	EXISTING GATE VALVE & WELL
	PROPOSED WATER MAIN MANHOLE
	EXISTING WATER MAIN MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
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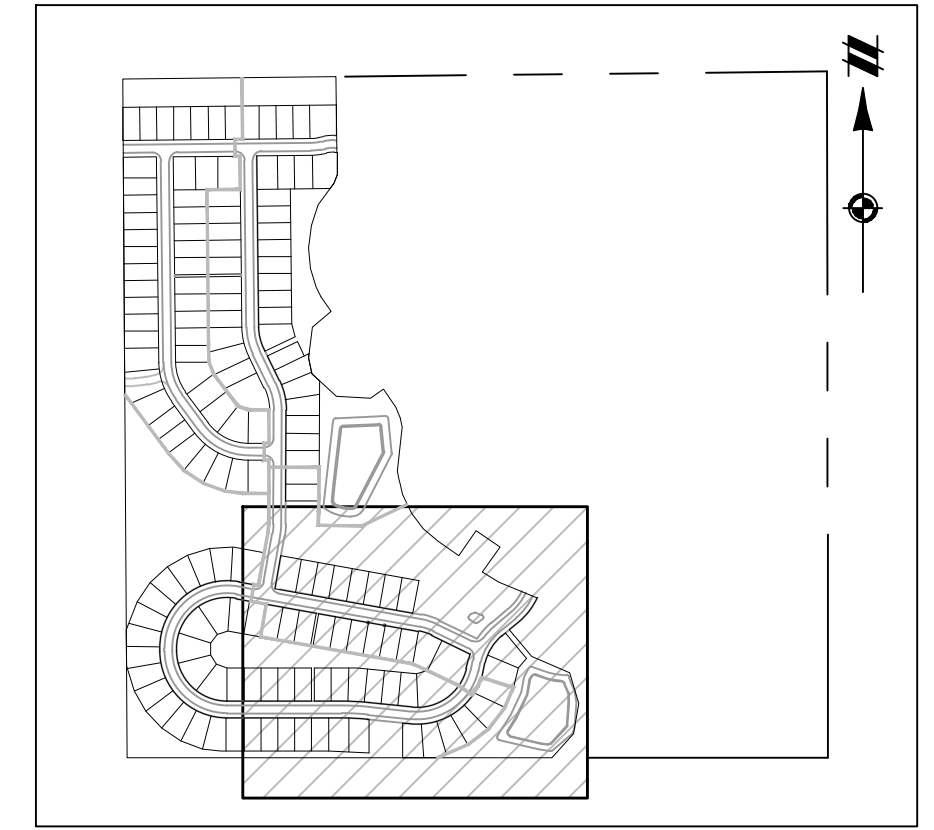
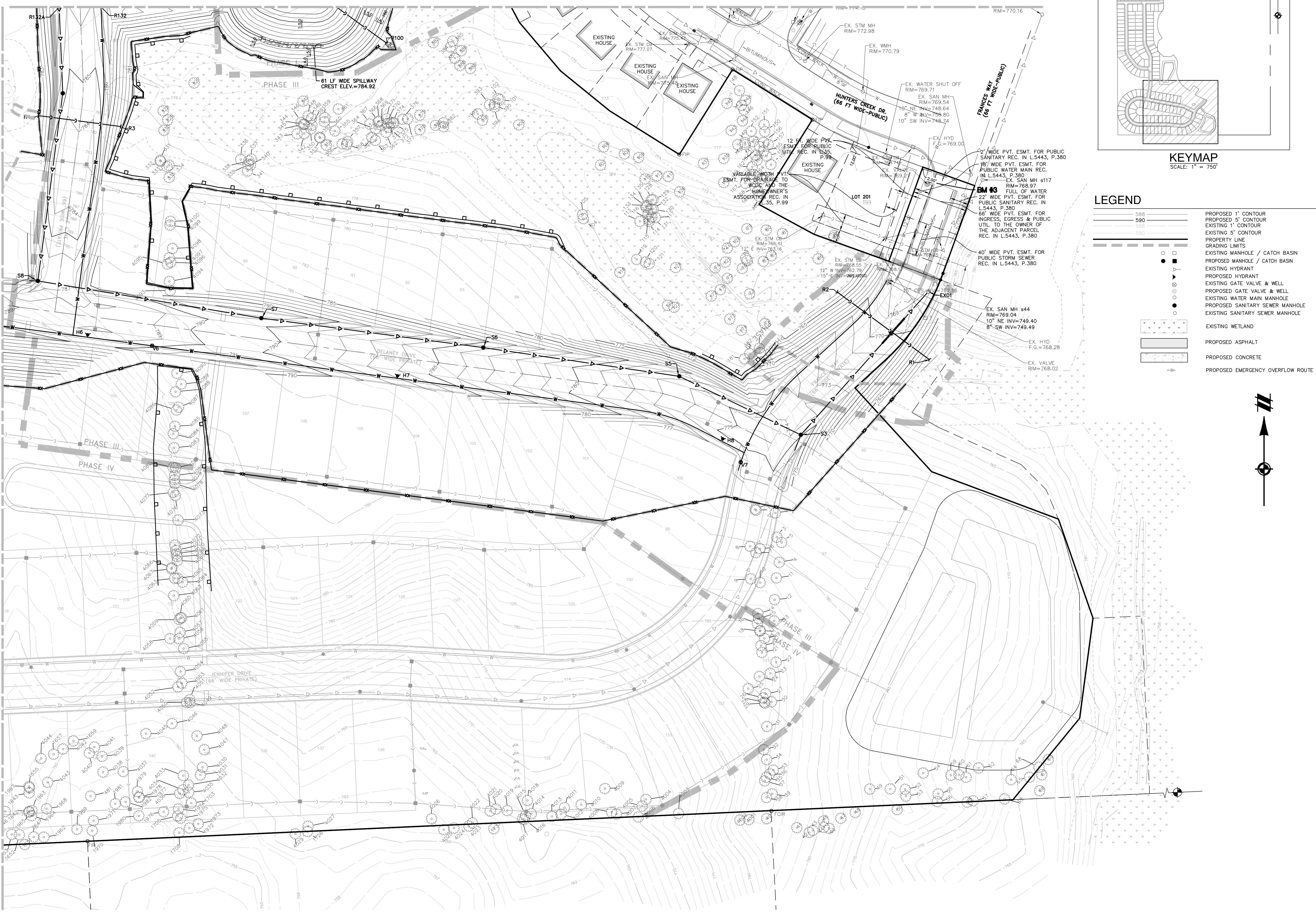
SECTION 33	TOWN 2 SOUTH, RANGE 7 EAST SUPERIOR TOWNSHIP WASHTENAW COUNTY, MICHIGAN								
CLIENT	SE MICHIGAN LAND HOLDING LLC PROSPECT POINTE WEST FINAL SITE PLAN - PHASE 1 GRADING PLAN								
DATE	JULY 08, 2022								
REVISIONS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">2022-08-12</td> <td>PER SEC</td> </tr> <tr> <td>2022-08-16</td> <td>PER FIRE DEP.</td> </tr> <tr> <td>2022-08-26</td> <td>PER SEC</td> </tr> <tr> <td>2022-09-15</td> <td>PER TWP</td> </tr> </table>	2022-08-12	PER SEC	2022-08-16	PER FIRE DEP.	2022-08-26	PER SEC	2022-09-15	PER TWP
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2022-08-16	PER FIRE DEP.								
2022-08-26	PER SEC								
2022-09-15	PER TWP								
SCALE: 1" = 50 FEET									
DR. JW	CH. SS								
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SHEET NO.	24								

K:\V\0800819\PLAN SET\0819-10-GENR\_2022072023 11:18 AM SITE PLAN



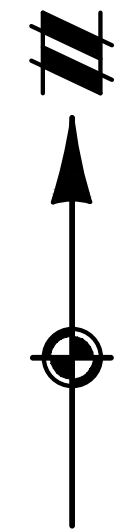
SEE SHEET 20 FOR CONTINUATION

SEE SHEET 21 FOR CONTINUATION



**LEGEND**

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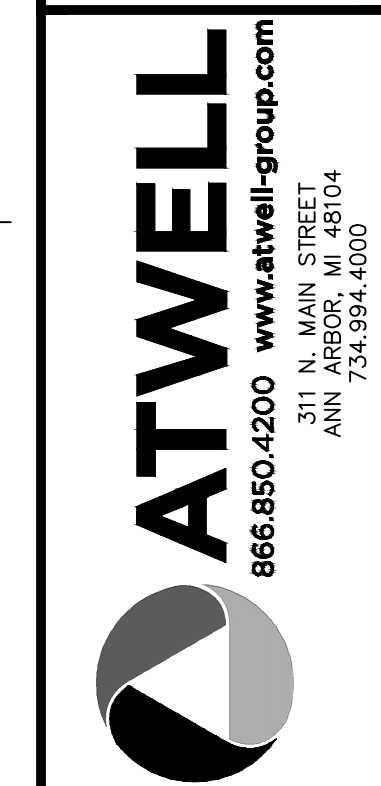
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SECTION 33	TOWN 2 SOUTH, RANGE 7 EAST	SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN
CLIENT	SE MICHIGAN LAND HOLDING LLC PROSPECT POINTE WEST FINAL SITE PLAN - PHASE 1 GRADING PLAN		
DATE	JULY 08, 2022		
	2022-08-12 PER SEC		
	2022-08-16 PER FIRE DEP.		
	2022-08-26 PER SEC		
	2022-09-15 PER TWP		
REVISIONS	 SCALE: 1" = 50 FEET		
DR.	JW	CH.	SS
P.M.	MB		
BOOK	---		
JOB	16000819		
SHEET NO.	22		

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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

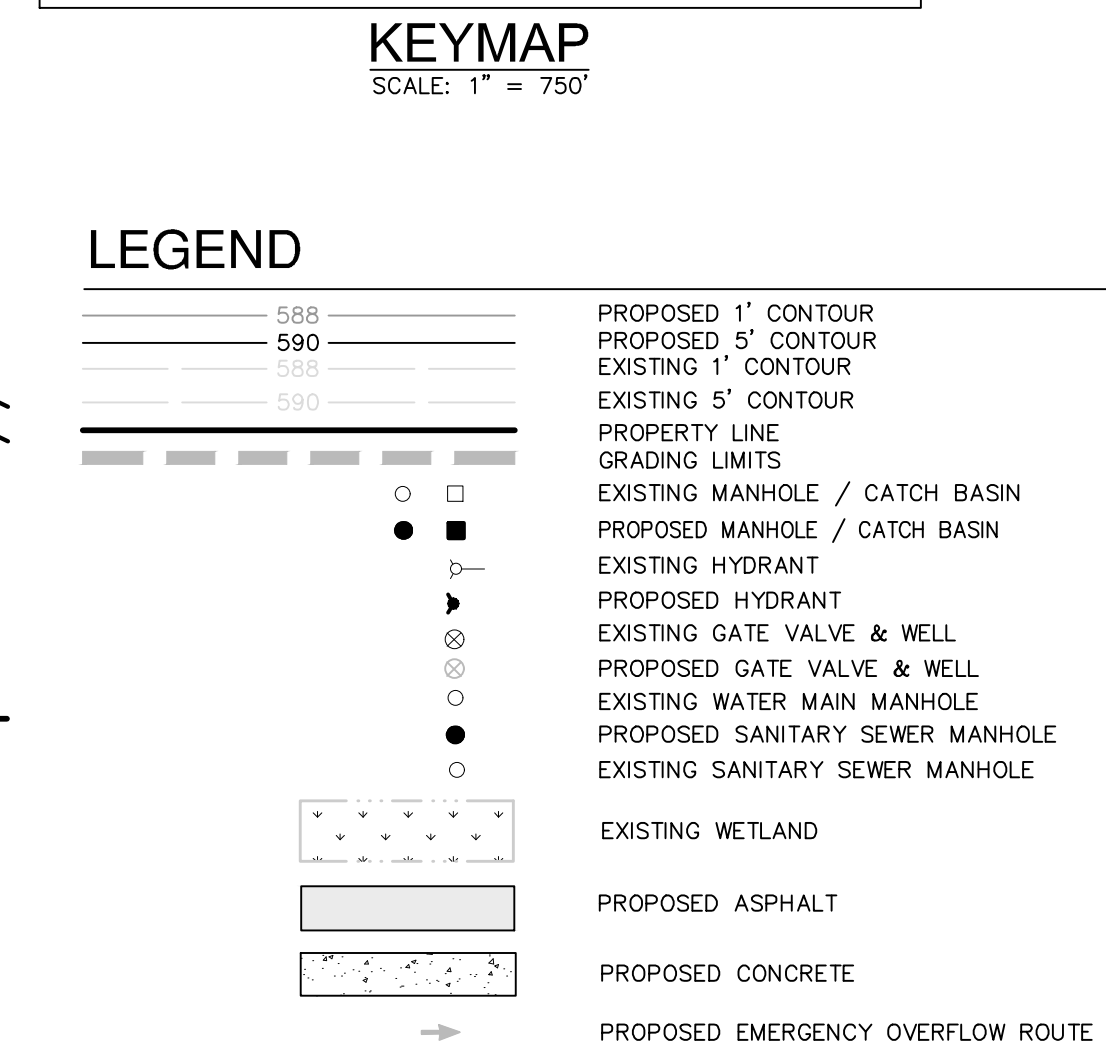
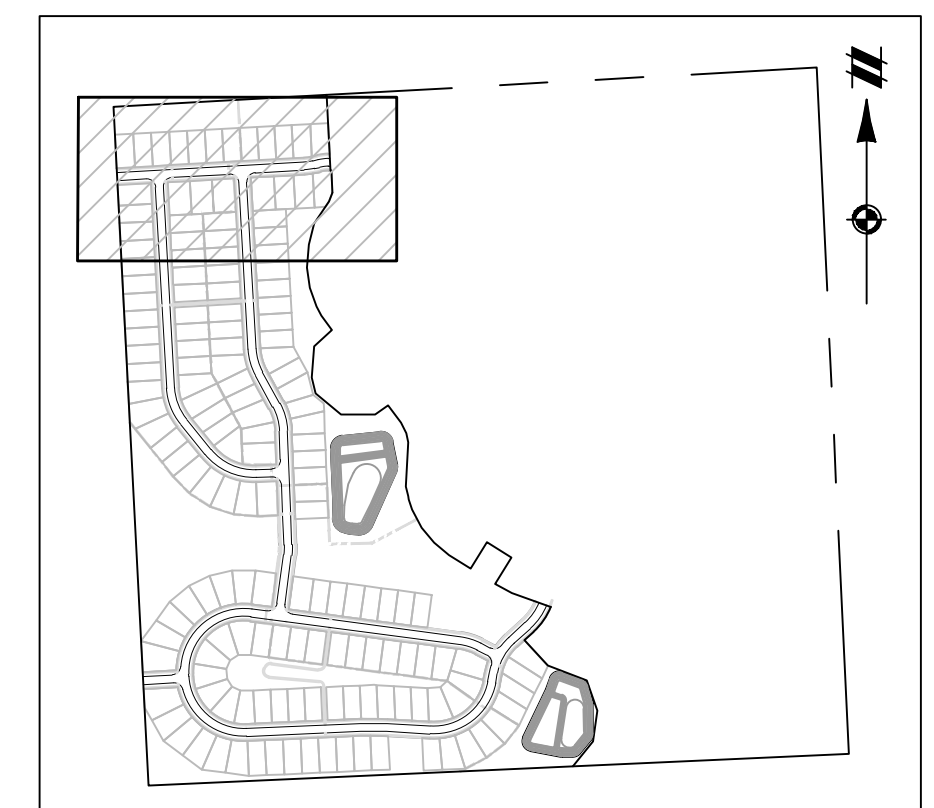
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
ROAD PLAN & PROFILES -  
ABIGAIL DRIVE

CLIENT: SE MICHIGAN LAND HOLDING LLC  
DATE: JULY 08, 2022

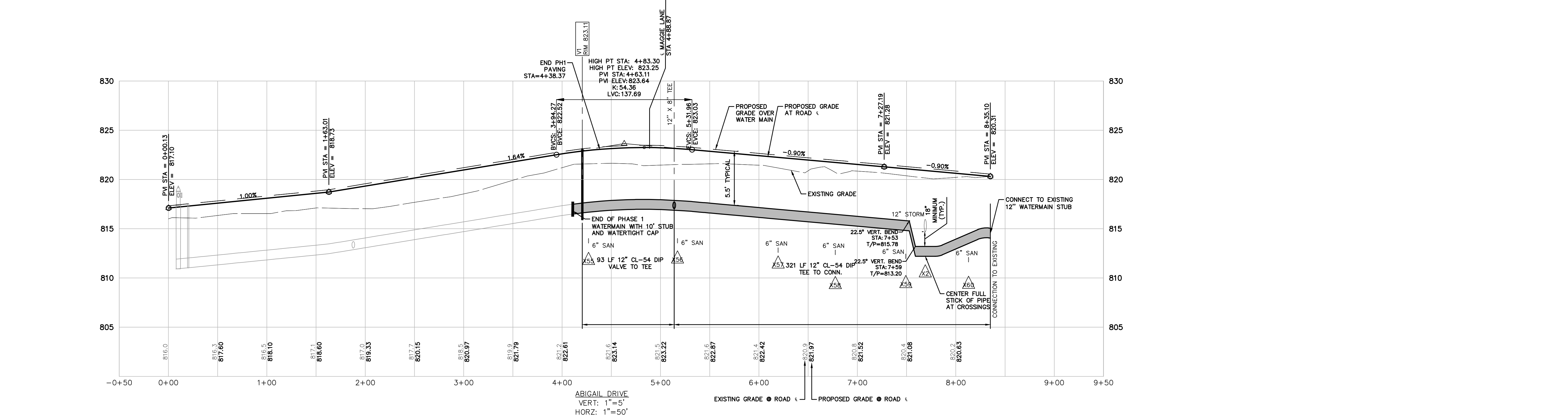
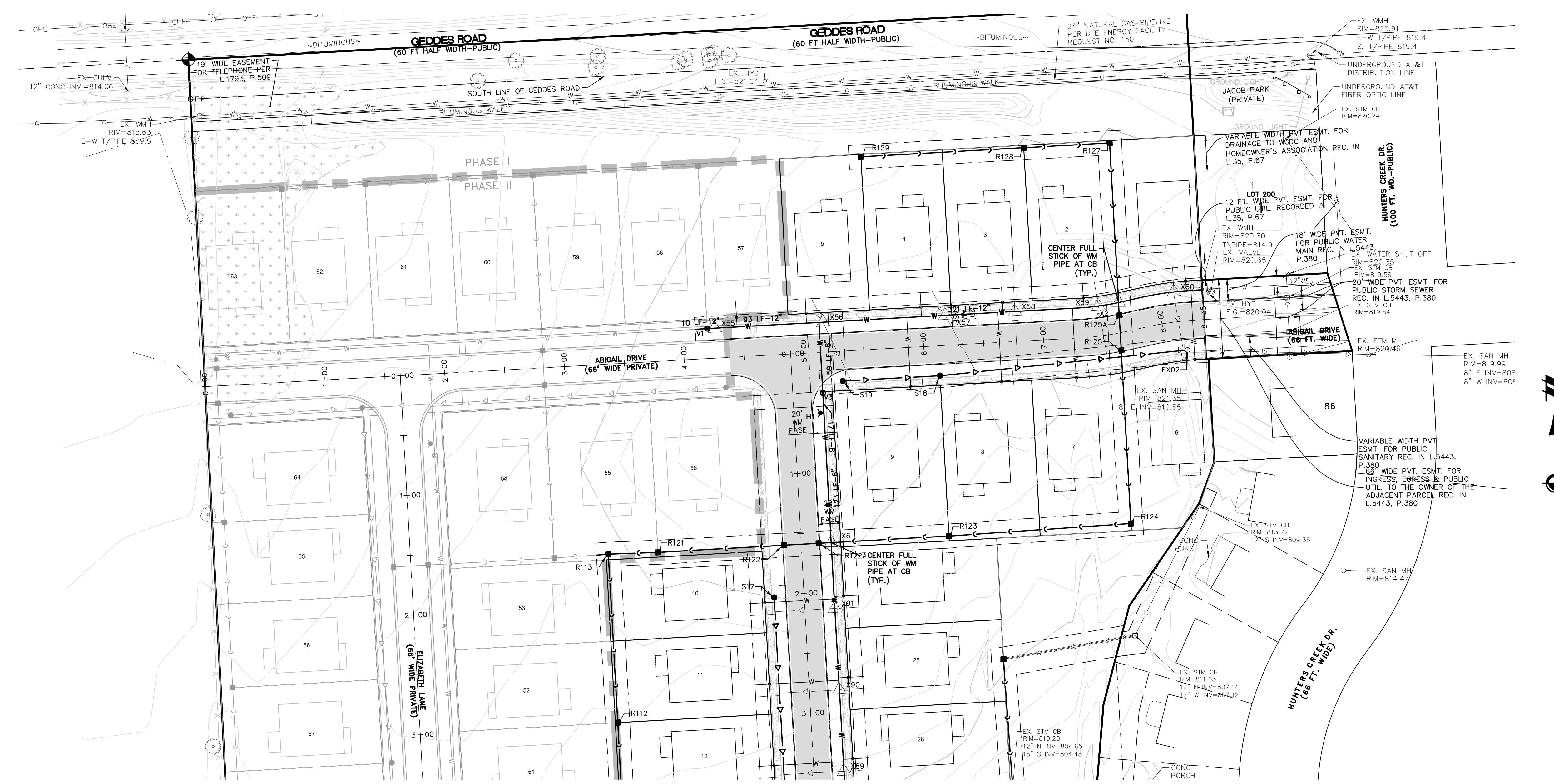
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REVISIONS table with columns for date, description, and initials.

REVISIONS table with columns for date, description, and initials.



SEE SHEETS 17 TO 20 FOR ROAD CENTERLINE HORIZONTAL CURVE DATA



Vertical text on the left margin containing project details and contact information.

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SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

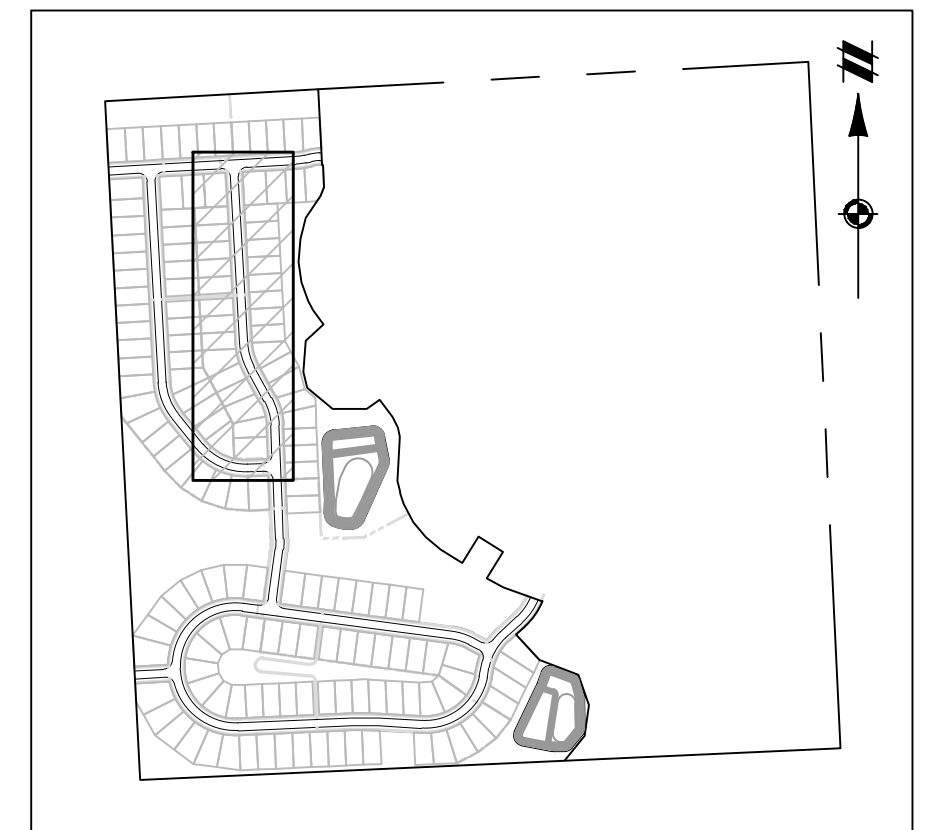
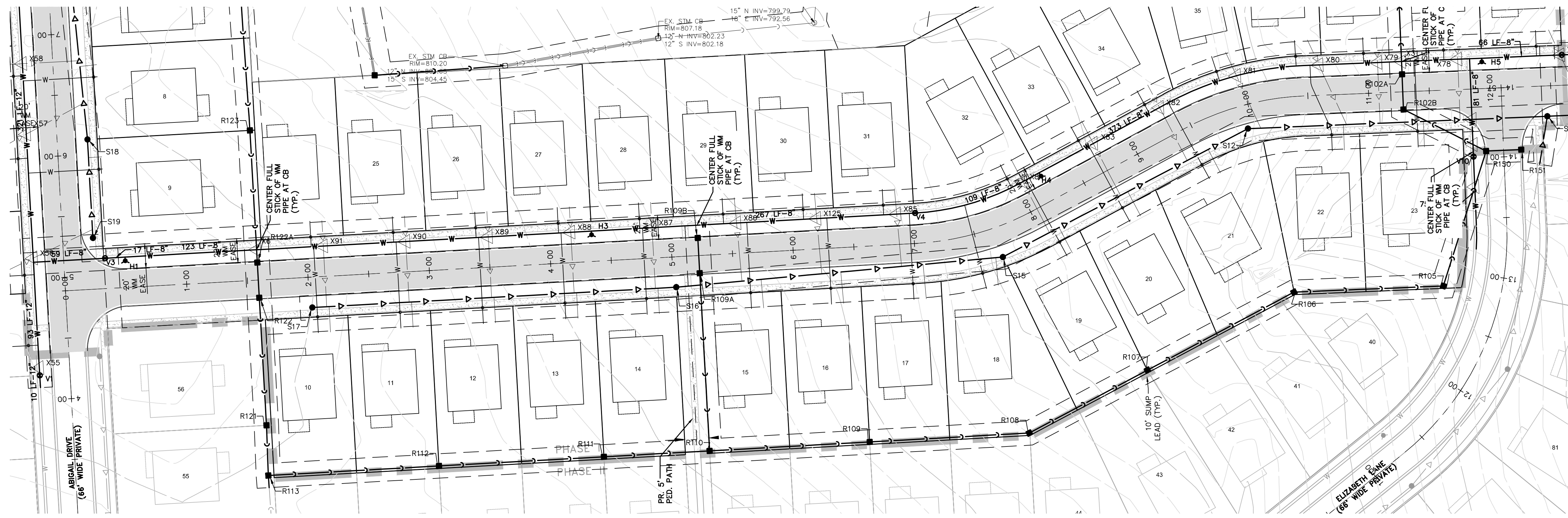
CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
ROAD PLAN & PROFILES -  
MAGGIE LANE 1

DATE  
JULY 08, 2022

2022-08-12 PER SEC  
2022-08-16 PER FIRE DEP.  
2022-08-26 PER SEC  
2022-09-15 PER TWP

REVISIONS  
SCALE: 1" = 50 FEET

DR. JW CH. SS  
P.M. MB  
BOOK ---  
JOB 16000819  
SHEET NO. 27

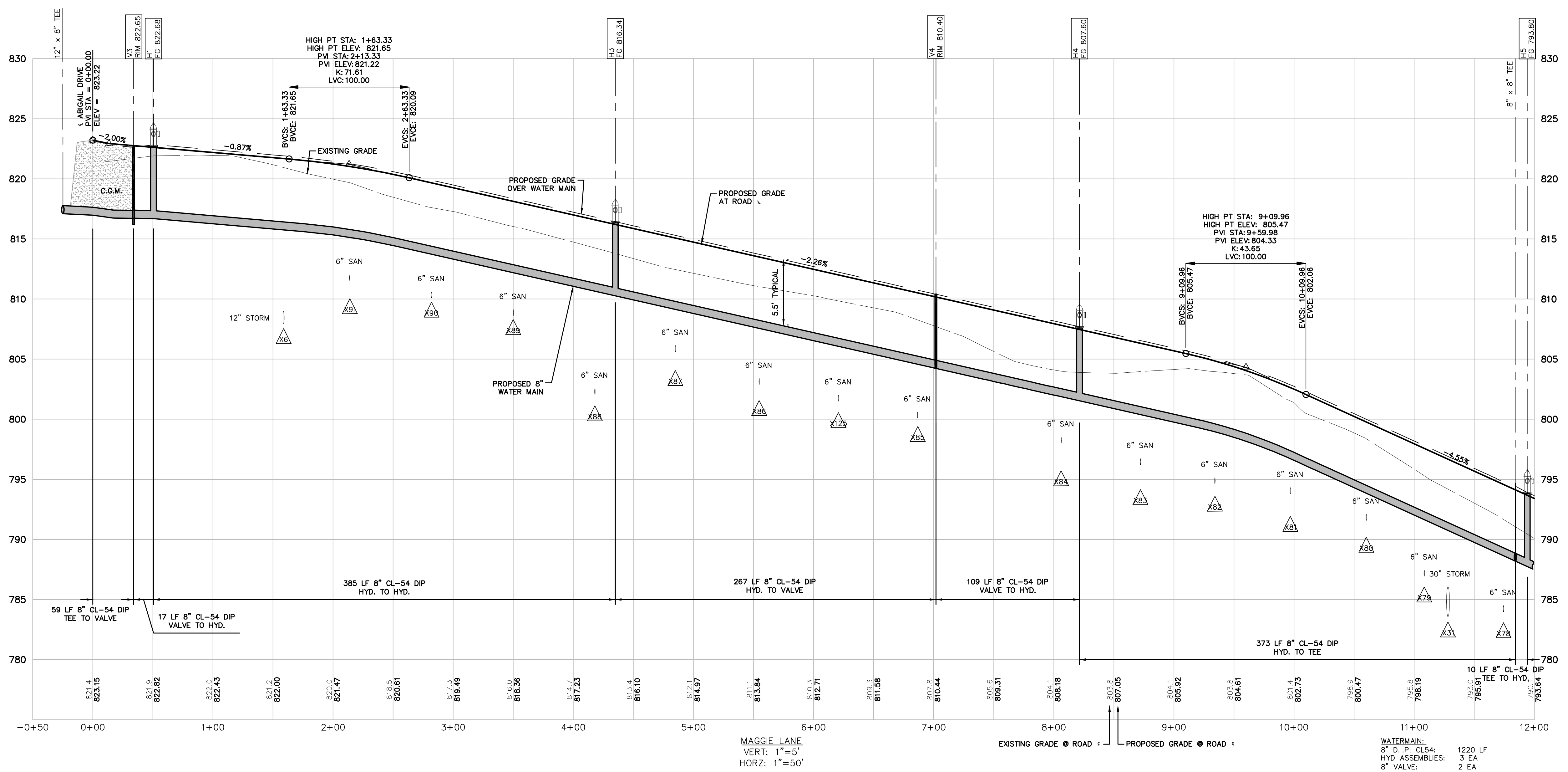
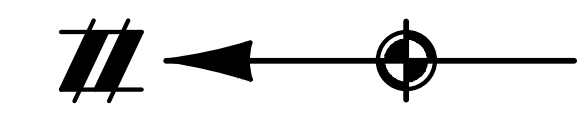


KEYMAP  
SCALE: 1" = 750'

LEGEND

- 588 PROPOSED 1' CONTOUR
- 590 PROPOSED 5' CONTOUR
- 595 EXISTING 1' CONTOUR
- 597 EXISTING 5' CONTOUR
- PROPERTY LINE
- GRADING LIMITS
- EXISTING MANHOLE / CATCH BASIN
- PROPOSED MANHOLE / CATCH BASIN
- EXISTING HYDRANT
- PROPOSED HYDRANT
- EXISTING GATE VALVE & WELL
- PROPOSED GATE VALVE & WELL
- EXISTING WATER MAIN MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WETLAND
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED EMERGENCY OVERFLOW ROUTE

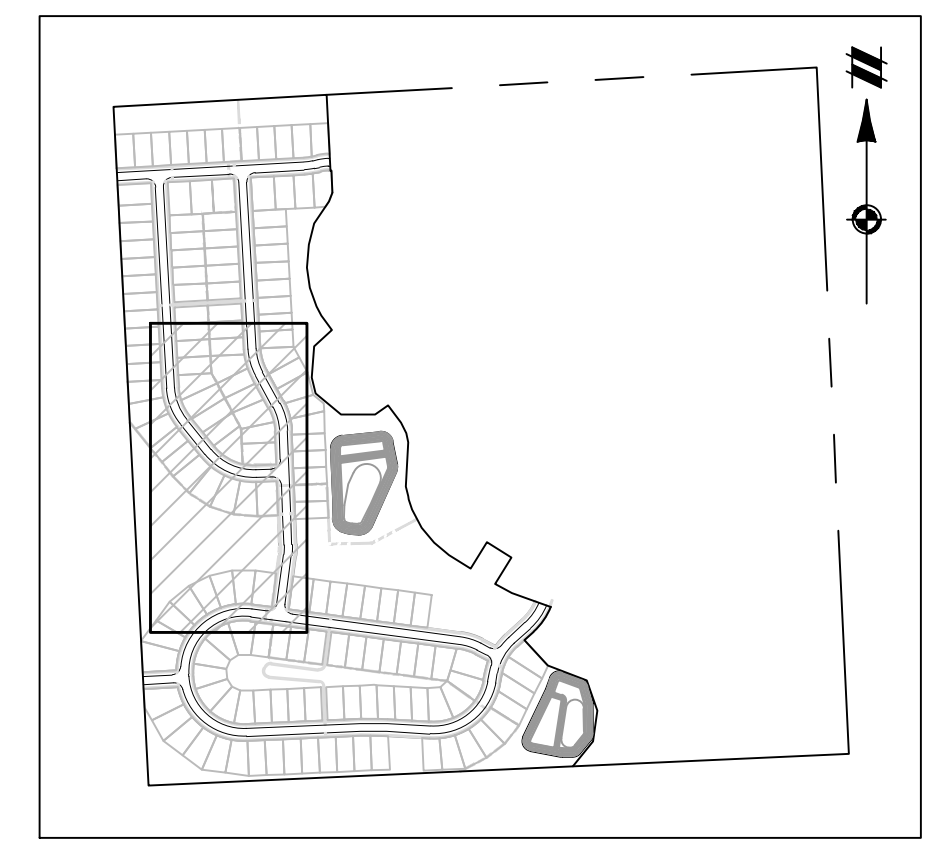
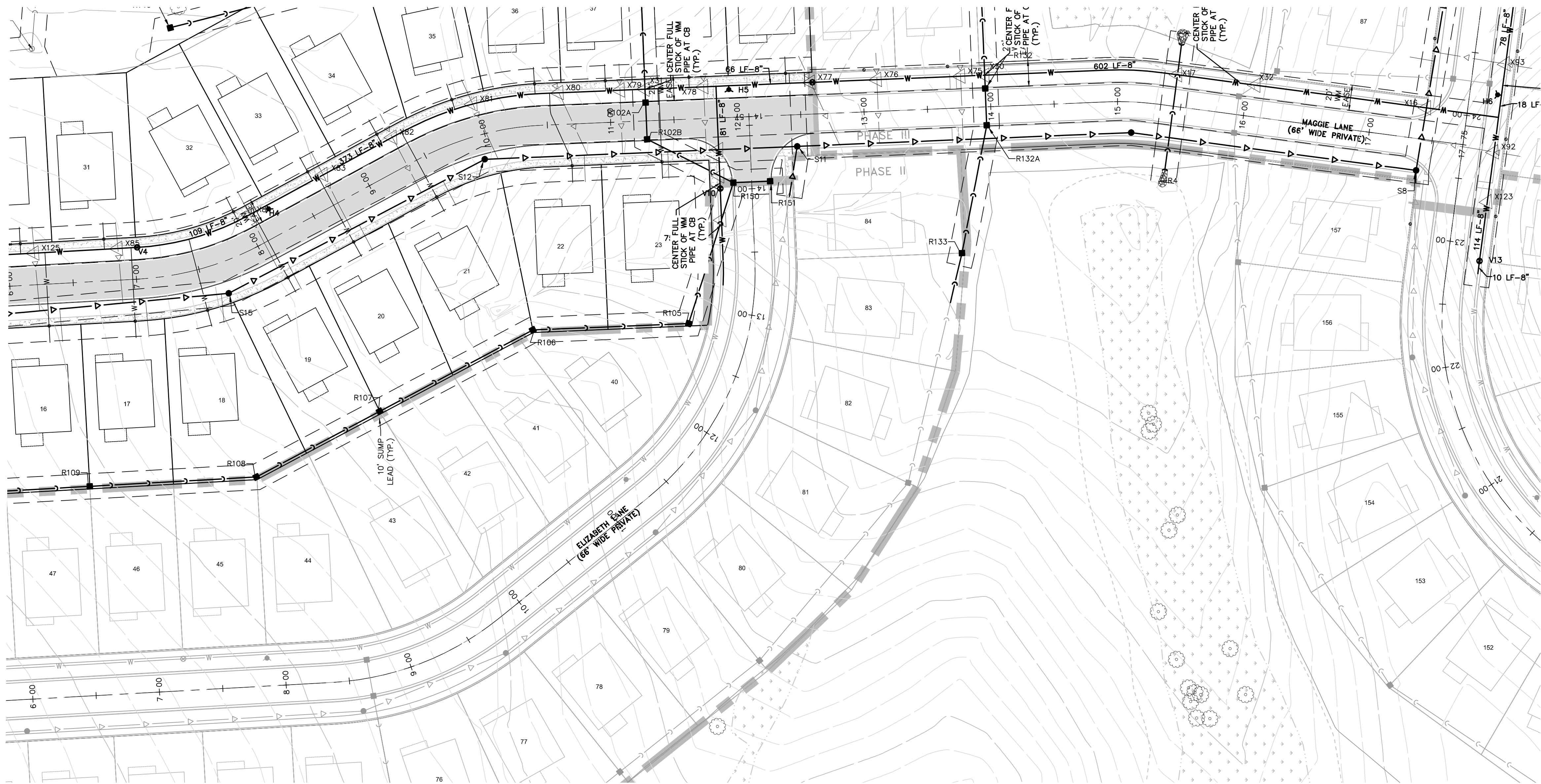
SEE SHEETS 17 TO 20 FOR ROAD CENTERLINE HORIZONTAL CURVE DATA



MAGGIE LANE  
VERT: 1"=5'  
HORIZ: 1"=50'

WATERMAIN:  
8" D.I.P. CL54: 1220 LF  
HYD ASSEMBLIES: 3 EA  
6" VALVE: 2 EA

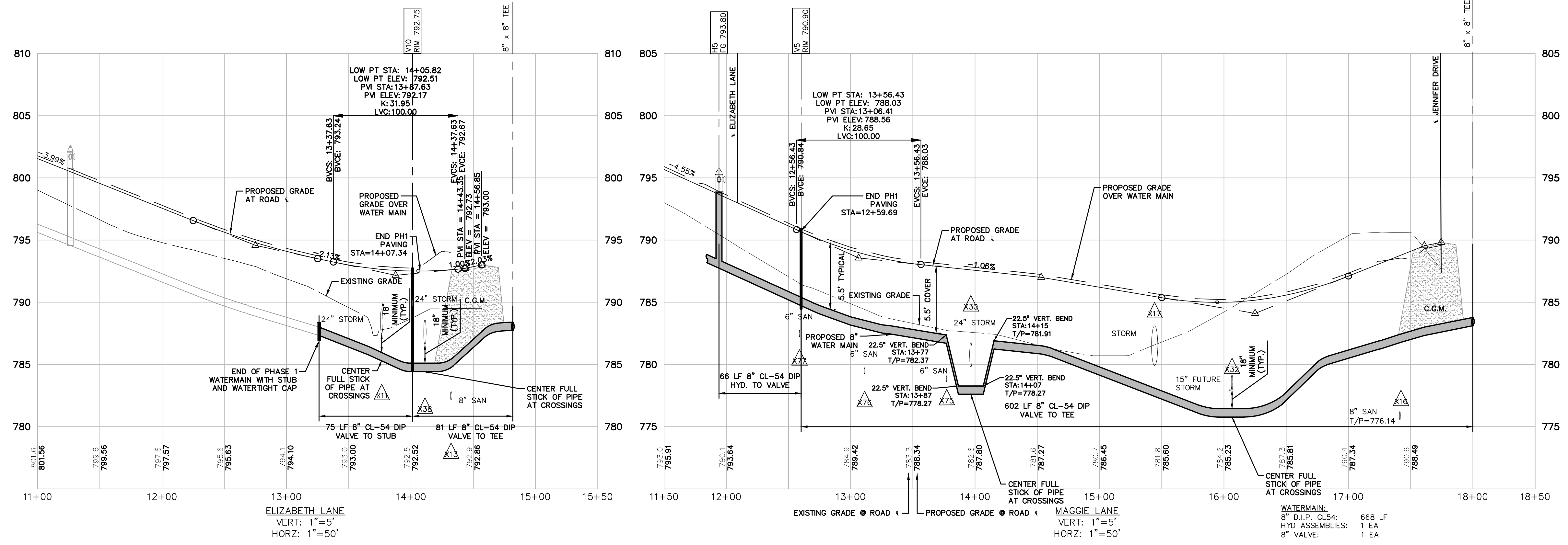
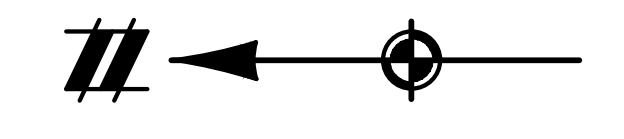
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**LEGEND**

- 588 PROPOSED 1" CONTOUR
- 590 PROPOSED 5" CONTOUR
- 592 EXISTING 1" CONTOUR
- 595 EXISTING 5" CONTOUR
- 600 PROPERTY LINE
- GRADING LIMITS
- EXISTING MANHOLE / CATCH BASIN
- PROPOSED MANHOLE / CATCH BASIN
- EXISTING HYDRANT
- PROPOSED HYDRANT
- EXISTING GATE VALVE & WELL
- PROPOSED GATE VALVE & WELL
- EXISTING WATER MAIN MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WETLAND
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED EMERGENCY OVERFLOW ROUTE

SEE SHEETS 17 TO 20 FOR ROAD CENTERLINE HORIZONTAL CURVE DATA



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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
ROAD PLAN & PROFILE -  
MAGGIE LANE 2

DATE: JULY 08, 2022

- 2022-08-12 PER SEC
- 2022-08-16 PER FIRE DEP.
- 2022-08-26 PER SEC
- 2022-09-15 PER TWP

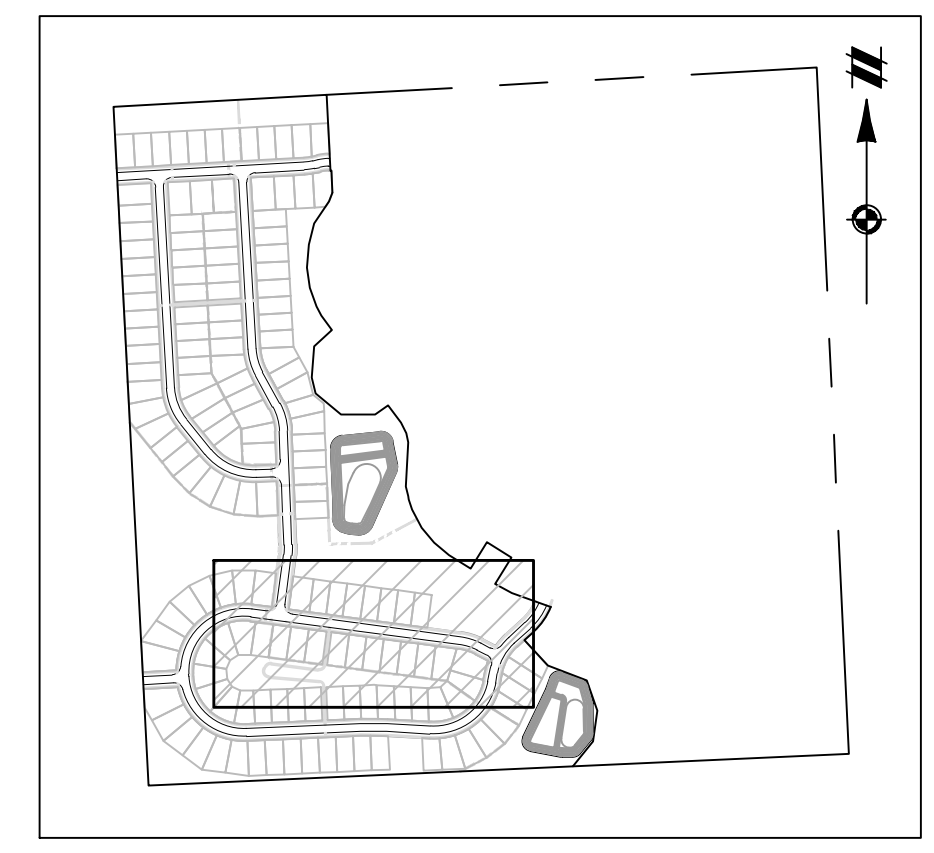
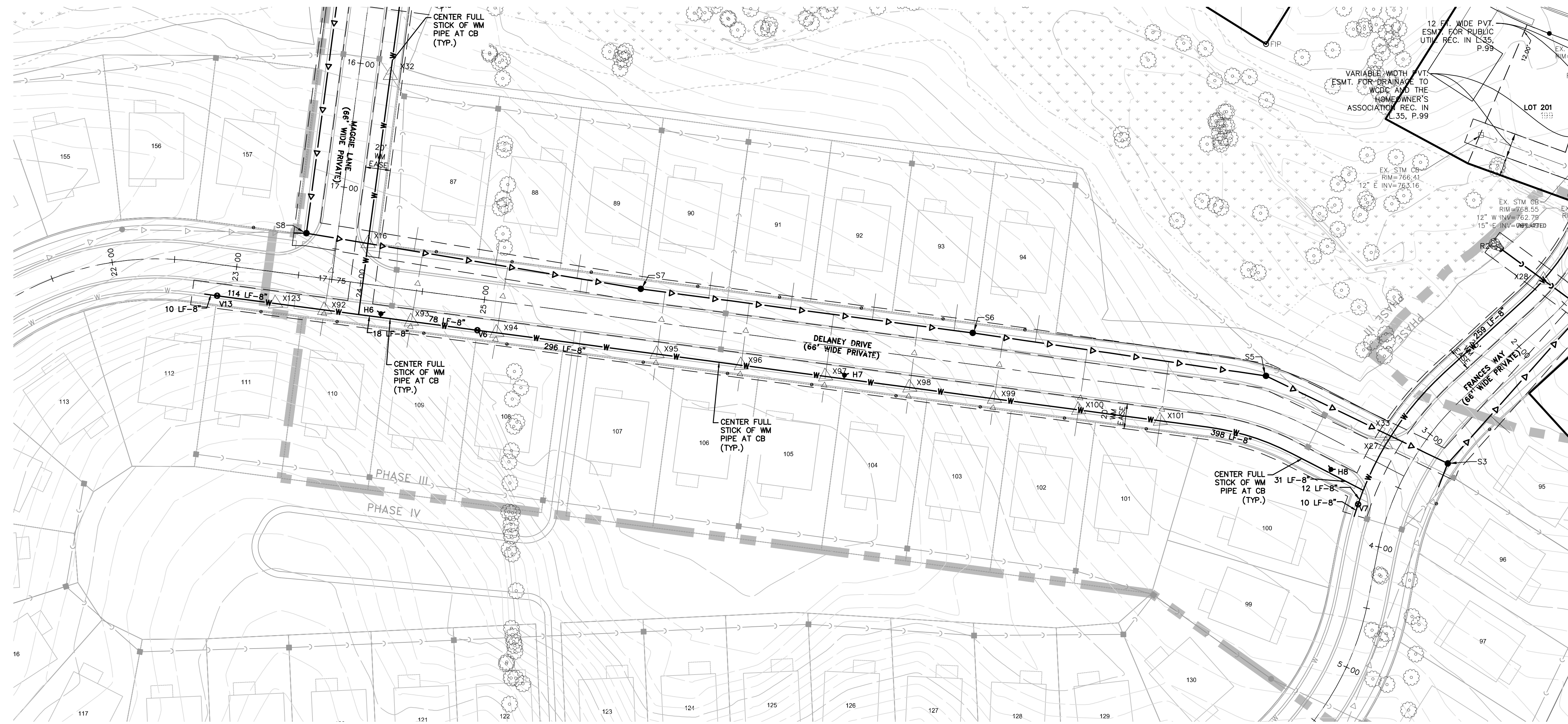
REVISIONS

NO.	DATE	DESCRIPTION

SCALE: 1" = 50 FEET

DR. JW CH. SS  
P.M. MB  
BOOK ---

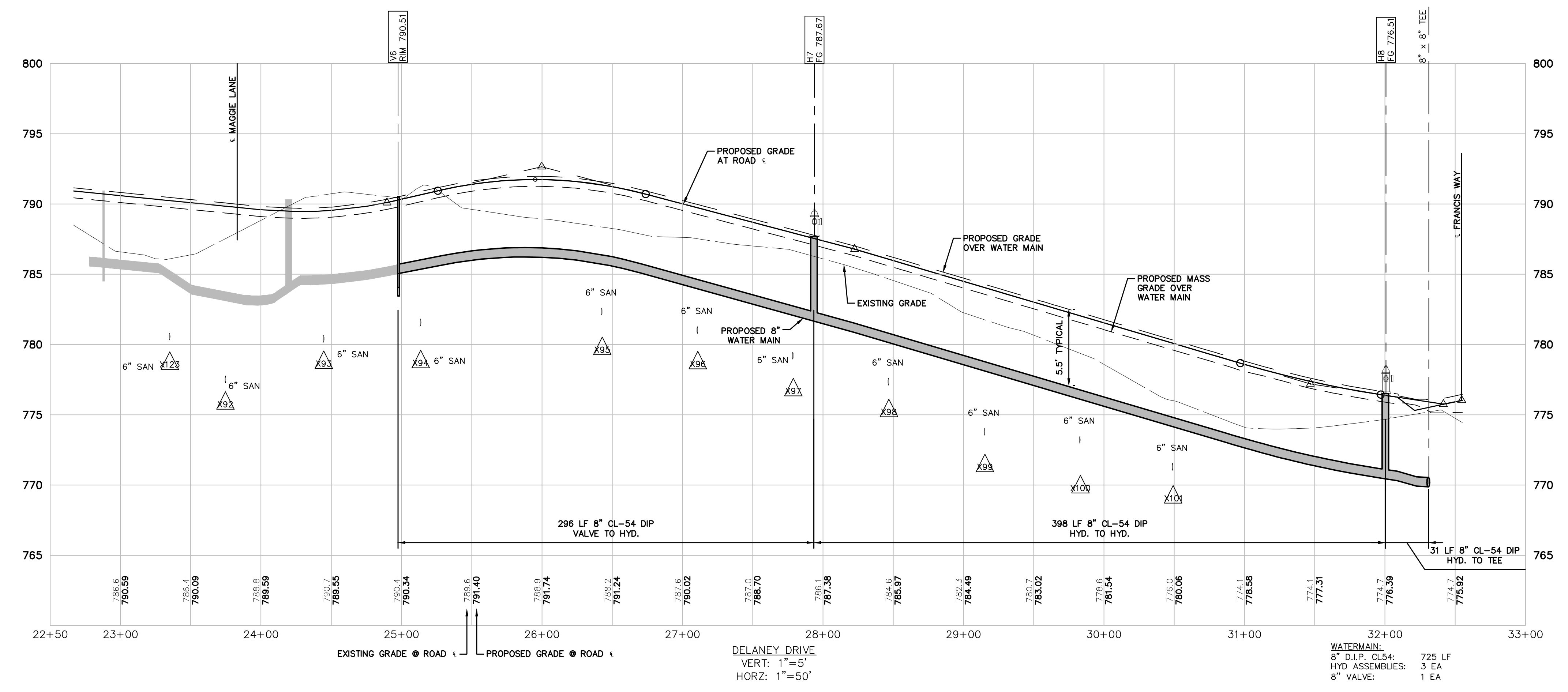
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SHEET NO.



**LEGEND**

- 588 PROPOSED 1" CONTOUR
- 590 PROPOSED 5" CONTOUR
- 595 EXISTING 1" CONTOUR
- 598 EXISTING 5" CONTOUR
- PROPERTY LINE
- GRADING LIMITS
- EXISTING MANHOLE / CATCH BASIN
- PROPOSED MANHOLE / CATCH BASIN
- EXISTING HYDRANT
- PROPOSED HYDRANT
- EXISTING GATE VALVE & WELL
- PROPOSED GATE VALVE & WELL
- EXISTING WATER MAIN MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WETLAND
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED EMERGENCY OVERFLOW ROUTE

SEE SHEETS 17 TO 20 FOR ROAD CENTERLINE HORIZONTAL CURVE DATA



DELANEY DRIVE  
 VERT: 1"=5'  
 HORIZ: 1"=50'

WATERMAIN:  
 8" D.I.P. CL54: 725 LF  
 HYD ASSEMBLIES: 3 EA  
 8" VALVE: 1 EA



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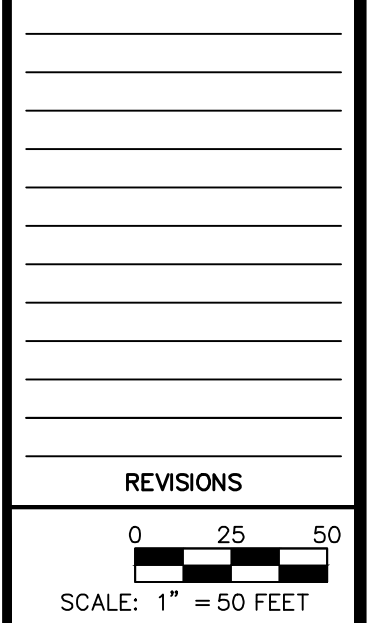
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 SE MICHIGAN LAND HOLDING LLC  
 PROSPECT POINTE WEST  
 FINAL SITE PLAN - PHASE 1  
 ROAD PLAN & PROFILE -  
 DELANEY DRIVE

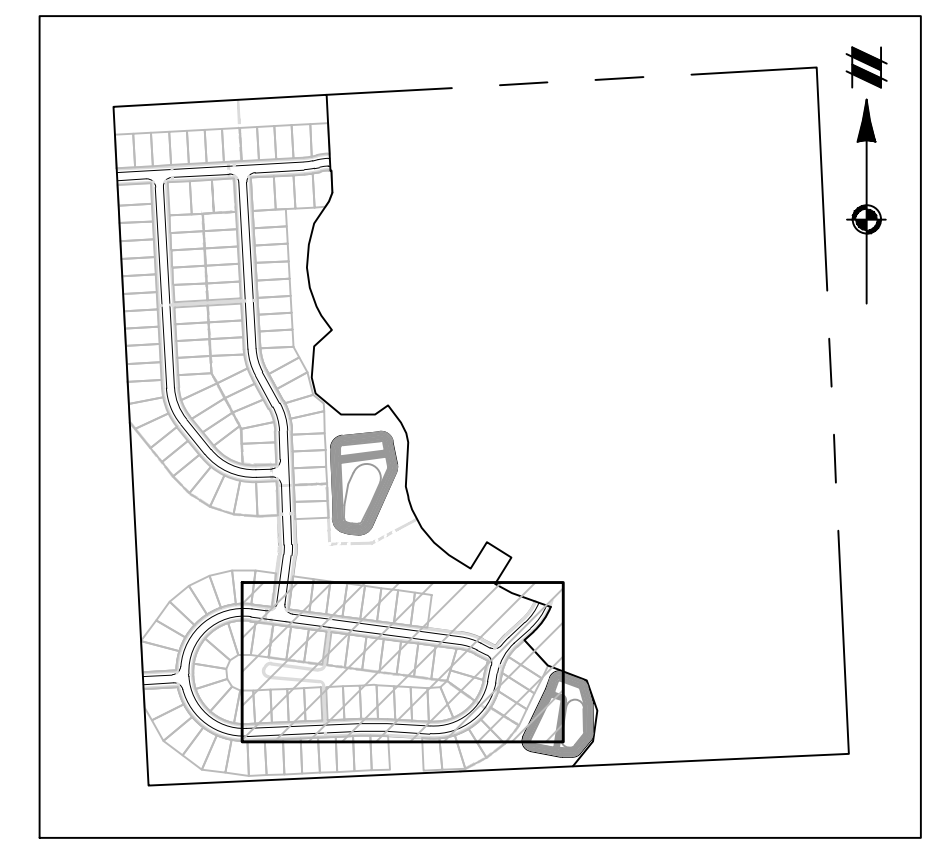
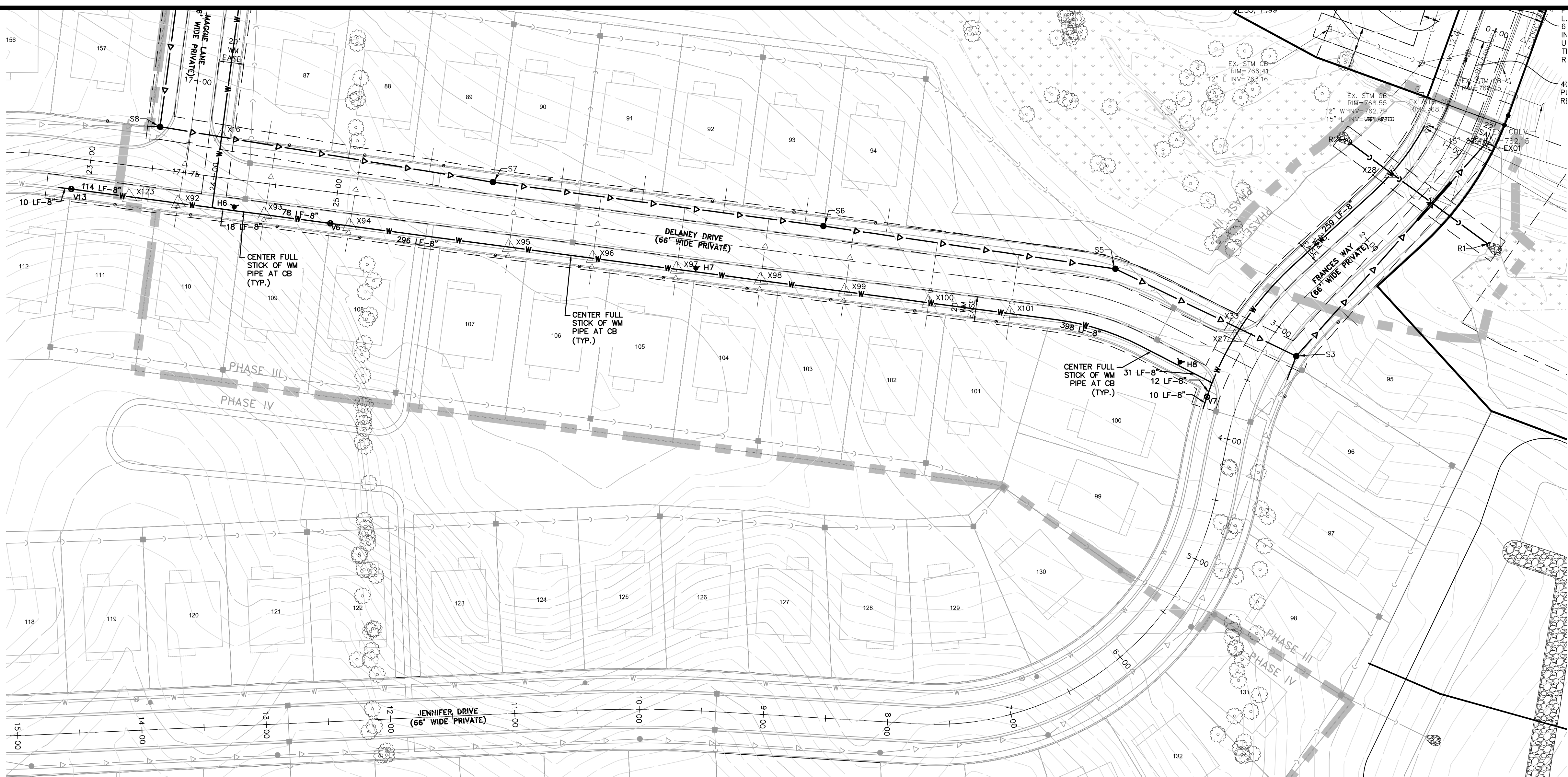
DATE  
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 2022-08-26 PER SEC  
 2022-09-15 PER TWP



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 BOOK ---  
 JOB 16000819  
 SHEET NO. 29

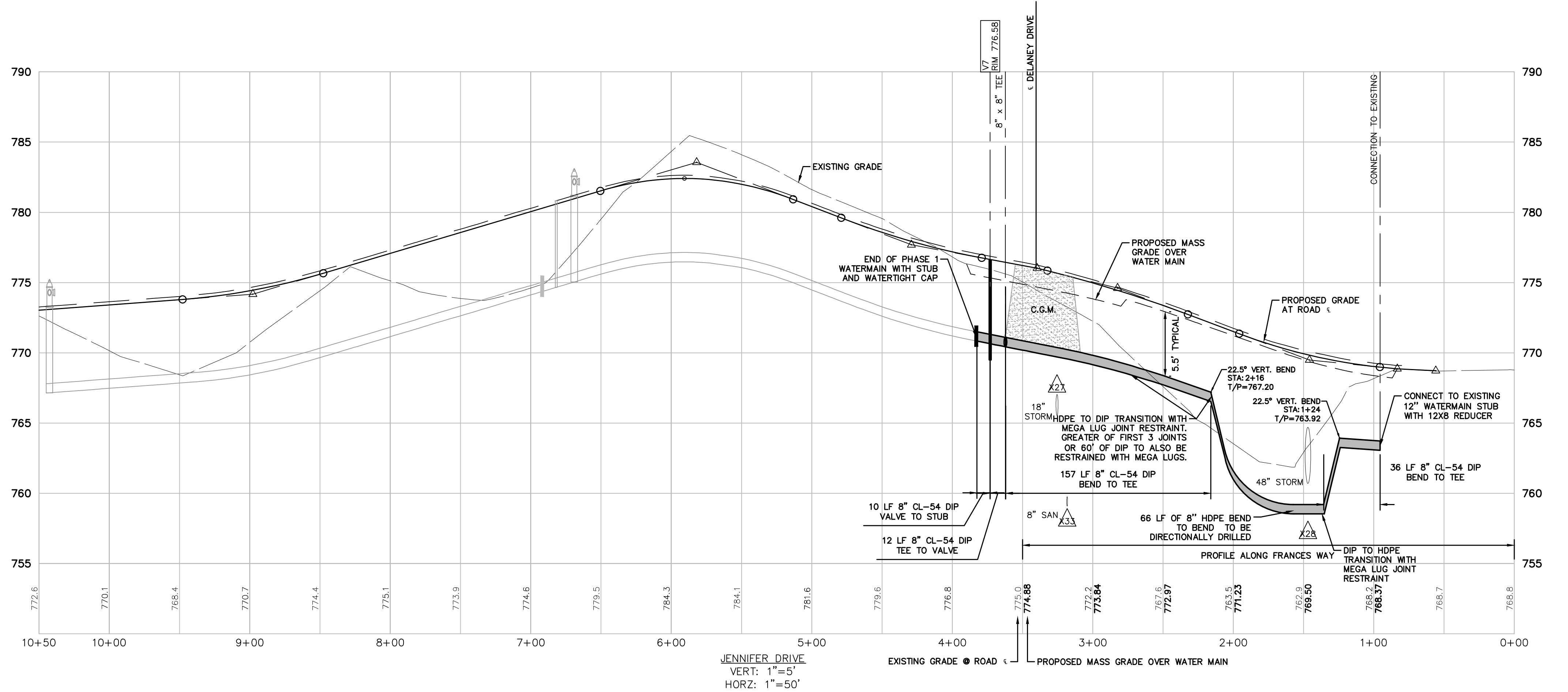
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**LEGEND**

588	PROPOSED 1" CONTOUR
590	PROPOSED 5' CONTOUR
592	EXISTING 1" CONTOUR
594	EXISTING 5' CONTOUR
---	PROPERTY LINE
---	GRADING LIMITS
○	EXISTING MANHOLE / CATCH BASIN
□	PROPOSED MANHOLE / CATCH BASIN
○	EXISTING HYDRANT
○	PROPOSED HYDRANT
○	EXISTING GATE VALVE & WELL
○	PROPOSED GATE VALVE & WELL
○	EXISTING WATER MAIN MANHOLE
○	PROPOSED WATER MAIN MANHOLE
○	EXISTING SANITARY SEWER MANHOLE
○	PROPOSED SANITARY SEWER MANHOLE
---	EXISTING WETLAND
---	PROPOSED ASPHALT
---	PROPOSED CONCRETE
---	PROPOSED EMERGENCY OVERFLOW ROUTE

SEE SHEETS 17 TO 20 FOR ROAD CENTERLINE HORIZONTAL CURVE DATA



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WASHTENAW COUNTY, MICHIGAN

CLIENT  
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PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
ROAD PLAN & PROFILE  
- JENNIFER DRIVE

DATE  
JULY 08, 2022

2022-08-12 PER SEC  
2022-08-16 PER FIRE DEP.  
2022-08-26 PER SEC  
2022-09-15 PER TWP

REVISIONS

0	25	50
SCALE: 1" = 50 FEET		
DR. JW	CH. SS	
P.M. MB		
BOOK		
JOB	16000819	
SHEET NO.	30	

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PROSPECT POINT WEST  
FINAL SITE PLAN - PHASE 1  
OVERALL UTILITY PLAN

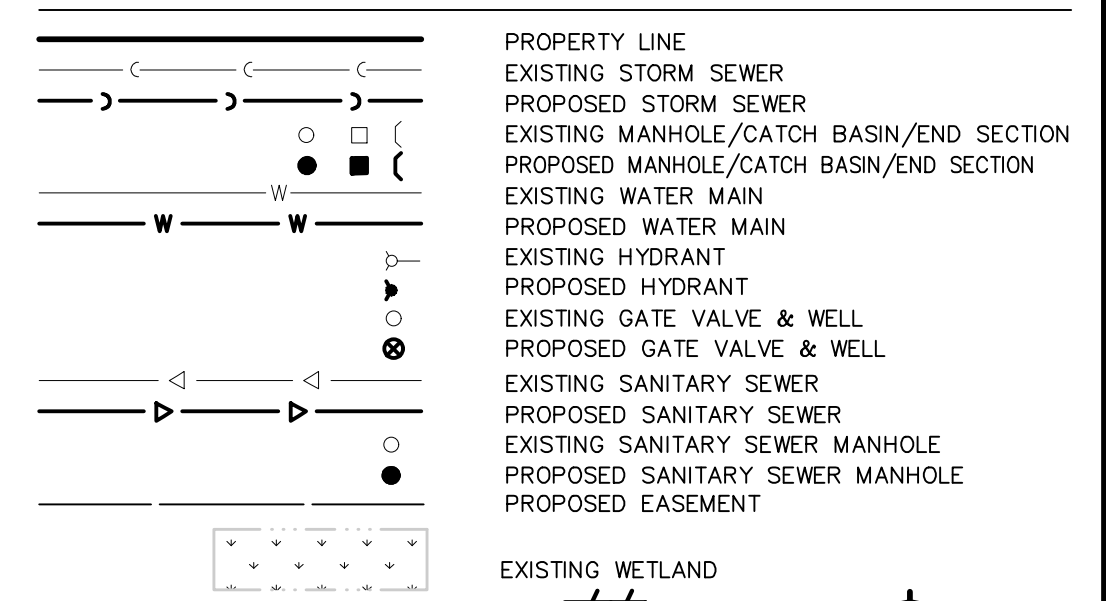
DATE  
JULY 08, 2022

2022-08-12 PER SECC  
2022-08-16 PER FIRE DEP.  
2022-08-28 PER SECC  
2022-09-15 PER TWP

Table with 2 columns: REVISIONS, and 2 rows of empty space for revision details.

SCALE: 1" = 100 FEET  
DR. JW CH. SS  
P.M. MB  
BOOK --  
JOB 16000819  
SHEET NO. 31

LEGEND



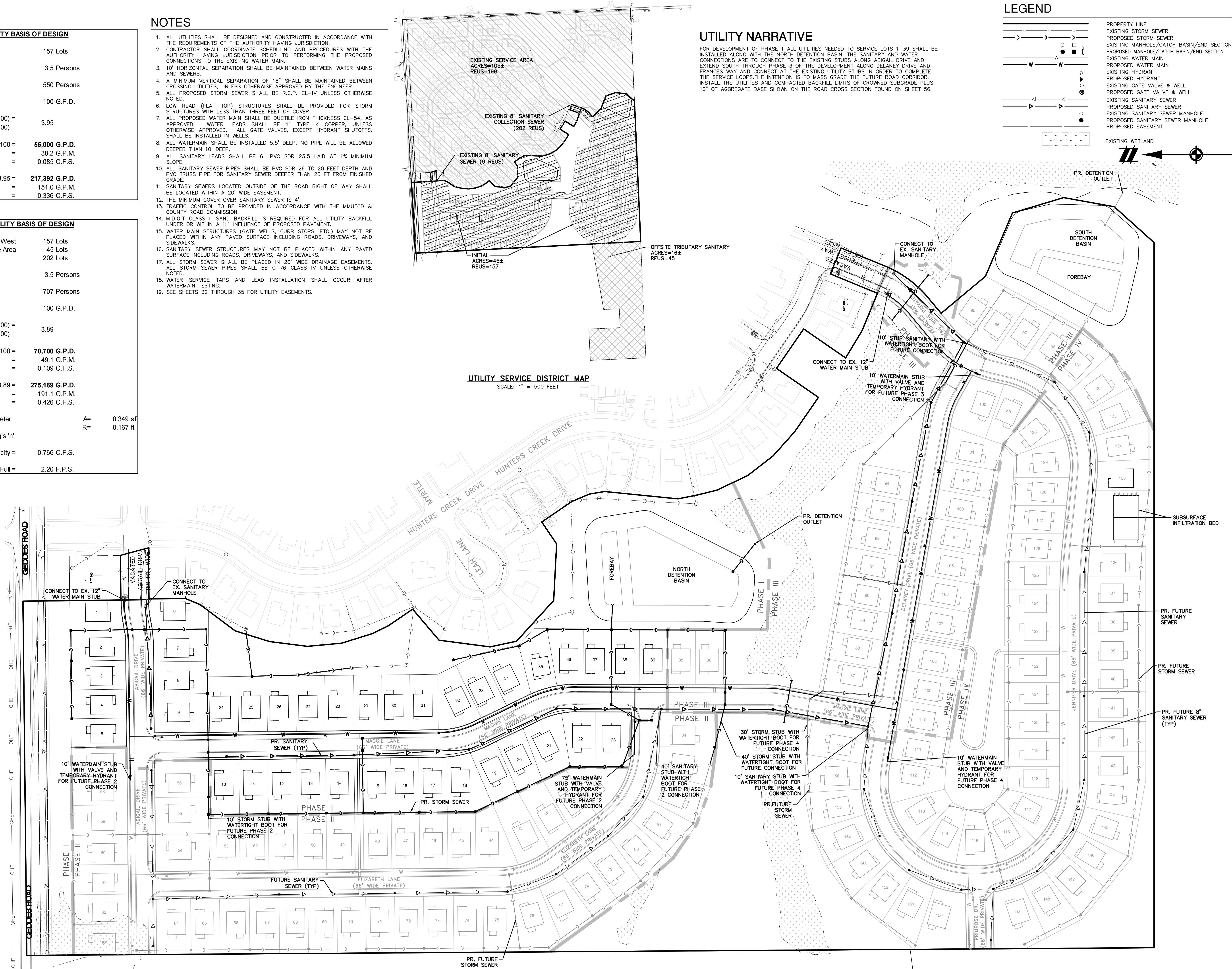
UTILITY NARRATIVE

FOR DEVELOPMENT OF PHASE 1 ALL UTILITIES NEEDED TO SERVICE LOTS 1-39 SHALL BE INSTALLED ALONG WITH THE NORTH DETENTION BASIN. THE SANITARY AND WATER CONNECTIONS ARE TO CONNECT TO THE EXISTING STUBS ALONG ABIGAIL DRIVE AND EXTEND SOUTH THROUGH PHASE 3 OF THE DEVELOPMENT ALONG DELANEY DRIVE AND FRANCES WAY AND CONNECT AT THE EXISTING UTILITY STUBS IN ORDER TO COMPLETE THE SERVICE LOOPS. THE INTENTION IS TO MASS GRADE THE FUTURE ROAD CORRIDOR, INSTALL THE UTILITIES AND COMPACTED BACKFILL LIMITS OF CROWNED SUBGRADE PLUS 10" OF AGGREGATE BASE SHOWN ON THE ROAD CROSS SECTION FOUND ON SHEET 56.

NOTES

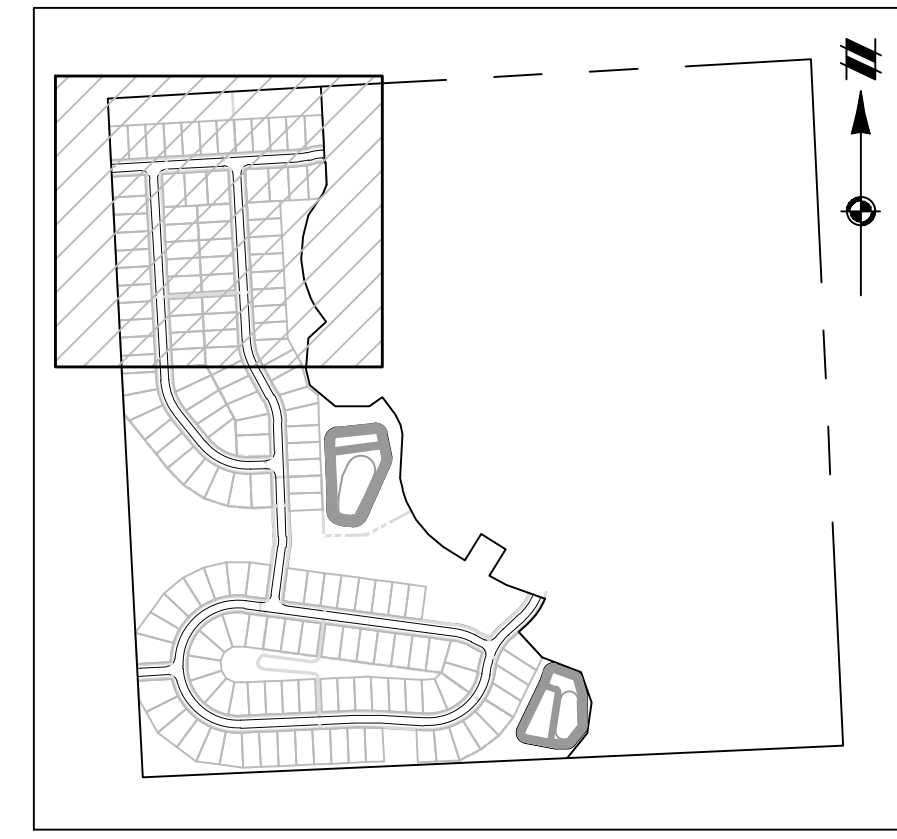
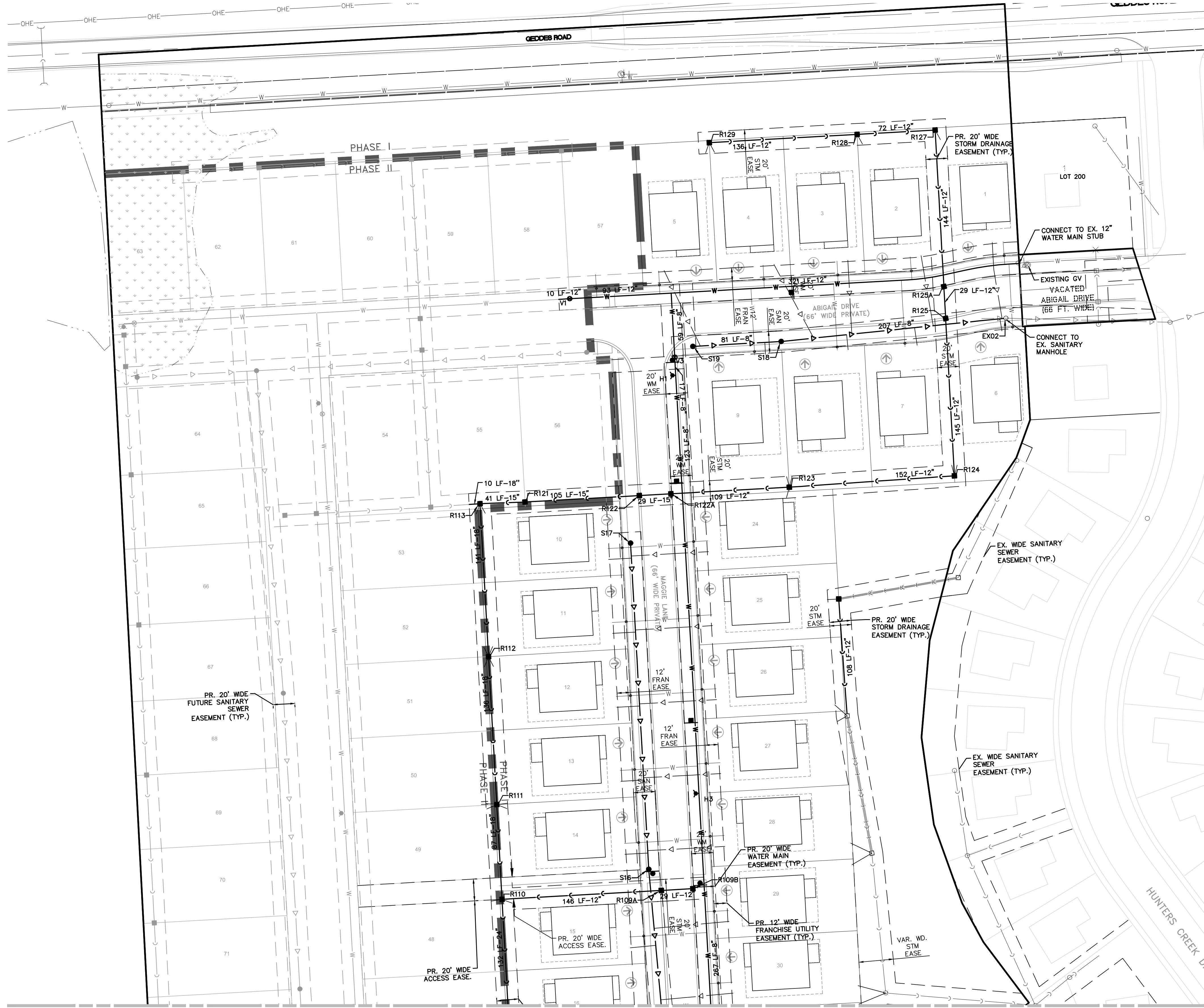
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2. CONTRACTOR SHALL COORDINATE SCHEDULING AND PROCEDURES WITH THE AUTHORITY HAVING JURISDICTION PRIOR TO PERFORMING THE PROPOSED CONNECTIONS TO THE EXISTING WATER MAIN.
3. 10' HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND SEWERS.
4. A MINIMUM VERTICAL SEPARATION OF 18" SHALL BE MAINTAINED BETWEEN CROSSING UTILITIES, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
5. ALL PROPOSED STORM SEWER SHALL BE R.C.P. CL-IV UNLESS OTHERWISE NOTED.
6. LOW HEAD (FLAT TOP) STRUCTURES SHALL BE PROVIDED FOR STORM STRUCTURES WITH LESS THAN THREE FEET OF COVER.
7. ALL PROPOSED WATER MAIN SHALL BE DUCTILE IRON THICKNESS CL-54, AS APPROVED. WATER LEADS SHALL BE 1" TYPE K COPPER, UNLESS OTHERWISE APPROVED. ALL GATE VALVES, EXCEPT HYDRANT SHUTOFFS, SHALL BE INSTALLED IN WELLS.
8. ALL WATERMAIN SHALL BE INSTALLED 5.5' DEEP. NO PIPE WILL BE ALLOWED DEEPER THAN 10' DEEP.
9. ALL SANITARY LEADS SHALL BE 6" PVC SDR 23.5 LAID AT 1% MINIMUM SLOPE.
10. ALL SANITARY SEWER PIPES SHALL BE PVC SDR 26 TO 20 FEET DEPTH AND PVC TRUSS PIPE FOR SANITARY SEWER DEEPER THAN 20 FT FROM FINISHED GRADE.
11. SANITARY SEWERS LOCATED OUTSIDE OF THE ROAD RIGHT OF WAY SHALL BE LOCATED WITHIN A 20' WIDE EASEMENT.
12. THE MINIMUM COVER OVER SANITARY SEWER IS 4'.
13. TRAFFIC CONTROL TO BE PROVIDED IN ACCORDANCE WITH THE MMUTCD & COUNTY ROAD COMMISSION.
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17. ALL STORM SEWER SHALL BE PLACED IN 20' WIDE DRAINAGE EASEMENTS. ALL STORM SEWER PIPES SHALL BE C-76 CLASS IV UNLESS OTHERWISE NOTED.
18. WATER SERVICE TAPS AND LEAD INSTALLATION SHALL OCCUR AFTER WATERMAIN TESTING.
19. SEE SHEETS 32 THROUGH 35 FOR UTILITY EASEMENTS.

UTILITY SERVICE DISTRICT MAP SCALE: 1" = 500 FEET



INITIAL UTILITY BASIS OF DESIGN table with columns for parameter and value. Includes: No. of Single Family Lots (157), No. of Users per Lot (3.5), Total Expected Population Served (550), Average Daily Flow (100 G.P.D.), Peaking Factor (3.95), Average Demand (55,000 G.P.D.), Peak Demand (217,392 G.P.D.).

ULTIMATE UTILITY BASIS OF DESIGN table with columns for parameter and value. Includes: Prospect Pointe West (157), Future Service Area (45), Total No. of Single Family Lots (202), No. of Users per Lot (3.5), Total Expected Population Served (707), Average Daily Flow (100 G.P.D.), Peaking Factor (3.89), Average Flow (70,700 G.P.D.), Peak Flow (275,169 G.P.D.), Pipe Capacity (8 in. diameter, 0.349 sf), Manning's Capacity (0.766 C.F.S.), Velocity Flowing Full (2.20 F.P.S.).



KEYMAP  
SCALE: 1" = 750'

LEGEND

	PROPERTY LINE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING MANHOLE/CATCH BASIN/END SECTION
	PROPOSED MANHOLE/CATCH BASIN/END SECTION
	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	EXISTING HYDRANT
	PROPOSED HYDRANT
	EXISTING GATE VALVE & WELL
	PROPOSED GATE VALVE & WELL
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING WETLAND

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SEE SHEET 33 FOR CONTINUATION



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Call before you dig.

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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
UTILITY PLAN

DATE  
JULY 08, 2022

2022-08-12	PER SESC
2022-08-16	PER FIRE DEP.
2022-08-28	PER SESC
2022-09-15	PER TWP

REVISIONS	

SCALE: 1" = 50 FEET

DR. JW CH. SS

P.M. MB

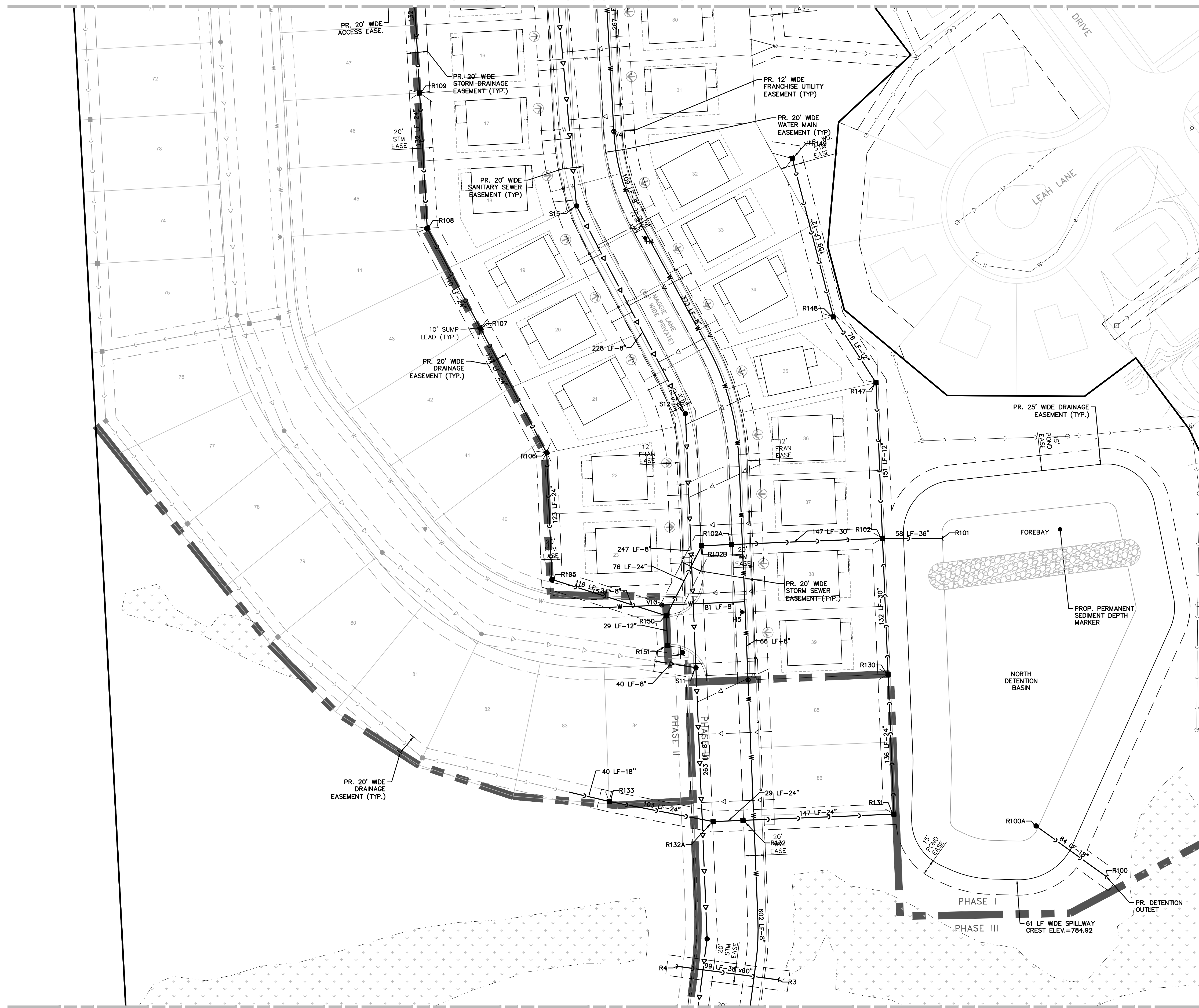
BOOK --

JOB 16000819

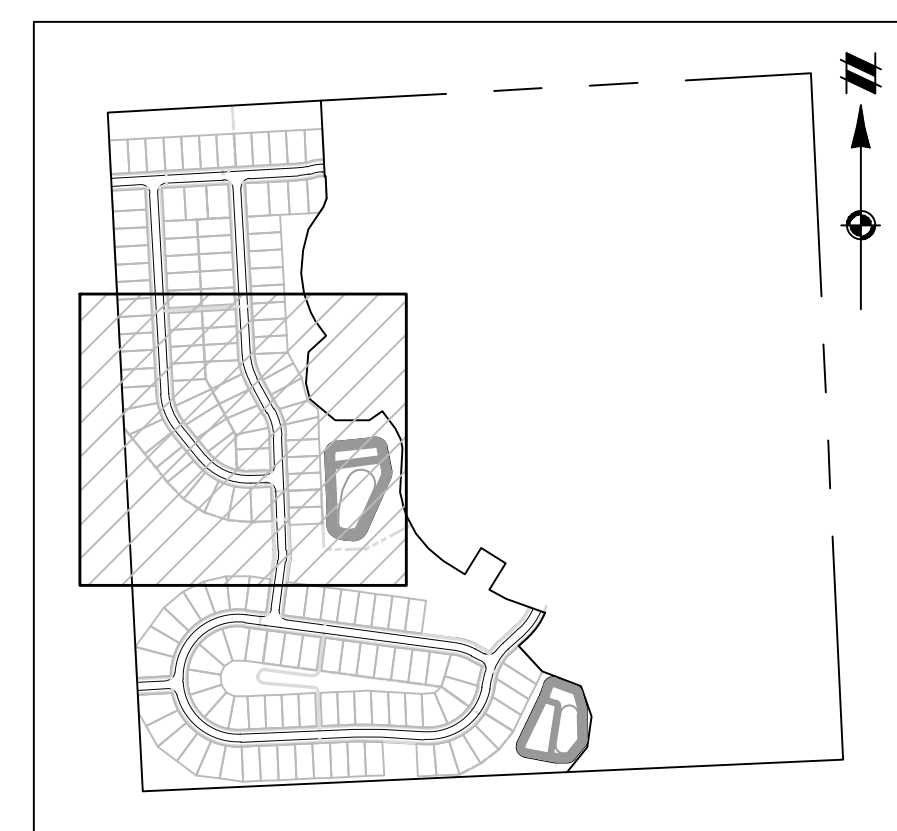
SHEET NO.



SEE SHEET 32 FOR CONTINUATION



SEE SHEET 34 FOR CONTINUATION



KEYMAP  
SCALE: 1" = 750'

LEGEND

	PROPERTY LINE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING MANHOLE/CATCH BASIN/END SECTION
	PROPOSED MANHOLE/CATCH BASIN/END SECTION
	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	EXISTING HYDRANT
	PROPOSED HYDRANT
	EXISTING GATE VALVE & WELL
	PROPOSED GATE VALVE & WELL
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
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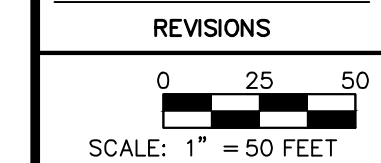
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SECTION 33
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SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT	SE MICHIGAN LAND HOLDING LLC
	PROSPECT POINTE WEST
	FINAL SITE PLAN - PHASE 1
	UTILITY PLAN

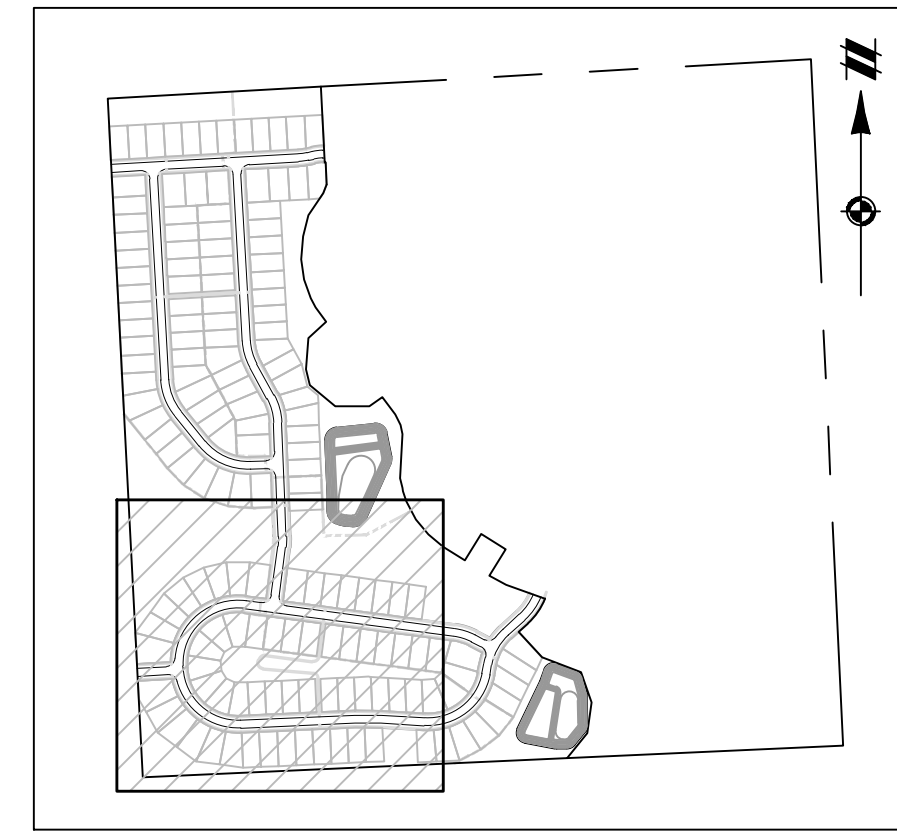
DATE	JULY 08, 2022
	2022-08-12 PER SESS
	2022-08-16 PER FIRE DEP.
	2022-08-28 PER SESS
	2022-09-15 PER TWP

REVISIONS



DR.	JW	CH.	SS
P.M.	MB		
BOOK	--		
JOB	16000819		
SHEET NO.	33		

SEE SHEET 33 FOR CONTINUATION



KEYMAP  
SCALE: 1" = 750'

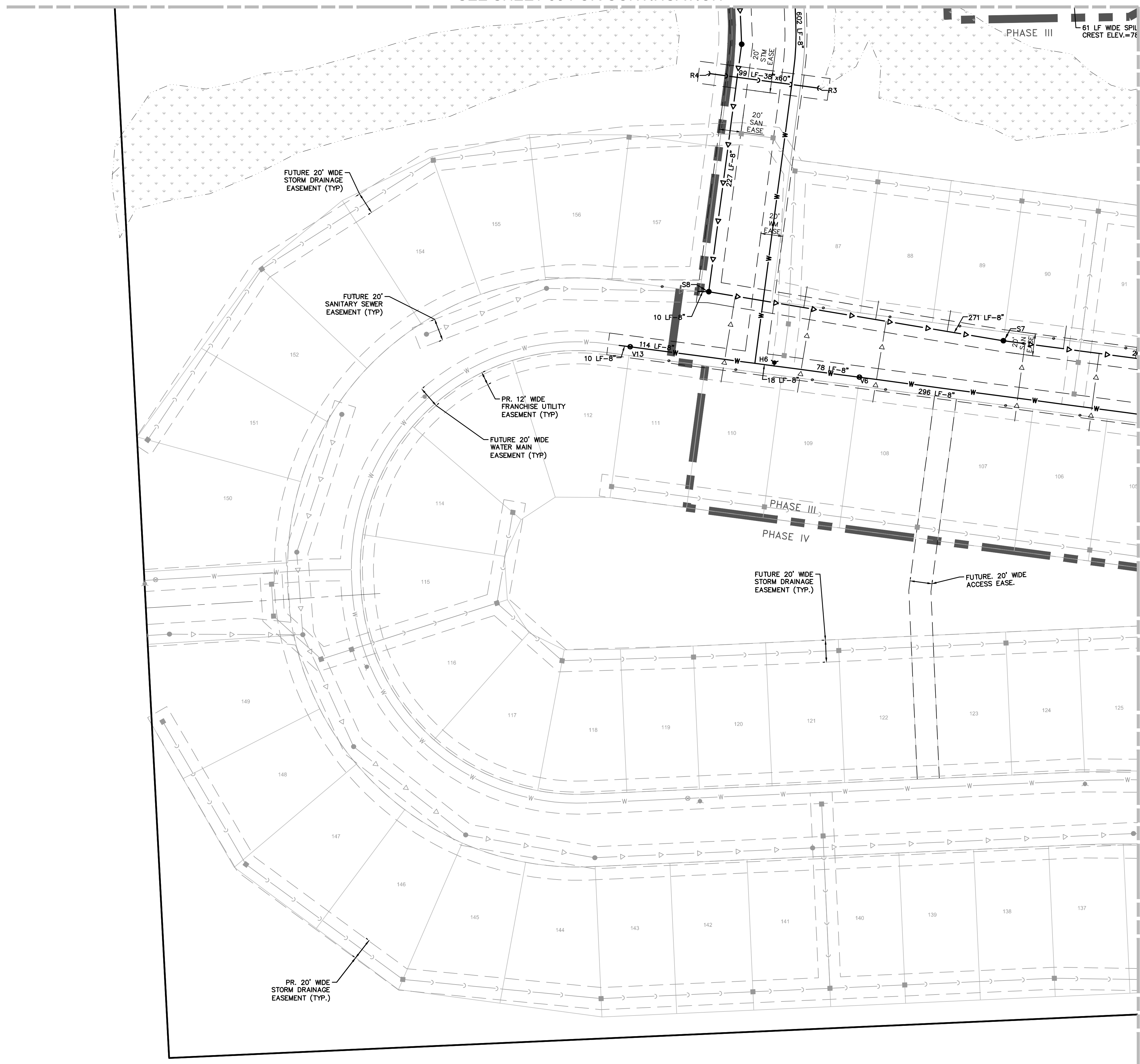
LEGEND

- PROPERTY LINE
- - - EXISTING STORM SEWER
- - - PROPOSED STORM SEWER
- - - EXISTING MANHOLE/CATCH BASIN/END SECTION
- - - PROPOSED MANHOLE/CATCH BASIN/END SECTION
- - - EXISTING WATER MAIN
- - - PROPOSED WATER MAIN
- - - EXISTING HYDRANT
- - - PROPOSED HYDRANT
- - - EXISTING GATE VALVE & WELL
- - - PROPOSED GATE VALVE & WELL
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- - - PROPOSED SANITARY SEWER
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SEE SHEET 35 FOR CONTINUATION



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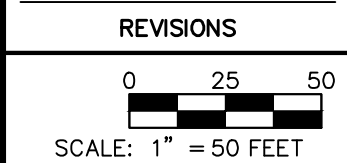
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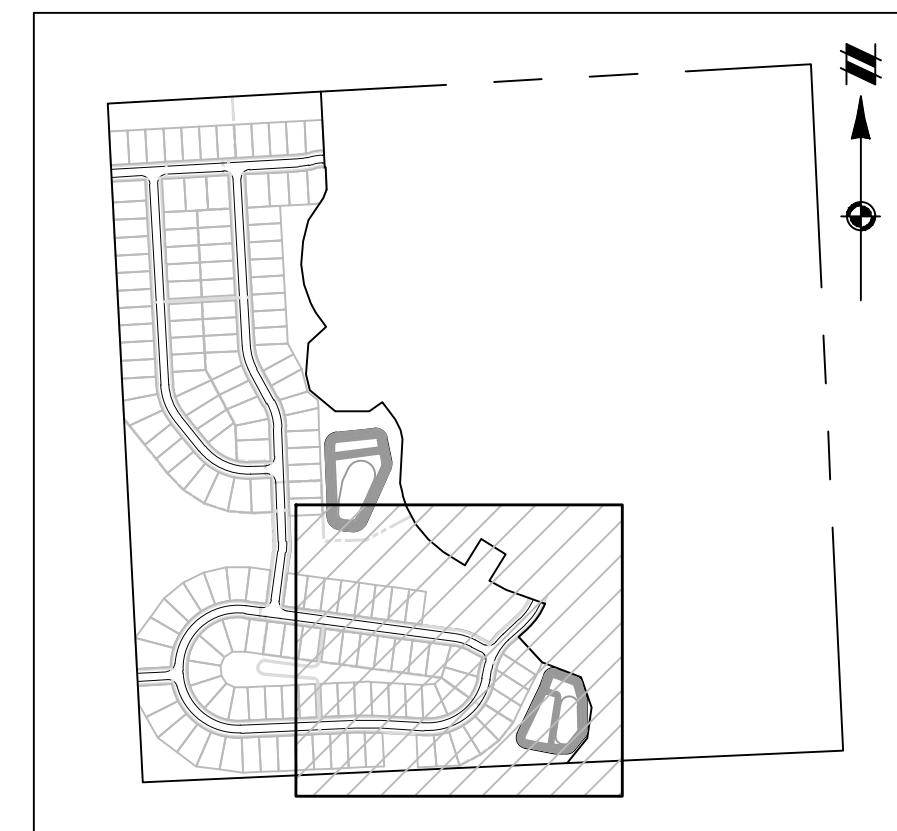
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REVISIONS

DR. JW | CH. SS  
P.M. MB  
BOOK --  
JOB 16000819  
SHEET NO.

K:\00000160\01600819\FINAL PHASE 1\00000819P1-13.dwg - 2/17/2022 11:27 AM STEVE SULLS



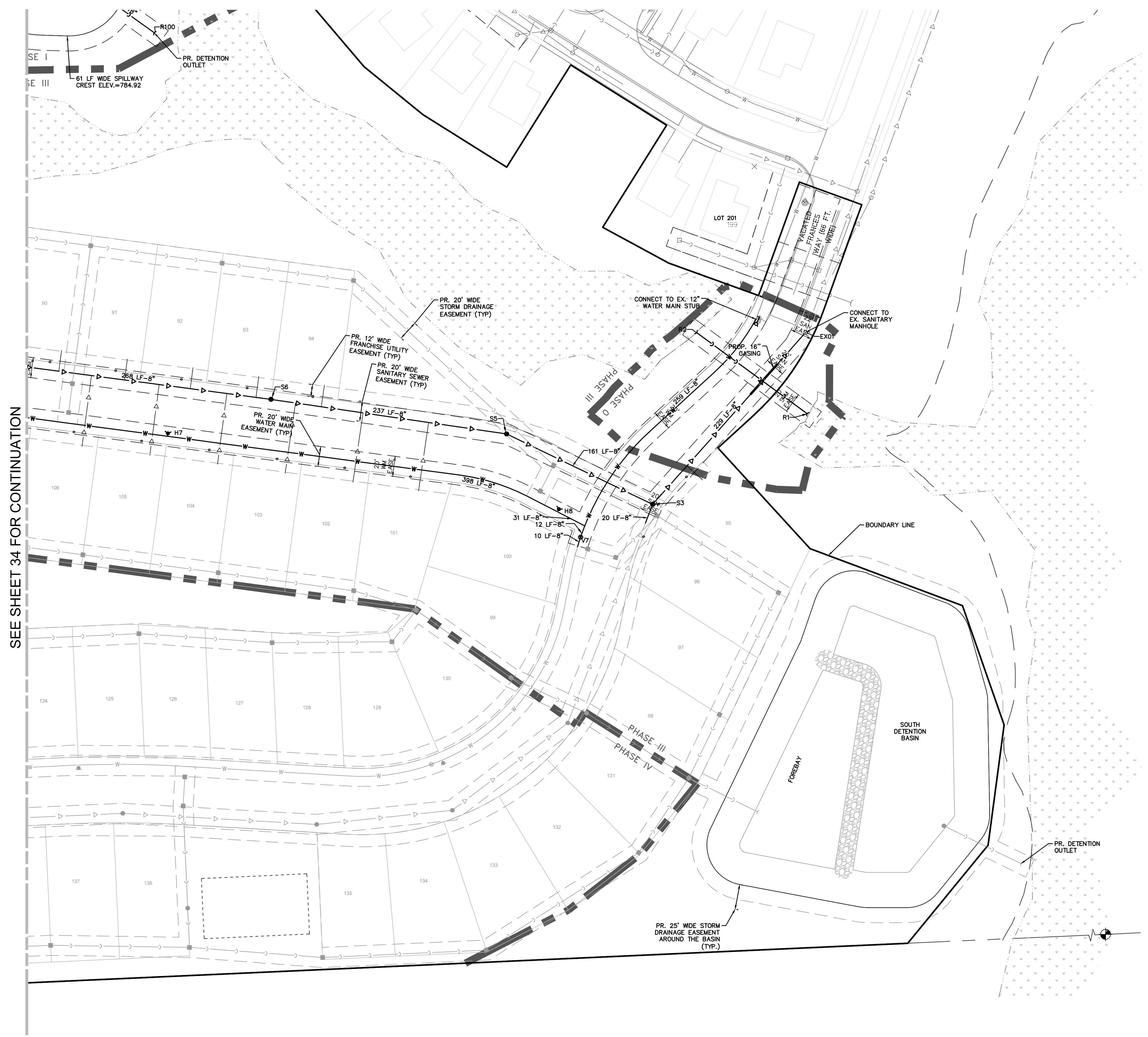
**KEYMAP**  
SCALE: 1" = 750'

**LEGEND**

	PROPERTY LINE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING MANHOLE/CATCH BASIN/END SECTION
	PROPOSED MANHOLE/CATCH BASIN/END SECTION
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	EXISTING HYDRANT
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	PROPOSED GATE VALVE & WELL
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SEE SHEET 34 FOR CONTINUATION

**811**  
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SECTION 33	TOWN 2 SOUTH, RANGE 7 EAST	SUPERIOR TOWNSHIP
SE MICHIGAN LAND HOLDING LLC	PROSPECT POINTE WEST	UTILITY PLAN
<b>FINAL SITE PLAN - PHASE 1</b>		
CLIENT	DATE	
	JULY 08, 2022	
	2022-08-12 PER SESC	
	2022-08-16 PER FIRE DEP.	
	2022-08-28 PER SESC	
	2022-09-15 PER TWP	
REVISIONS		
<p>SCALE: 1" = 50 FEET</p>		
DR. JW	CH. SS	
P.M. MB		
BOOK --		
JOB 16000819		
SHEET NO.		<b>35</b>

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SE MICHIGAN LAND HOLDING LLC PROSPECT POINTE WEST FINAL SITE PLAN - PHASE 1 UTILITY STRUCTURE TABLES

TOWN 2 SOUTH, RANGE 7 EAST SUPERIOR TOWNSHIP WASHTENAW COUNTY, MICHIGAN

SECTION 33

CLIENT

DATE

2022-08-12 PER SECC

2022-08-16 PER FIRE DEP.

2022-08-26 PER SECC

2022-09-15 PER TWP

REVISIONS

NA NA NA

N/A

DR. JW CH. SS

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JOB 16000819

SHEET NO.

36

Table with columns: NUMBER, SIZE, DESC., RIM ELEV., INVERTS, NORTHING EASTING. Contains data for storm sewer structures R241 through R254.

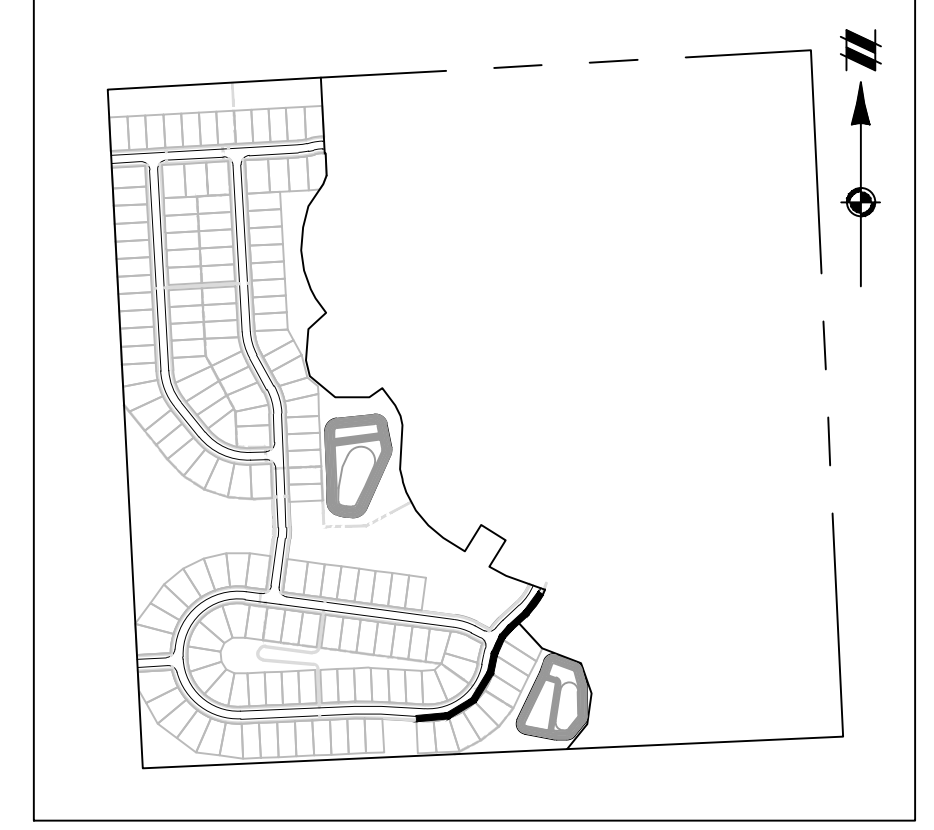
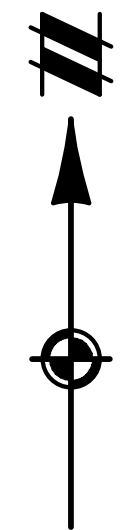
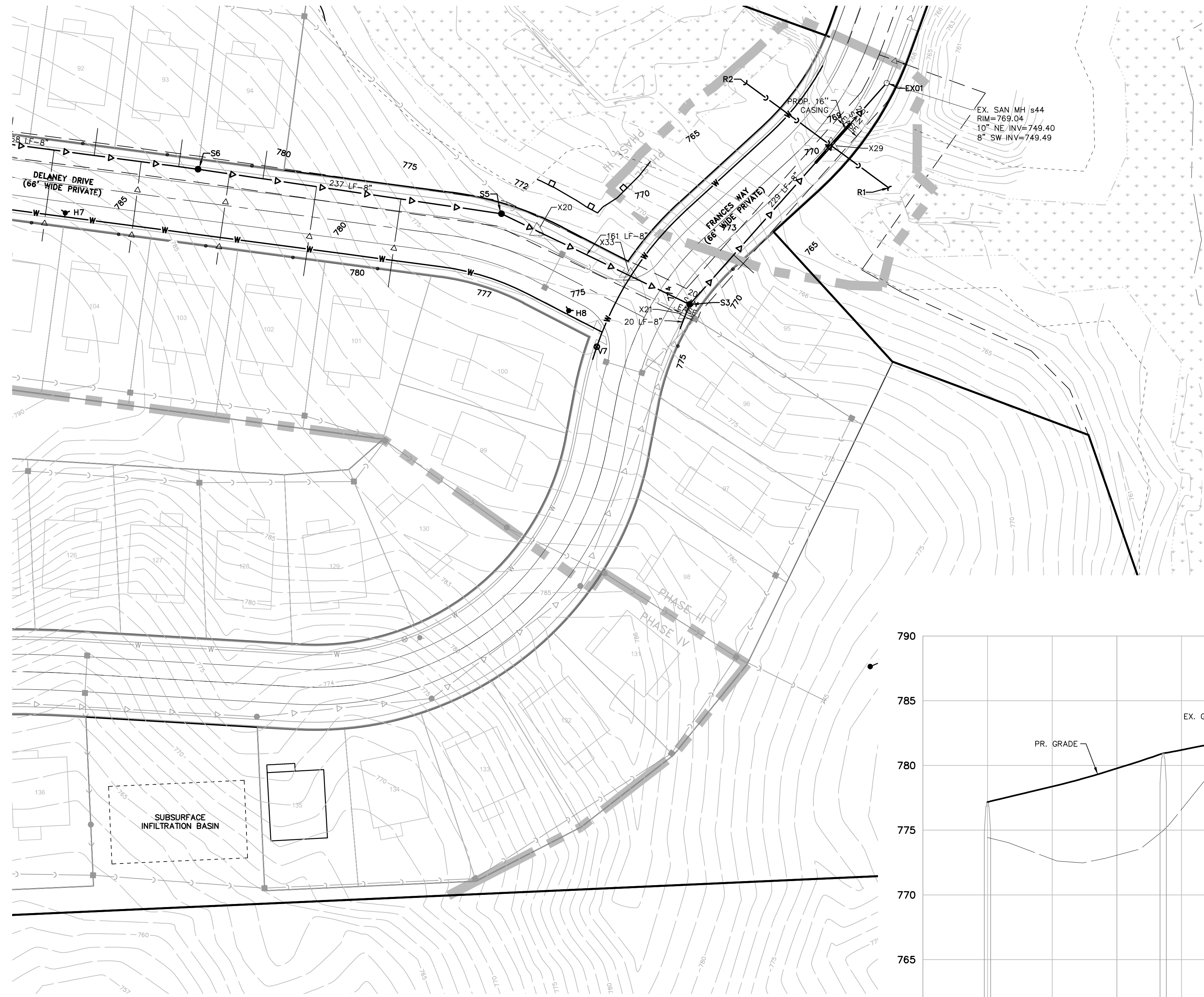
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Table with columns: NUMBER, DESCRIPTION, ELEVATION, NORTHING EASTING. Contains data for water main structures H1 through V14.

Table with columns: CROSSING, CROSSING PIPE 1, CROSSING PIPE 2. Contains data for crossings X1 through X125.

Table with columns: NUMBER, SIZE, DESC., ELEVATION, INVERTS, NORTHING EASTING. Contains data for sanitary sewer structures EX01 through STUB.

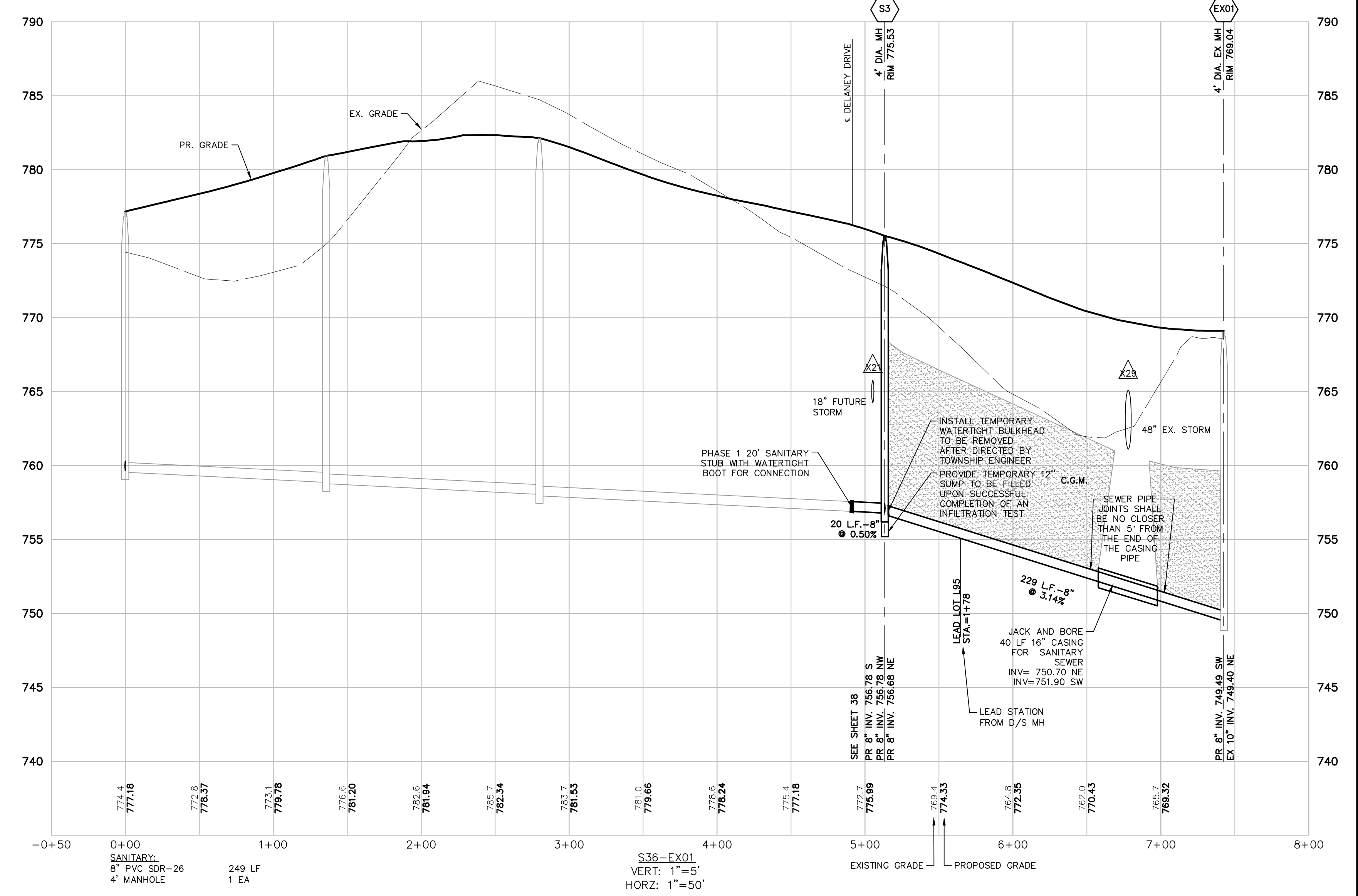
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KEYMAP  
SCALE: 1" = 750'

**SANITARY LEAD TABLE**

Lot No.	Size	Sta	Riser	Length	Invert	F.G.
L 95	6" SDR 23.5	STA 1+78.9	9' RISER	21 LF	765.40	776.40



S36-EX01  
VERT: 1"=5'  
HORIZ: 1"=50'



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SANITARY PLAN & PROFILES

DATE  
JULY 08, 2022

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2022-08-16	PER FIRE DEP.
2022-08-28	PER SEC
2022-09-15	PER TWP

REVISIONS

NO.	DATE	DESCRIPTION

SCALE: 1" = 50 FEET

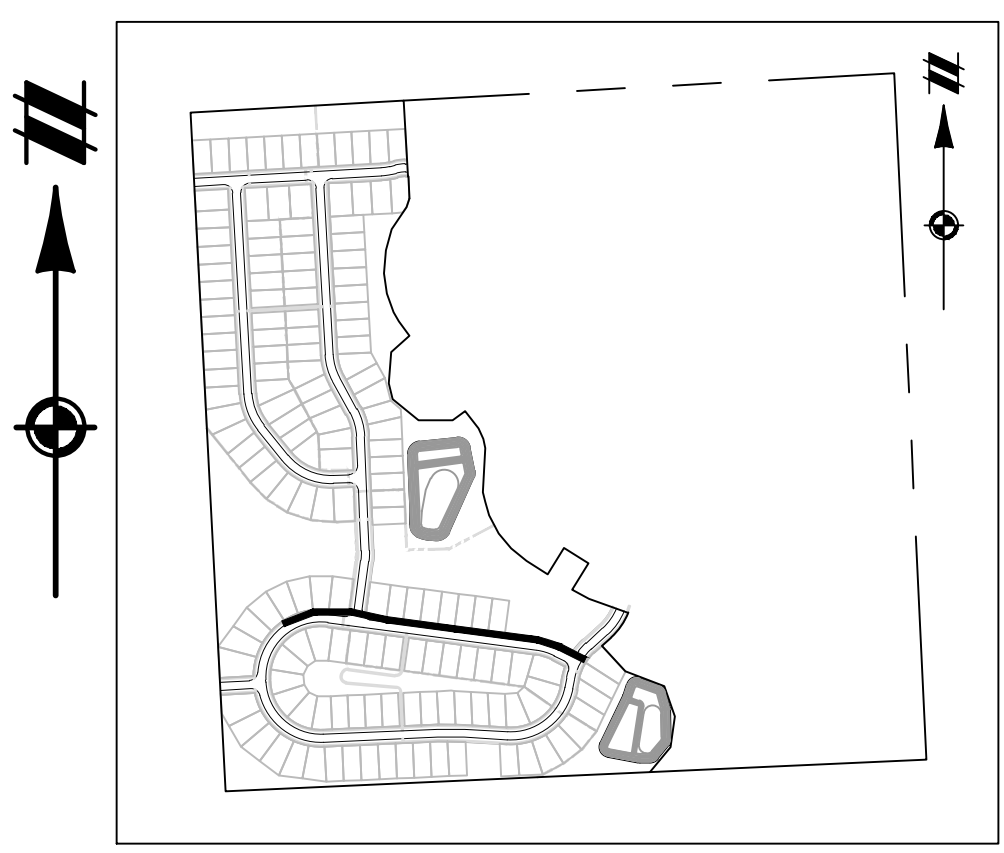
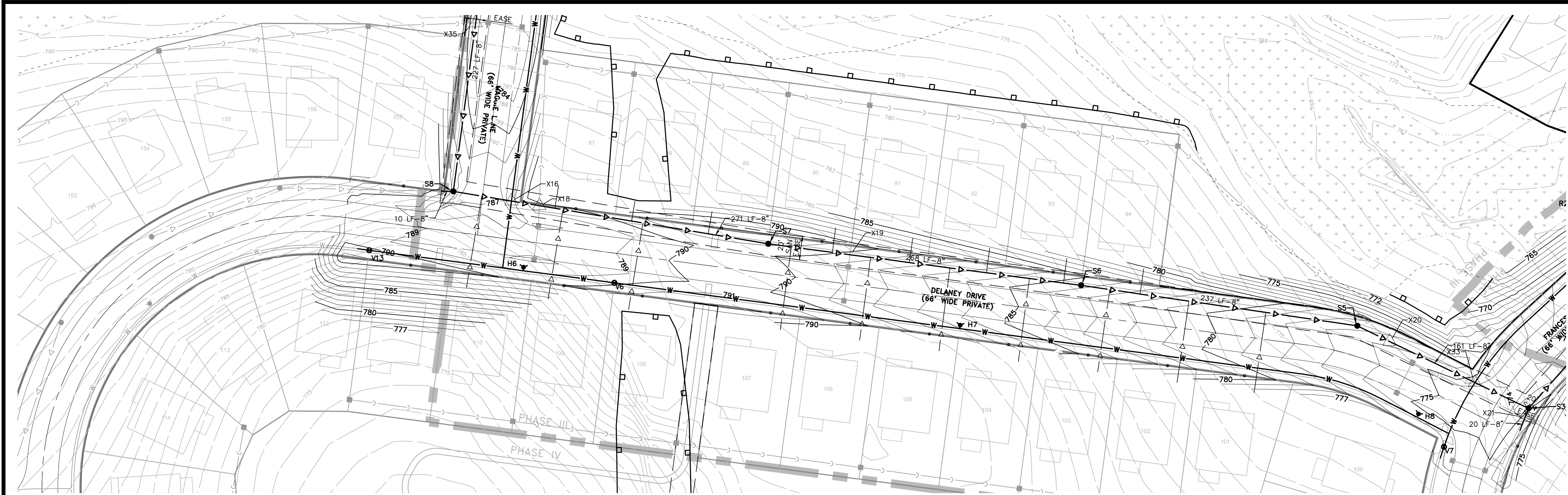
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BOOK --

JOB 16000819

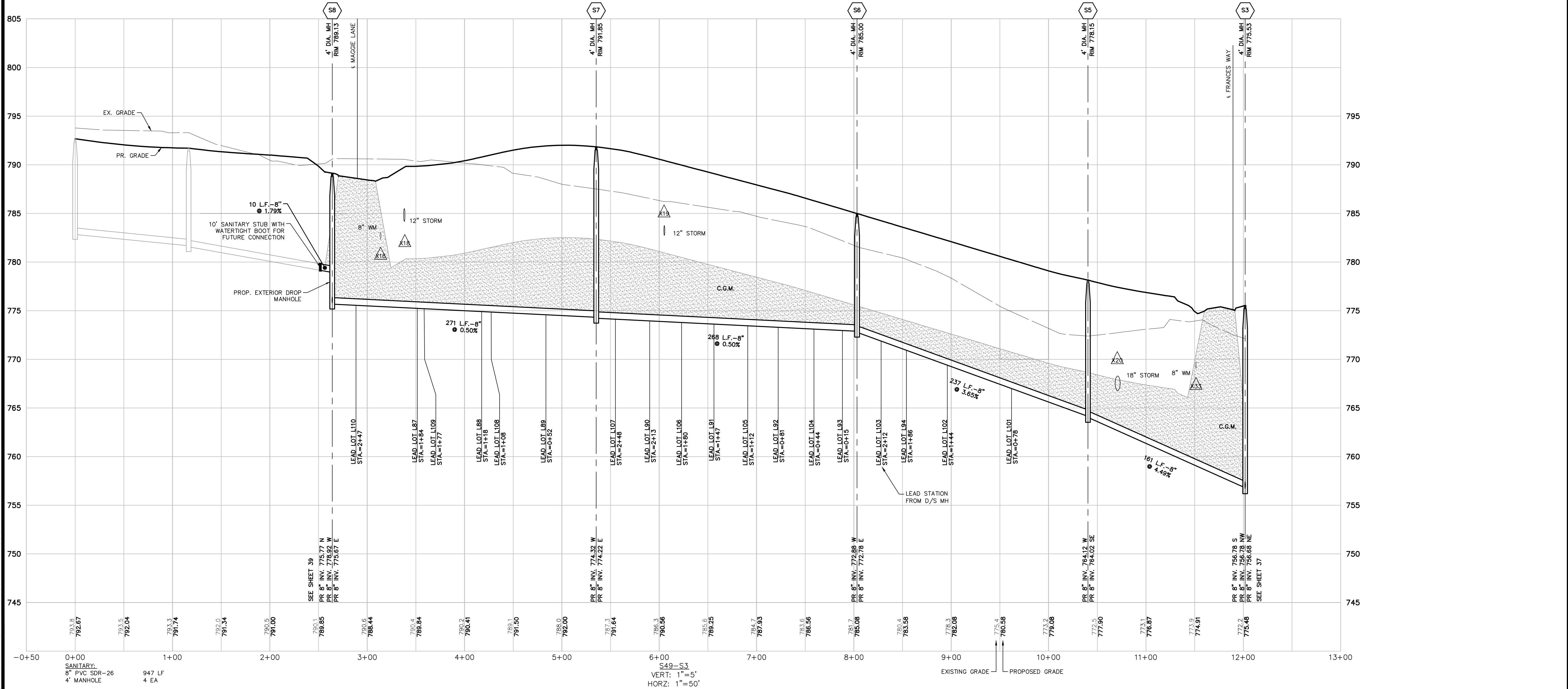
SHEET NO.



**KEYMAP**  
SCALE: 1" = 750'

**SANITARY LEAD TABLE**

Lot No.	Size	Sta	Riser	Length	Invert	F.G.
L 87	6" SDR 23.5	STA 1+84	4.5" RISER	19 LF	780.80	791.00
L 88	6" SDR 23.5	STA 1+18	6.0" RISER	17 LF	782.00	793.00
L 89	6" SDR 23.5	STA 0+52	7.0" RISER	19 LF	782.75	793.75
L 90	6" SDR 23.5	STA 2+13	7.0" RISER	21 LF	782.05	793.05
L 91	6" SDR 23.5	STA 1+47	6.0" RISER	21 LF	780.55	791.55
L 92	6" SDR 23.5	STA 0+81	4.5" RISER	21 LF	778.80	789.80
L 93	6" SDR 23.5	STA 0+15	3.0" RISER	21 LF	776.85	787.85
L 94	6" SDR 23.5	STA 1+86	3.0" RISER	22 LF	775.00	786.00
L 101	6" SDR 23.5	STA 0+79	3.0" RISER	69 LF	771.70	782.70
L 102	6" SDR 23.5	STA 1+44	2.5" RISER	70 LF	773.70	784.70
L 103	6" SDR 23.5	STA 2+12	0.0" RISER	71 LF	775.65	786.65
L 104	6" SDR 23.5	STA 0+44	3.0" RISER	71 LF	777.70	788.70
L 105	6" SDR 23.5	STA 1+12	4.5" RISER	71 LF	779.60	790.60
L 106	6" SDR 23.5	STA 1+80	6.0" RISER	71 LF	781.35	792.35
L 107	6" SDR 23.5	STA 2+48	7.0" RISER	71 LF	782.60	793.60
L 108	6" SDR 23.5	STA 1+08	5.5" RISER	75 LF	781.85	792.85
L 109	6" SDR 23.5	STA 1+77	4.0" RISER	77 LF	780.70	791.70
L 110	6" SDR 23.5	STA 2+47	0.0" RISER	79 LF	780.00	791.00



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WASHTENAW COUNTY, MICHIGAN

CLIENT: SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
SANITARY PLAN & PROFILES

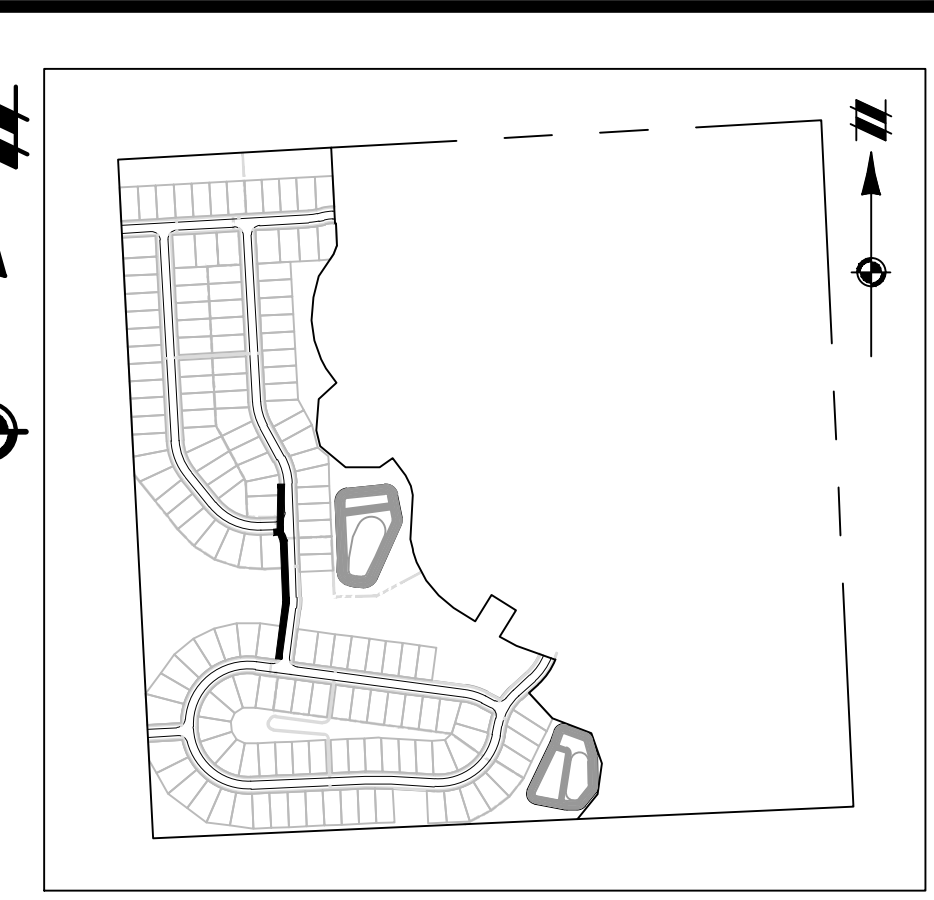
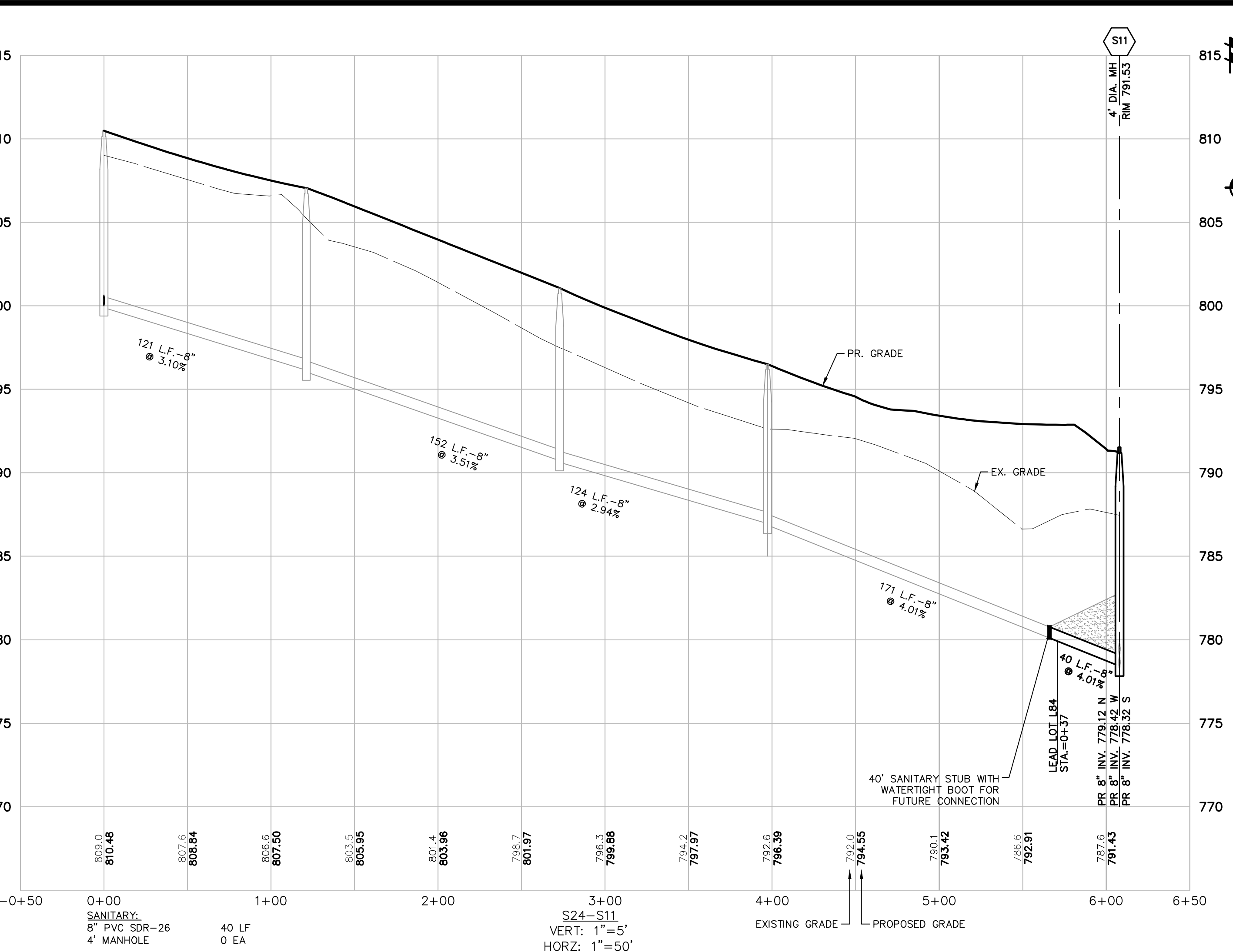
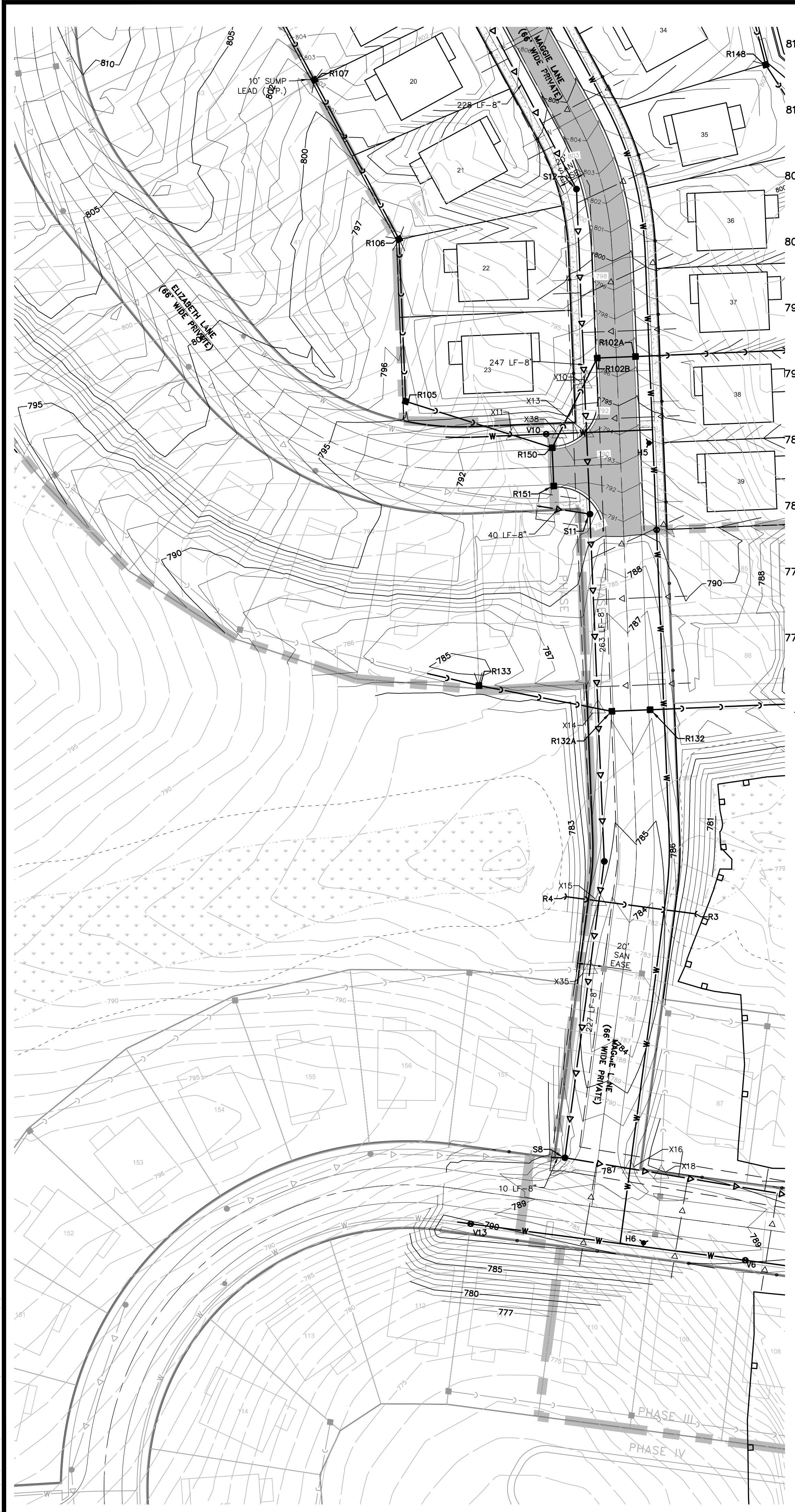
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REVISIONS

SCALE: 1" = 50 FEET

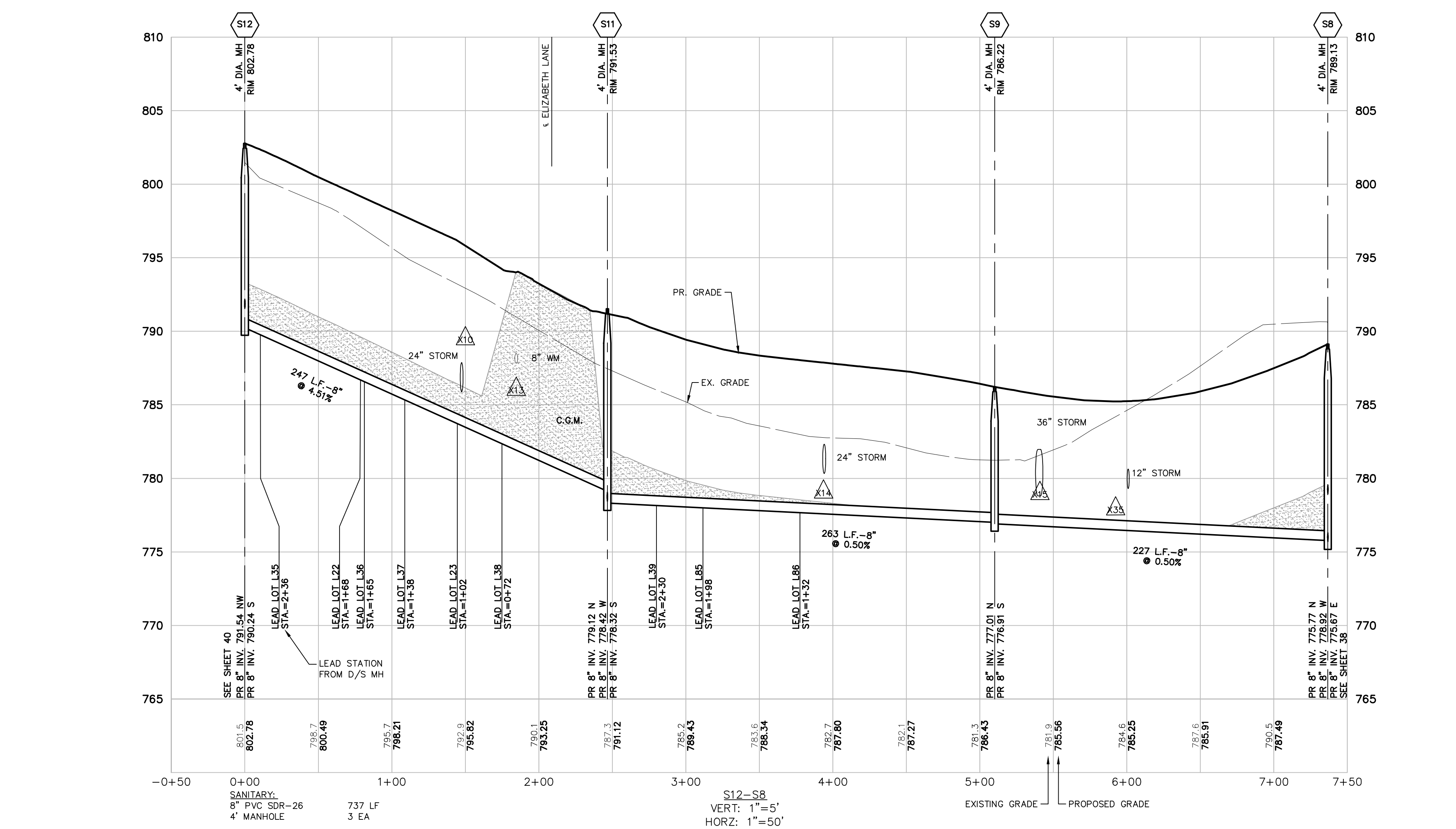
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BOOK --  
JOB 16000819  
SHEET NO. 38



**SANITARY LEAD TABLE**

Lot No	Size	Sta	Riser	Length	Invert	F.G.
L 22	6" SDR 23.5	STA 1+68	3.0' RISER	21 LF	790.80	801.80
L 23	6" SDR 23.5	STA 2+02	3.0' RISER	21 LF	787.60	798.60
L 35	6" SDR 23.5	STA 2+36	3.0' RISER	69 LF	794.50	805.50
L 36	6" SDR 23.5	STA 1+65	4.0' RISER	77 LF	792.20	803.20
L 37	6" SDR 23.5	STA 1+38	0.0' RISER	71 LF	789.00	800.00
L 38	6" SDR 23.5	STA 0+72	0.0' RISER	71 LF	786.10	797.10
L 39	6" SDR 23.5	STA 2+30	3.0' RISER	77 LF	783.00	794.00
L 84	6" SDR 23.5	STA 0+37	1.5' RISER	17 LF	782.70	793.70
L 85	6" SDR 23.5	STA 1+98	0.0' RISER	71 LF	780.40	791.40
L 86	6" SDR 23.5	STA 1+32	0.0' RISER	71 LF	779.05	789.90

0+00 SANITARY: 8" PVC SDR-26 4" MANHOLE  
 1+00 40 LF 0 EA  
 2+00  
 3+00 S24-S11 VERT: 1"=5' HORZ: 1"=50'  
 4+00 EXISTING GRADE PROPOSED GRADE  
 5+00  
 6+00  
 6+50



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SECTION 33  
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 SUPERIOR TOWNSHIP  
 WASHTENAW COUNTY, MICHIGAN

CLIENT: SE MICHIGAN LAND HOLDING LLC  
 PROSPECT POINT WEST  
 FINAL SITE PLAN - PHASE 1  
 SANITARY PLAN & PROFILES

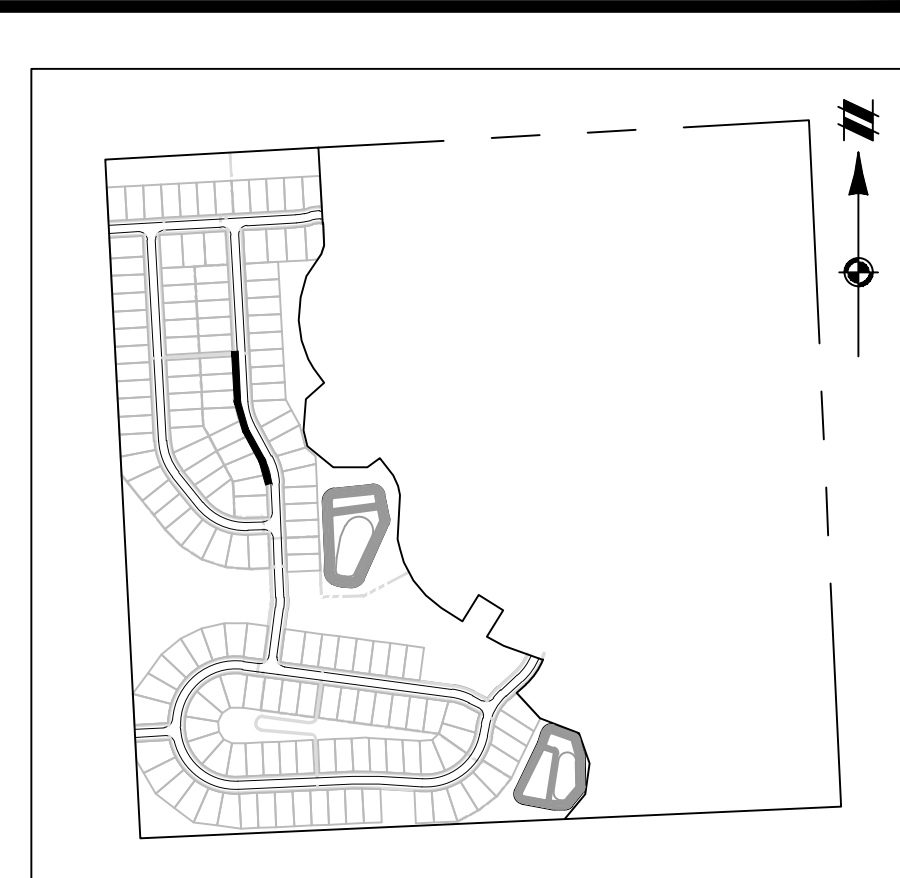
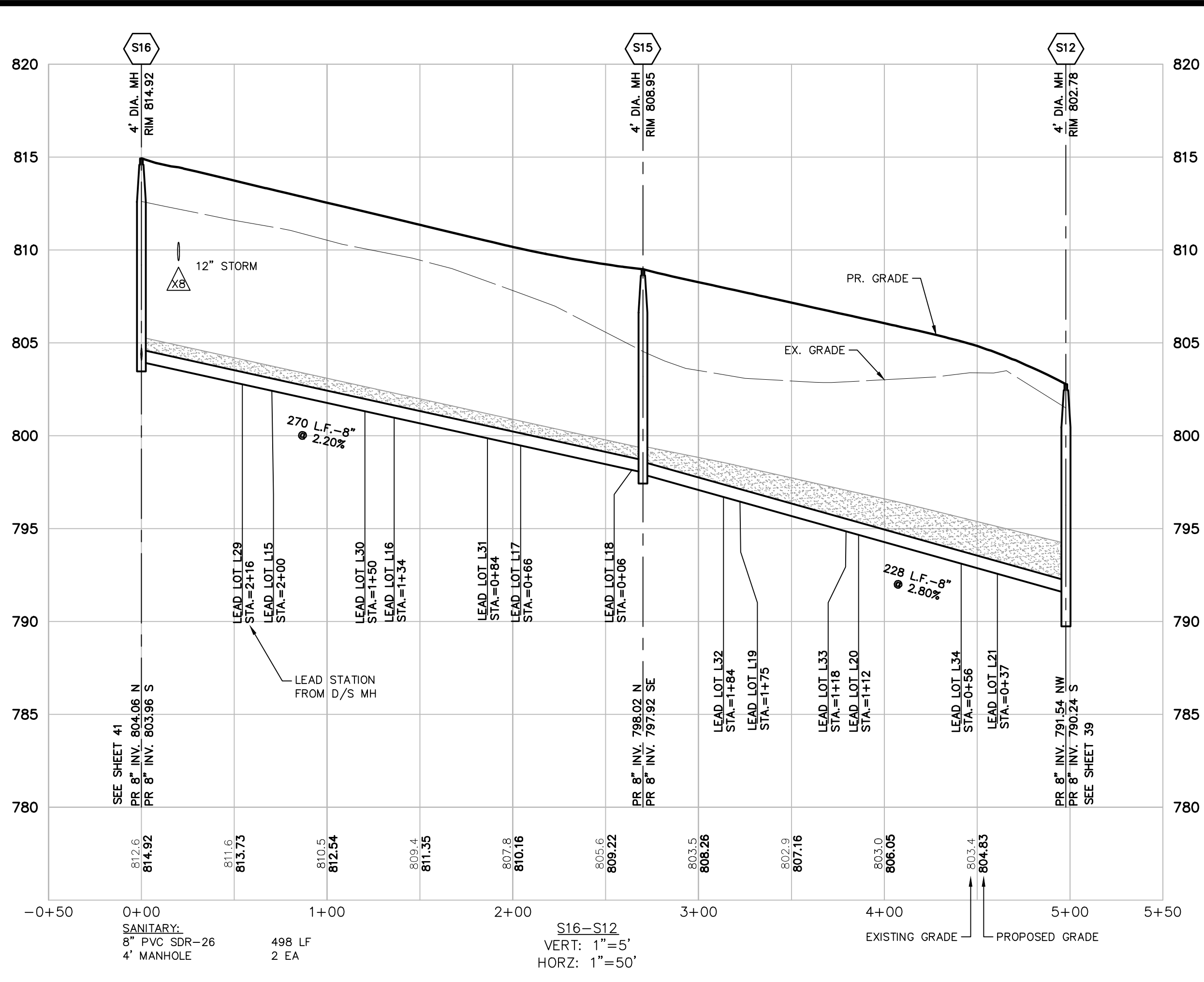
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 2022-09-15 PER TWP

REVISIONS

0 25 50  
 SCALE: 1" = 50 FEET

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 P.M. MB  
 BOOK --  
 JOB 16000819  
 SHEET NO. 39



KEYMAP  
SCALE: 1" = 750'

**SANITARY LEAD TABLE**

Lot No.	Size	Sta	Riser	Length	Invert	F.G.
L 15	6" SDR 23.5	STA 2+00	1.0' RISER	24 LF	804.60	815.60
L 16	6" SDR 23.5	STA 1+34	0.0' RISER	28 LF	803.05	814.05
L 17	6" SDR 23.5	STA 0+66	1.0' RISER	28 LF	801.60	812.60
L 18	6" SDR 23.5	STA 0+06	1.0' RISER	23 LF	800.10	811.10
L 19	6" SDR 23.5	STA 1+75	1.5' RISER	24 LF	799.10	810.10
L 20	6" SDR 23.5	STA 1+12	2.5' RISER	23 LF	797.65	808.65
L 21	6" SDR 23.5	STA 0+37	2.5' RISER	22 LF	796.15	807.15
L 29	6" SDR 23.5	STA 2+16	0.0' RISER	69 LF	805.00	816.00
L 30	6" SDR 23.5	STA 1+50	0.0' RISER	67 LF	803.60	814.60
L 31	6" SDR 23.5	STA 0+84	0.0' RISER	64 LF	802.10	813.10
L 32	6" SDR 23.5	STA 1+84	0.0' RISER	68 LF	799.25	810.25
L 33	6" SDR 23.5	STA 1+18	0.0' RISER	69 LF	797.65	808.65
L 34	6" SDR 23.5	STA 0+56	0.0' RISER	70 LF	796.40	807.40

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REVISIONS

SCALE: 1" = 50 FEET

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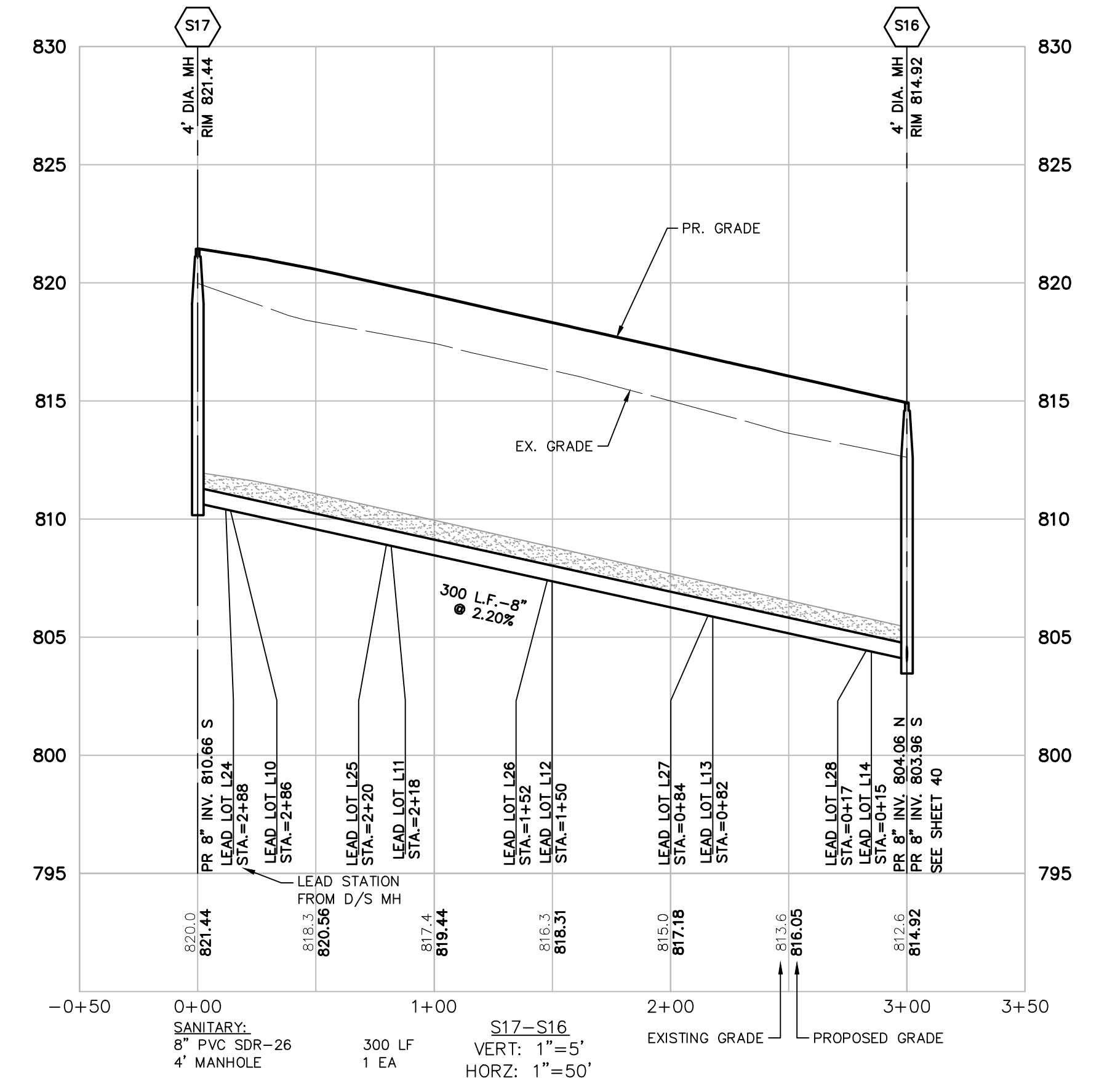
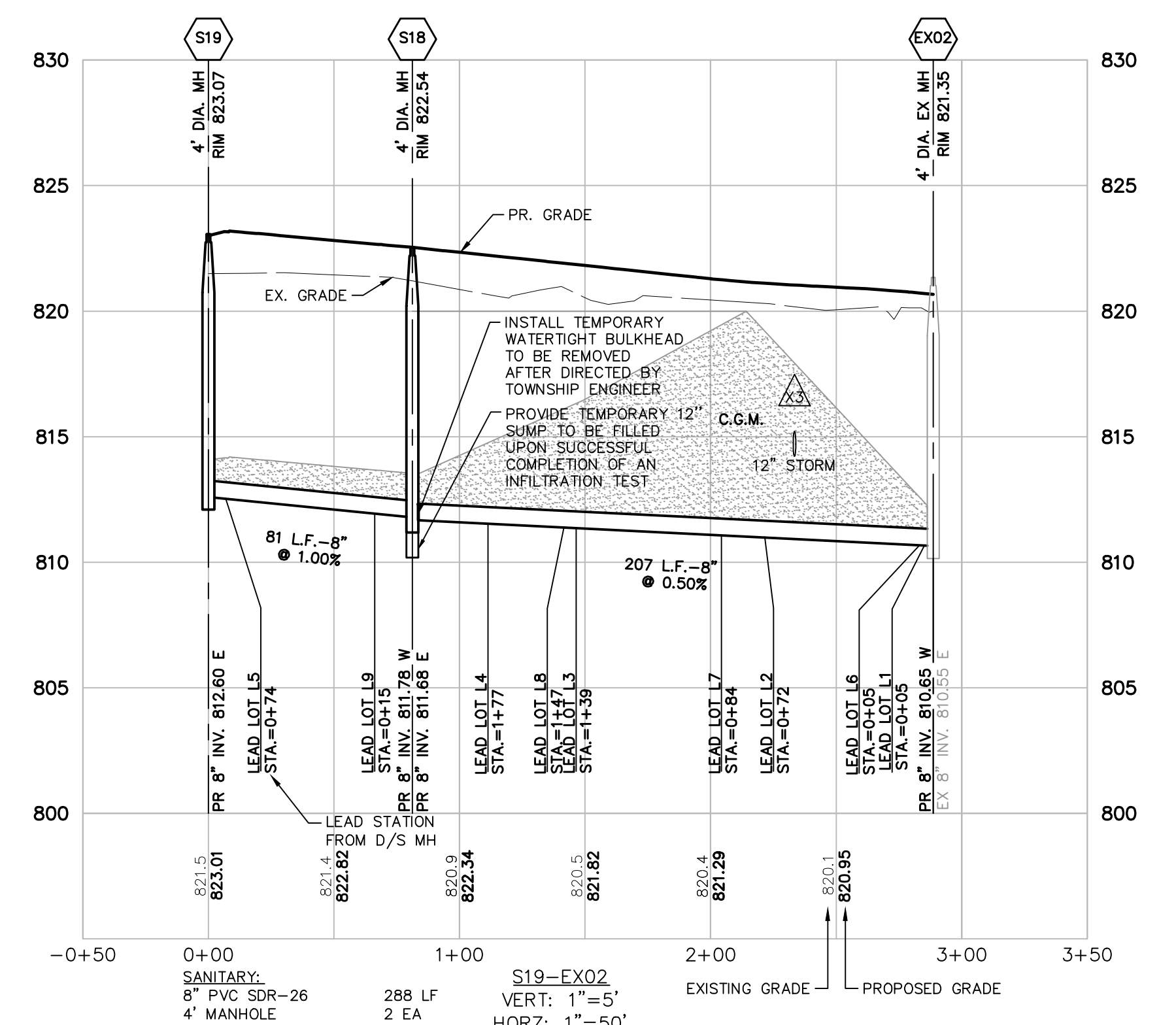
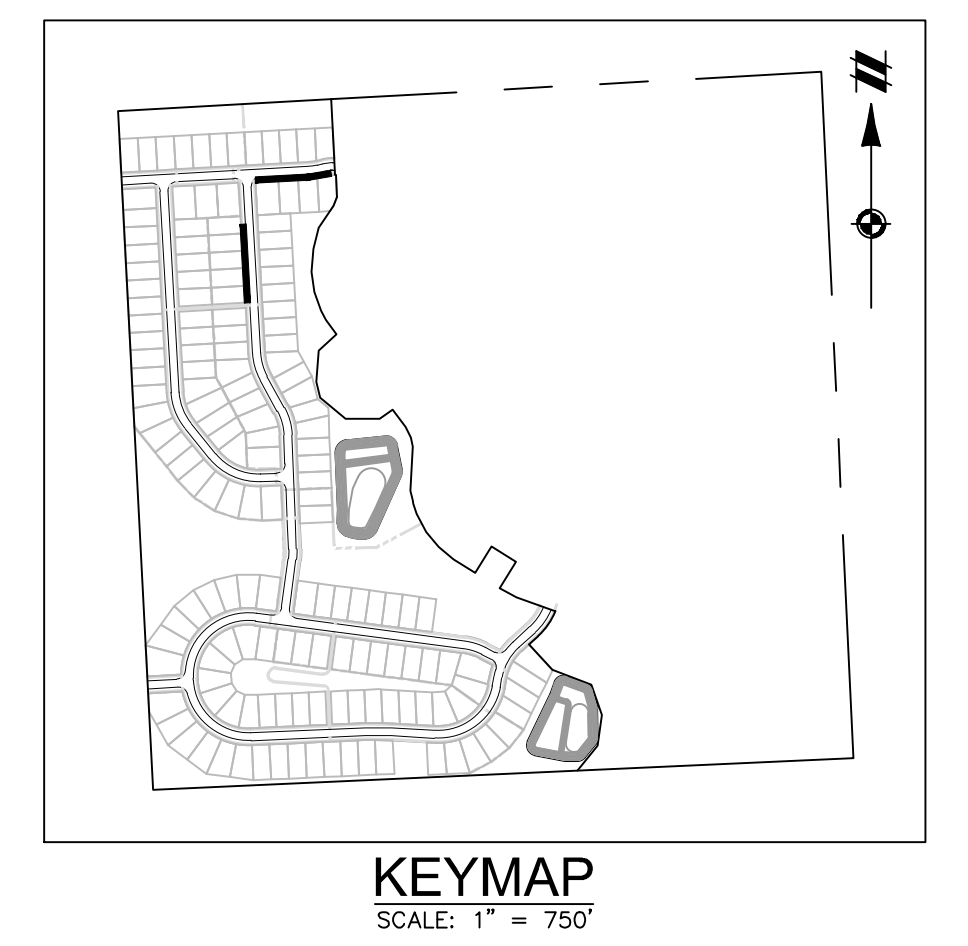
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BOOK --  
JOB 16000819  
SHEET NO. 40





**SANITARY LEAD TABLE**

Lot No.	Size	Sta	Riser	Length	Invert	F.G.
L1	6" SDR 23.5	STA 0+05	0.0' RISER	70 LF	812.05	822.75
L2	6" SDR 23.5	STA 0+72	0.0' RISER	65 LF	812.35	823.35
L3	6" SDR 23.5	STA 1+39	0.0' RISER	68 LF	812.90	823.90
L4	6" SDR 23.5	STA 1+77	0.0' RISER	77 LF	813.25	824.25
L5	6" SDR 23.5	STA 0+74	0.0' RISER	77 LF	814.10	825.10
L6	6" SDR 23.5	STA 0+05	0.0' RISER	11 LF	811.80	822.80
L7	6" SDR 23.5	STA 0+84	0.0' RISER	16 LF	812.40	823.40
L8	6" SDR 23.5	STA 1+47	0.0' RISER	14 LF	813.00	824.00
L9	6" SDR 23.5	STA 0+15	0.0' RISER	11 LF	813.00	824.00
L10	6" SDR 23.5	STA 2+86	1.0' RISER	21 LF	812.30	823.30
L11	6" SDR 23.5	STA 2+18	1.0' RISER	21 LF	811.20	822.20
L12	6" SDR 23.5	STA 1+50	1.0' RISER	21 LF	809.60	820.60
L13	6" SDR 23.5	STA 0+82	1.0' RISER	21 LF	808.05	819.05
L14	6" SDR 23.5	STA 0+15	1.0' RISER	21 LF	806.55	817.55
L24	6" SDR 23.5	STA 2+88	0.0' RISER	71 LF	812.40	823.40
L25	6" SDR 23.5	STA 2+20	0.0' RISER	71 LF	811.15	822.15
L26	6" SDR 23.5	STA 1+52	0.0' RISER	71 LF	809.70	820.70
L27	6" SDR 23.5	STA 0+84	0.0' RISER	71 LF	808.00	819.00
L28	6" SDR 23.5	STA 0+17	0.0' RISER	71 LF	806.65	817.65



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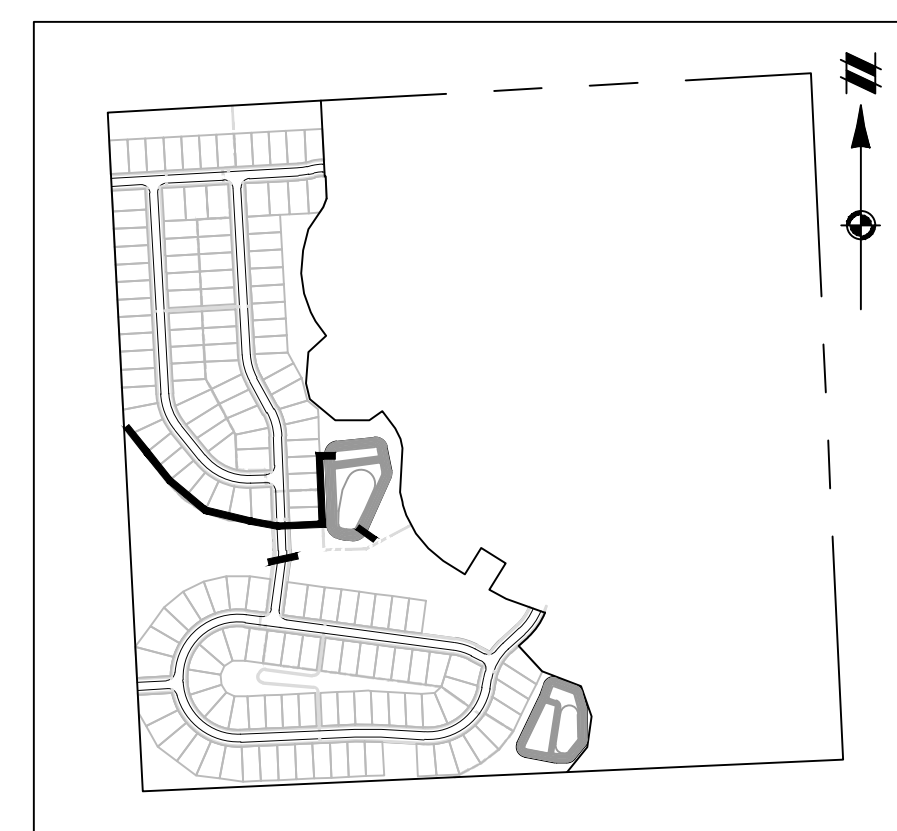
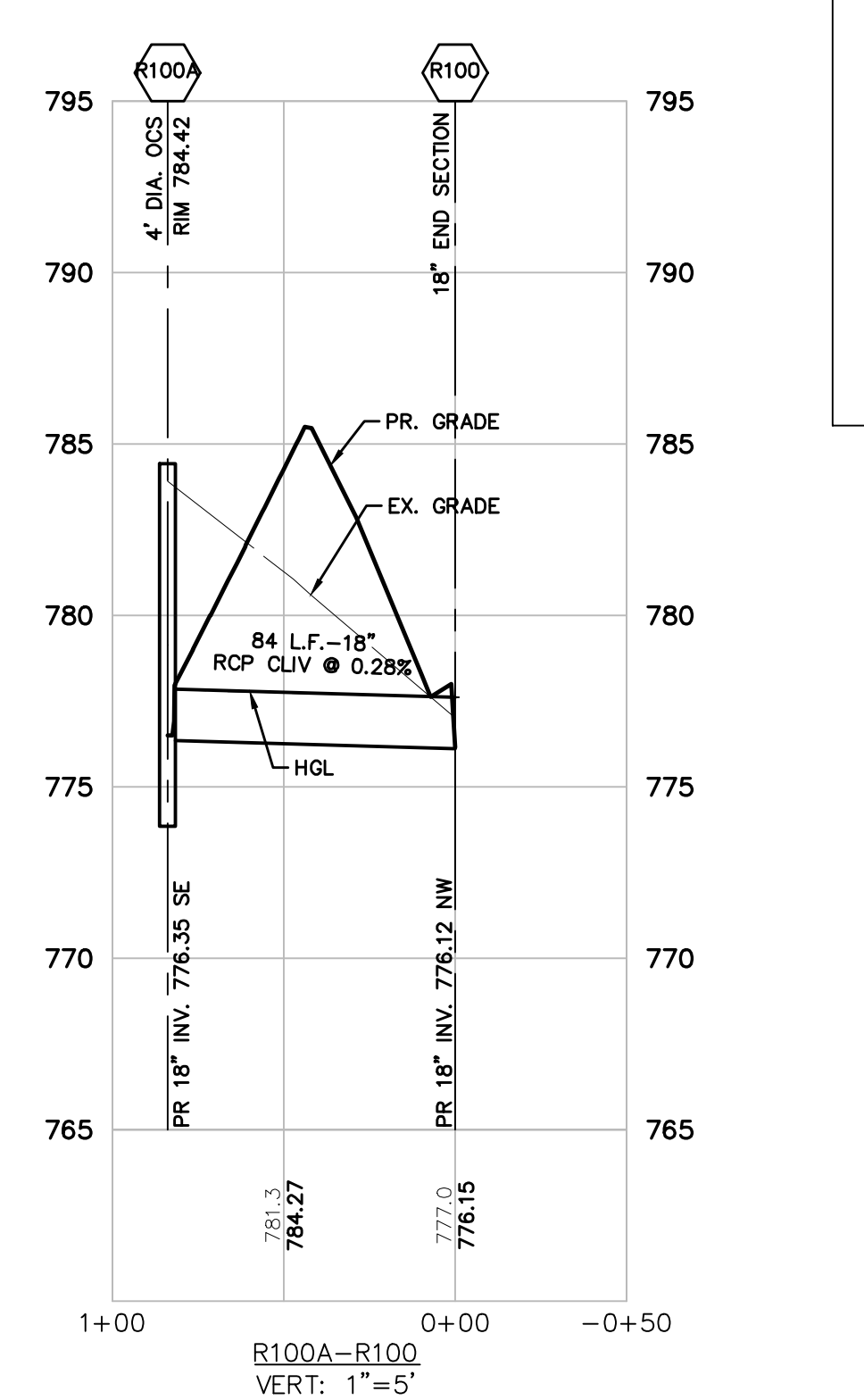
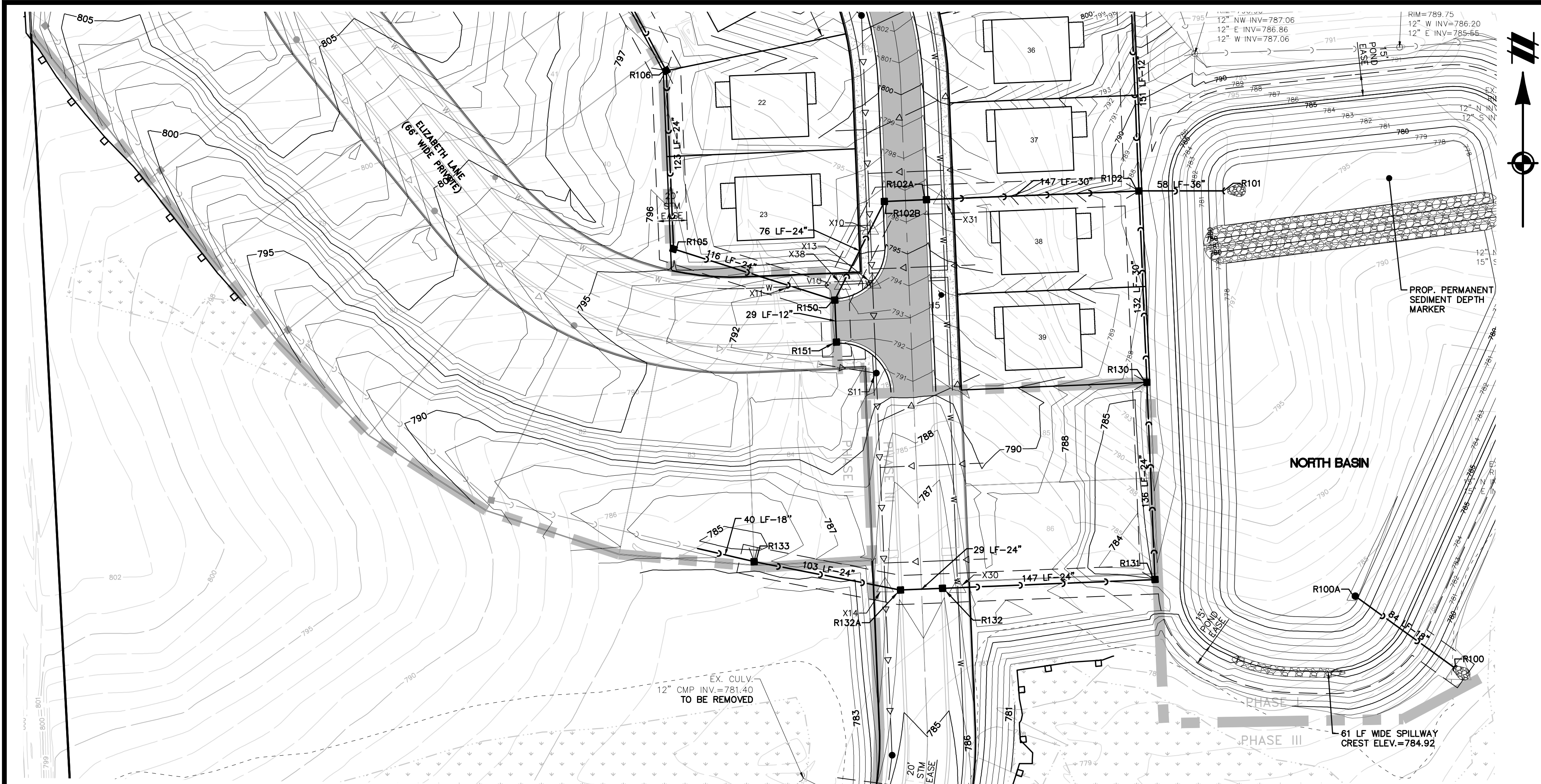
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 2022-09-15 PER TWP

REVISIONS

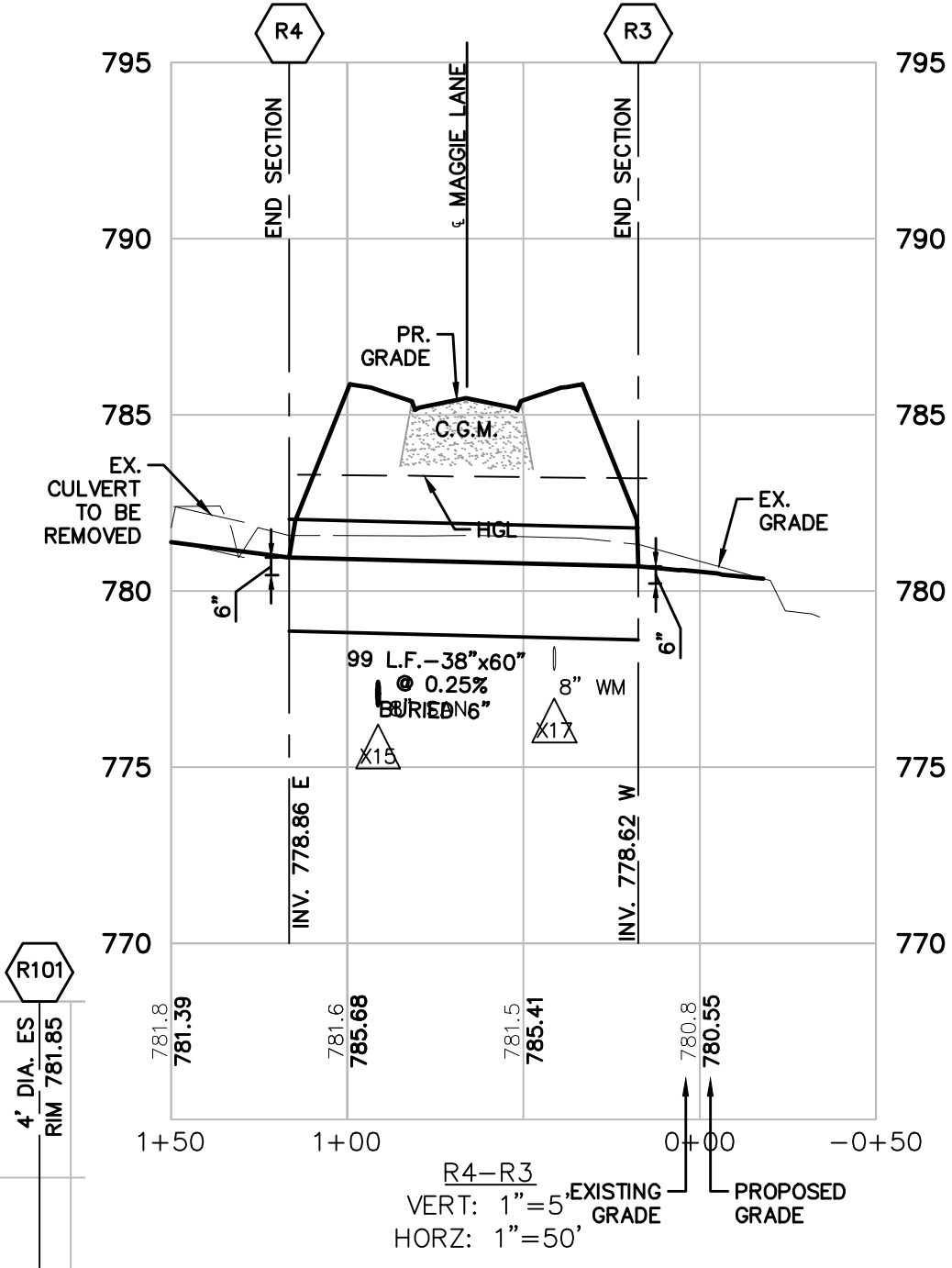
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 SCALE: 1" = 50 FEET

DR. JW CH. SS  
 P.M. MB  
 BOOK --  
 JOB 16000819  
 SHEET NO. 41

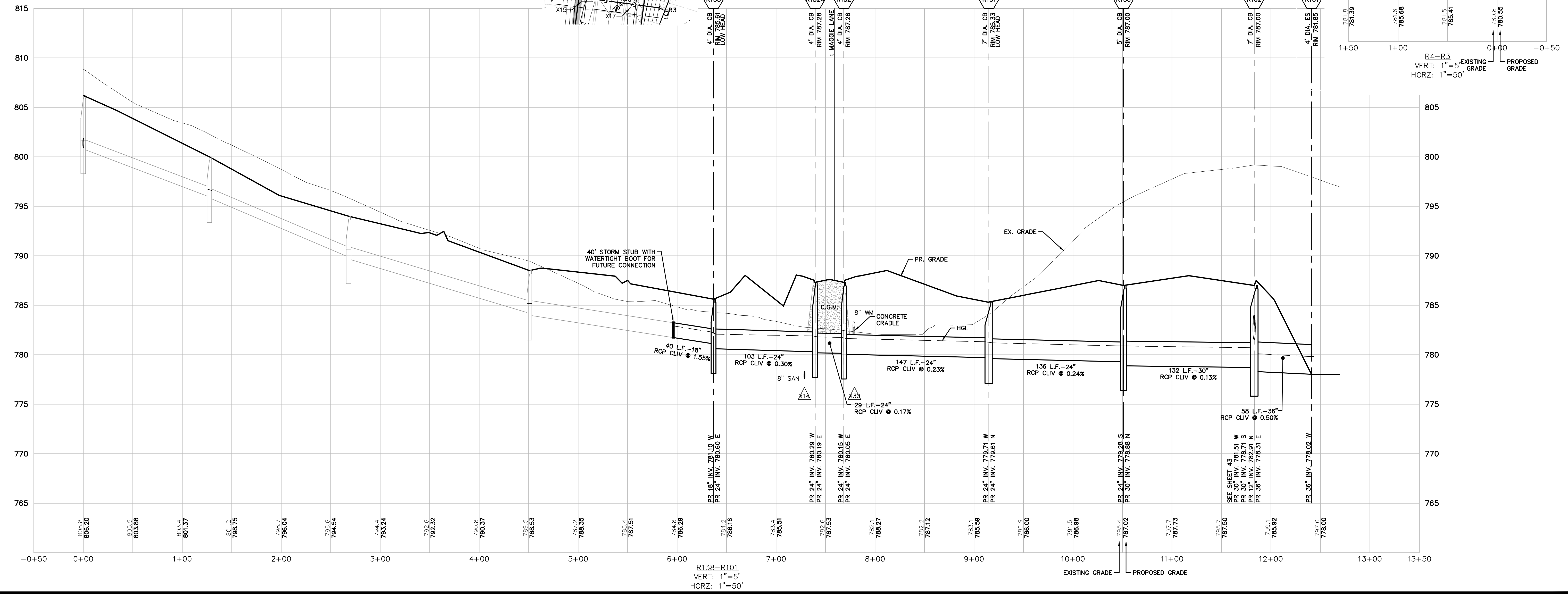
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**KEYMAP**  
SCALE: 1" = 750'



**R4-R3**  
VERT: 1" = 5'  
HORZ: 1" = 50'



**R138-R101**  
VERT: 1" = 5'  
HORZ: 1" = 50'

**Know what's below.  
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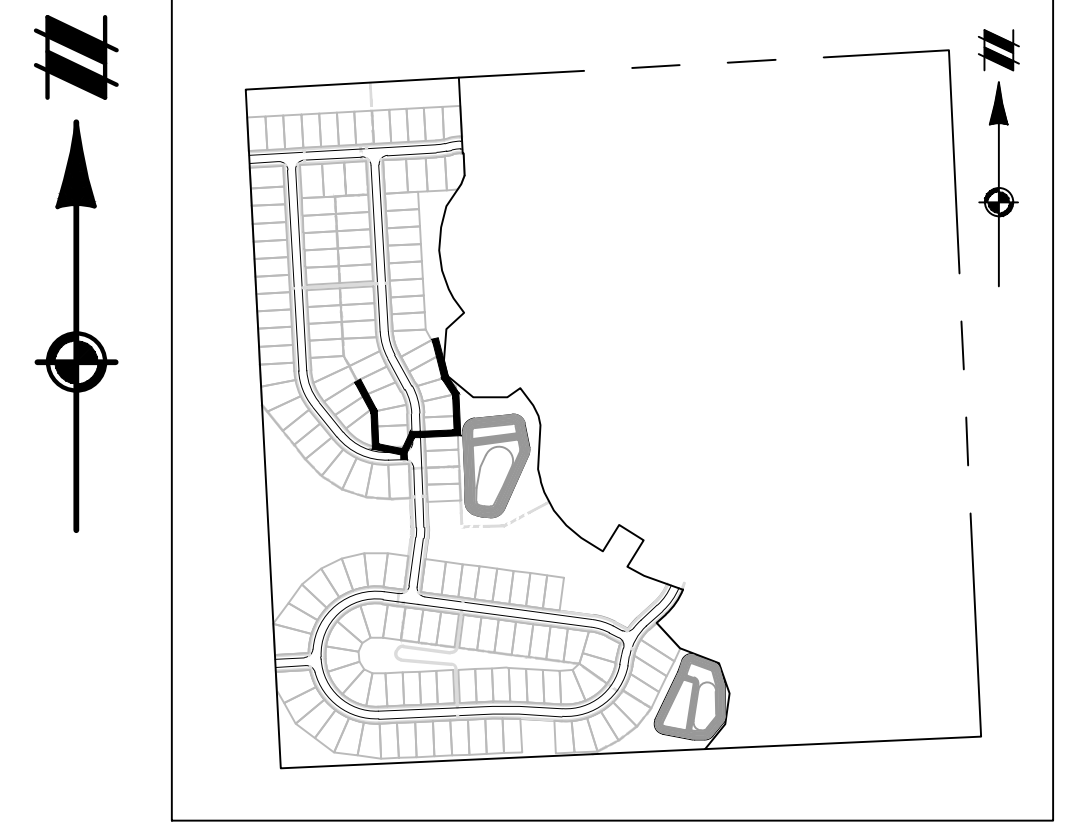
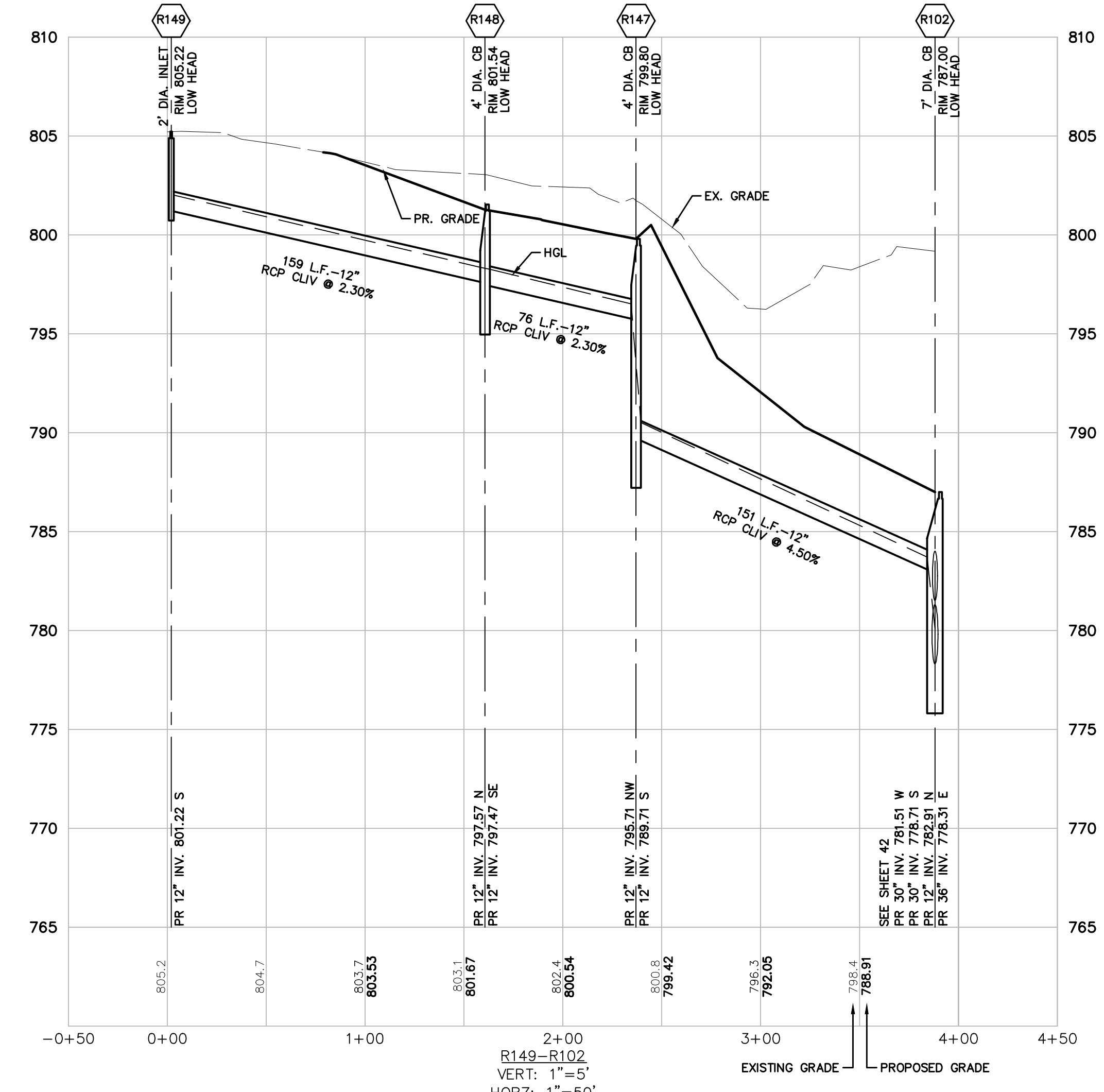
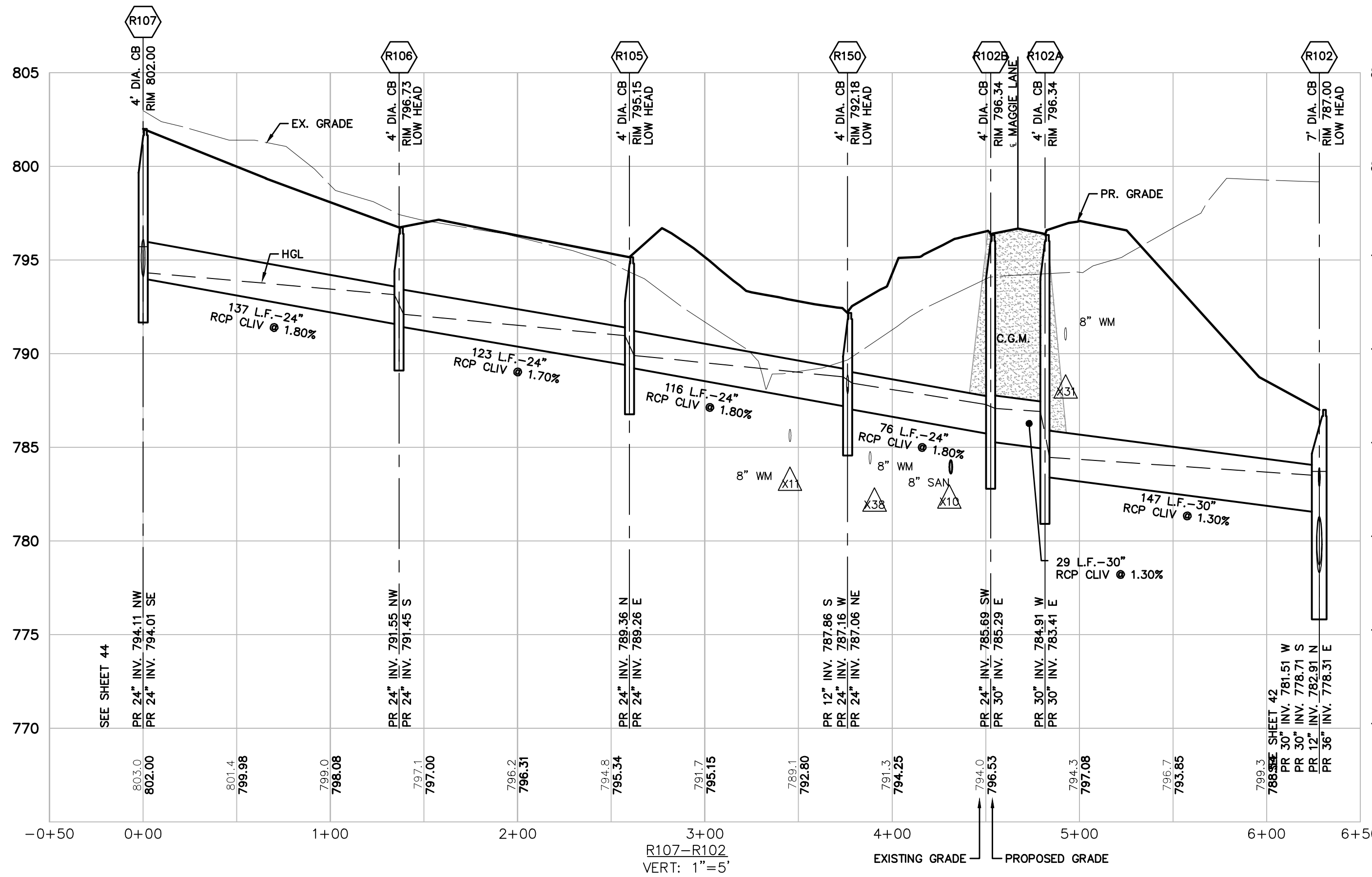
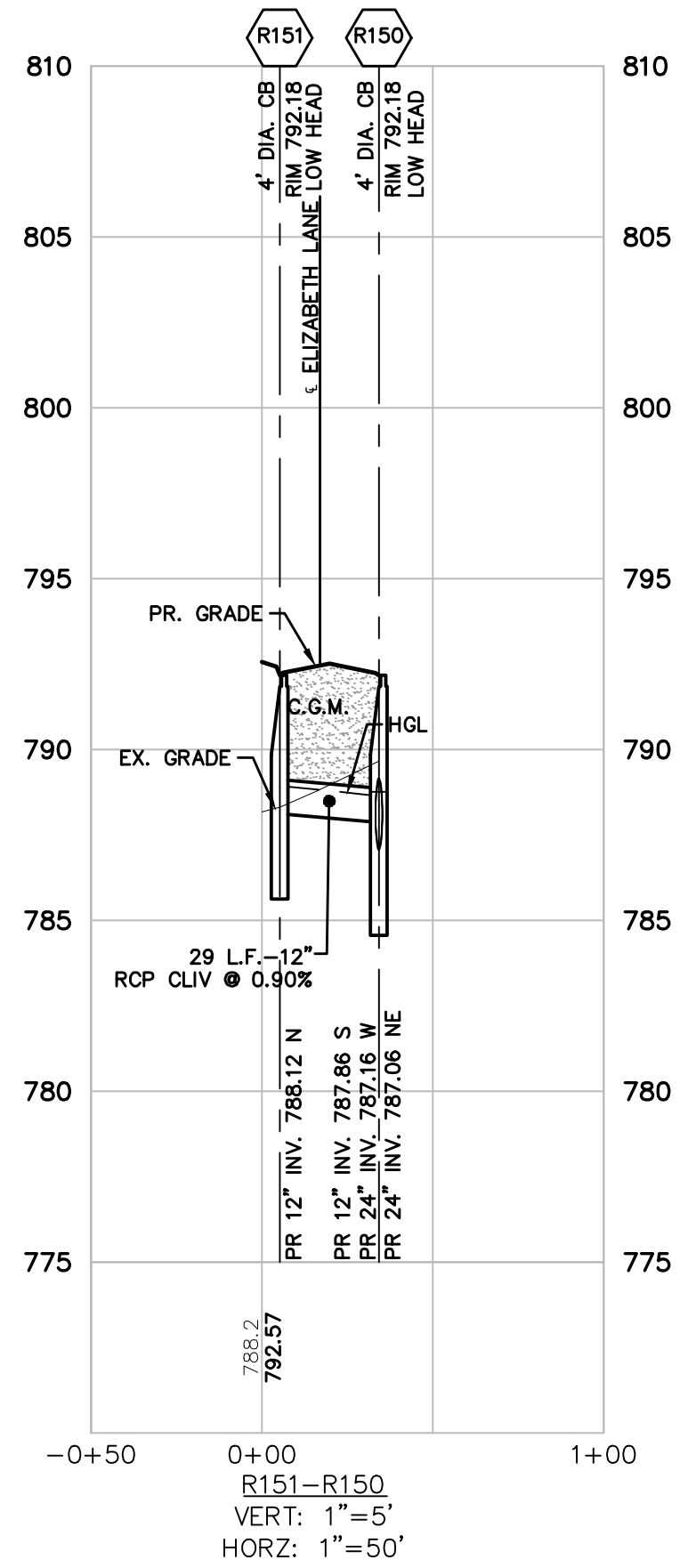
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THEY HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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SECTION 33	TOWN 2 SOUTH, RANGE 7 EAST	SUPERIOR TOWNSHIP								
CLIENT	SE MICHIGAN LAND HOLDING LLC PROSPECT POINTE WEST FINAL SITE PLAN - PHASE 1 STORM PLAN & PROFILES									
DATE	JULY 08, 2022									
	2022-08-12 PER SESC									
	2022-08-16 PER FIRE DEP.									
	2022-08-28 PER SESC									
	2022-09-15 PER TWP									
REVISIONS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>		NO.	DESCRIPTION						
NO.	DESCRIPTION									
	<p>SCALE: 1" = 50 FEET</p>									
DR.	JW	CH. SS								
P.M. MB										
BOOK										
JOB	16000819									
SHEET NO.	42									



**811**  
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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINT WEST  
FINAL SITE PLAN - PHASE 1  
STORM PLAN & PROFILES

DATE  
JULY 08, 2022

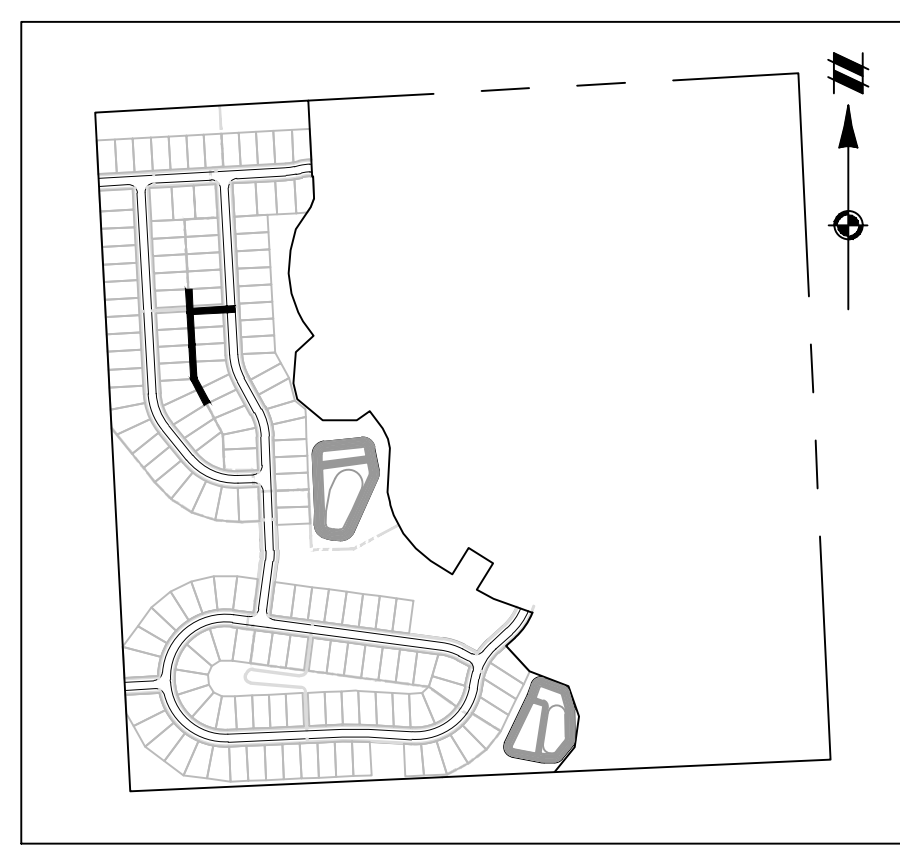
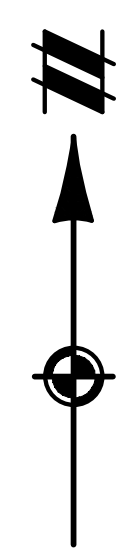
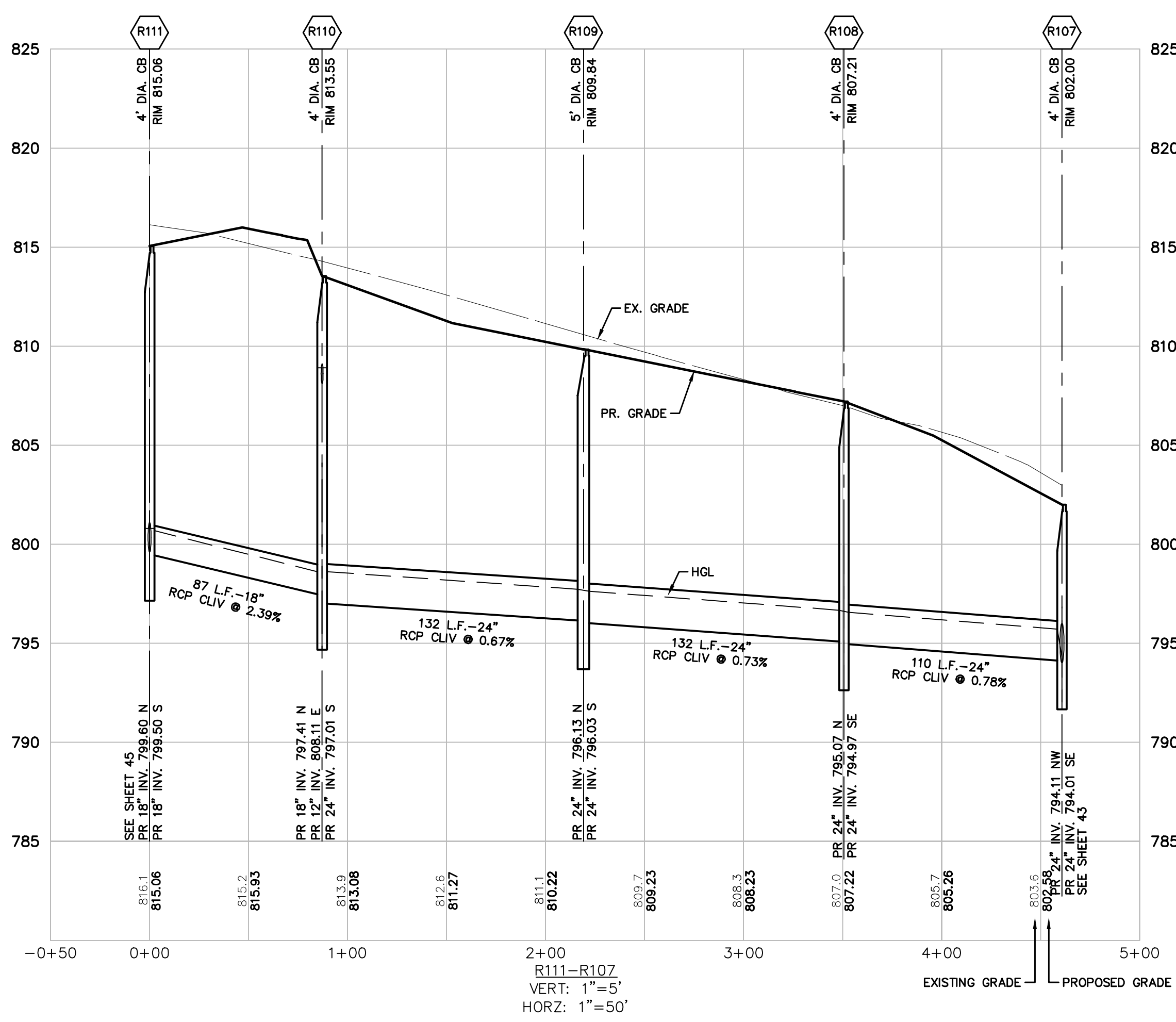
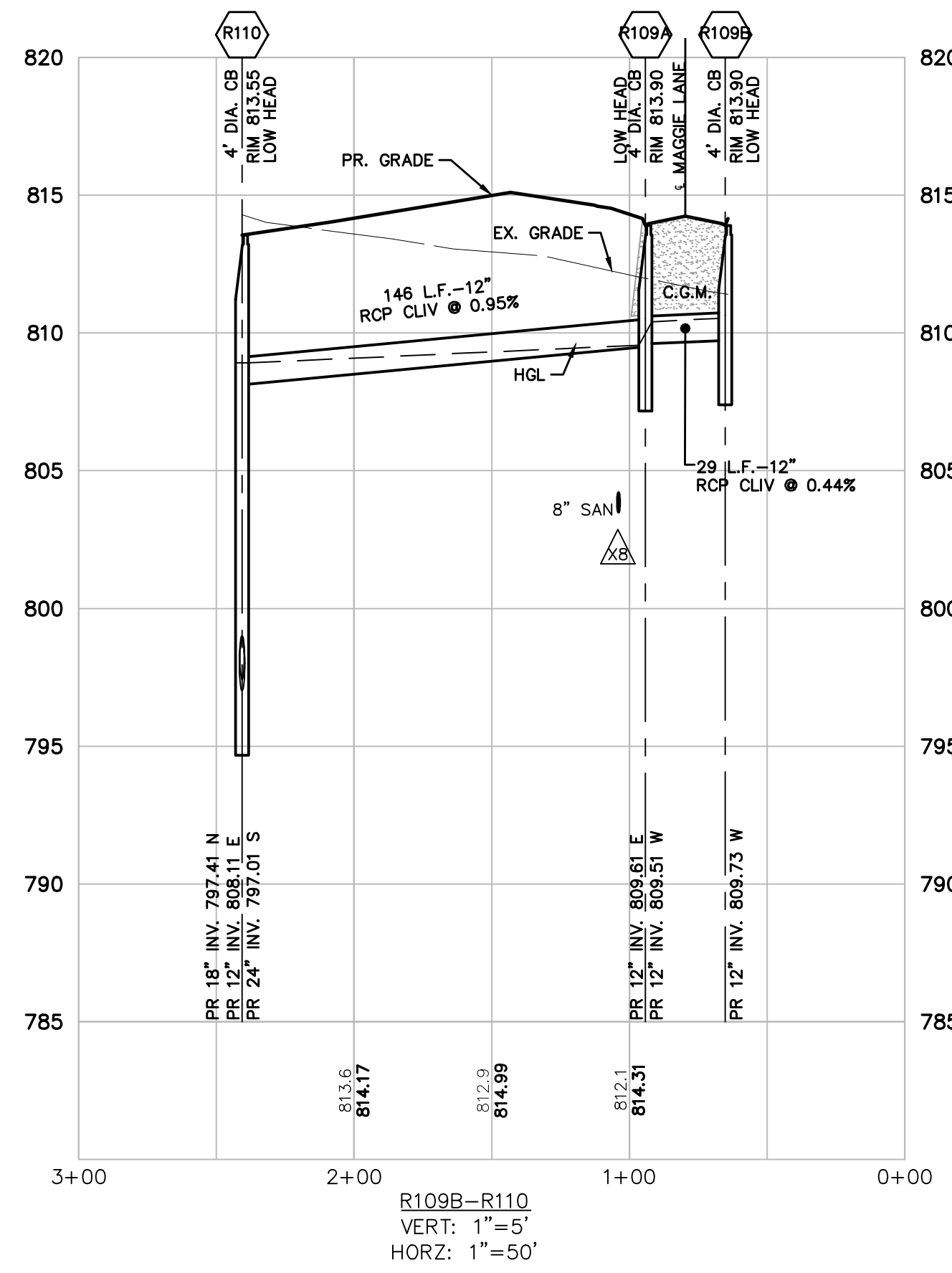
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2022-08-16 PER FIRE DEP.  
2022-08-28 PER SESC  
2022-09-15 PER TWP

REVISIONS

NO.	DATE	DESCRIPTION

SCALE: 1" = 50 FEET

DR. JW CH. SS  
P.M. MB  
BOOK --  
JOB 16000819  
SHEET NO. 43



KEYMAP  
SCALE: 1" = 750'



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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

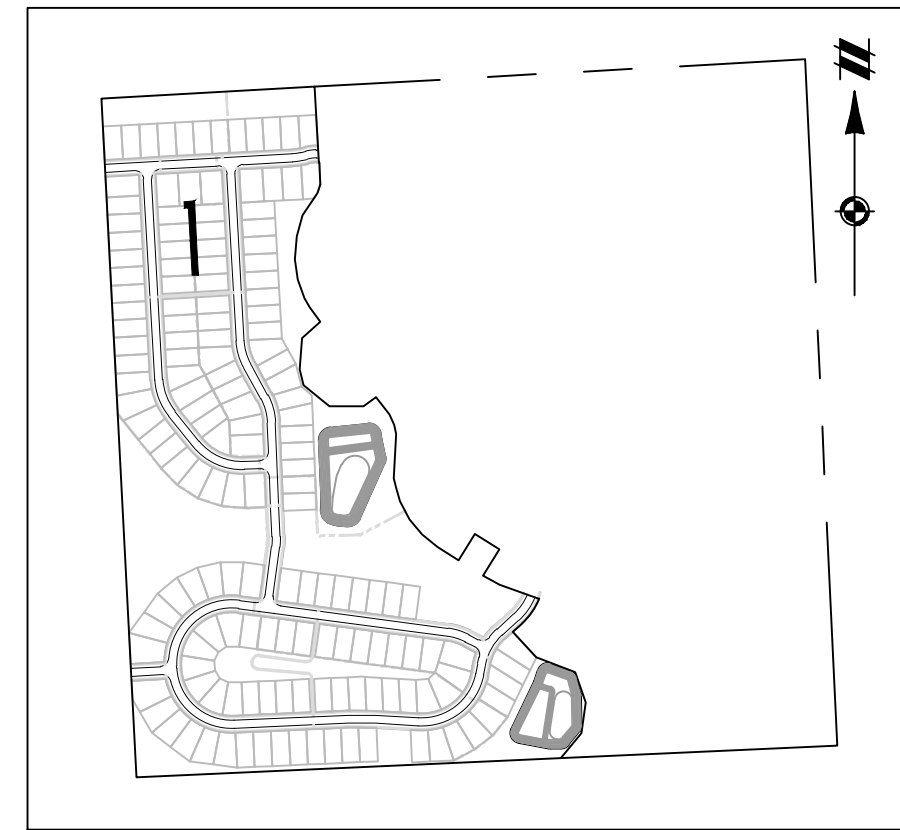
CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
STORM PLAN & PROFILES

DATE  
JULY 08, 2022

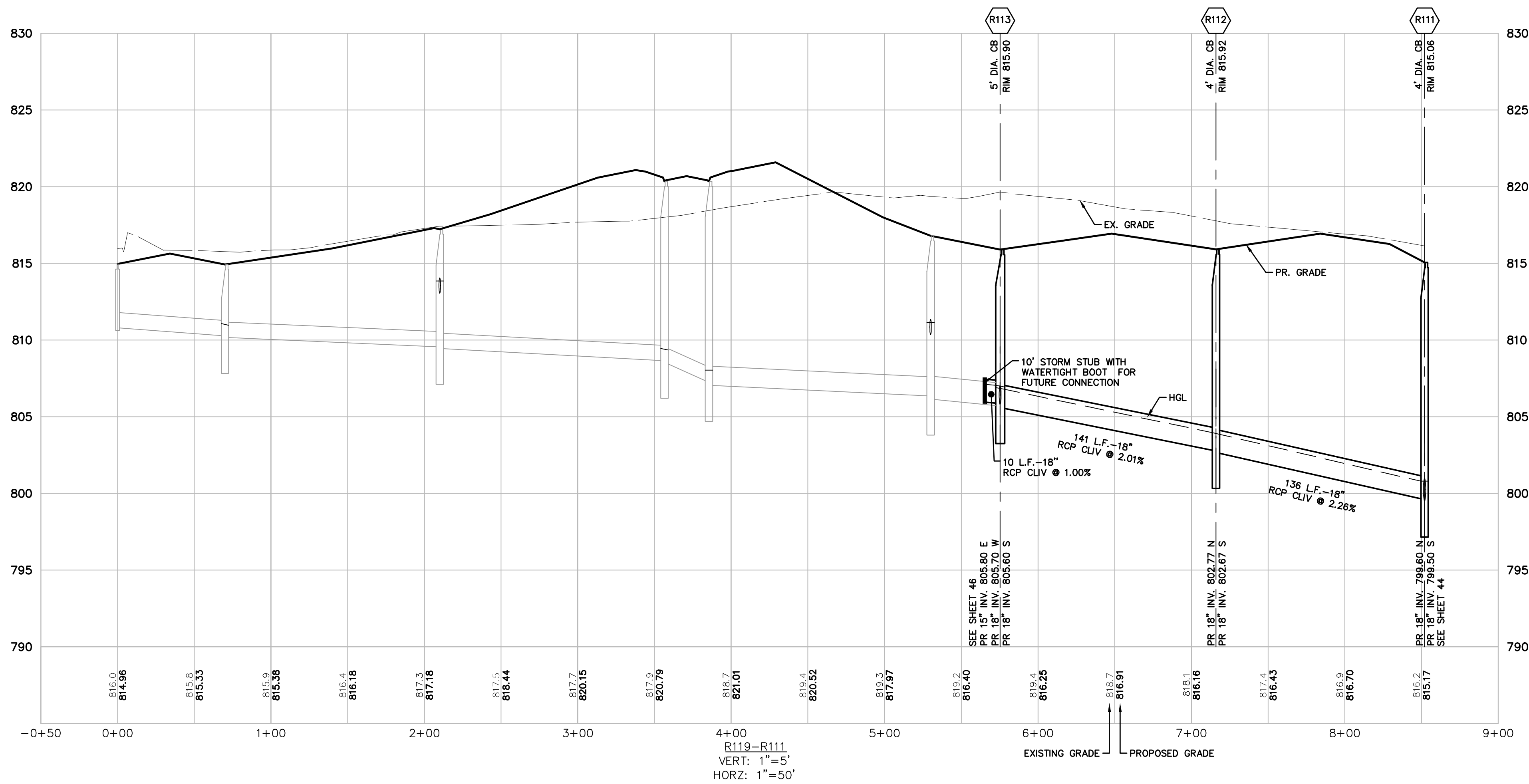
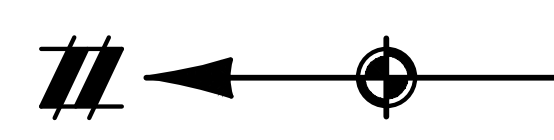
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2022-08-16 PER FIRE DEP.  
2022-08-28 PER SESC  
2022-09-15 PER TWP

REVISIONS  
0 25 50  
SCALE: 1" = 50 FEET

DR. JW CH. SS  
P.M. MB  
BOOK --  
JOB 16000819  
SHEET NO. 44



**KEYMAP**  
SCALE: 1" = 750'



R119-R111  
VERT: 1"=5'  
HORIZ: 1"=50'

**811**  
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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
STORM PLAN & PROFILES

DATE  
JULY 08, 2022

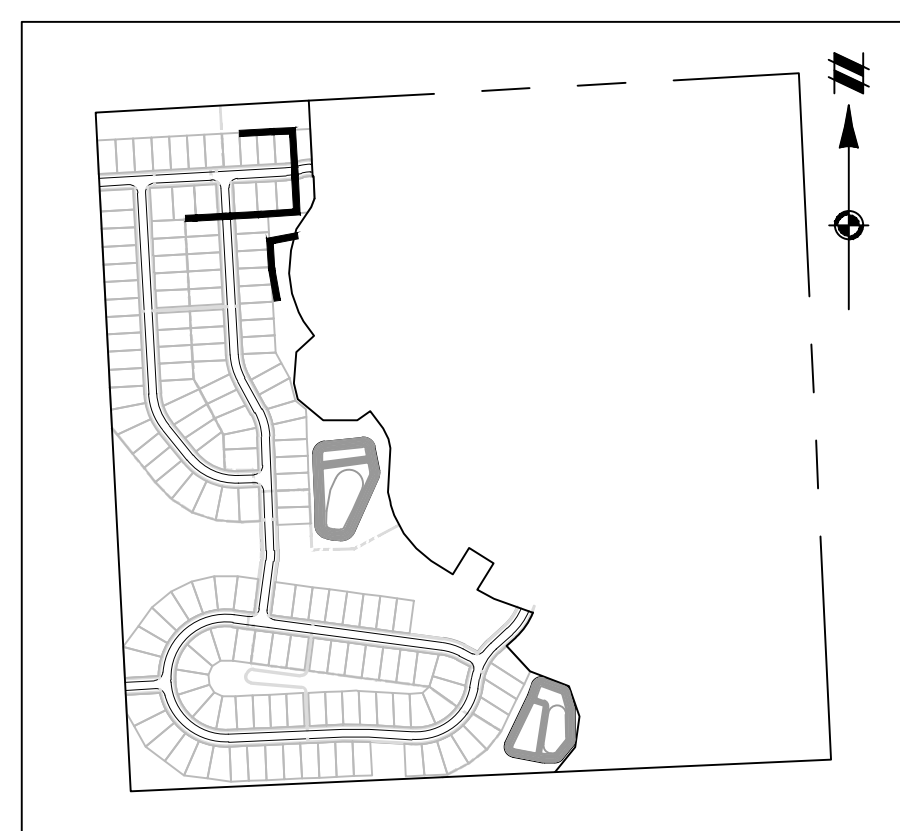
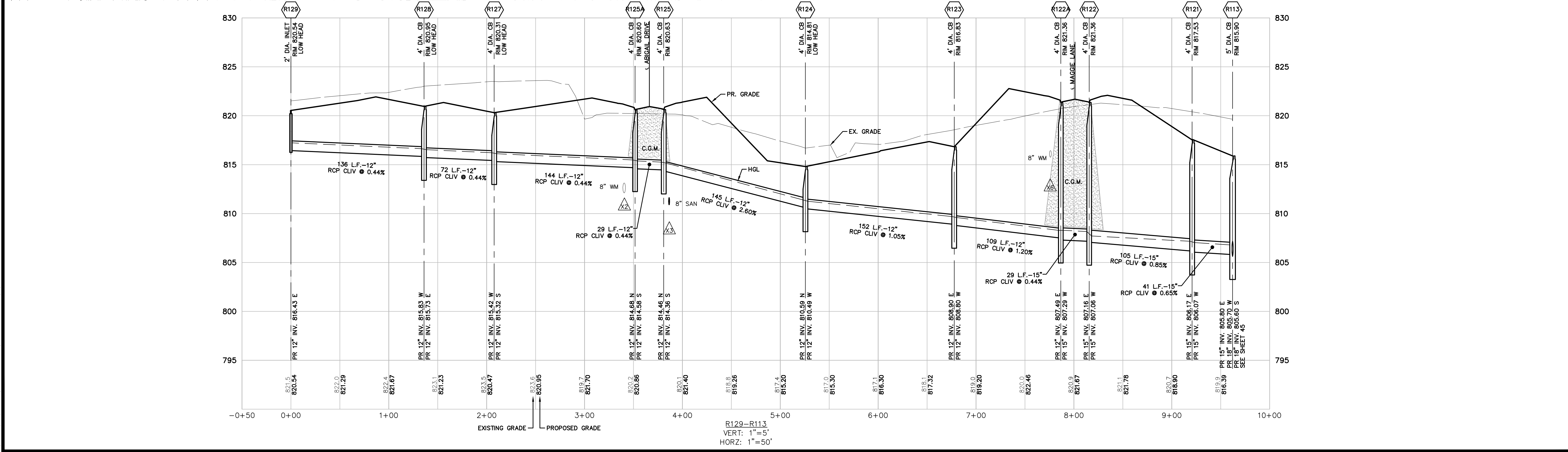
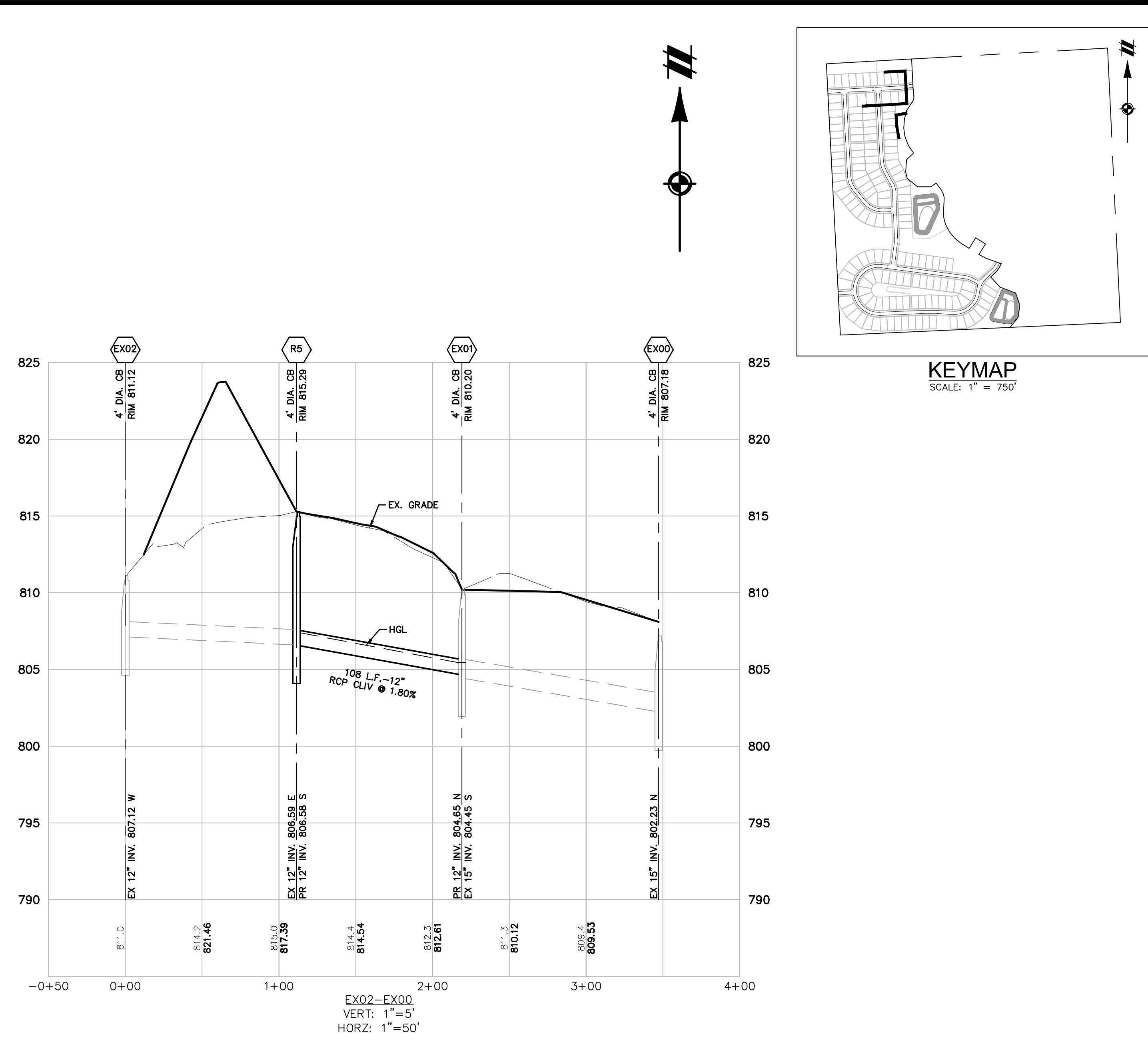
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2022-08-16 PER FIRE DEP.  
2022-08-28 PER SESC  
2022-09-15 PER TWP

REVISIONS

0 25 50  
SCALE: 1" = 50 FEET

DR. JW CH. SS  
P.M. MB  
BOOK --  
JOB 16000819  
SHEET NO. 45

K:\V0001810\DWG\PLAN\_REVISED.dwg - FINAL - PHASE 1\16000819P1-28.dwg - 7/17/2022 11:08 AM STEVE SALLS



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SECTION 33  
 TOWN 2 SOUTH, RANGE 7 EAST  
 SUPERIOR TOWNSHIP  
 WASHTENAW COUNTY, MICHIGAN

CLIENT: SE MICHIGAN LAND HOLDING LLC  
 PROSPECT POINTE WEST  
 FINAL SITE PLAN - PHASE 1  
 STORM PLAN & PROFILES

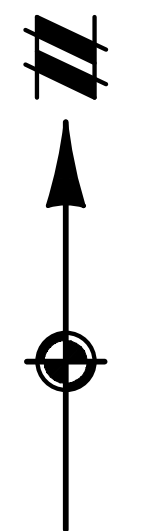
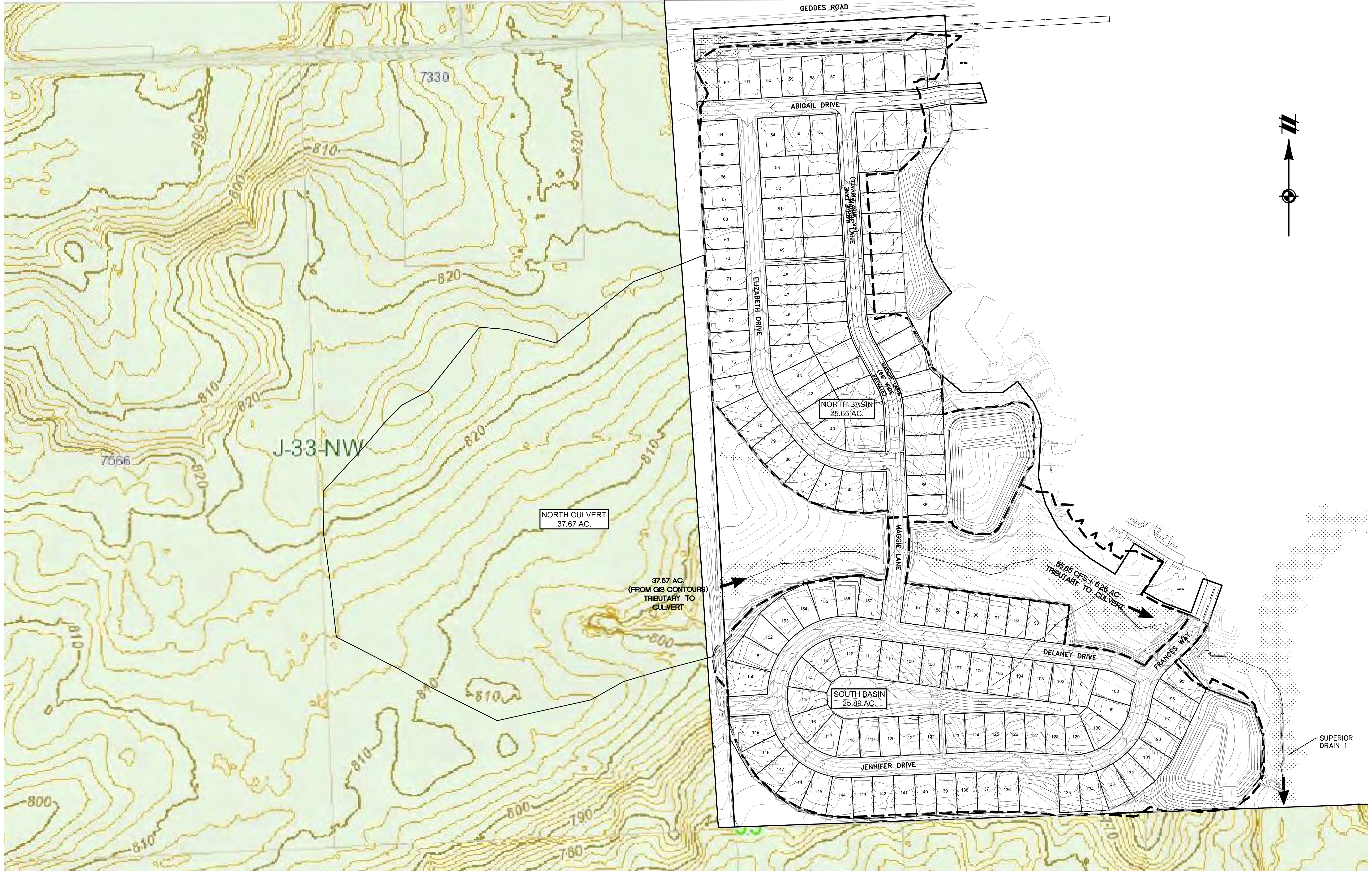
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 2022-08-16 PER FIRE DEP.  
 2022-08-28 PER SESS  
 2022-09-15 PER TWP

REVISIONS

0 25 50  
 SCALE: 1" = 50 FEET

DR. JW CH. SS  
 P.M. MB  
 BOOK --  
 JOB 16000819  
 SHEET NO. 46



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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT: SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINT WEST  
FINAL SITE PLAN - PHASE 1  
OVERALL DRAINAGE PLAN

DATE: JULY 08, 2022  
2022-08-12 PER SESC  
2022-08-16 PER FIRE DEP.  
2022-08-28 PER SESC  
2022-09-15 PER TWP

REVISIONS

NO.	DATE	DESCRIPTION

SCALE: 1" = 150 FEET

DR. JW CH. SS

P.M. MB

BOOK --

JOB 16000819

SHEET NO.

K:\V080816\DWG\PLAN\_REVISED.dwg - FINAL - PHASE 1\16000819-15-DRAINAGE-17772023-11.dwg - MR STEVE HALL



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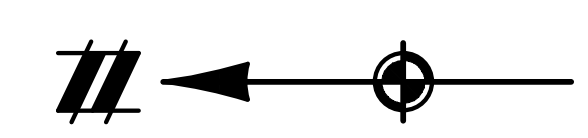
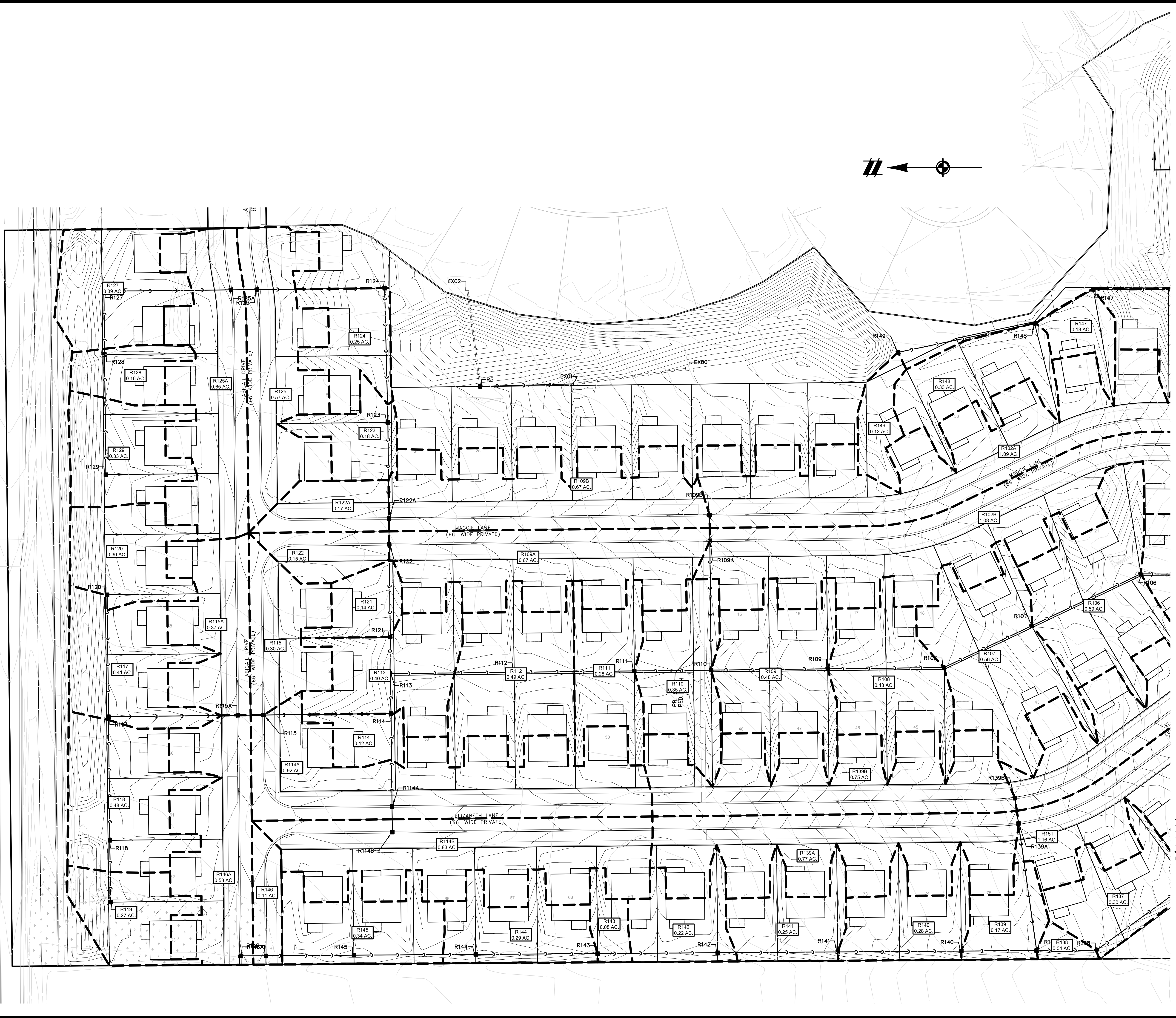


SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
DRAINAGE AREA PLAN - NORTH

DATE  
JULY 08, 2022  
2022-08-12 PER SESC  
2022-08-16 PER FIRE DEP.  
2022-08-28 PER SESC  
2022-09-15 PER TWP

REVISIONS  
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SCALE: 1" = 50 FEET  
DR. JW CH. SS  
P.M. MB  
BOOK --  
JOB 16000819  
SHEET NO. 48

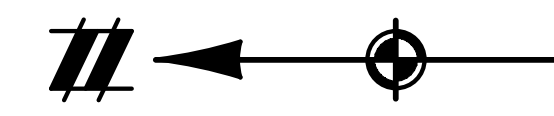
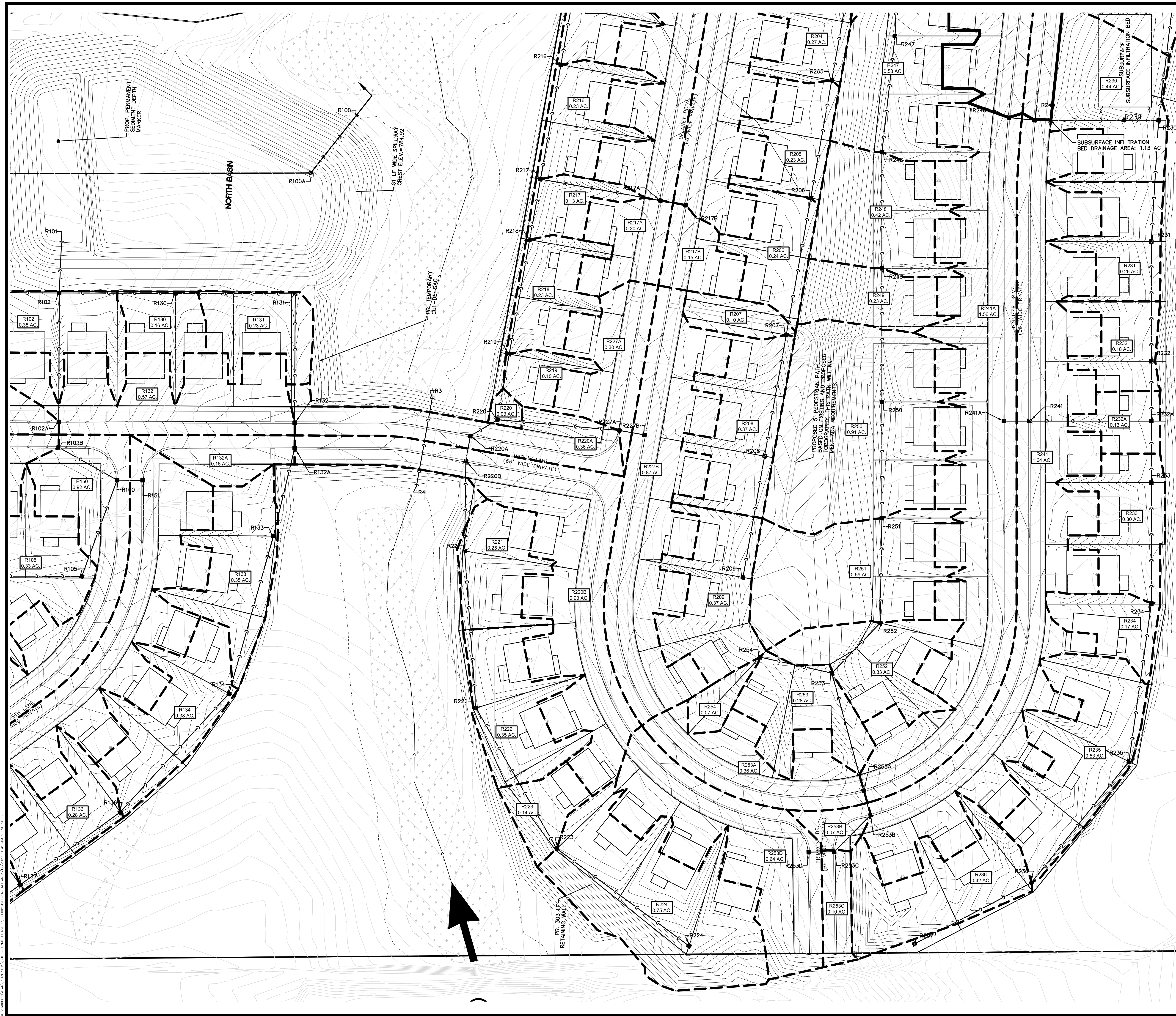


LEGEND

- 598
- 590
- 582
- 590
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPERTY LINE
- GRADING LIMITS
- EXISTING MANHOLE / CATCH BASIN
- PROPOSED MANHOLE / CATCH BASIN
- EXISTING HYDRANT
- PROPOSED HYDRANT
- EXISTING GATE VALVE & WELL
- PROPOSED GATE VALVE & WELL
- EXISTING WATER MAIN MANHOLE
- PROPOSED WATER MAIN MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING WETLAND
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED EMERGENCY OVERFLOW ROUTE


K:\VORONKOV\PROJECTS\PROSPECT POINTE WEST\PHASE 1\DWG\DRNAGE AREA PLAN - NORTH.dwg 11/22/2022 11:42 AM STEVE WELLS





**LEGEND**

	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOUR
	EXISTING 1' CONTOUR
	PROPERTY LINE
	GRADING LIMITS
	EXISTING MANHOLE / CATCH BASIN
	PROPOSED MANHOLE / CATCH BASIN
	EXISTING HYDRANT
	PROPOSED HYDRANT
	EXISTING GATE VALVE & WELL
	PROPOSED GATE VALVE & WELL
	EXISTING WATER MAIN MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WETLAND
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED EMERGENCY OVERTFLOW ROUTE




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SECTION 33	TOWN 2 SOUTH, RANGE 7 EAST	SUPERIOR TOWNSHIP
SE MICHIGAN LAND HOLDING LLC	PROSPECT POINTE WEST	SOUTHWEST
	FINAL SITE PLAN - PHASE 1	
	DRAINAGE AREA PLAN	
CLIENT	SE MICHIGAN LAND HOLDING LLC	
DATE	JULY 08, 2022	
	2022-08-12 PER SEC	
	2022-08-16 PER FIRE DEP.	
	2022-08-28 PER SEC	
	2022-09-15 PER TWP	
	REVISIONS	
	 SCALE: 1" = 50 FEET	
DR.	JW	CH. SS
P.M.	MB	
BOOK	---	
JOB	16000819	
SHEET NO.	49	

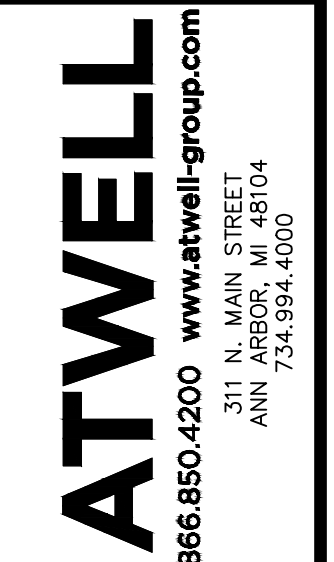


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SECTION 33

TOWN 2 SOUTH, RANGE 7 EAST

SUPERIOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT SE MICHIGAN LAND HOLDING LLC

PROSPECT POINTE WEST

FINAL SITE PLAN - PHASE 1

DRAINAGE AREA PLAN - SOUTHEAST

DATE

JULY 08, 2022

2022-08-12	PER SESC
2022-08-16	PER FIRE DEP.
2022-08-28	PER SESC
2022-09-15	PER TWP

REVISIONS

0	25	50
SCALE: 1" = 50 FEET		

DR. JW CH. SS

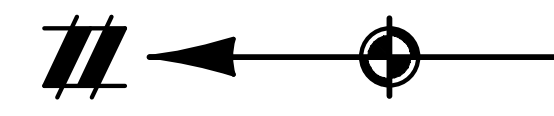
P.M. MB

BOOK --

JOB 16000819

SHEET NO.

50



### LEGEND

[Symbol]	PROPOSED 1' CONTOUR
[Symbol]	PROPOSED 5' CONTOUR
[Symbol]	EXISTING 1' CONTOUR
[Symbol]	EXISTING 5' CONTOUR
[Symbol]	PROPERTY LINE
[Symbol]	GRADING LIMITS
[Symbol]	EXISTING MANHOLE / CATCH BASIN
[Symbol]	PROPOSED MANHOLE / CATCH BASIN
[Symbol]	EXISTING HYDRANT
[Symbol]	PROPOSED HYDRANT
[Symbol]	EXISTING GATE VALVE & WELL
[Symbol]	PROPOSED GATE VALVE & WELL
[Symbol]	EXISTING WATER MAIN MANHOLE
[Symbol]	PROPOSED SANITARY SEWER MANHOLE
[Symbol]	EXISTING SANITARY SEWER MANHOLE
[Symbol]	EXISTING WETLAND
[Symbol]	PROPOSED ASPHALT
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED EMERGENCY OVERTFLOW ROUTE

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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

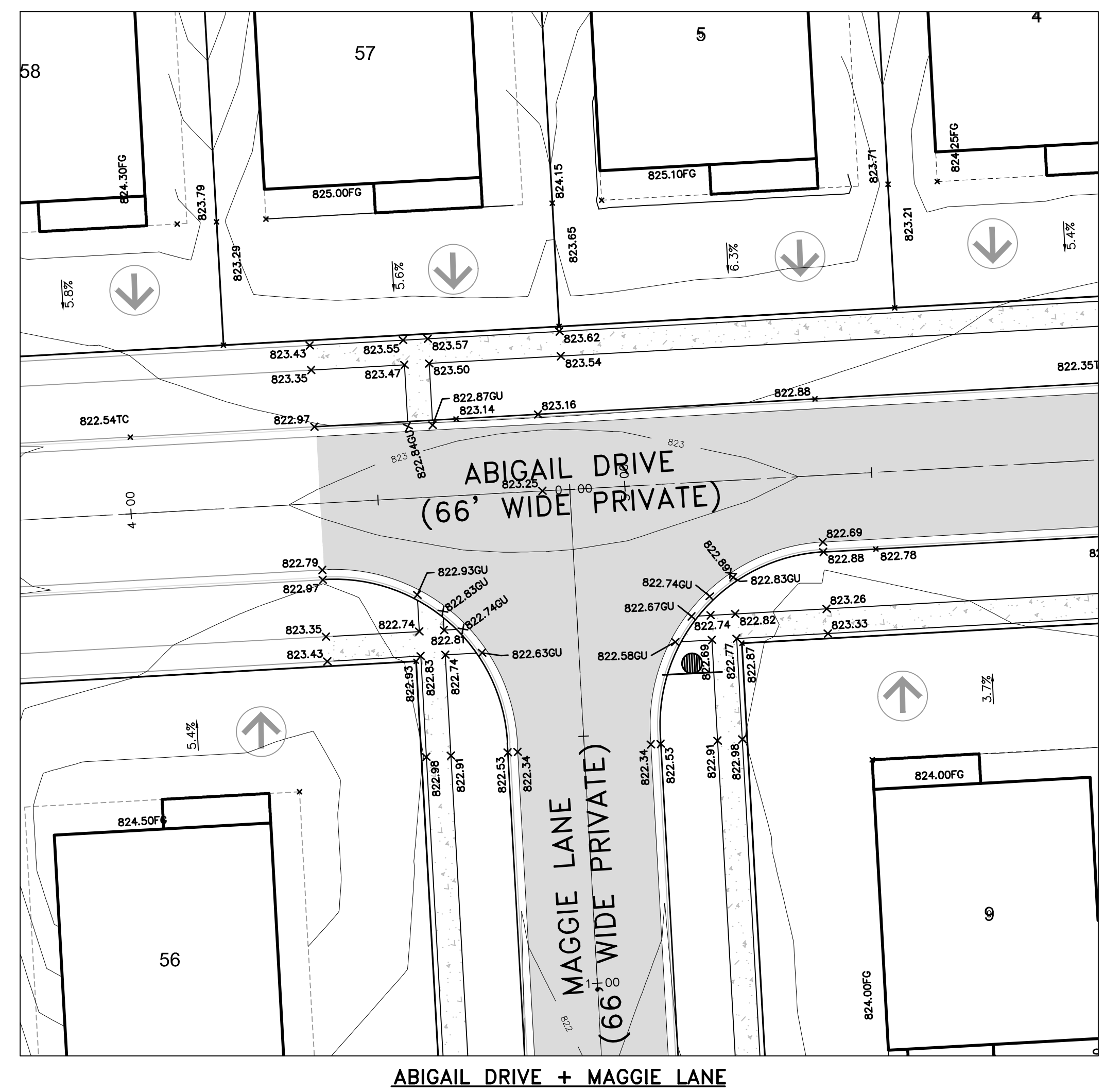
CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
INTERSECTION DETAILS

DATE  
JULY 08, 2022

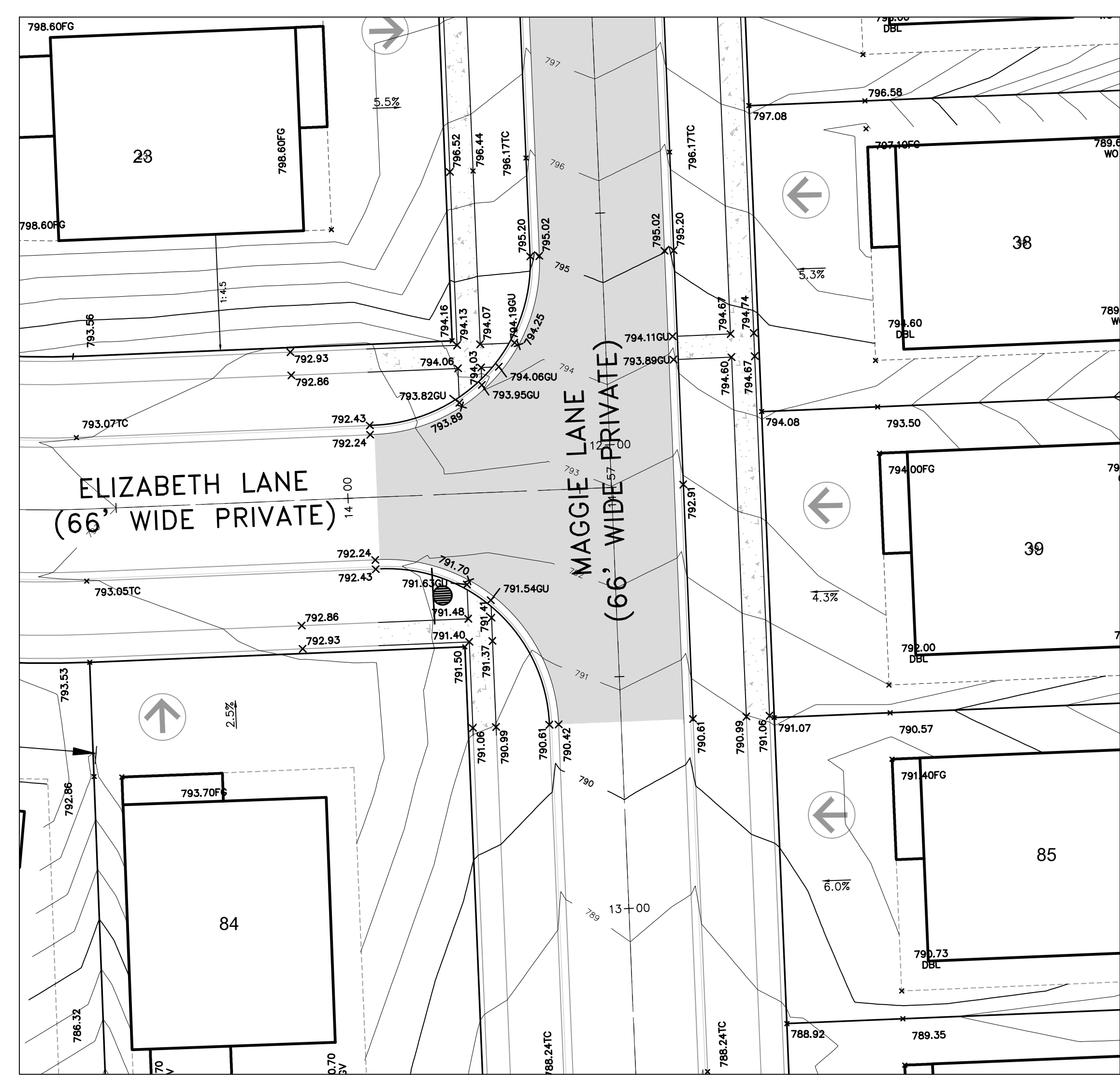
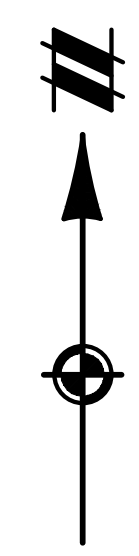
2022-08-12 PER SESC  
2022-08-16 PER FIRE DEP.  
2022-08-26 PER SESC  
2022-09-15 PER TWP

REVISIONS  
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SCALE: 1" = 20 FEET

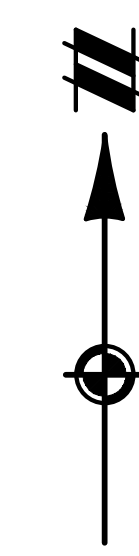
DR. JW CH. SS  
P.M. MB  
BOOK --  
JOB 16000819  
SHEET NO. 53



ABIGAIL DRIVE + MAGGIE LANE



ELIZABETH LANE + MAGGIE LANE



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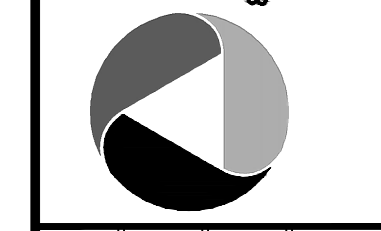
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TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
FIRE PROTECTION PLAN

DATE  
JULY 08, 2022

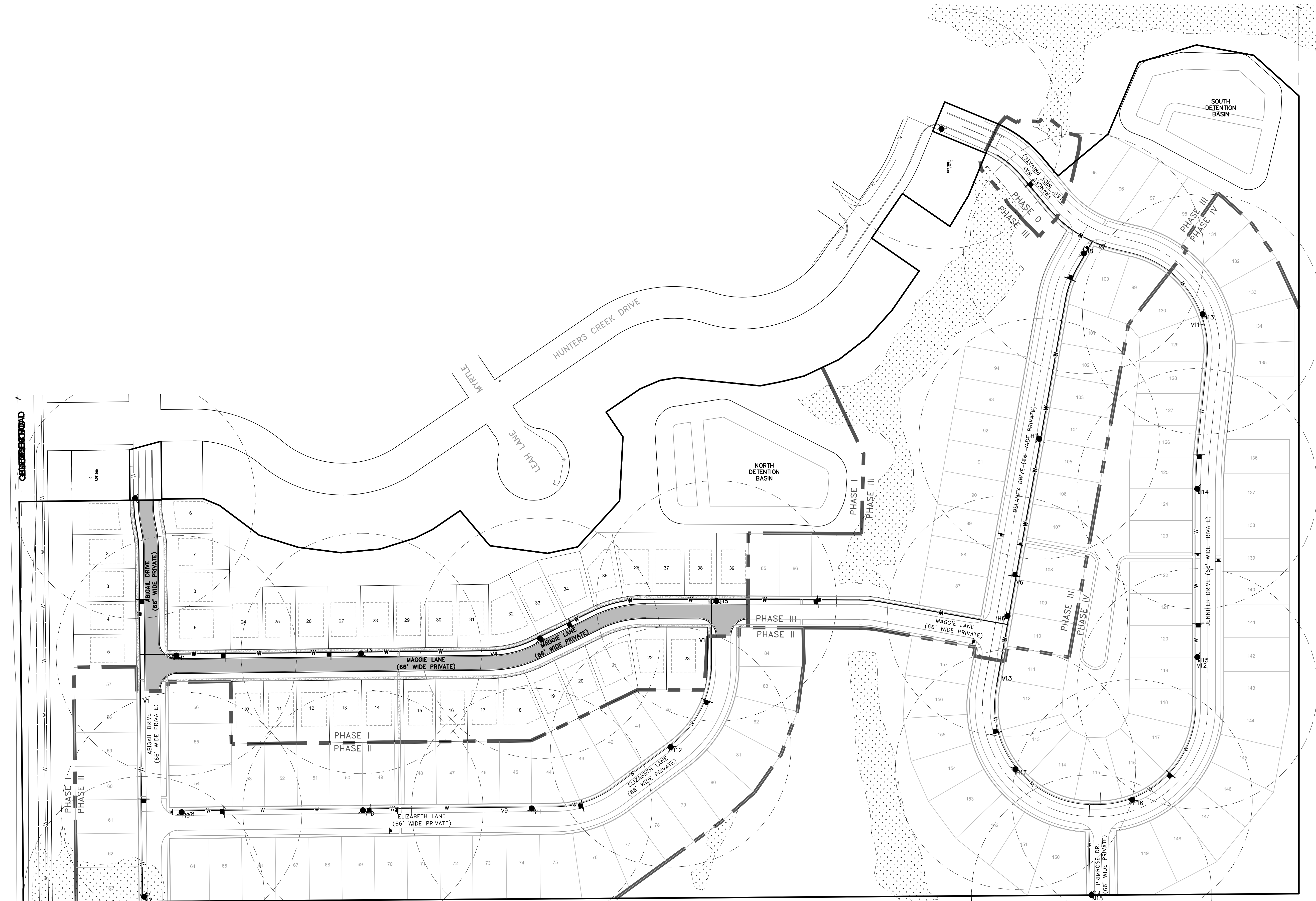
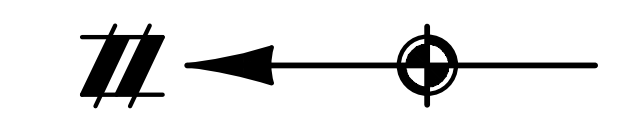
2022-08-12 PER SEC  
2022-08-16 PER FIRE DEP.  
2022-08-28 PER SEC  
2022-09-15 PER TWP

Table with 2 columns: REVISIONS, and empty rows for revision tracking.

SCALE: 1" = 100 FEET

DR. JW CH. SS  
BOOK --  
JOB 16000819  
SHEET NO.

LEGEND  
PROPOSED WATER MAIN (dashed line with 'W')  
EXISTING WATER MAIN (solid line with 'W')  
250' RADIUS HYDRANT COVERAGE (TYP.) (circle)  
PROPOSED PAVEMENT (shaded area)  
PROPOSED HYDRANT (dot)  
'NO PARKING - FIRE LANE' SIGN (arrow)



CEBEBEBERROAD  
K:\V000819\DWG\PLAN - RETIRED - FINAL - PHASE 1\16000819P1-22-PROP-17772022 11:46 AM STW-MLL

**INVASIVE SHRUB ERADICATION AND MANAGEMENT PLAN FOR PROSPECT POINTE WEST**

**1.0 PLAN GOALS AND OBJECTIVES**

As part of the development project, an invasive shrub inventory and management plan is proposed. The inventory and management plan are required for a development plan defined by the Superior Charter Township's Woodlands & Tree Preservation, subsection 14.05F of Article 14 Special Development Provisions of the Township's zoning ordinance. The goal of the management plan is to eliminate or reduce the presence and growth of four (4) species of invasive woody shrubs during and after the construction of the Project.

Atwell conducted a site visit to inventory the general locations of the following four (4) invasive woody shrub species within the Site boundaries: common (European) and glossy buckthorn (*Rhamnus cathartica* and *Frangula alnus*, respectively), autumn-olive (*Elaeagnus umbellata*), honeysuckle (*Lonicera tatarica*), and multi-flora rose (*Rosa multiflora*). Atwell also noted the percentage of the site covered by these species and their growth extent, range, condition, and size.

**2.0 INVENTORY FINDINGS**

Atwell conducted the invasive shrub inventory site visit on February 28, 2017 and identified 14 areas containing a predominance (>50%) of the above-listed invasive shrub species within scrub-shrub, forested, or tree line areas. These areas are located particularly along the perimeter of the property boundary and along the tree lines that intersect the agricultural fields. The southern periphery of the Site also contains a shrub layer dominated by those four invasive shrubs.

Along the perimeter of the Site, common buckthorn is especially prolific, although these areas contain a few individual honeysuckle, autumn-olive, and occasional multi-flora rose plants. These areas contain many common buckthorn seedlings and saplings. The larger buckthorns are scattered, with small multi-stem trees, and with diameters varying in size from about 1.0 inch to 12.0 inches diameter at breast height (dbh). Overall, these invasive buckthorn shrub plants appear to be in fair to good condition, with little to no evidence of decay or damage.

There are select areas, particularly in the tree lines within the eastern portion of the Site, that contain a dominance of invasive honeysuckle (>50%) shrubs, with scattered buckthorn, multi-flora rose, and autumn-olive sapling plants. The honeysuckle shrubs in these areas vary in size from 2.0 dbh inches to 7.0 inches dbh. Overall, these shrub plants appear to be in fair to good condition, with little to no evidence of decay or damage.

The forested areas along the southern perimeter of the Site contain a dense invasive shrub understory consisting primarily of buckthorn, honeysuckle, and multi-flora rose. These areas contain small (less than 10 feet tall) shrubs that are in fair to good health; with little to no evidence of decay or damage. Trees observed along the southern property boundary include: oaks (*Quercus spp.*), maples (*Acer spp.*), hickories (*Carya spp.*), cottonwood, American elm (*Ulmus americana*), and basswood (*Tilia americana*).

Overall, Atwell noted that invasive shrub density was inversely proportional to native herbaceous, shrub, and tree sapling growth, which indicates that these invasive shrubs are suppressing the vigor of native plants.

**3.0 CONTROL METHODS**

**3.1 Developed Areas**

**Mechanical Control**

Equipment, such as bulldozers will be used for on-site grading and vegetation removal in the developed areas. Vegetation removal, site grading, and construction will eradicate the invasive shrubs in developed areas.

Stockpiled soils will be kept on-site, and a construction barrier will be placed around the perimeter of stockpiles to prevent spread of invasive species and sediment.

**1.1 Undeveloped Areas**

**Herbicide & Stump Cut Treatment**

Undeveloped areas can be defined as those lands that will not be subject to buildings, permanent infrastructure, or maintained landscape planting and management. The undeveloped areas include planned natural areas and natural grade buffers, wetlands, wetland and stream setbacks, etc., that are planned to remain in the aftermath of construction.

Invasive shrubs tend to increase in undeveloped and natural areas following ground disturbance or vegetation disturbance. As a result, undeveloped areas that are to be permanently retained will not be subject to soil or vegetation disturbance during construction and development activities; the only exception will be the invasive shrub removal in undeveloped areas.

The four (4) invasive shrub species will be controlled through two rounds of treatments—one during the initial construction phases and a second follow-up control visit. The first control round will consist of stump cutting and herbicide treatments within all undeveloped areas during construction phases. In undeveloped areas, stump cutting with herbicidal application will be an effective means to eradicate/control the four (4) invasive shrub species. While cutting removes the canopy of invasive shrubs, the herbicide treatment is necessary to kill roots and prevent re-sprout. Cut stump treatments are usually preferred over broadcast herbicidal spraying, because stump treatments can more easily avoid non-target species during herbicide application. The most effective time to cut and chemically treat the stumps is from late summer through the fall; however, cutting and herbicidal application can be conducted during winter as well.

In construction areas, a construction barrier will be placed around the drip line perimeter of protected trees in order to protect them from damage. However, removal of the four (4) invasive shrub species will still need to occur near and beneath these trees. Removal of invasive shrub species and other site grading activities within the protected zone of a landmark tree or sovereign tree shall be done with care.

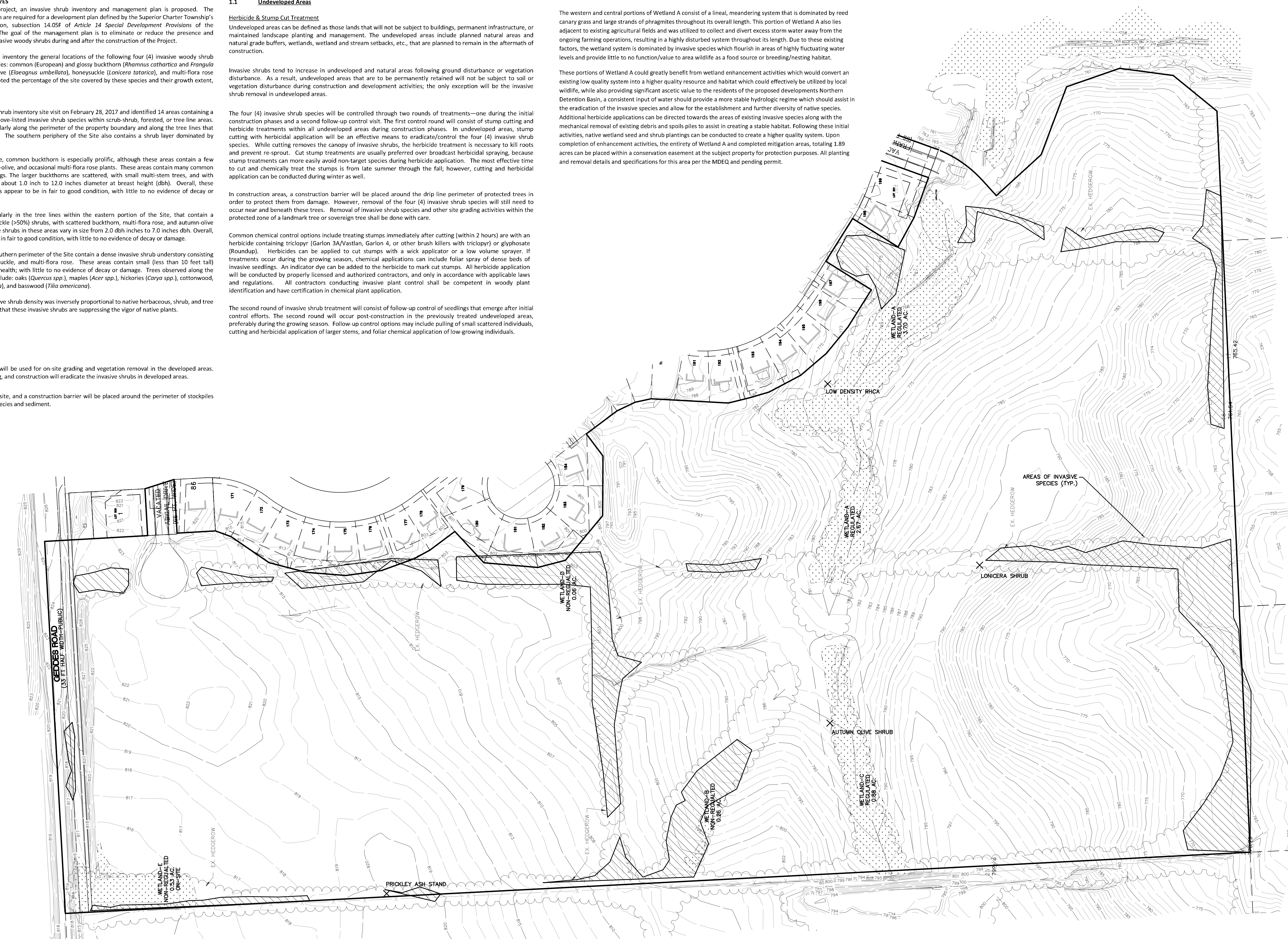
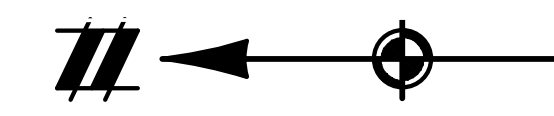
Common chemical control options include treating stumps immediately after cutting (within 2 hours) are with an herbicide containing triclopyr (Garlon 3A/Vastlan, Garlon 4, or other brush killers with triclopyr) or glyphosate (Roundup). Herbicides can be applied to cut stumps with a wick applicator or a low volume sprayer. If treatments occur during the growing season, chemical applications can include foliar spray of dense beds of invasive seedlings. An indicator dye can be added to the herbicide to mark cut stumps. All herbicide application will be conducted by properly licensed and authorized contractors, and only in accordance with applicable laws and regulations. All contractors conducting invasive plant control shall be competent in woody plant identification and have certification in chemical plant application.


The second round of invasive shrub treatment will consist of follow-up control of seedlings that emerge after initial control efforts. The second round will occur post-construction in the previously treated undeveloped areas, preferably during the growing season. Follow-up control options may include pulling of small scattered individuals, cutting and herbicidal application of larger stems, and foliar chemical application of low-growing individuals.

**INVASIVE SPECIES MANAGEMENT FOR WETLAND AREA A**

The western and central portions of Wetland A consist of a lineal, meandering system that is dominated by reed canary grass and large strands of phragmites throughout its overall length. This portion of Wetland A also lies adjacent to existing agricultural fields and was utilized to collect and divert excess storm water away from the ongoing farming operations, resulting in a highly disturbed system throughout its length. Due to these existing factors, the wetland system is dominated by invasive species which flourish in areas of highly fluctuating water levels and provide little to no function/value to area wildlife as a food source or breeding/nesting habitat.

These portions of Wetland A could greatly benefit from wetland enhancement activities which would convert an existing low quality system into a higher quality resource and habitat which could effectively be utilized by local wildlife, while also providing significant aesthetic value to the residents of the proposed developments Northern Detention Basin, a consistent input of water should provide a more stable hydrologic regime which should assist in the eradication of the invasive species and allow for the establishment and further diversity of native species. Additional herbicide applications can be directed towards the areas of existing invasive species along with the mechanical removal of existing debris and spoils piles to assist in creating a stable habitat. Following these initial activities, native wetland seed and shrub plantings can be conducted to create a higher quality system. Upon completion of enhancement activities, the entirety of Wetland A and completed mitigation areas, totaling 1.89 acres can be placed within a conservation easement at the subject property for protection purposes. All planting and removal details and specifications for this area per the MDEQ and pending permit.





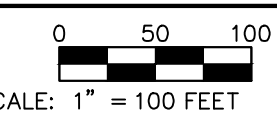
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SECTION 33	TOWN 2 SOUTH, RANGE 7 EAST	SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN
CLIENT SE MICHIGAN LAND HOLDING LLC PROSPECT POINTE WEST FINAL SITE PLAN - PHASE 1 INVASIVE SPECIES REMOVAL PLAN			
DATE JULY 08, 2022			
2022-08-12 PER SESC 2022-08-16 PER FIRE DEP. 2022-08-28 PER SESC 2022-09-15 PER TWP			
REVISIONS  SCALE: 1" = 100 FEET			
DR. JW CH. SS P.M. MB BOOK -- JOB 16000819 SHEET NO. 55			

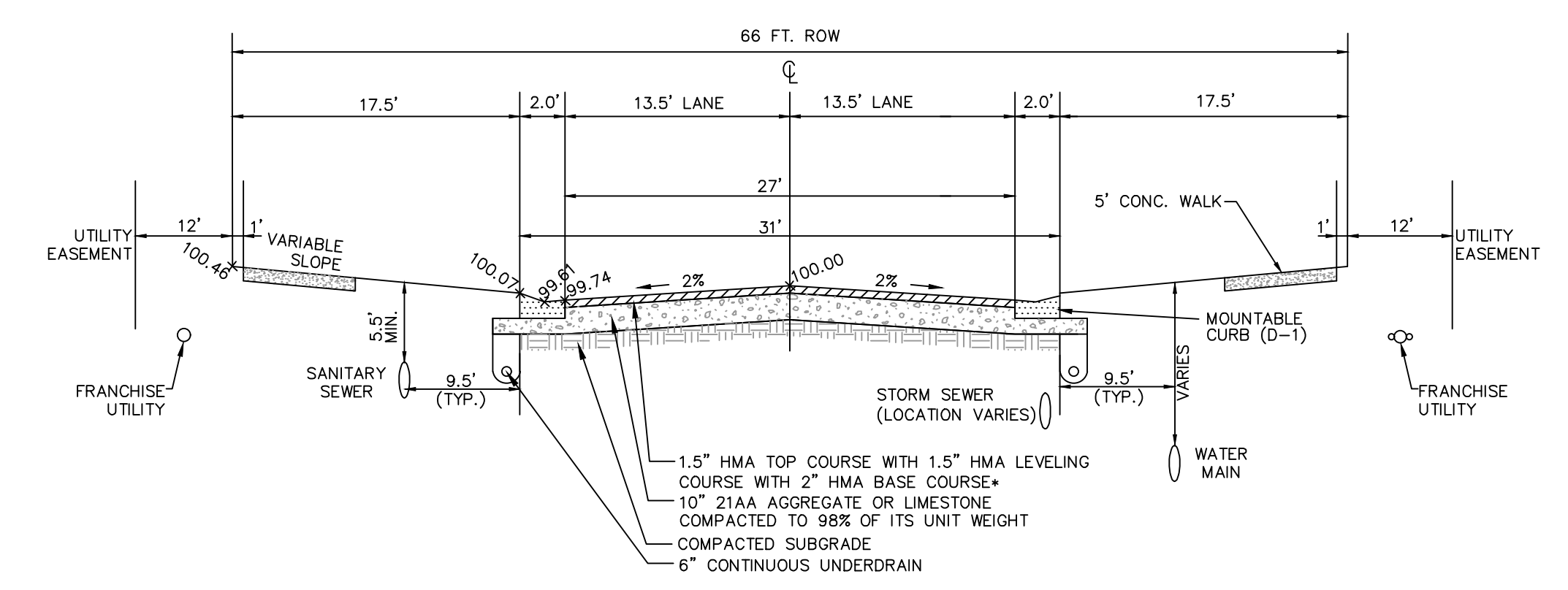
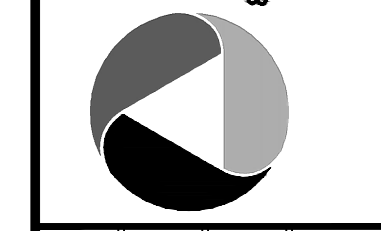
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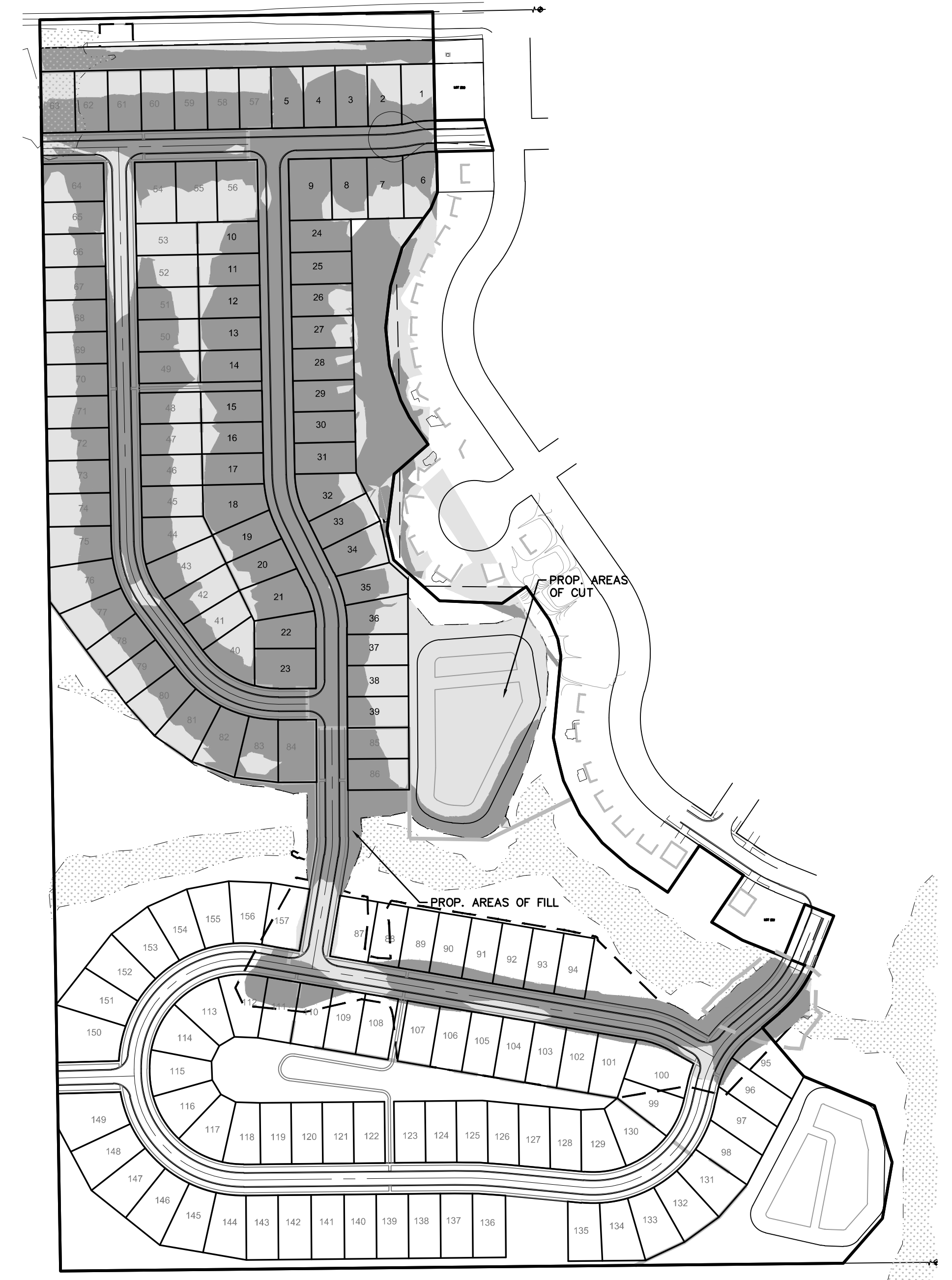
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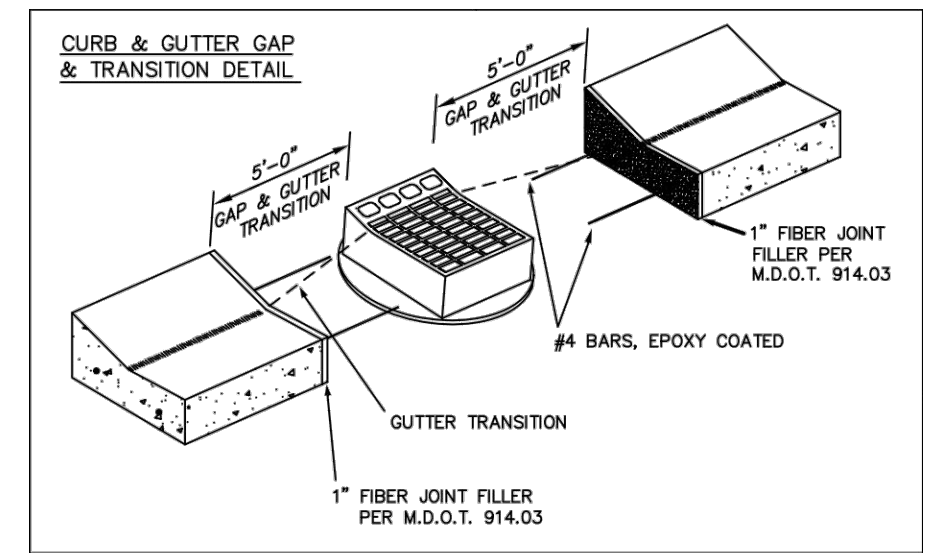


**RESIDENTIAL ROADWAYS (PRIVATE)**  
NOT TO SCALE

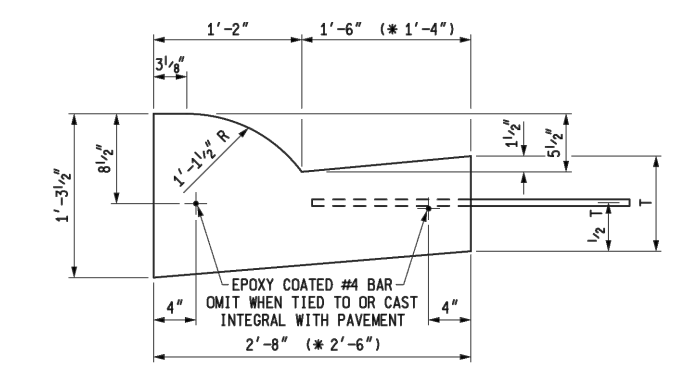
- \* NOTES:  
1. REFER TO CURRENTLY APPROVED WRC HMA MIX DESIGNS AND BINDER REQUIREMENTS PRIOR TO CONSTRUCTION.  
2. ALL PROPOSED UTILITIES SHALL BE WITHIN THE RIGHT-OF-WAY OR WITHIN AN EASEMENT OUTSIDE OF THE RIGHT-OF-WAY.
- ASSUMED SECTION:  
1.5" LVSP WEARING COURSE WITH 3% MAX AIR VOIDS  
1.5" LVSP LEVELING COURSE  
2" 4E1 BASE COURSE  
All HMA shall limit RAP to 25%



**PHASE 1 CUT & FILL SITE MAP**  
SCALE: 1"=200'

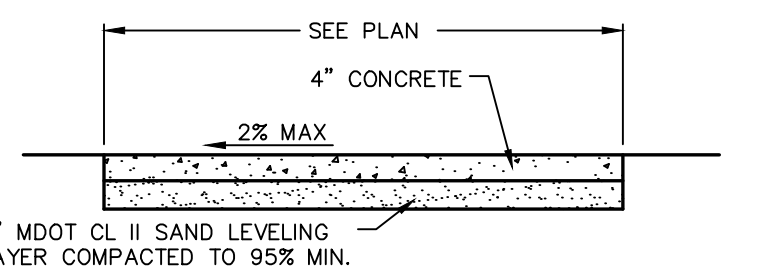


**CURB & GUTTER GAP & TRANSITION DETAIL**  
NO SCALE



DETAIL	DIMENSION	LANE TIES	CONCRETE CTD / LFT	CONCRETE CTD / LFT
B	2'	OMITTED	0.0000	14 0.0851
B	12'	12' SPACING	0.0000	14 0.0851

**MOUNTABLE CURB & GUTTER DETAIL**  
NO SCALE



**CONCRETE SIDEWALK SECTION**  
NOT TO SCALE

SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
DETAIL SHEET 1

DATE  
JULY 08, 2022

2022-08-12 PER SESC  
2022-08-16 PER FIRE DEP.  
2022-08-28 PER SESC  
2022-09-15 PER TWP

REVISIONS

NO	NA	NA

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BOOK --

JOB 16000819

SHEET NO. 56





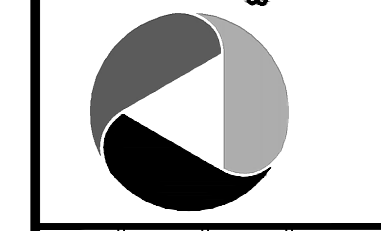
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TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
DETAIL SHEET 2

CLIENT

DATE

JULY 08, 2022

2022-08-12 PER SEC  
2022-08-16 PER FIRE DEP.  
2022-08-28 PER SEC  
2022-09-15 PER TWP

Table with 2 columns: REVISIONS, NA, NA, NA

DR. JW CH. SS

P.M. MB

BOOK --

JOB 16000819

SHEET NO. 57

Sidewalk Ramp Type R, F, and D details. Includes notes on maximum landing slope (2.0% in each direction), ramp cross slope (5% - 7% maximum), and detectable warning surface requirements (24" across full width). Diagrams show various ramp configurations with rolled or flared sides.

Sidewalk Ramp Type RF and Section A-A details. Includes notes on maximum landing slope (2.0% in each direction), ramp cross slope (5% - 7% maximum), and detectable warning surface requirements. Section A-A shows a cross-section through the curb opening with reinforcement and expansion joints.

Sidewalk Ramp Type P, C, and M details. Includes notes on maximum landing slope (2.0% in each direction), ramp cross slope (5% - 7% maximum), and detectable warning surface requirements. Diagrams show parallel, combination, and median island ramp configurations.

Sidewalk Ramp Type D details. Includes notes on maximum landing slope (2.0% in each direction), ramp cross slope (5% - 7% maximum), and detectable warning surface requirements. Diagrams show radial and tangent detectable warning placements.

Sidewalk Ramp Orientation and Section B-B details. Includes notes on maximum landing slope (2.0% in each direction), ramp cross slope (5% - 7% maximum), and detectable warning surface requirements. Section B-B shows a cross-section through the curb opening with reinforcement and expansion joints.

Detectable Warning Details and Dome Section details. Includes notes on dome section dimensions (1.4" to 2.4" diameter), dome spacing (0.62" to 1.4" spacing), and dome alignment (aligned in direction of travel and perpendicular to radial). Diagrams show dome placement and alignment details.

MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
SIDEWALK RAMP AND  
DETECTABLE WARNING DETAILS  
R-28-J SHEET 1 OF 7

MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
SIDEWALK RAMP AND  
DETECTABLE WARNING DETAILS  
R-28-J SHEET 2 OF 7

MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
SIDEWALK RAMP AND  
DETECTABLE WARNING DETAILS  
R-28-J SHEET 3 OF 7

MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
SIDEWALK RAMP AND  
DETECTABLE WARNING DETAILS  
R-28-J SHEET 4 OF 7

MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
SIDEWALK RAMP AND  
DETECTABLE WARNING DETAILS  
R-28-J SHEET 6 OF 7

MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
SIDEWALK RAMP AND  
DETECTABLE WARNING DETAILS  
R-28-J SHEET 7 OF 7

Nature Series  
**THE AUSTIN**

2,708-3,121 Sq. Ft. | 4-5 Bedrooms | 2.5-3 Baths



Nature Series  
**THE AUSTIN**

2,708-3,121 Sq. Ft. | 4-5 Bedrooms | 2.5-3 Baths



SECOND FLOOR PLAN



FIRST FLOOR PLAN

This depiction represents an artist's conception of the elevation and floor plan and is not intended to be an exact representation or show specific detailing. Plans remain subject to change without notice. Drawings are not to scale. All measurements shown are approximate and not necessarily to scale. Location, size and construction of doors, windows, wall, fireplaces and any other items depicted may vary depending on elevation preference or choice of options and are subject to change without notice. Some options and elevations shown may not be available in every neighborhood. See Sales Manager for details. Due to normal construction tolerances, the room sizes shown may vary slightly. The Builder may change home design, materials, features and methods of construction without prior notice. Model homes may contain some optional features not available through the Builder.

Nature Series  
**THE AUSTIN**

First Floor Options



Garage options vary by community. Please see sales manager for details.

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Nature Series  
**THE AUSTIN**

Second Floor Options



Opt. Second Floor Layout with Bedroom 5

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Nature Series  
**THE BLOOMINGTON**

2,185-2,276 Sq. Ft. | 3-4 Bedrooms | 2.5-3 Baths



Nature Series  
**THE BLOOMINGTON**

2,185-2,276 Sq. Ft. | 3-4 Bedrooms | 2.5-3 Baths



SECOND FLOOR PLAN



FIRST FLOOR PLAN

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Nature Series  
**THE BLOOMINGTON**

First Floor Options



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Nature Series  
**THE BLOOMINGTON**

Second Floor Options



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Know what's below.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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SECTION 33  
TOWN 2 SOUTH, RANGE 7 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
SE MICHIGAN LAND HOLDING LLC  
PROSPECT POINTE WEST  
FINAL SITE PLAN - PHASE 1  
TYPICAL BUILDING DETAILS

DATE  
JULY 08, 2022

2022-08-12 PER SEC  
2022-08-16 PER FIRE DEP.  
2022-08-28 PER SEC  
2022-09-15 PER TWP

REVISIONS  
NA NA NA  
N/A

DR. JW CH. SS  
P.M. MB  
BOOK --  
JOB 16000819  
SHEET NO.

Nature Series  
**THE COLUMBIA**  
 2,432-2,782 Sq. Ft. | 4 Bedrooms | 2.5-3 Baths

**Lombardo**  
 H • O • M • E • S



Nature Series  
**THE COLUMBIA**  
 2,432-2,782 Sq. Ft. | 4 Bedrooms | 2.5-3 Baths

**Lombardo**  
 H • O • M • E • S



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Nature Series  
**THE COLUMBIA**

**Lombardo**  
 H • O • M • E • S



Garage options vary by community. Please see sales manager for details.

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Nature Series  
**THE COLUMBIA**

**Lombardo**  
 H • O • M • E • S



Second floor with Elevation D (adds 20 sq. ft.)

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Nature Series  
**THE DAVENPORT**  
 1,856-2,005 Sq. Ft. | 3 Bedrooms | 2 Baths

**Lombardo**  
 H • O • M • E • S



Nature Series  
**THE DAVENPORT**  
 1,856-2,005 Sq. Ft. | 3 Bedrooms | 2 Baths

**Lombardo**  
 H • O • M • E • S



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Nature Series  
**THE DAVENPORT**

**Lombardo**  
 H • O • M • E • S



Garage options vary by community. Please see sales manager for details.

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Know what's below.  
 Call before you dig.

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 734.994.4000



SECTION 33  
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 SUPERIOR TOWNSHIP  
 WASHTENAW COUNTY, MICHIGAN

CLIENT  
 SE MICHIGAN LAND HOLDING LLC  
 PROSPECT POINTE WEST  
 FINAL SITE PLAN - PHASE 1  
 TYPICAL BUILDING DETAILS

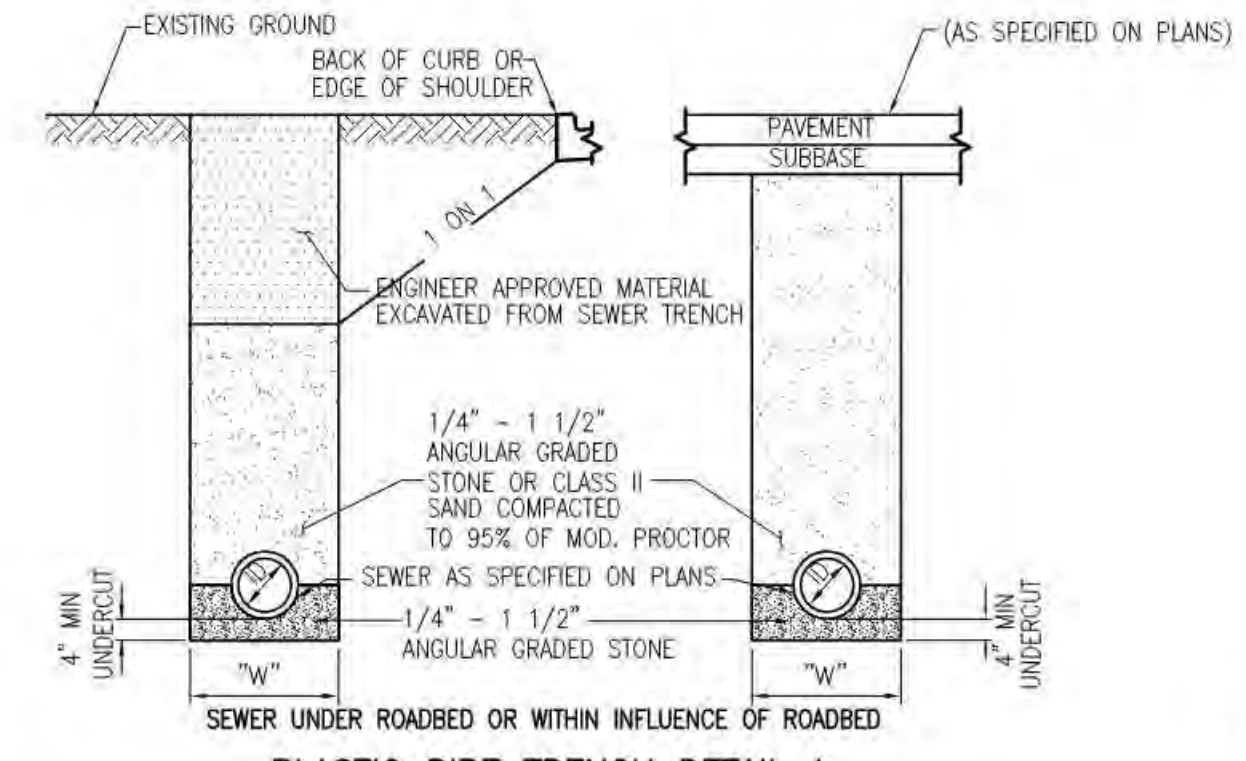
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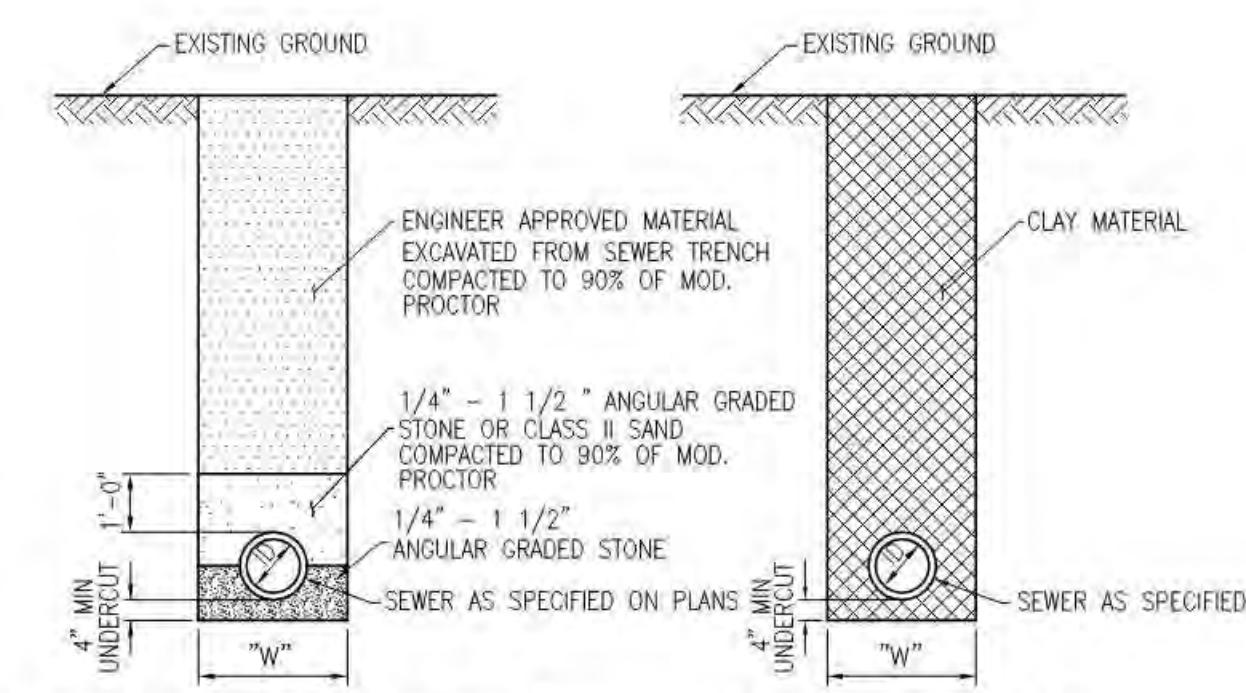
REVISIONS  
 NA NA NA  
 N/A

DR. JW CH. SS  
 P.M. MB  
 BOOK --  
 JOB 16000819  
 SHEET NO. 59

DATE	OCT 2003	REVISIONS	
DATE		REVISIONS	
CADD	DK	REVISIONS	
ENG/INCH	DLG/JEL	REVISIONS	
PROJ MGR		REVISIONS	
SECTION		REVISIONS	
TOWN		REVISIONS	
RANGE		REVISIONS	
COUNTY	WASHTENAW	REVISIONS	
CITY/TOWNSHIP	CHARTER TOWNSHIP OF SUPERIOR	REVISIONS	
SCALE	V: N/A H: NTS	REVISIONS	
PROJECT NO.	000-00-0000	REVISIONS	
PROJECT NAME		REVISIONS	
CLIENT		REVISIONS	



PLASTIC PIPE TRENCH DETAIL A



PLASTIC PIPE TRENCH DETAIL B

PLASTIC PIPE CLAY BACKFILL TRENCH DETAIL

THE FOLLOWING ARE MINIMUM TRENCH WIDTHS:

I.D. PIPE SIZE (INCHES)	LESS THAN 18"	21"	24"	30"	36"
"W" TRENCH WIDTH (FEET)	3.0	3.5	4.0	5.0	6.0

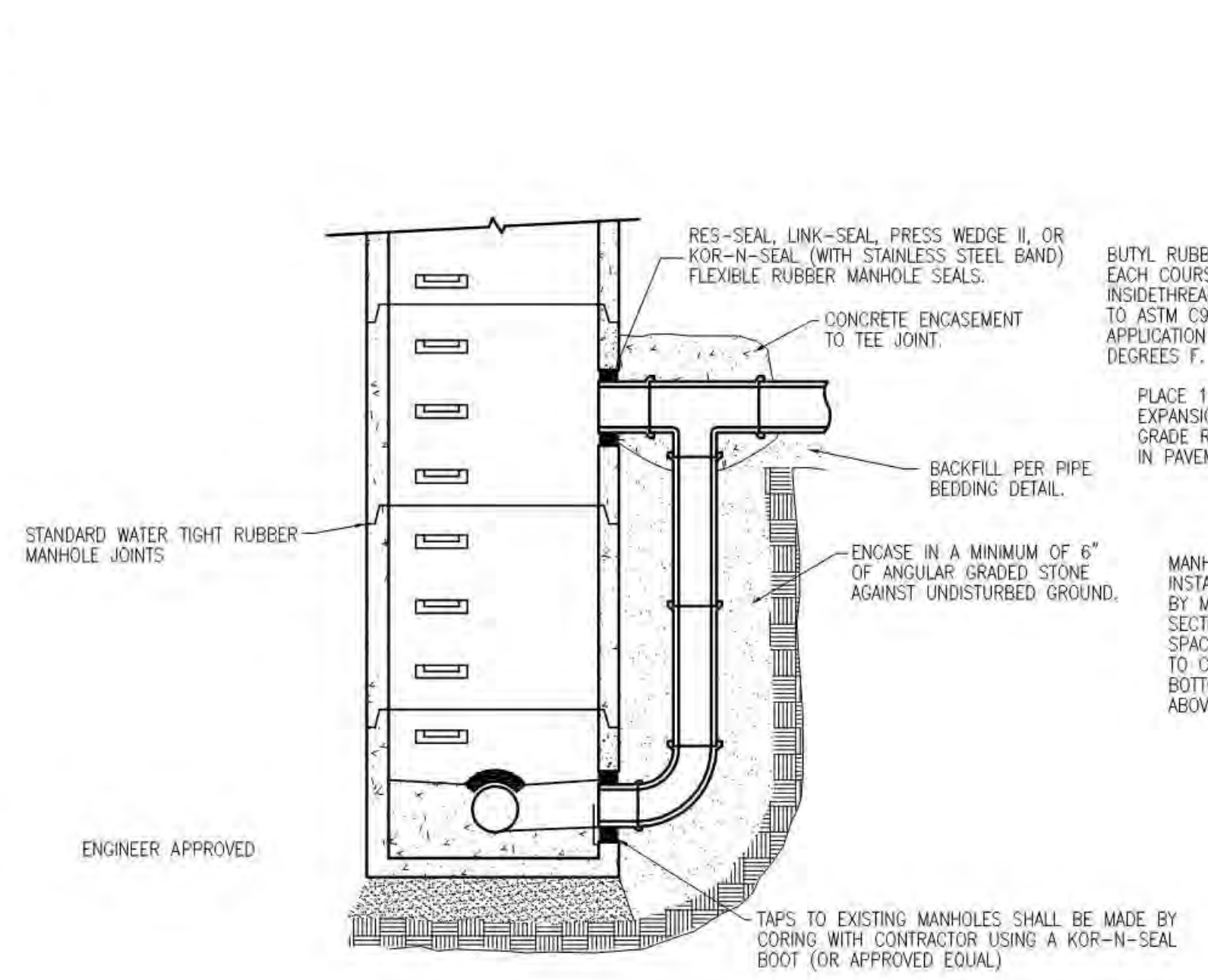
  

I.D. PIPE SIZE (INCHES)	42"	48"	54"	60"	66"	72"	78"
"W" TRENCH WIDTH (FEET)	7.0	8.0	9.5	10.0	10.5	11.0	11.5

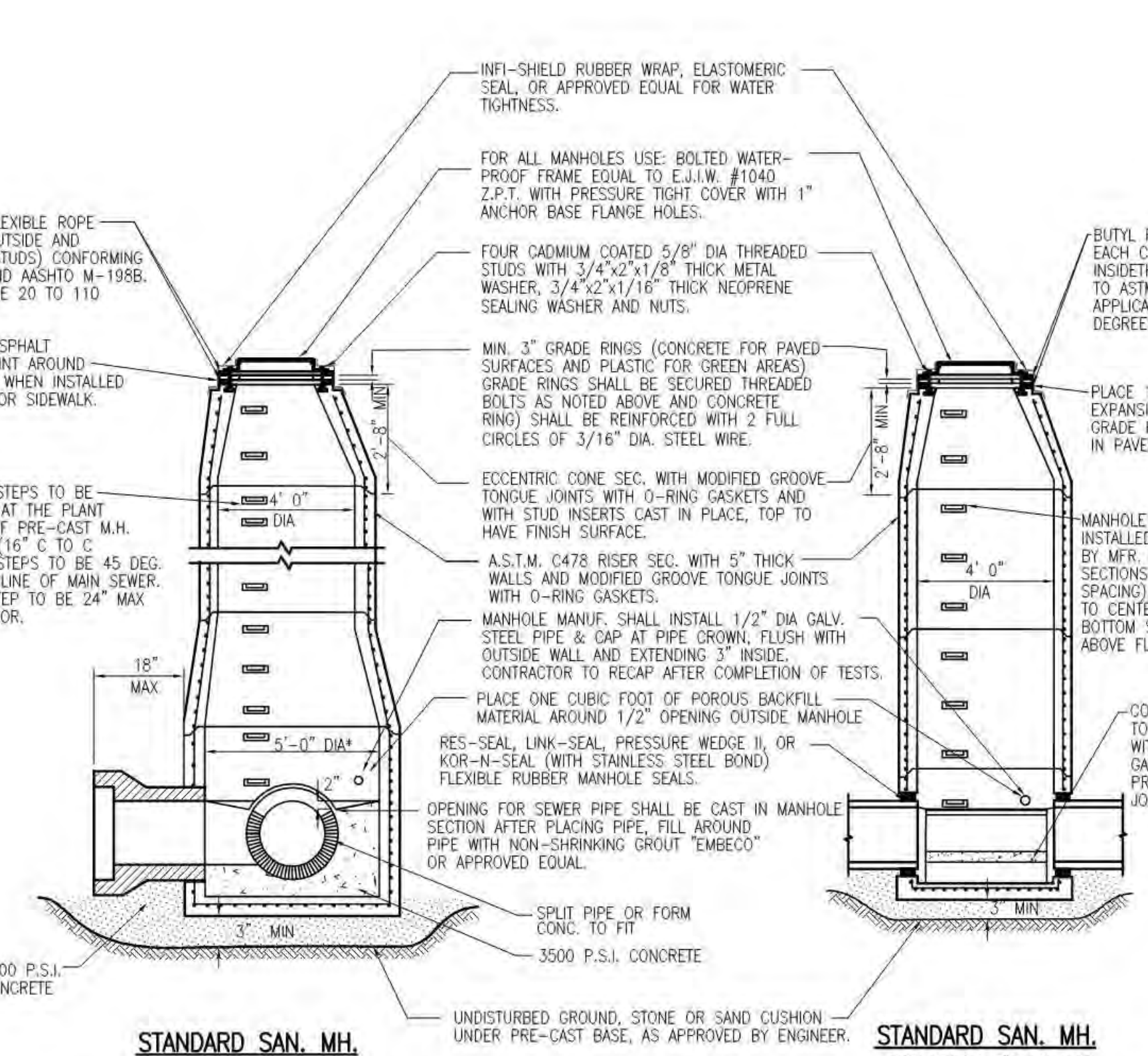
I.D. PIPE SIZE (INCHES)	84"	90"	96"	102"	108"
"W" TRENCH WIDTH (FEET)	12.0	12.5	13.0	13.5	14.0

ESTIMATED PAVEMENT REMOVAL WIDTH IS TO BE TRENCH WIDTH "W" PLUS 1' EACH SIDE OF THE TRENCH (6" MINIMUM).



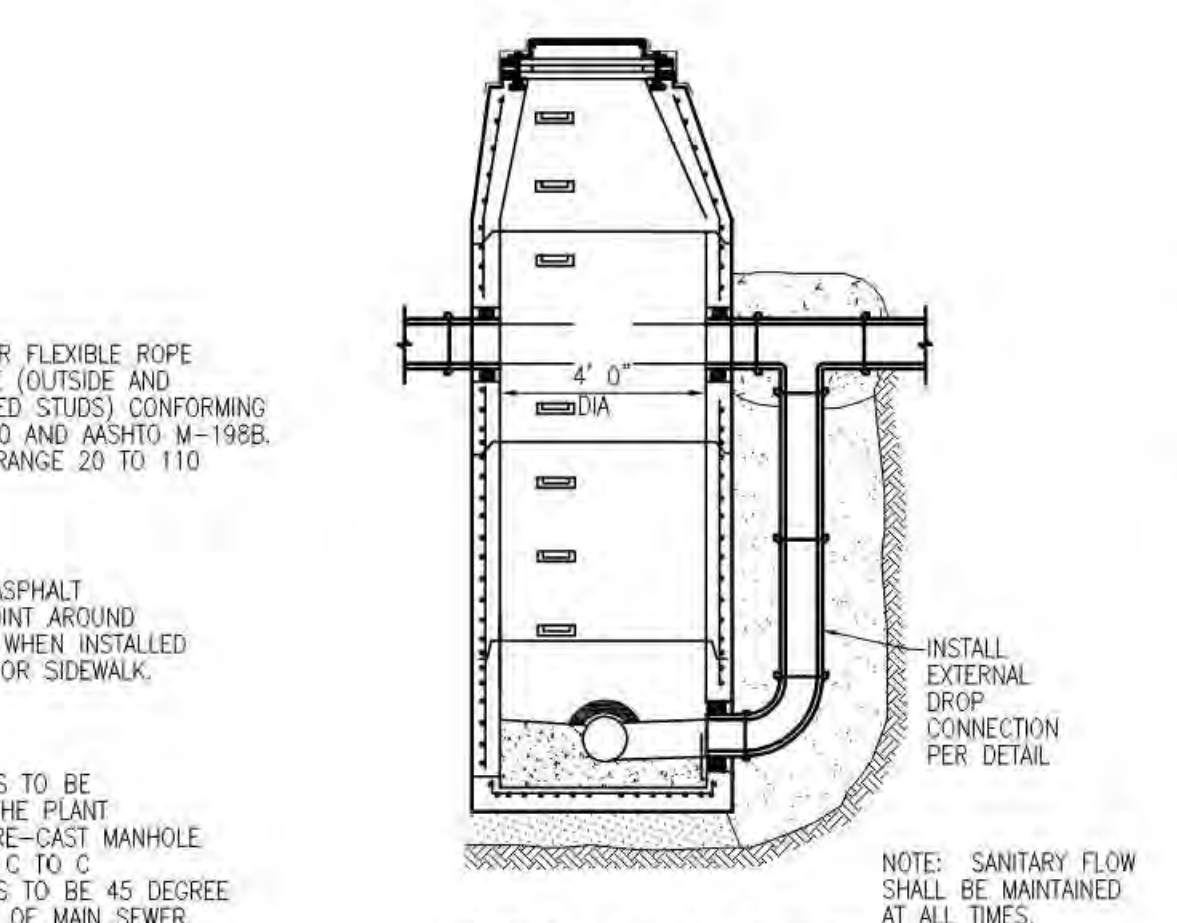
EXTERNAL DROP CONNECTION (HYDROGEN SULFIDE PROTECTION)

DIA OF SEWER	DIA OF DROP CONNECTION
8" & 10"	8"
12", 15" & 18"	12"
21", 24" & 30"	18"
36" & 42"	24"



STANDARD SAN. M.H. FOR SEWERS 24" THRU 42"

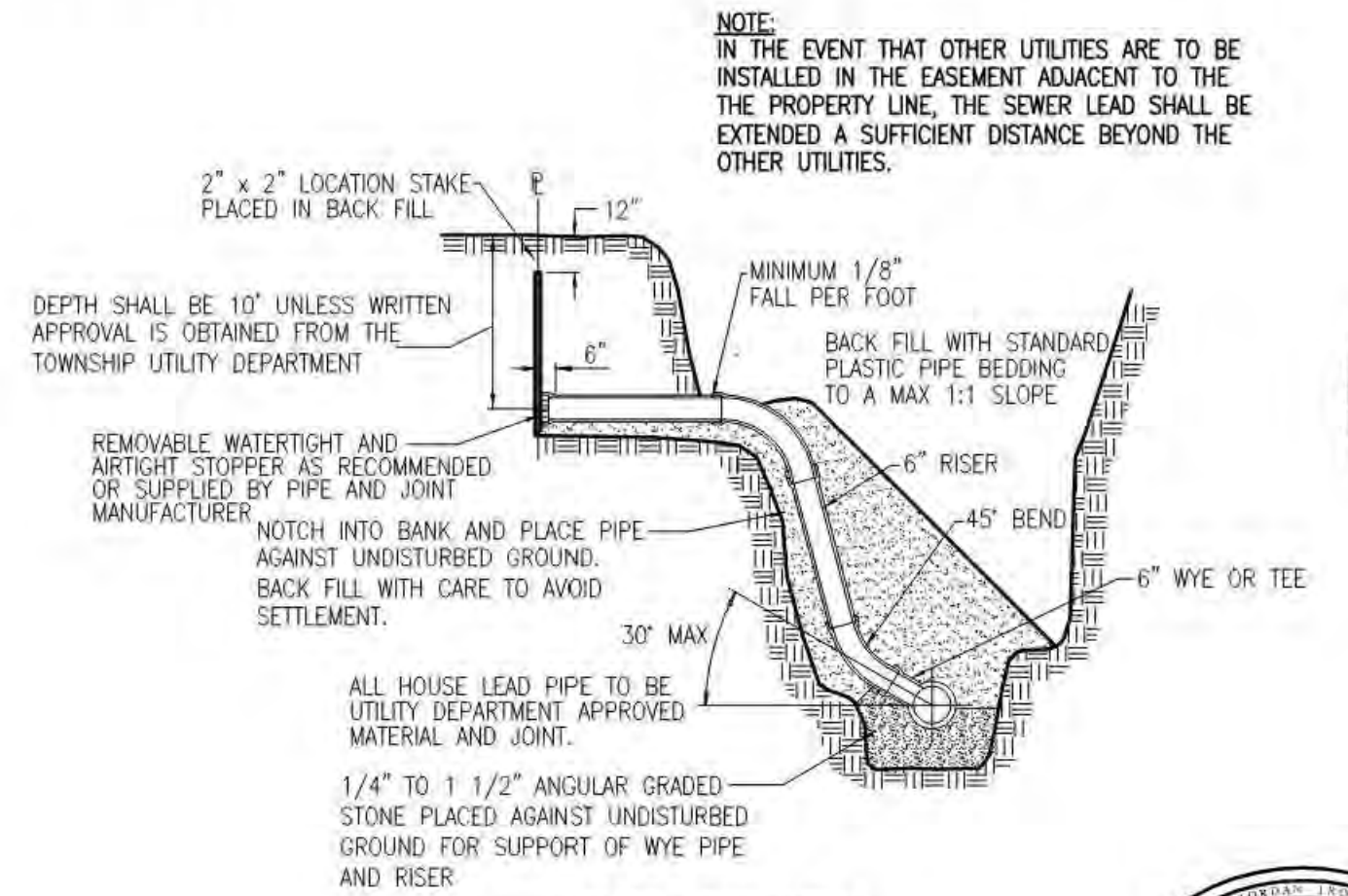
\* MANHOLE DIAMETER TO MEET MANUFACTURER'S REQUIREMENTS FOR BOTH STRAIGHT THRU & RIGHT ANGLE INSTALLATION



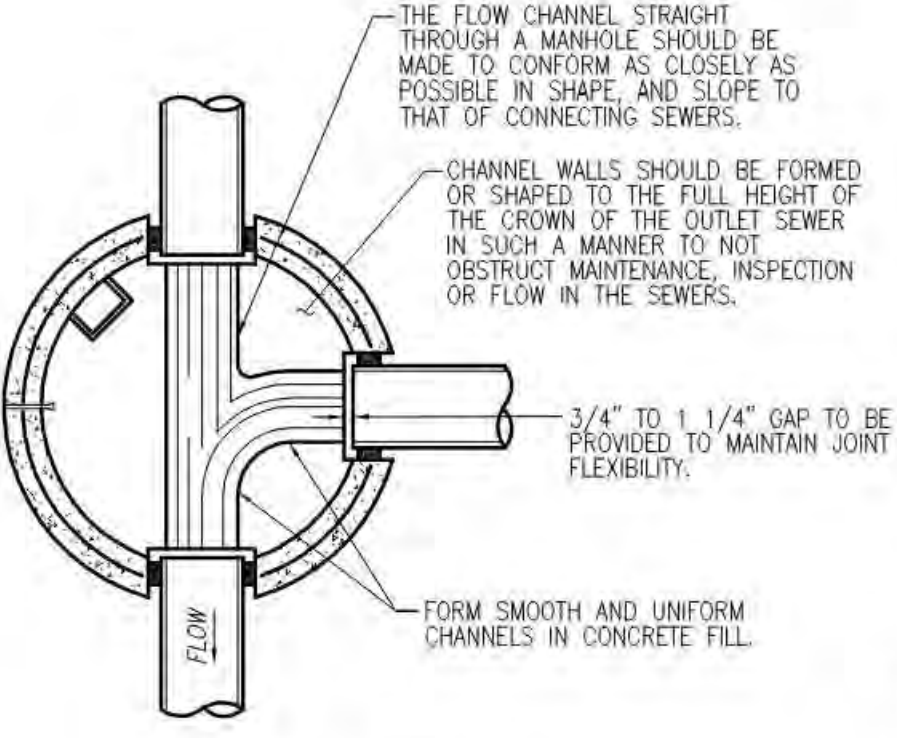
SANITARY M.H. BUILT OVER EX SANITARY LINE (SAME AS STANDARD SAN M.H. EXCEPT AS INDICATED HERE) (HYDROGEN SULFIDE PROTECTION)

SANITARY SEWER CONSTRUCTION NOTES

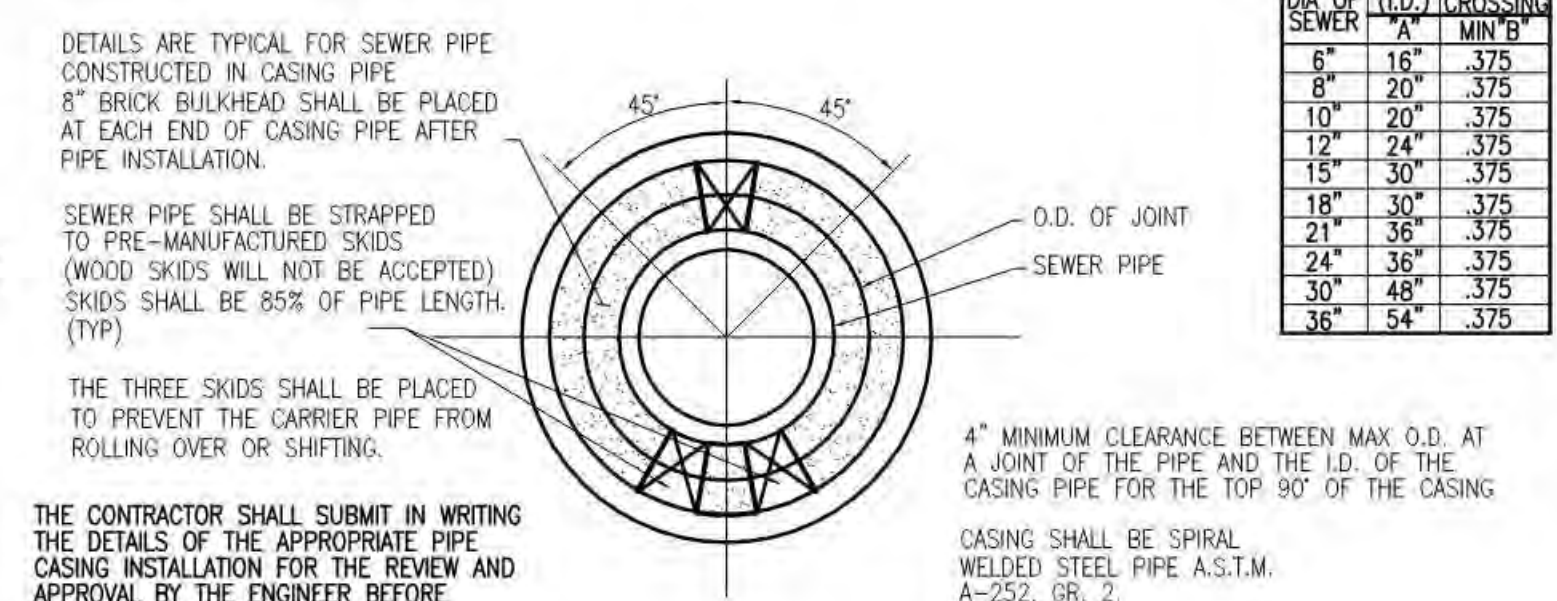
- ALL MANHOLE RIMS SHALL BE SET TO GRADE AS FURNISHED BY THE ENGINEER.
- RISERS ON SANITARY SEWERS SHALL BE INSTALLED WHERE SEWER ARE OVER 10' DEEP TO A DEPTH OF 10'.
- PLACE ONE 6" WYE FOR EACH LOT ON SANITARY SEWERS UNLESS OTHERWISE SPECIFIED.
- ALL MANHOLES SHALL USE ECCENTRIC CONES PLACED TOWARD THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- INFILTRATION FOR ANY SECTION OF SEWERS BETWEEN MANHOLES SHALL NOT EXCEED 200 GALLONS PER INCH IN DIAMETER PER MILE OF SEWER PER 24 HRS.
- NO FOOTING OR ROOF DRAINS SHALL BE CONNECTED TO THE PROPOSED SEWER.
- DIFFERENTIAL OF EXCAVATION AROUND EXISTING MANHOLES SHALL NOT EXCEED 6 FEET.
- NO CONNECTION EXISTING STORM WATER, SURFACE WATER, OF GROUND WATER SHALL BE MADE TO SANITARY SEWERS.
- ALL SEWERS SHALL BE SUBJECT TO TELEVISION INSPECTION AND AIR INFILTRATION OR EXFILTRATION TESTS, OR A COMBINATION OF SAME WITHIN 30 DAY OF BACKFILL, PRIOR TO ACCEPTANCE. ALL SEWERS OVER 24" DIAMETER SHALL BE SUBJECT TO INFILTRATION TESTS. ALL SEWERS OF 24" DIAMETER OR SMALLER, WHERE THE GROUND WATER LEVEL ABOVE THE TOP OF THE SEWER IS OVER 2 FEET, SHALL BE SUBJECT TO INFILTRATION TESTS. ALL SEWERS OF 24" DIAMETER OR LESS, WHERE THE GROUND WATER LEVEL ABOVE THE TOP OF THE SEWER IS 2 FEET OR LESS, SHALL BE SUBJECT TO AIR TESTS OR EXFILTRATION TESTS.
- ALL SEWER SYSTEM CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND GENERAL SPECIFICATIONS OF THE AGENCY OR AGENCIES HAVING JURISDICTION OF THE SEWER SYSTEM AND CONSTRUCTION AREA.
- ALL SEWERS SHALL BE TELEVIEWED, WITH TEST RESULTS APPROVED BY THE TOWNSHIP UTILITY DEPARTMENT PRIOR TO PLACING THE SEWER IN SERVICE.
- NO SEWER SHALL BE CONSTRUCTED LESS THAN 8" IN DIAMETER.
- ALL STUBS SHALL HAVE A WATER AND AIR TIGHT BULKHEAD.
- ALL ELEVATIONS ARE BASED ON NAVD 88 (ORIGINAL).
- THE MINIMUM DIAMETER OF MANHOLES SHALL BE 48 INCHES, LARGER DIAMETERS ARE PREFERABLE FOR LARGER DIAMETER SEWERS. A MINIMUM ACCESS DIAMETER OF 22 INCHES SHALL BE PROVIDED.
- CONTRACTOR SHALL PERFORM 9 POINT MANDREL TESTING PER SECTION IX, OPEN CUT SEWERS OF THE SPECIFICATIONS.
- SANITARY SEWER SHALL BE COMPOSITE ABS OR PVC TRUSS PIPE CONFORMING TO REQUIREMENTS OF ASTM D-2680 OR PVC PIPE CONFORMING TO ASTM D-3034 (SDR 26) MAY BE USED WHERE DEPTH IS LESS THAN 15'.
- JOINTS FOR PLASTIC PIPE SHALL BE PUSH-ON TYPE OR IN SPECIAL APPLICATIONS SOLVENT JOINTS, WHERE SPECIFIED, SHALL CONFORM TO ASTM D-2855.
- JOINTS ON TRUSS PIPE SHALL CONSIST OF ABS PLASTIC COUPLINGS CHEMICALLY CEMENTED TO THE ENDS OF THE PIPE BEING CONNECTED. SOLVENTS AND METHODS USED IN MAKING THE CHEMICAL BOND SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS, AND THE INSTALLATION TECHNIQUE SHALL CONFORM TO ASTM D-2321, OR LATEST REVISION.
- MANHOLE STEPS TO BE PLASTIC COATED MEETING THE REQUIREMENTS IN ASTM D2146, TYPE II, GRADE 49108, M.A. INDUSTRIES P.S.I. POLYPROPYLENE, OR E.L.J.W. 8502.
- A VIDEOTAPE (WITH LOG AND LEAD LOCATIONS) SHALL BE SUBMITTED AND APPROVED BY THE TOWNSHIP PRIOR TO THE FINAL ACCEPTANCE. SAID VIDEOTAPE SHALL BE PERFORMED PRIOR TO FINAL ACCEPTANCE OF THE SYSTEM.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL TELEPHONE MISS DIG (800-482-7171) A MINIMUM OF 30 DAYS AFTER DAYS AFTER COMPLETION OF BACKFILL. FOR THE LOCATION OF UNDERGROUND PIPELINE AND CABLE FACILITIES AND SHALL ALSO NOTIFY REPRESENTATIVES.
- MINIMUM DEPTH TO TOP OF PIPE SHALL BE 4 FEET.
- THE MAXIMUM DEPTH TO INVERT OF ANY SANITARY SEWER SHALL NOT EXCEED THE DEPTH RECOMMENDED BY THE MANUFACTURER FOR EACH SIZE AND CLASS AND PIPE.
- INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED FLEXIBLE WATER TIGHT CONNECTION THAT ALLOWS DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE WALL TO TAKE PLACE.
- A BENCH SHALL BE PROVIDED ON EACH SIDE OF ANY MANHOLE CHANNEL WHEN THE PIPE DIAMETER IS LESS THAN THE MANHOLE DIAMETER. THE BENCH SHOULD BE SLOPED NO LESS THAN 1/2 INCH PER FOOT. NO LATERAL SEWER, SERVICE CONNECTION, OR DROP MANHOLE PIPE SHALL DISCHARGE ONTO THE SURFACE OF THE BENCH.
- WHERE WORK IS TO BE PERFORMED IN THE VICINITY OF A SUPERIOR TOWNSHIP MAIN, CONTRACTOR SHALL NOTIFY THE SUPERIOR TOWNSHIP UTILITY DEPARTMENT AT (734) 486-5500 AT LEAST 3 WORKING DAYS PRIOR TO START OF CONSTRUCTION AS WELL AS TOWNSHIP ENGINEER TO SCHEDULE INSPECTION.
- AN ELASTOMERIC SEAL OR RUBBER WRAP SHALL BE PLACED AROUND EACH MANHOLE FRAME AND CONE SECTION FOR WATER TIGHTNESS.



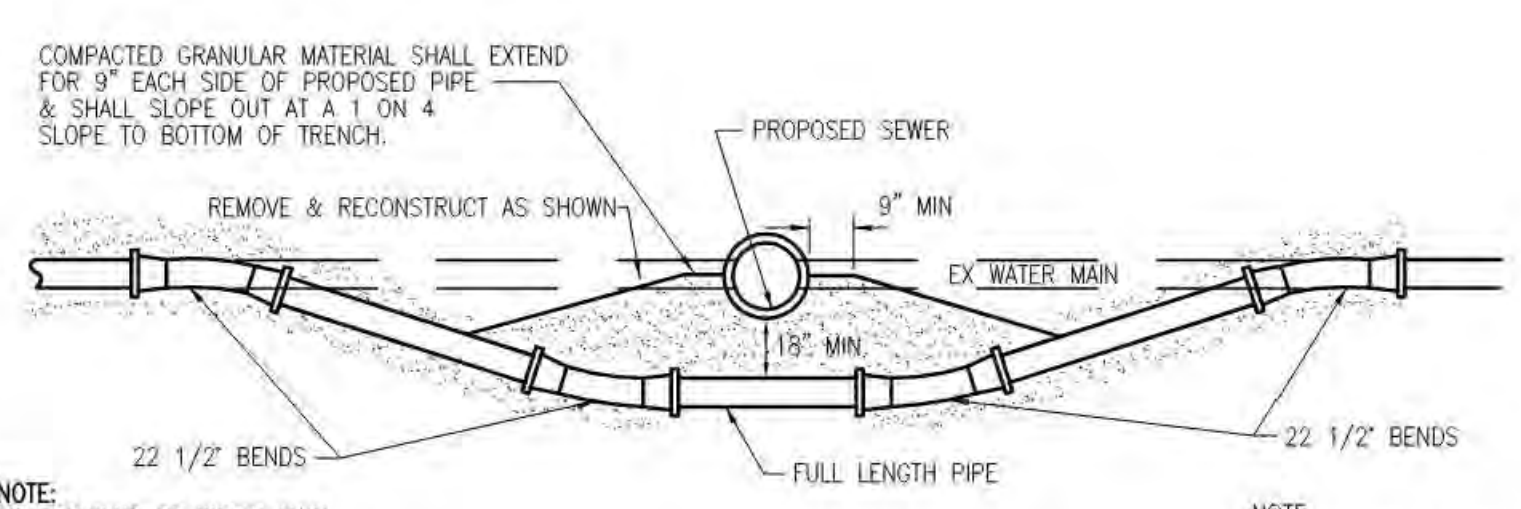
HOUSE LEAD DETAIL



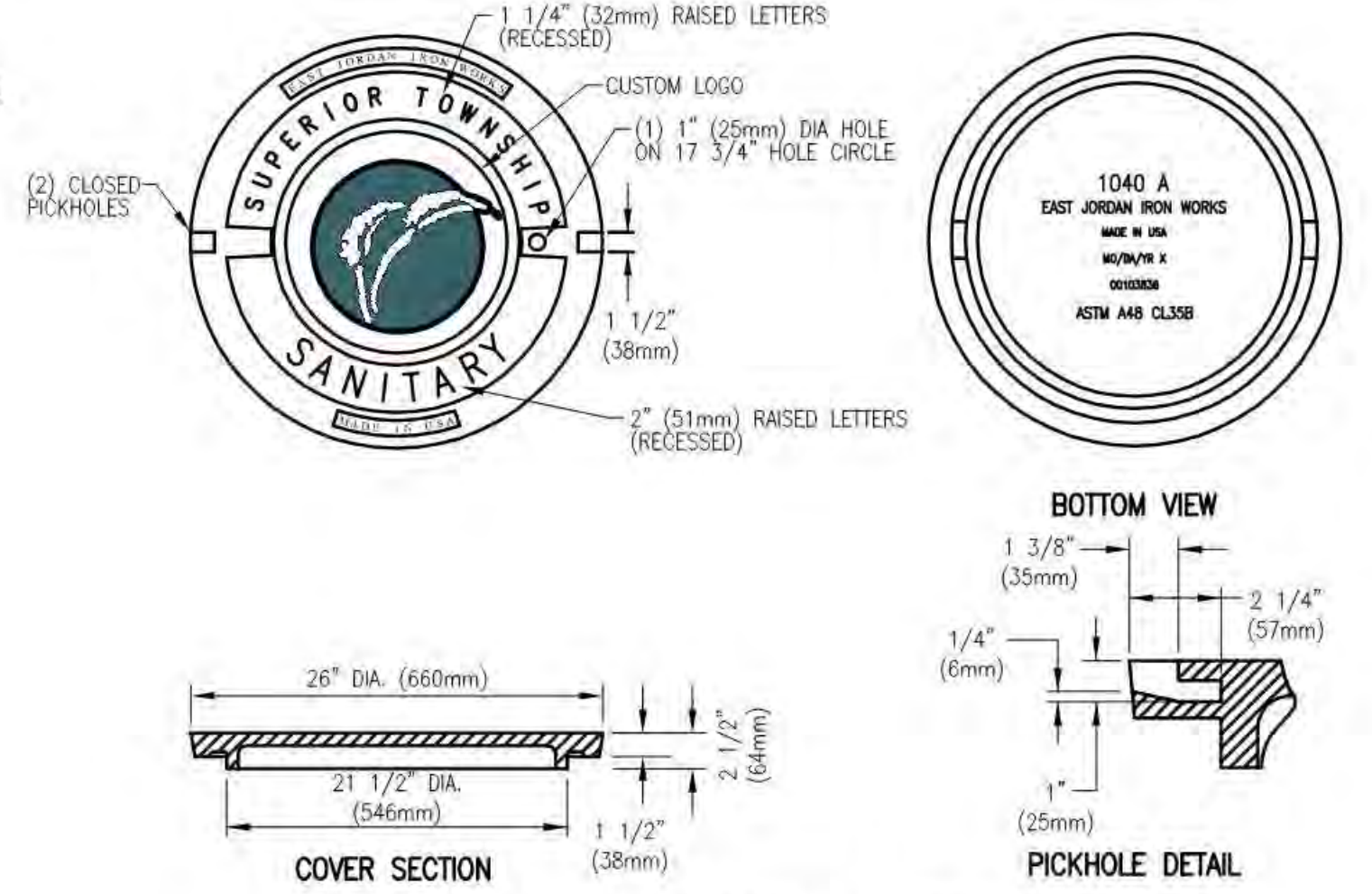
CHANNEL DETAIL



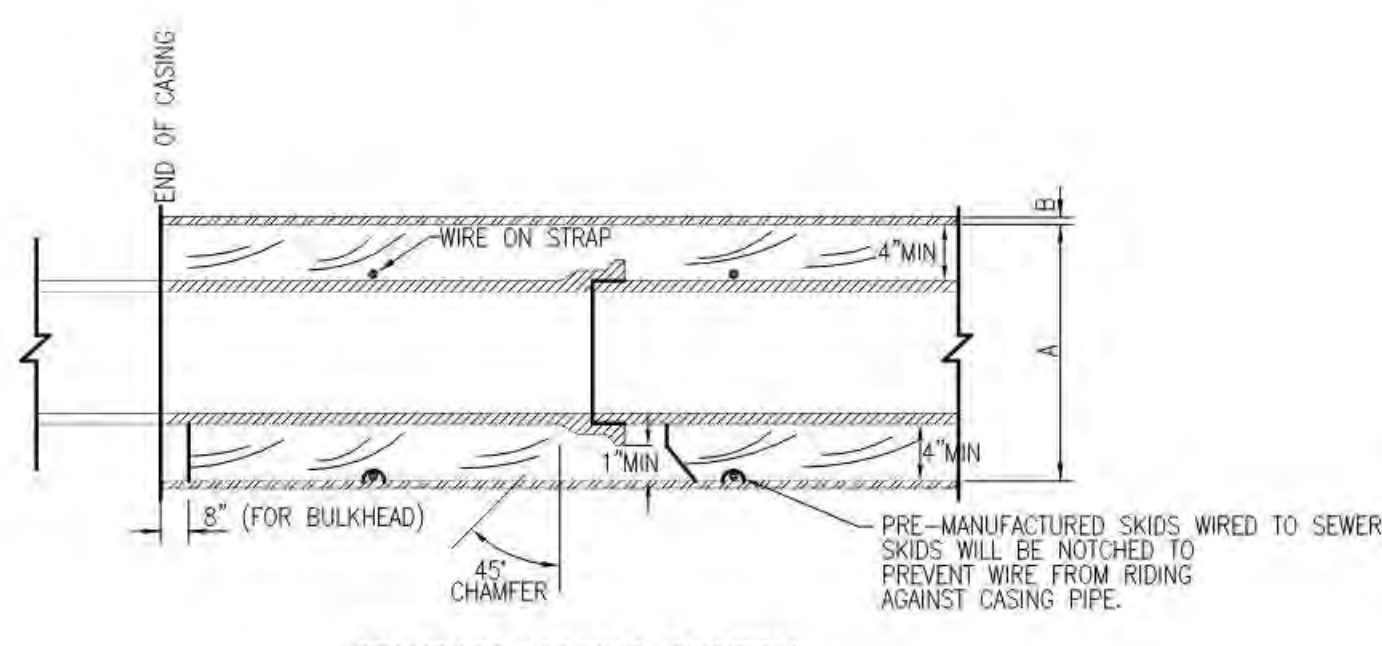
PIPE BARREL SUPPORT FOR SANITARY SEWER CONSTRUCTED IN CASING PIPE



RELOCATION OF WATER MAIN, SANITARY OR STORM



STANDARD COVER & FRAME



STANDARD CASING SECTION

DRAWING PATH: S:\CVT\Superior\wp\Standards\CADD\Sanitary\SuperiorSan01.dwg, Dec. 20, 2011, 4:33pm





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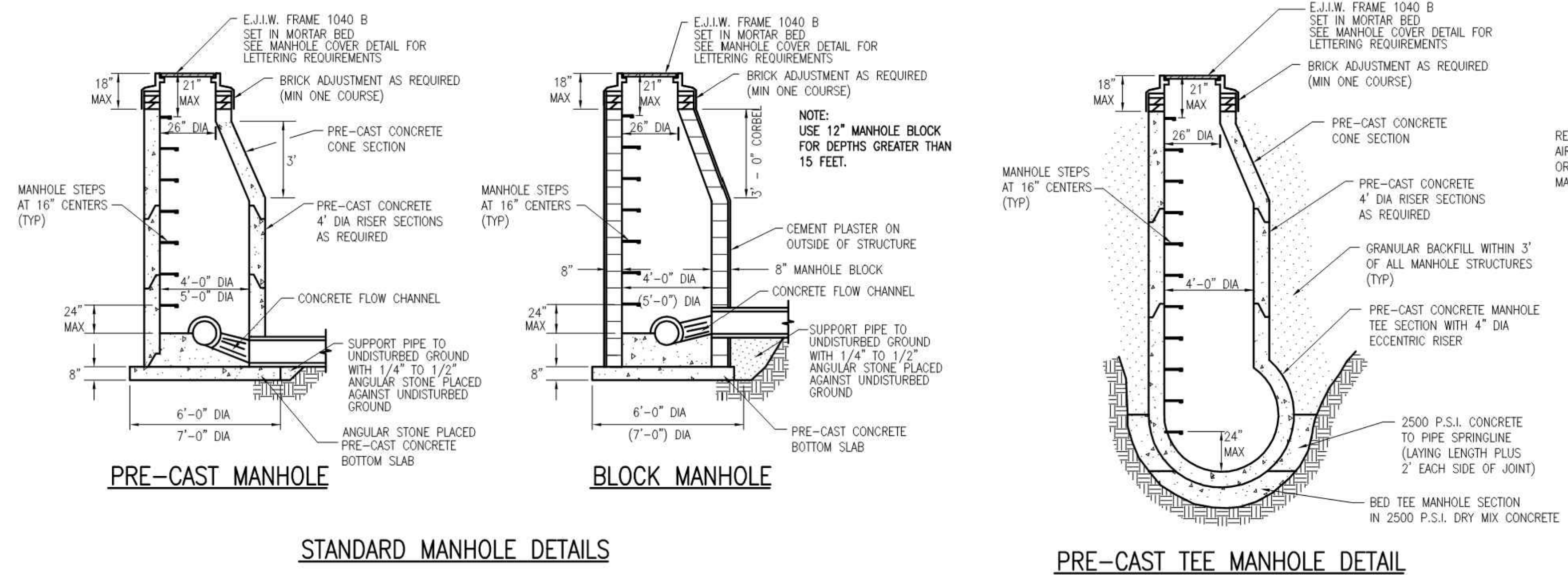
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**GENERAL NOTES FOR STORM SEWER CONSTRUCTION**

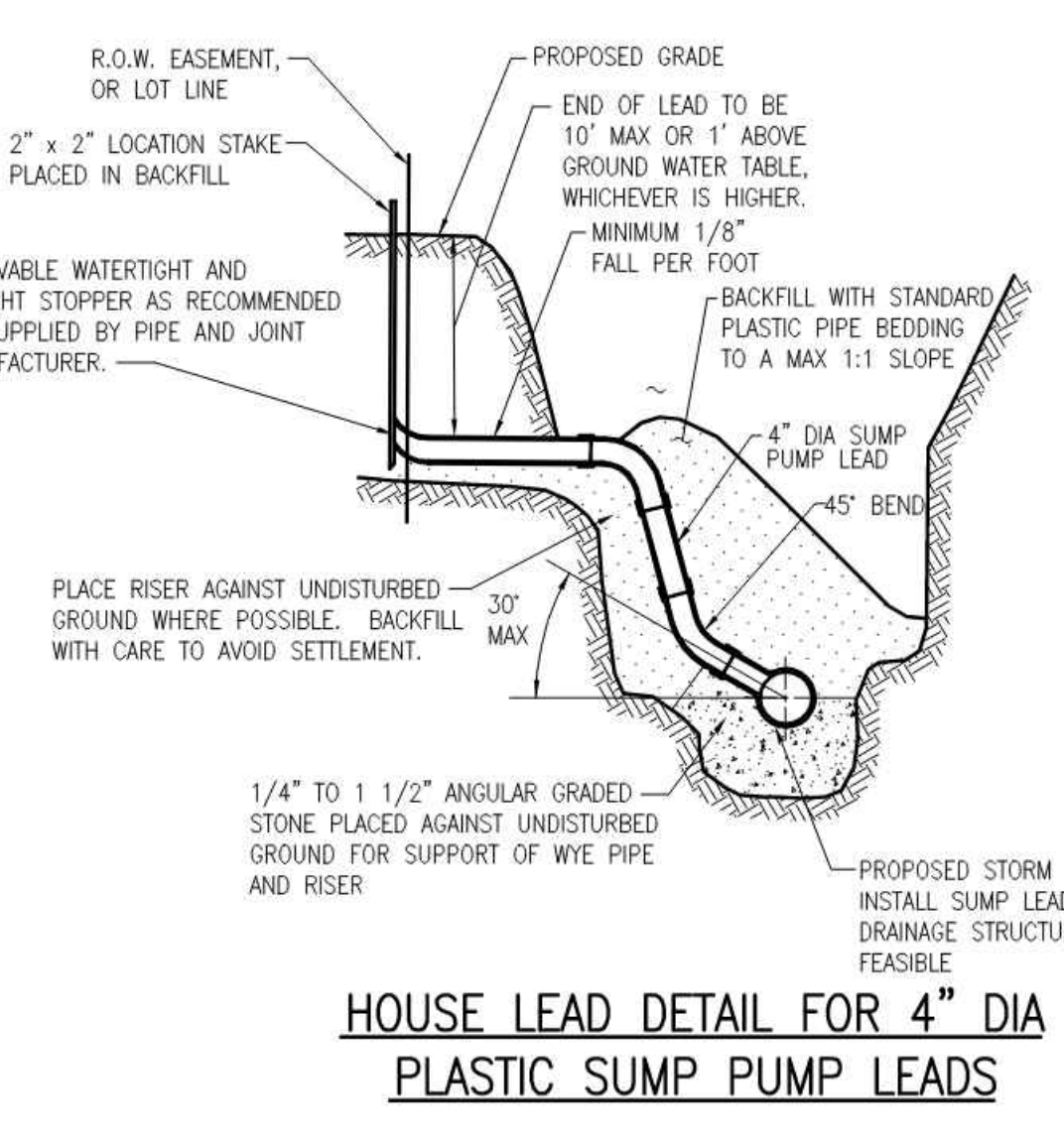
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF CHARTER TOWNSHIP OF SUPERIOR.
  - TYPE AND CLASS OF PIPE SHALL BE AS SPECIFIED ON PLANS.
  - SAND BEDDING SHALL BE USED THROUGHOUT, UNLESS OTHERWISE SPECIFIED ON THE PLAN.
  - ALL END SECTIONS 18" AND LARGER SHALL BE PROVIDED WITH A GALVANIZED BAR SCREEN.
- CONTRACTOR SHALL CONSTRUCT MANHOLES WITH PRECAST REINFORCED CONCRETE IN LIEU OF CONCRETE, BRICK AND BLOCK MANHOLES IN ACCORDANCE WITH THE FOLLOWING CONDITIONS:
  - NO OPENINGS SHALL BE MADE IN PRECAST UNITS WHICH WOULD LEAVE LESS THAN 12" OF UNDISTURBED PRECAST STRUCTURE WALL BETWEEN PIPES (AS MEASURED BETWEEN OUTSIDE PIPE WALLS) OR WOULD REMOVE MORE THAN 40% OF THE CIRCUMFERENCE ALONG ANY HORIZONTAL PLANE.
  - STRUCTURES FOR SEWERS LARGER THAN 18", OR THOSE NOT MEETING THE OPENING REQUIREMENTS, MAY BE BUILT OF BLOCK OR BRICK UP TO A MINIMUM OF 8" ABOVE THE TOP OF SEWER, WITH PRECAST UNITS BEING USED ABOVE THIS POINT. WHERE PRECAST UNITS REST ON THE BLOCK OR BRICK, THE GROOVE IN THE PRECAST UNIT SHALL BE FILLED WITH MORTAR.
  - OPENINGS FOR THE OUTLET SEWER SHALL BE PRECAST WITH A DIAMETER OF 3 INCHES LARGER THAN THE OUTSIDE DIAMETER OF THE OUTLET PIPE. ALL OTHER OPENINGS SHALL BE MADE IN THE FIELD AFTER THE MANHOLE HAS BEEN CONSTRUCTED.
- ALL VERTICAL OPENINGS IN CONCRETE BLOCK STRUCTURE WALLS SHALL BE COMPLETELY FILLED WITH MORTAR. ALL VERTICAL WALL JOINTS SHALL BE CEMENT POINTED.
- CONCRETE PIPE REQUIREMENTS:
  - THE CONTRACTOR SHALL PROVIDE REINFORCED CONCRETE PIPE AS SPECIFIED ON THE PLANS.
  - ALL ROUND REINFORCED CONCRETE PIPE SHALL HAVE MODIFIED GROOVE TONGUE JOINTS WITH O-RING TYPE RUBBER GASKET, PER A.S.T.M. SPECIFICATIONS C443. ALL ELLIPTICAL CONCRETE PIPE SHALL HAVE GROOVE TONGUE JOINTS WITH BITUMINOUS (DEWITT #10) JOINT MATERIAL AND INSIDE MORTAR POINTING. ELLIPTICAL CONCRETE PIPE JOINTS SHALL ALSO BE WRAPPED PER A.S.T.M. SPECIFICATION C877 FOR EXTERNAL SEALING BANDS FOR NON-CIRCULAR CONCRETE PIPE.
  - THE INSIDE JOINT OF PIPE SIZES OVER 27" DIAMETER SHALL BE POINTED UP WITH MORTAR UPON COMPLETION OF BACKFILLING OPERATIONS.
  - WHERE UNSTABLE GROUND CONDITIONS ARE ENCOUNTERED, STONE BEDDING SHALL BE USED AS DIRECTED BY THE ENGINEER IN ORDER TO PROVIDE A STABLE FOUNDATION FOR PIPE AND MANHOLES.
  - ALL PIPES ENTERING OR LEAVING A MANHOLE SHALL BE ADEQUATELY SUPPORTED WITH 1/4" TO 1/2" ANGULAR GRADED STONE FILL FROM UNDISTURBED EARTH TO SPRINGLINE OR WITH APPROVED CRUSHED AGGREGATE.

**DRAINAGE STRUCTURE REQUIREMENTS:**

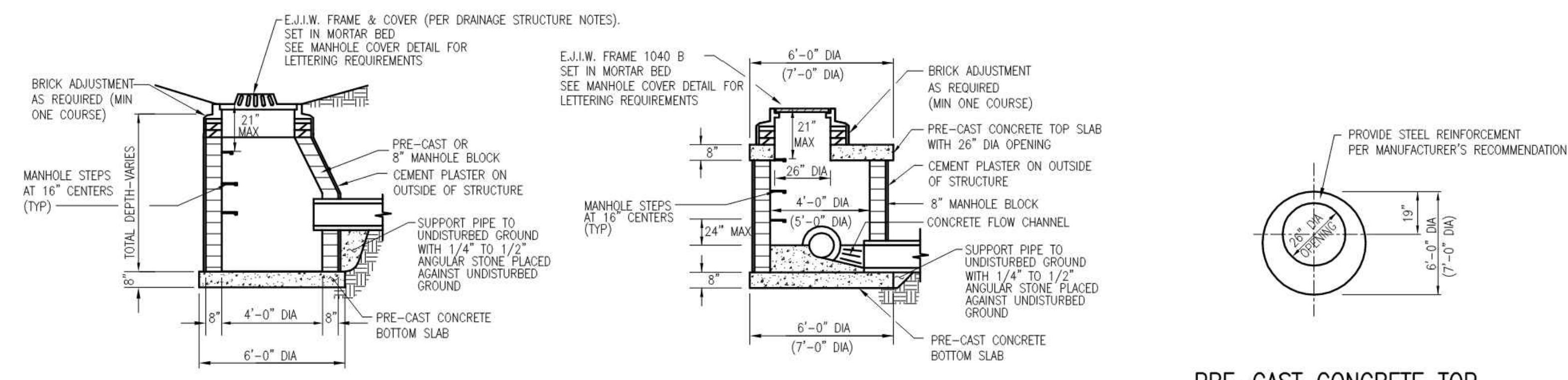
- ALL STRUCTURE(S) SHALL BE 4" IN DIAMETER UNLESS OTHERWISE INDICATED ON CONSTRUCTION DRAWINGS. 2" DIAMETER CATCH BASINS AND INLETS SHALL BE USED ONLY WITH PRIOR TOWNSHIP APPROVAL.
- MANHOLE STEPS SHALL BE STEEL, ENCASED WITH POLYPROPYLENE PLASTIC OR APPROVED EQUIVALENT TO M.A. INDUSTRIES, INC., PS-1 FOR BRICK, OR PS-1B FOR BLOCK, EAST JORDAN IRON WORKS 8503 (OR APPROVED EQUAL). MANHOLE STEPS AT 16" CENTERS.
- CATCH BASIN STEPS SHALL BE EAST JORDAN IRON WORKS 8502 PLASTIC COATED (OR APPROVED EQUAL).
- CATCH BASIN AND INLET FRAME AND COVER SHALL BE:
  - EAST JORDAN IRON WORKS 5080, TYPE "M1" COVER WITH STRAIGHT FACE CURB AND GUTTER (OR AS APPROVED EQUAL).
  - EAST JORDAN IRON WORKS 5080, TYPE "M1" COVER WITH MOUNTABLE CURB AND GUTTER AND INTEGRAL CURB AND GUTTER (OR AS APPROVED EQUAL).
  - EAST JORDAN IRON WORKS 1040, TYPE "O2" COVER (BEEHIVE) TO BE USED ON OPEN DITCHES AND SWALES, REAR YARD CATCH BASIN (OR AS APPROVED EQUAL), IF WITHIN 8' OF ROAD, TYPE "N" COVER (LOW BEEHIVE) SHALL BE USED.
  - FRAMES SHALL BE SET IN FULL BED OF MORTAR AND THE SIDE SHALL BE OVERLAPPED TO PREVENT LEAKAGE.
- A PROPER CHANNEL SHALL BE CONSTRUCTED WITHIN THE EXISTING MANHOLE OR OTHER STRUCTURE AT WHICH THE CONNECTION IS TO BE MADE TO DIRECT THE FLOW TO THE EXISTING OUTLET IN A MANNER WHICH WILL TEND TO CREATE THE LEAST AMOUNT OF TURBULENCE. THE CHANNEL SHALL BE CONSTRUCTED TO THE SAME SIZE AS THE INSIDE DIAMETER OF THE EXISTING PIPES, AND SHALL BE BUILT TO HEIGHT OF 1/3 THE EXISTING PIPE DIAMETER WITH A MINIMUM OF 2% SLOPE ON THE BENCHES.
- STANDARD BRICK ADJUSTMENT: MINIMUM OF ONE COURSE AND A MAXIMUM OF 5 COURSES OF BRICK.
  - ALL BRICKS AND BLOCKS USED FOR ADJUSTMENT SHALL BE CONCRETE.
  - BLOCK USED FOR STANDARD CATCH BASINS AND MANHOLES SHALL BE 8" (FOR 0'-15" DEEP) AND 12" (FOR 15'-25" DEEP). BLOCK USED FOR 2" DIAMETER INLETS AND CATCH BASINS SHALL BE 6".
  - PRECAST REINFORCED CONCRETE SECTION AS MINIMUM SHALL CONFORM TO A.S.T.M. C-478.
  - CONCRETE BASE FOR MANHOLE, CATCH BASIN, AND INLET SHALL BE MDOT GRADE 30P (MIN), 8" THICK, 3000 PSI.
- PLASTER ALL OUTSIDE MASONRY SURFACES WITH 1 1/2 MASONRY CEMENT (TYPE II) 1/2" THICK.
- WHEN TAPPING INTO AN EXISTING STRUCTURE A BRICK COLLAR SHALL BE PLACED 12" THICK AROUND THE PIPE AND EXTENDED 12" BEYOND THE OPENING. IF PRE-CAST SECTION IS TAPPED, BEND MESH AND USE AS REINFORCEMENT WITH BRICK COLLAR.
- ALL PRECAST RISER(S) SHALL BE PLACED IN A FULL BED OF MORTAR. ALL JOINTS & LIFTHOLES SHALL BE POINTED UP WITH MORTAR ON THE OUTSIDE AND INSIDE.
  - ALL VERTICAL AND HORIZONTAL BRAS SHALL BE TACK-WELDED TO THE ANGLE FRAME.
  - THE BAR GRATE SCREEN SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION IS COMPLETE.



**STANDARD MANHOLE DETAILS**



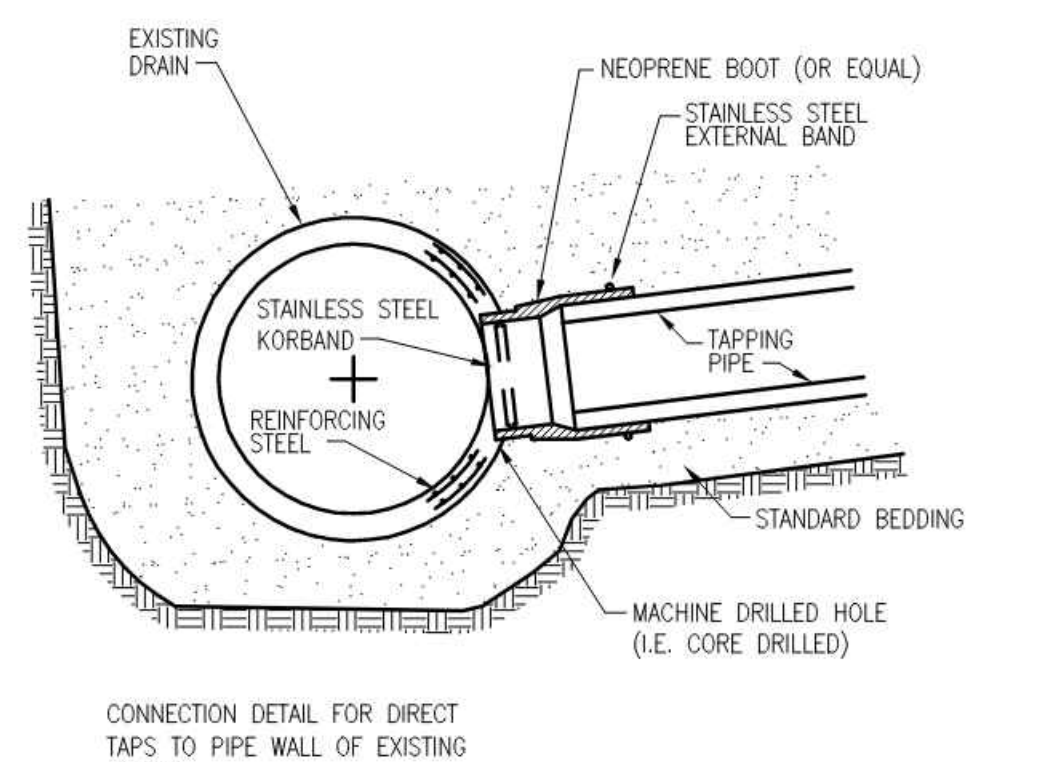
**HOUSE LEAD DETAIL FOR 4\"/>**



**CATCH BASIN DETAIL**

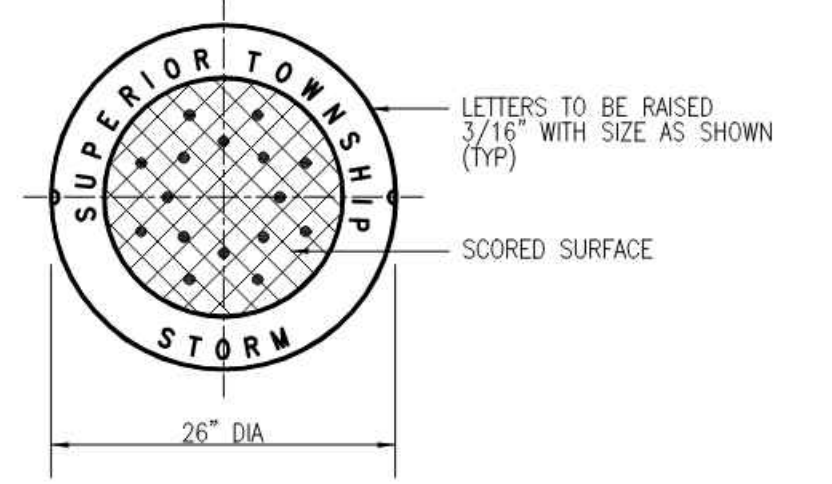
**LOW HEAD MANHOLE AND CATCH BASIN DETAIL**

**PRE-CAST CONCRETE TOP SLAB DETAIL, 8\"/>**

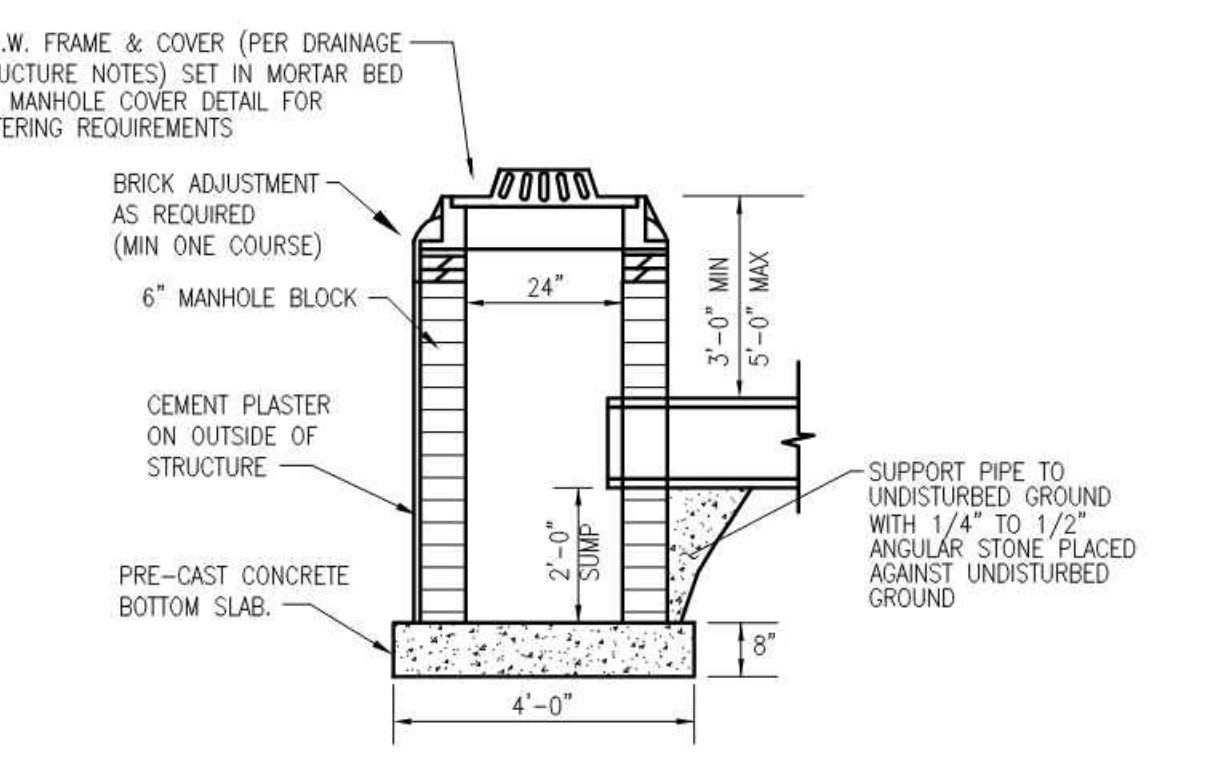


**KOR-N-TEE TAP FOR CONCRETE PIPE**

(NOTE: LETTERING SHALL BE USED ONLY FOR PUBLIC STORM SYSTEM. ALL OTHERS SHALL HAVE NO LETTERING.)

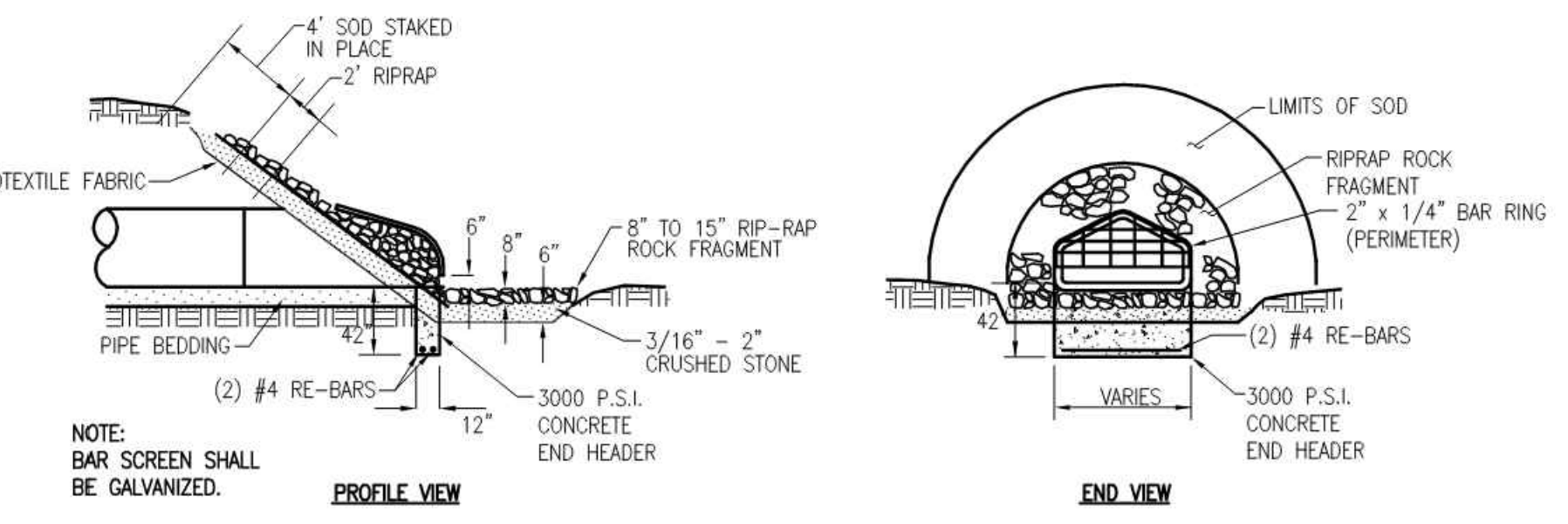


**CAST IRON MANHOLE COVER E.J.I.W. 1040**

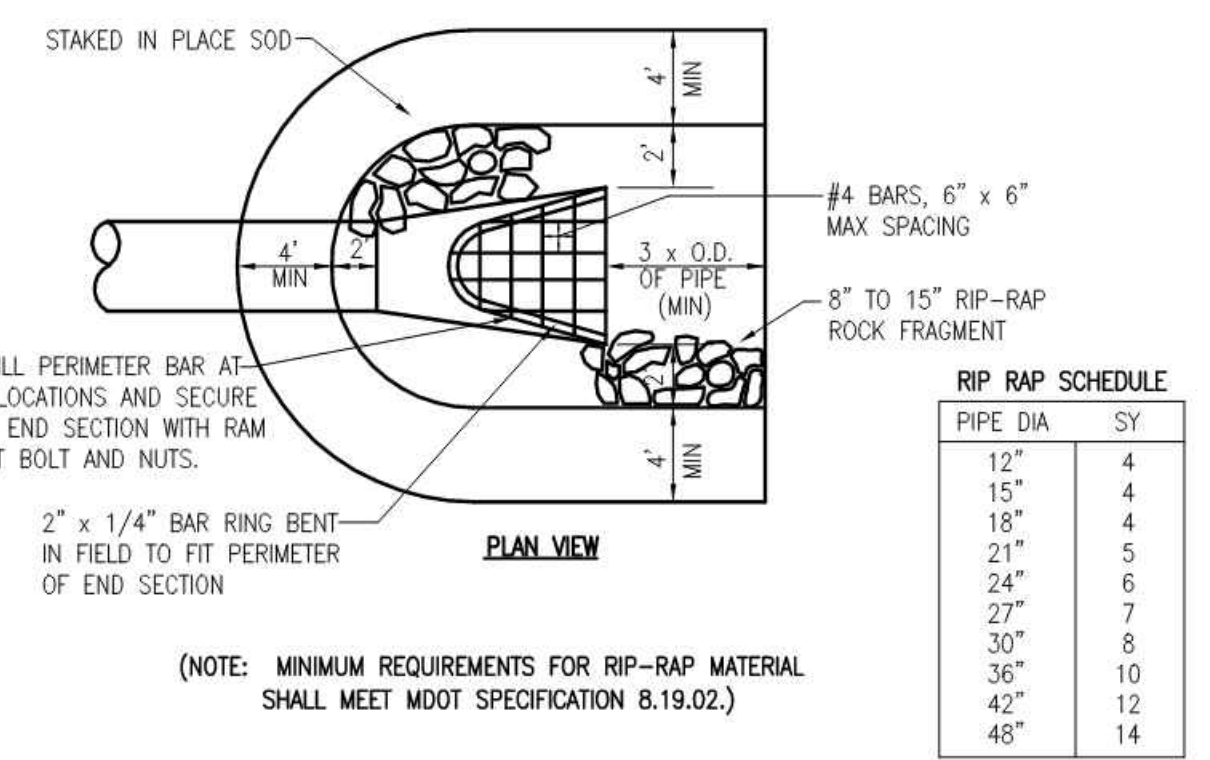


**2\"/>**

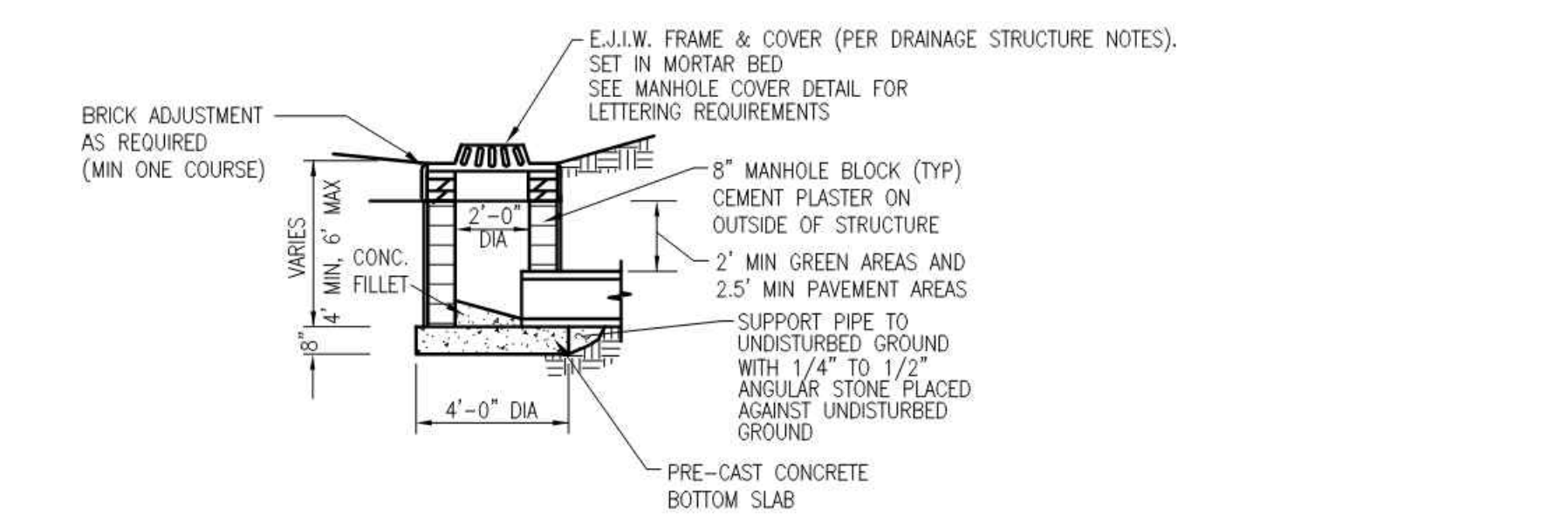
(NOTE: 2" DIA CATCH BASIN SHALL NOT BE USED UNLESS PRIOR APPROVAL IS OBTAINED FROM TOWNSHIP ENGINEER.)



**END SECTION AND BAR SCREEN DETAIL**



**2\"/>**

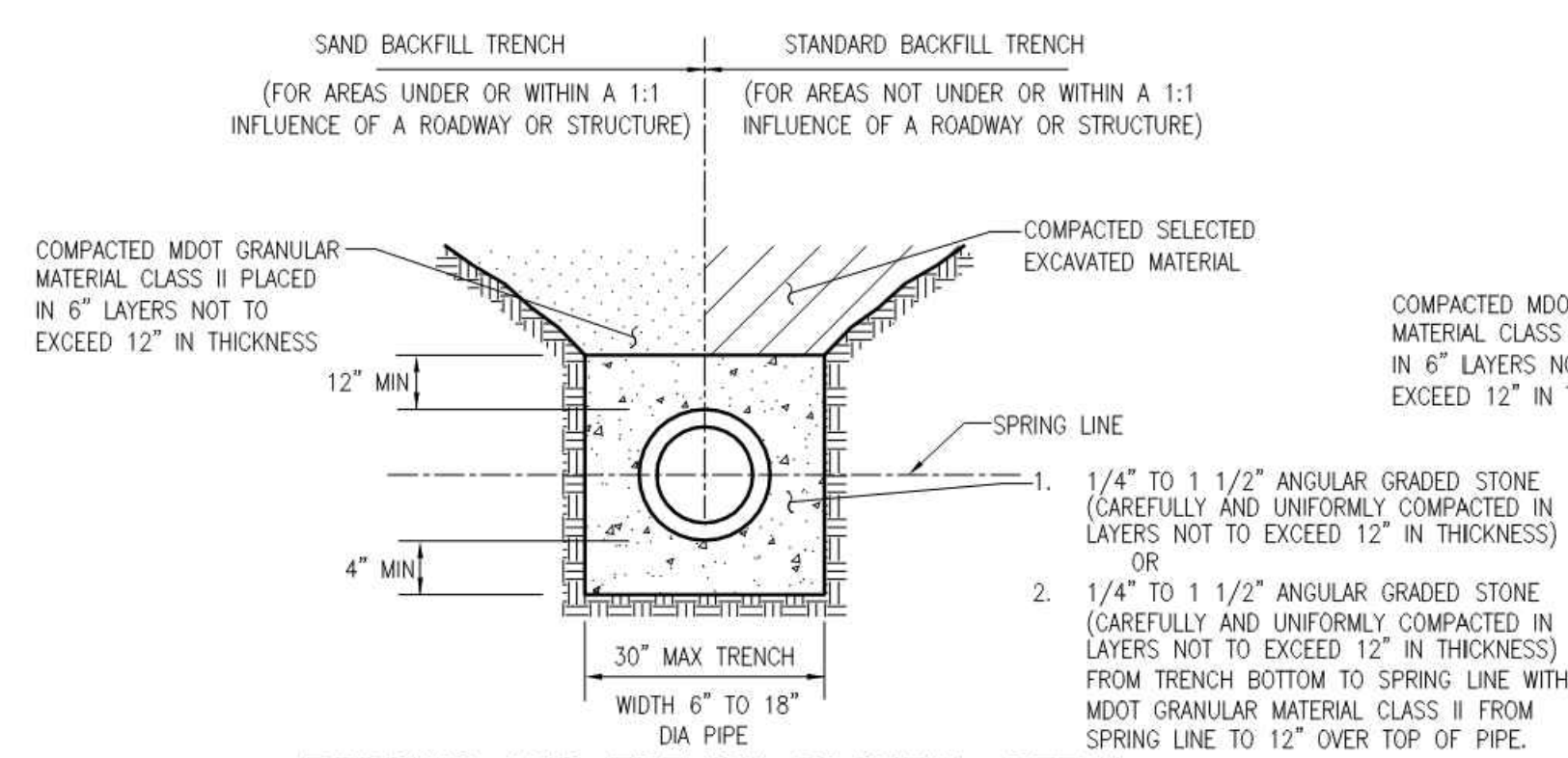


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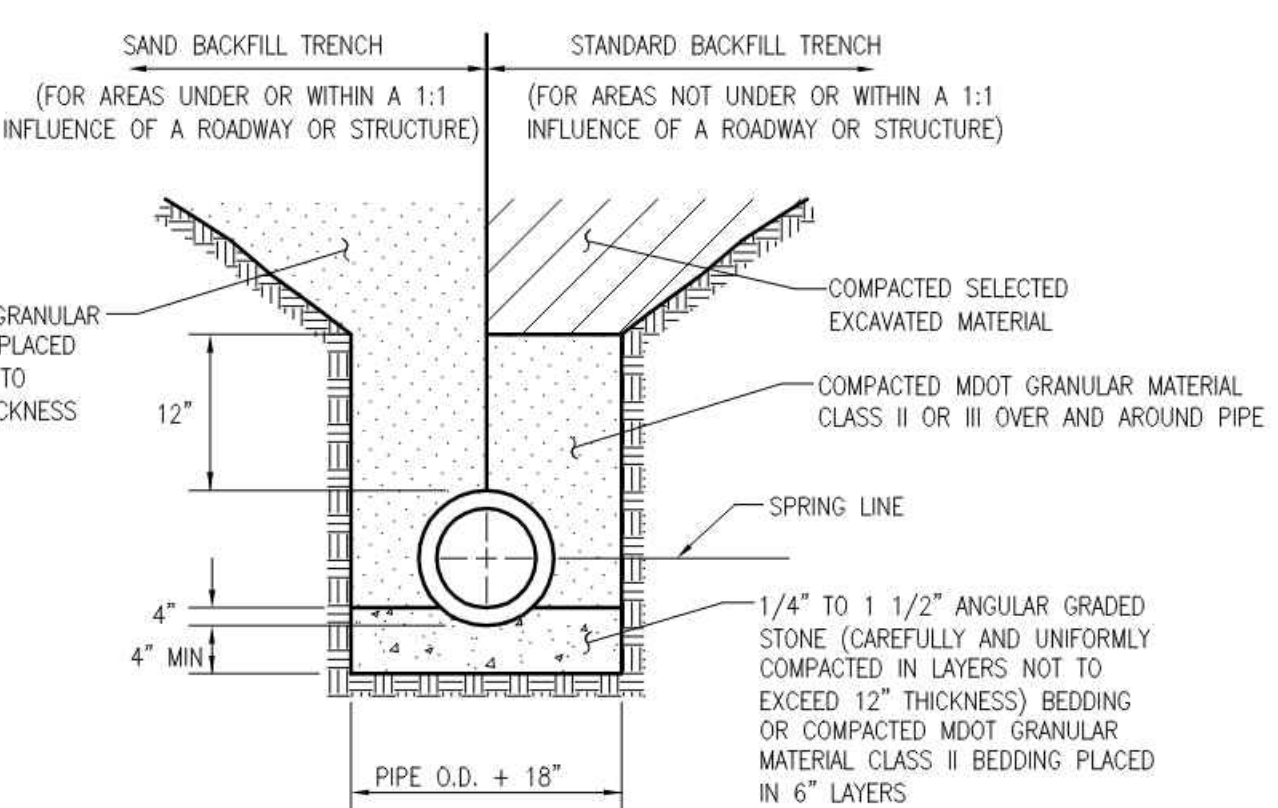
CHARTER TOWNSHIP OF SUPERIOR  
STANDARD STORM SEWER DETAILS

DATE	OCT 2003	CAD	DK	ENGR	DLG/JEL	PROJ	NO	SECTION	1	TOWN	WASHTENAW	COUNTY	WASHTENAW	CITY/TOWNSHIP	CHARTER TOWNSHIP OF SUPERIOR	SCALE	V: N/A H: NTS	JOB #	000-00-0000	REVISIONS
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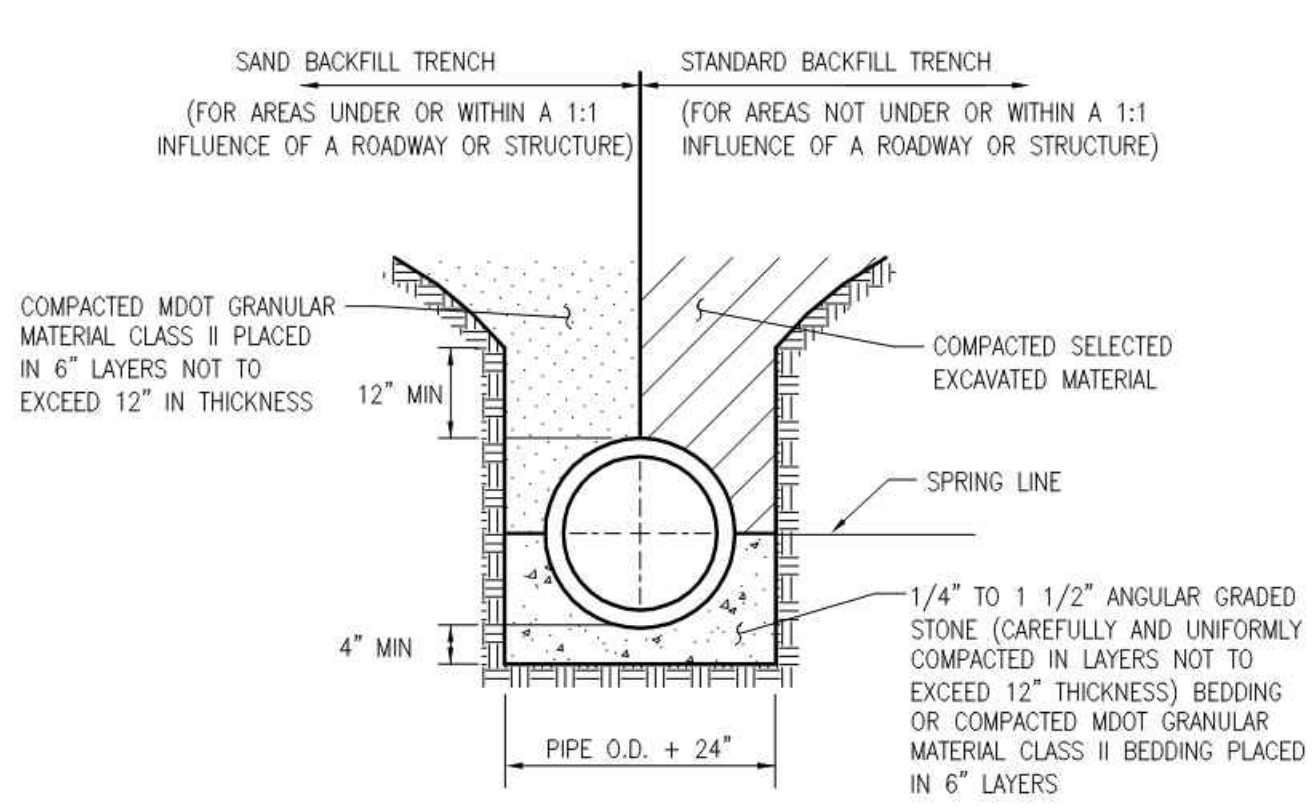
**CHARTER TOWNSHIP OF SUPERIOR  
STANDARD STORM SEWER DETAILS**



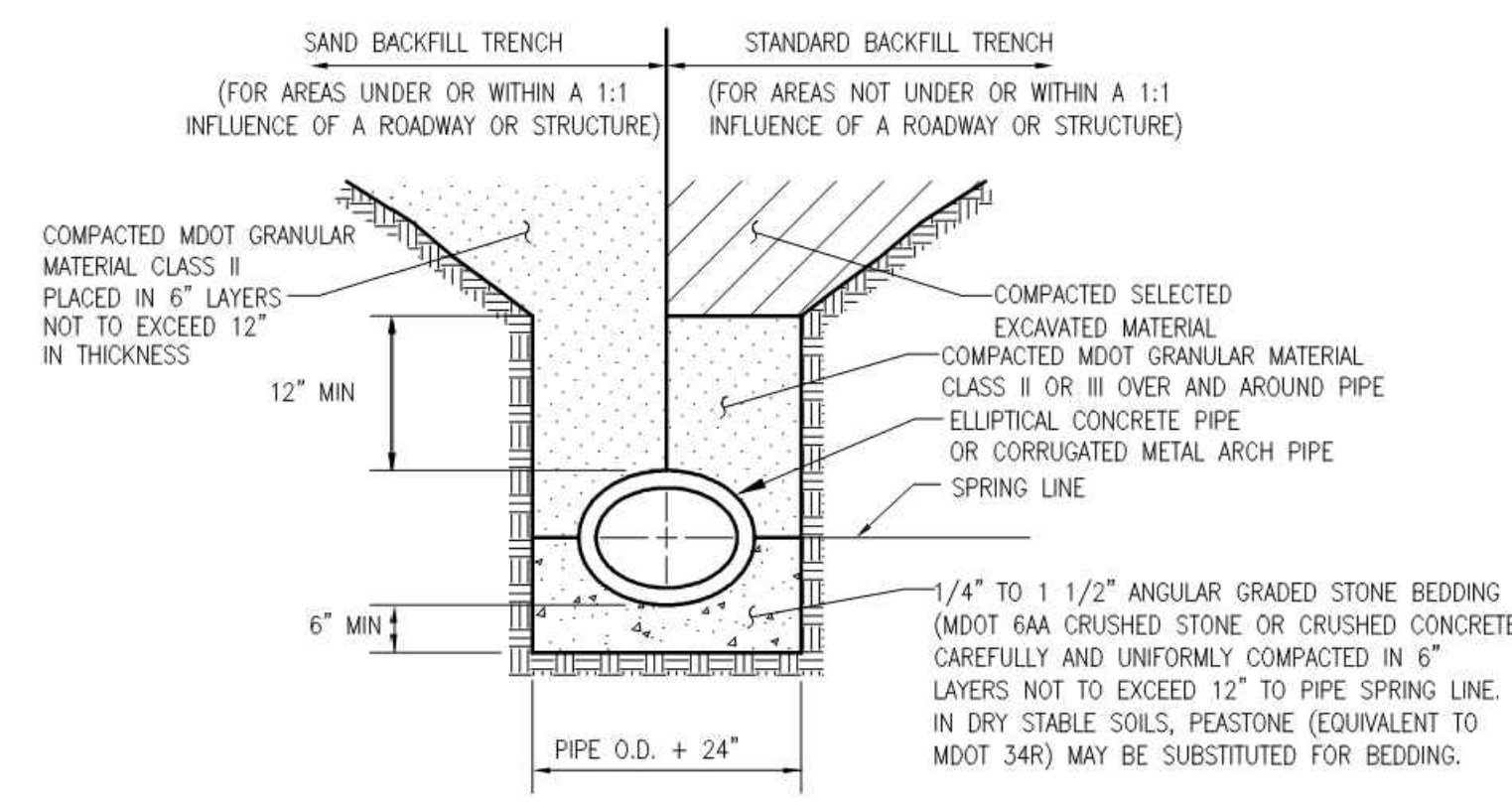
**BEDDING AND TRENCH BACKFILL DETAIL  
FOR 18" DIAMETER AND SMALLER PIPE  
(PVC SOLID WALL, AND TRUSS PIPE)**



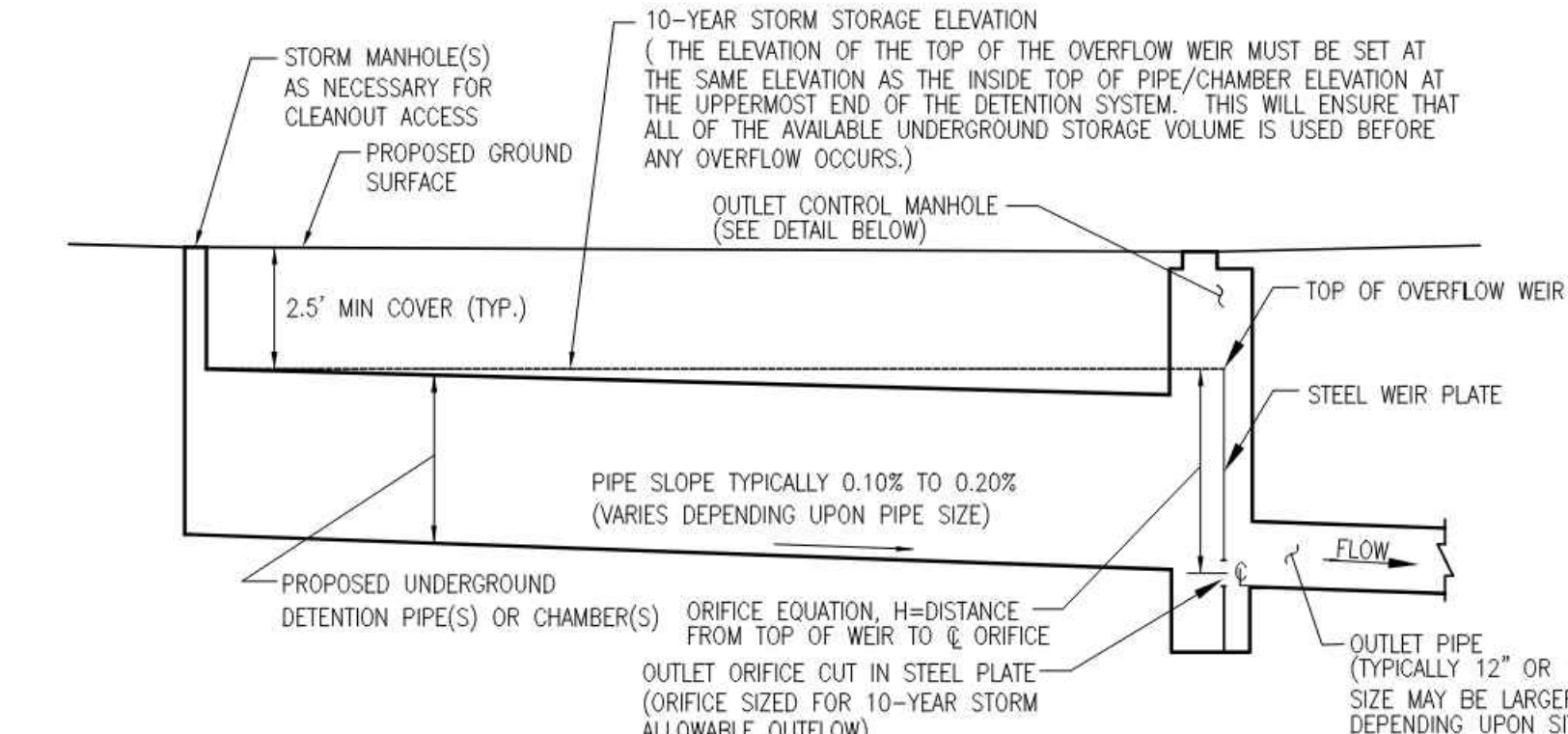
**BEDDING AND TRENCH BACKFILL DETAIL  
FOR 24" DIAMETER AND SMALLER PIPE**



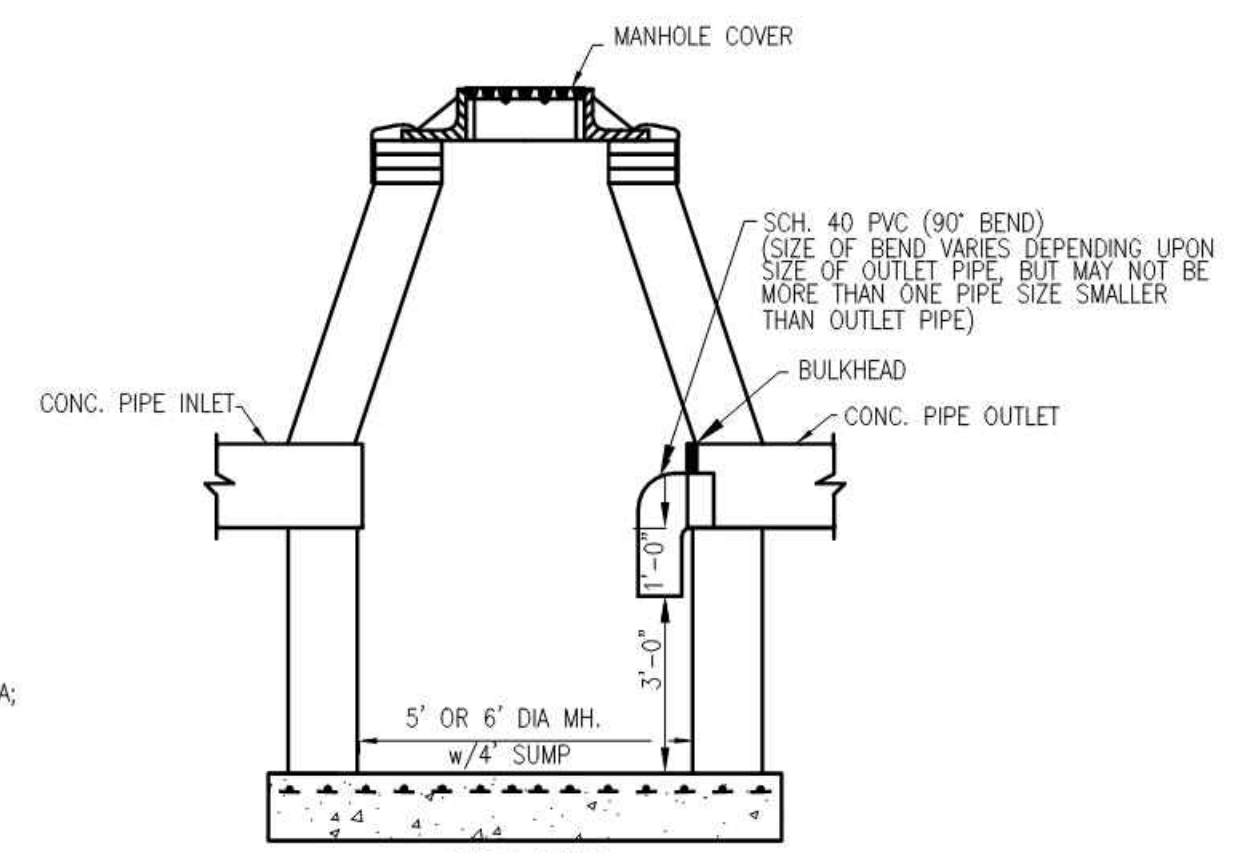
**BEDDING AND TRENCH BACKFILL DETAIL  
FOR 27" DIAMETER AND LARGER PIPE**



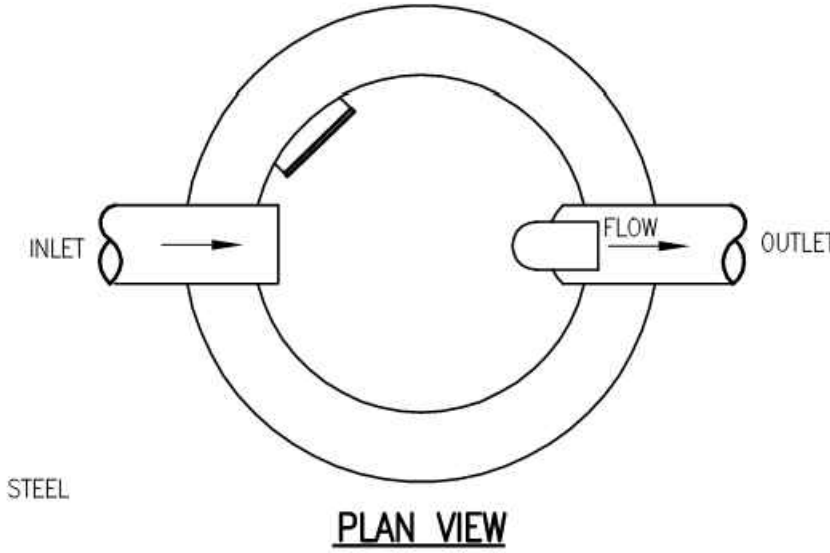
**BEDDING AND TRENCH BACKFILL DETAIL  
FOR ELLIPTICAL CONCRETE PIPE OR CORRUGATED METAL ARCH PIPE**



**DETECTION SYSTEM PROFILE**



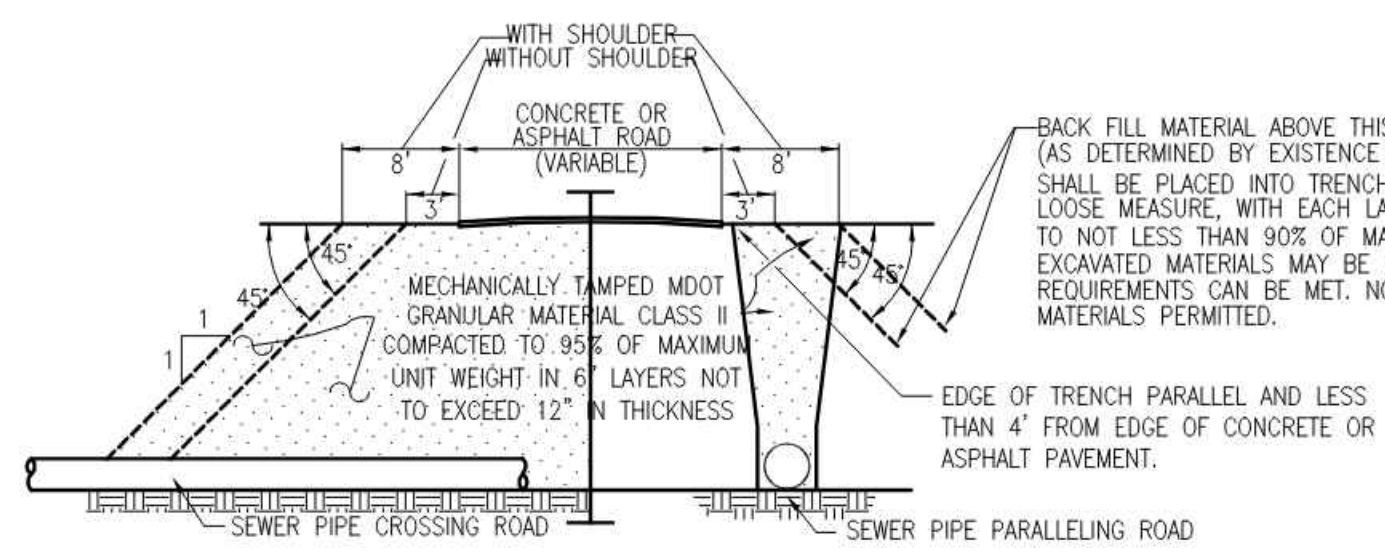
**SIDE VIEW**



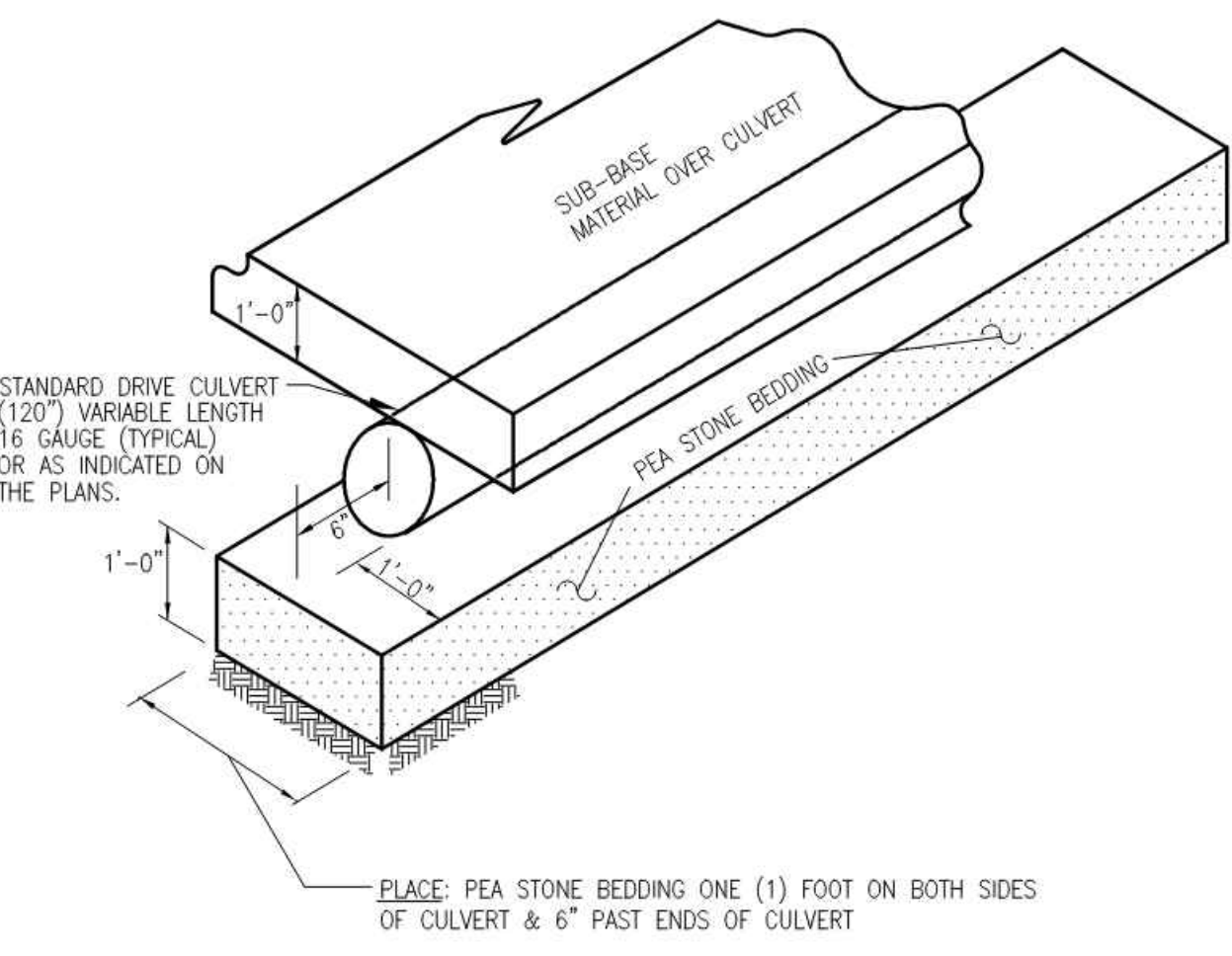
**PLAN VIEW**

**OIL/GAS SEPARATOR PLACEMENT DETAIL  
FOR 18" DIAMETER AND SMALLER OUTLET PIPE**

(FOR OUTLET PIPES LARGER THAN 18" IN DIAMETER, AN ALTERNATE DESIGN MUST BE APPROVED BY THE TOWNSHIP ENGINEER)



**SAND OR GRAVEL BACKFILL DETAILS FOR SEWERS  
UNDER CONCRETE OR ASPHALT PAVEMENTS,  
SIDEWALKS, DRIVEWAYS AND PARKING AREAS**



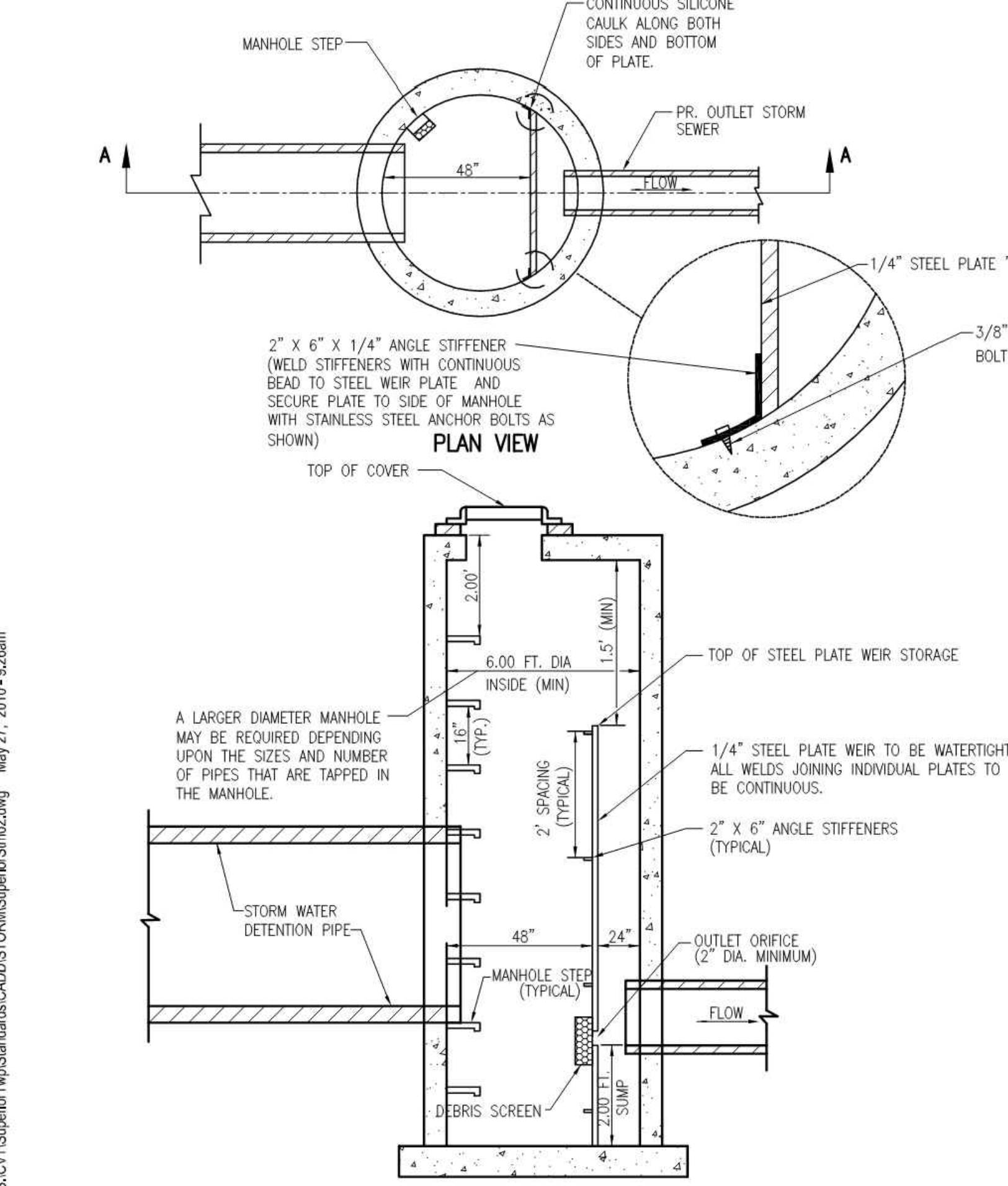
**DRIVE CULVERT BEDDING DETAIL**

**GENERAL NOTES FOR STORM SEWER CONSTRUCTION**

- PIPE BEDDING AND BACKFILLING:**  
BEDDING SHALL EXTEND A MINIMUM OF 4" BELOW PIPE, UNLESS OTHERWISE NOTED ON CONSTRUCTION PLANS. BEDDING SHALL BE OF GRADE. HOWEVER, IF THE EXISTING NATIVE SOILS MEET THE REQUIREMENTS FOR MDOT GRANULAR MATERIAL CLASS II (MINIMUM 4" THICK), THEN STORM STORM SEWER MAY BE LAID DIRECTLY ON COMPACTED NATIVE SUBGRADE SOILS.  
  
BACKFILL SHALL BE COMPACTED ABOVE PIPE OR AS INDICATED ON CONSTRUCTION DRAWINGS. TRENCH BACKFILL SHALL BE OF A SUITABLE MATERIAL AND SHALL BE FREE OF ANY ORGANIC MATERIALS AND ROCKS LARGER THAN 3" IN SIZE. BACKFILL SHALL BE RAMPED INTO TRENCH AND COMPACTED WITH A SMALL DOZER OR OTHER APPROVED METHODS. WHERE TRENCH IS WITHIN A 1:1 INFLUENCE OF STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS AND PARKING AREAS, SAND BACKFILL SHALL BE USED WHICH SHALL CONSIST OF MDOT GRANULAR MATERIAL CLASS II OR III COMPACTED IN 6" LAYERS NOT TO EXCEED 12" TO A DENSITY OF 95% AS DETERMINED BY AASHTO T99. ALL BACKFILL PLACED WITHIN A 1:1 INFLUENCE OF STRUCTURES SHALL BE APPROVED SAND, PLACED IN 1" LAYERS AND COMPACTED. NO FROZEN MATERIAL SHALL BE BURIED MORE THAN 4" BELOW THE FINAL ELEVATION OF THE GROUND.  
  
TRENCHES WHICH ARE TO BE LEFT OPEN OVERNIGHT SHALL BE ENCLOSED WITH SUITABLE FENCING AND LIGHTED BARRICADES, UNLESS OTHERWISE APPROVED BY THE TOWNSHIP.
- SUMP PUMP LEAD REQUIREMENTS:**  
  
ALL SUMP PUMP LEADS CONNECTED TO A DRAIN SHALL BE PRE-MANUFACTURED.  
  
SUMP PUMP MAINS AND LEADS SHALL BE A SDR 35, NON-PERFORATED, SOLID WALL, PVC, ARMO CO TRUSS PIPE, OR APPROVED EQUAL, WITH PREMIUM JOINTS.  
  
TAPS TO 12" STORM SEWER SHALL BE MADE WITH A FERROE EZ TAP OR APPROVED EQUAL TAPS TO OTHER SIZE STORM SEWER SHALL BE MADE WITH A ROMAC SADDLE, KOR-N-TEE LATERAL CONNECTOR FOR CONCRETE PIPE, OR APPROVED EQUAL.  
  
ENDS OF ALL 4" SUMP PUMP LEADS SHALL BE TEMPORARILY CAPPED AND THEIR LOCATION STAKED, WITNESSED AND RECORDED.  
  
ALL SUMP PUMP LEADS TO BE TAKEN TO THE PROPERTY LINE, EASEMENT LINE OR AS INDICATED ON THE PLAN.  
  
SUMP PUMP CLEANOUTS SHALL BE A MINIMUM INSIDE DIAMETER OF 24" AND BE CONSTRUCTED AT CHANGES OF ALIGNMENT, ENDS OF SUMP PUMP MAINS OR AS INDICATED ON THE PLAN.
- RESTORATION REQUIREMENTS:**  
  
ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE RESTORED AS FOLLOWS, UNLESS OTHERWISE NOTED ON CONSTRUCTION DRAWINGS:  
  
FINISH GRADE  
  
PLACE 3" THICKNESS OF "QUALITY" TOPSOIL ACCEPTABLE TO THE ENGINEER.  
  
APPLY SOD OR SEED AND FERTILIZER AS FOLLOWS:

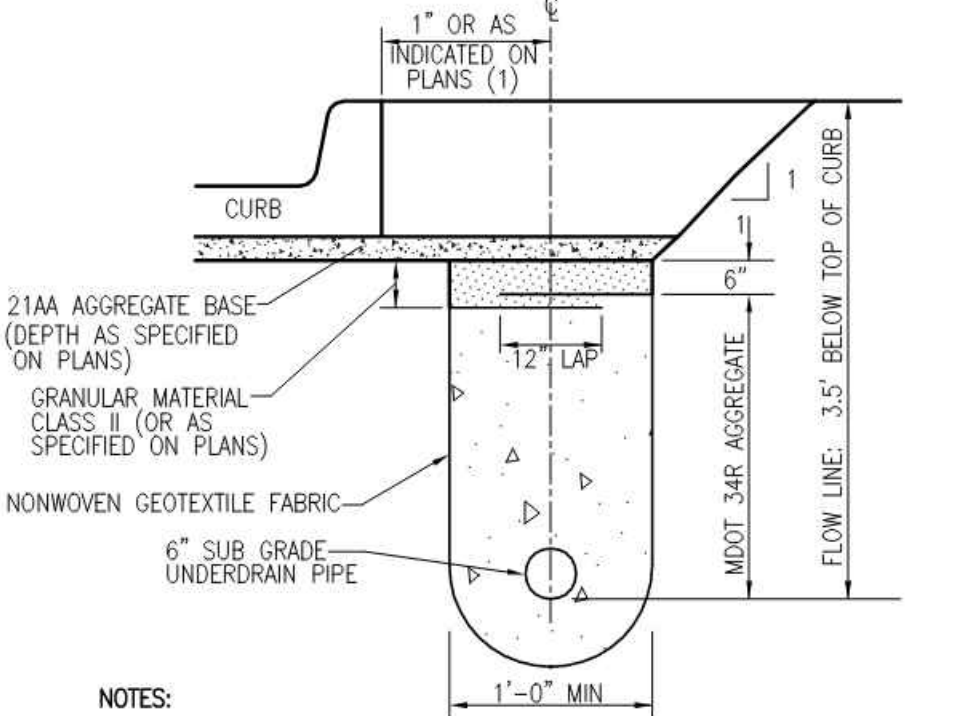
LOCATION	SODDING/ SEEDING REQUIREMENTS	FERTILIZER REQUIREMENT
SLOPES & DITCH BANKS, ETC.	MDOT "ROADSIDE" MIX (50% PERENNIAL RYE, 15% KENTUCKY BLUE, 35% RED FESCUE) APPLIED AT 100 LBS/ACRE	240 LBS/ACRE OF CHEMICAL FERTILIZER NUTRIENTS IN EQUAL PROPORTIONS OF NITROGEN, PHOSPHORIC ACID AND POTASH. (MUST BE A SLOW-RELEASE FERTILIZATION)
OTHER AREAS	MDOT "CLASS A" MIX (30% PERENNIAL RYE, 30% KENTUCKY BLUE, 40% RED FESCUE) APPLIED AT 100 LBS/ACRE	240 LBS/ACRE OF CHEMICAL FERTILIZER NUTRIENTS IN EQUAL PROPORTIONS OF NITROGEN, PHOSPHORIC ACID AND POTASH. (MUST BE A SLOW-RELEASE FERTILIZATION)
DITCH BOTTOMS, SLOPES EXCEEDING 3:1, AND AT STRUCTURES	3" TOPSOIL WITH CLASS A SOD	

APPLY STRAW MULCH AT THE RATE OF 2-3 BALES/1000 SQUARE FEET.  
  
THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THE GROWTH OF ALL SEEDED AREAS, AND SHALL RE-SEED AS NECESSARY TO ACCOMPLISH THIS.



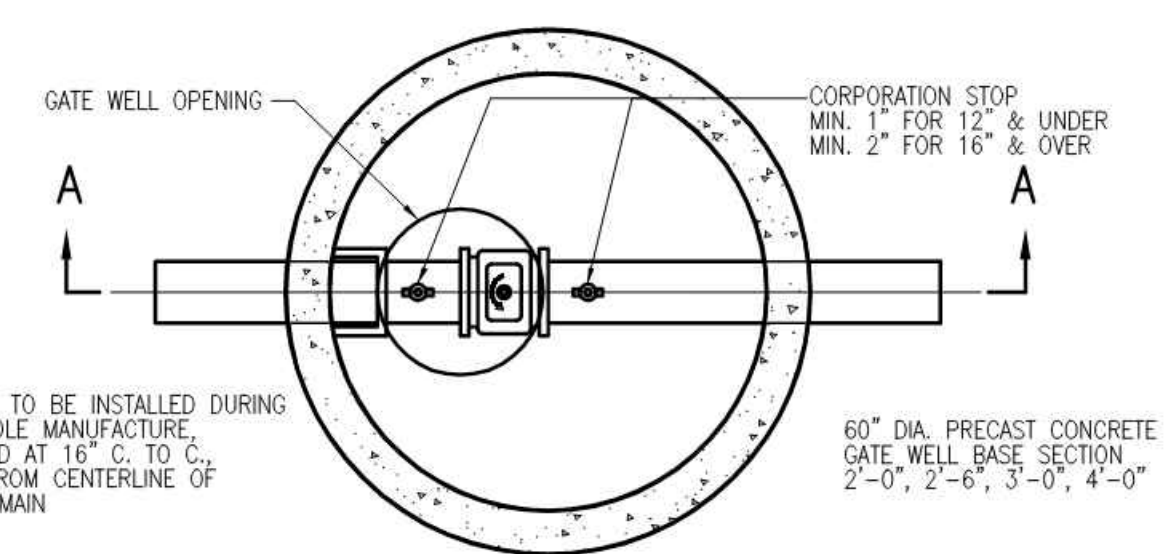
**SECTION A-A  
6 FT. DIA OUTLET MANHOLE**

**TYPICAL UNDERGROUND DETENTION AND OUTLET MANHOLE DETAILS**

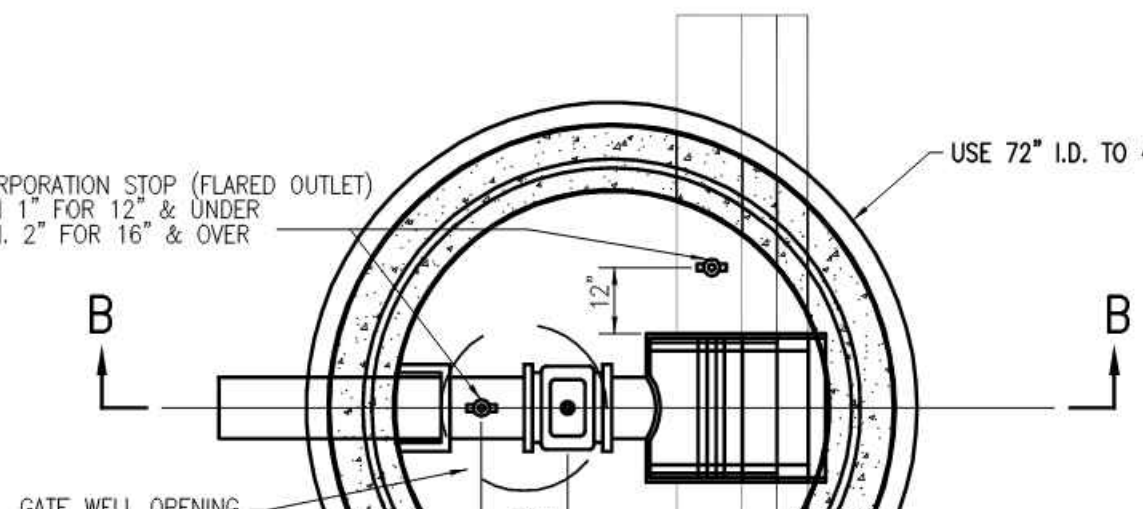


**SUBGRADE UNDERDRAIN, 6"**

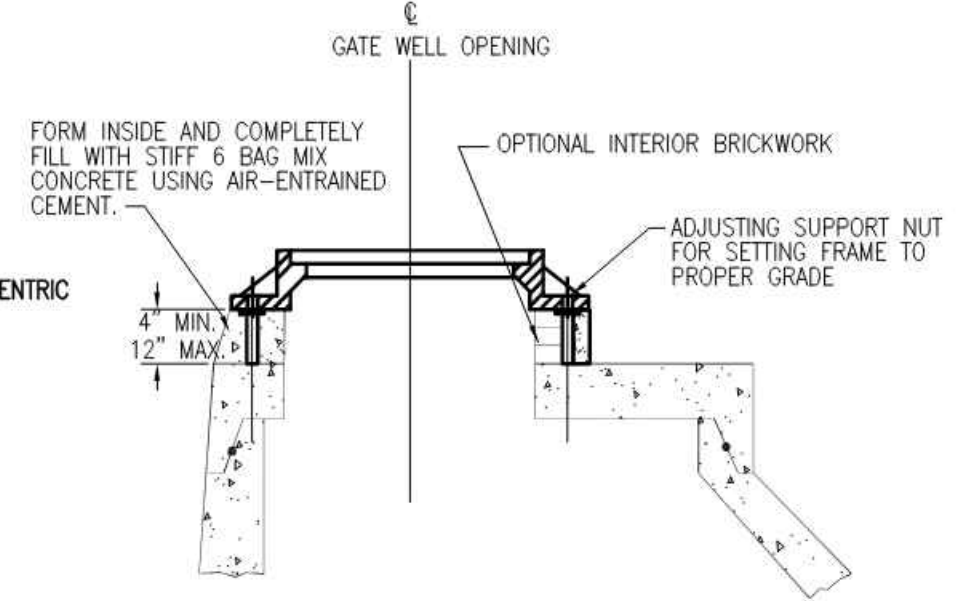
- NOTES:
- LOCATION MAY BE ADJUSTED IN THE FIELD BY THE ENGINEER.
  - ALL UNDERDRAIN SHALL BE APPROVED PLASTIC PIPE. METAL PIPE SHALL NOT BE USED.
  - ALL UNDERDRAIN SHALL OUTLET TO DRAINAGE STRUCTURE.
  - UNDERDRAIN CONNECTIONS (AT LOW POINTS) SHALL BE MADE AS CLOSE TO THE STRUCTURE INVERT AS PRACTICAL, WITH A SPIRAL WRAP OF THE STRUCTURE USED TO MAKE THE TRANSITION FROM THE REQUIRED FLOW LINE DEPTH TO STRUCTURE INVERT.



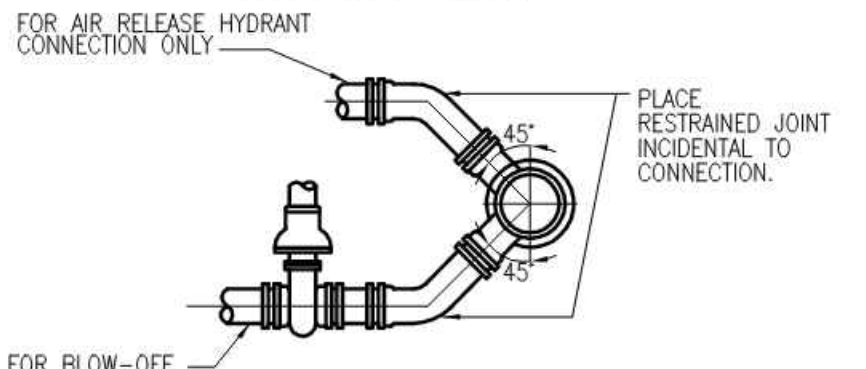
PLAN GATE WELL TYPICAL



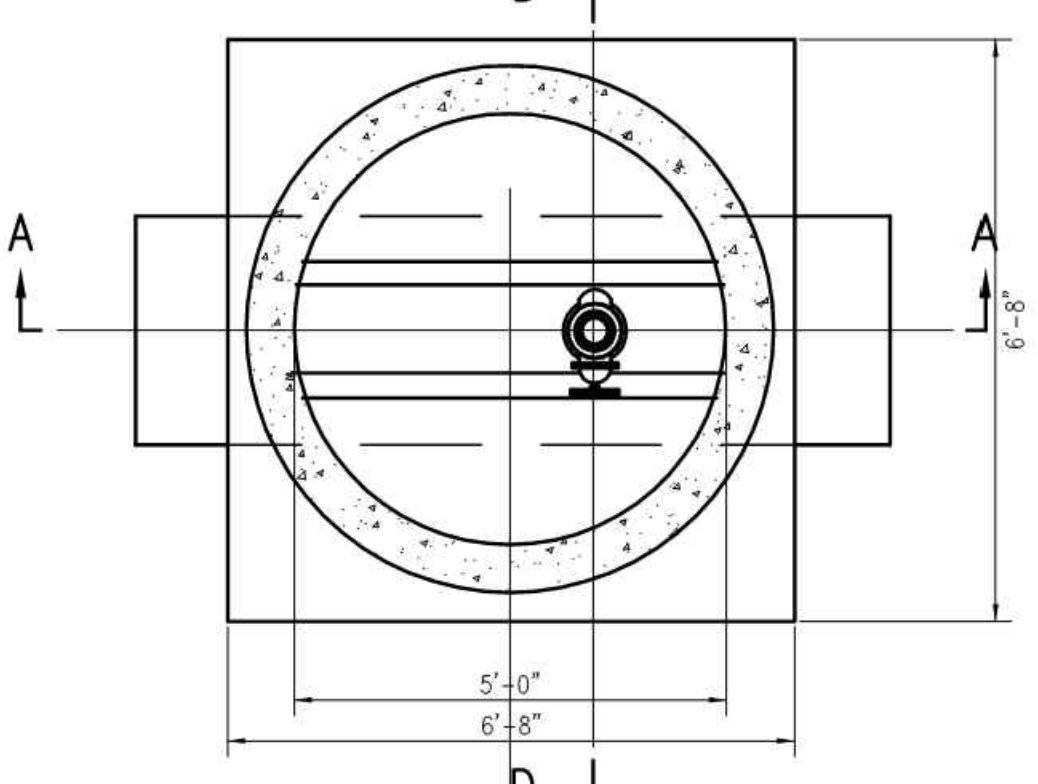
TAPPING SLEEVE VALVE & WELL TYPICAL



GATE WELL TOPS WITH PAVEMENT AREAS

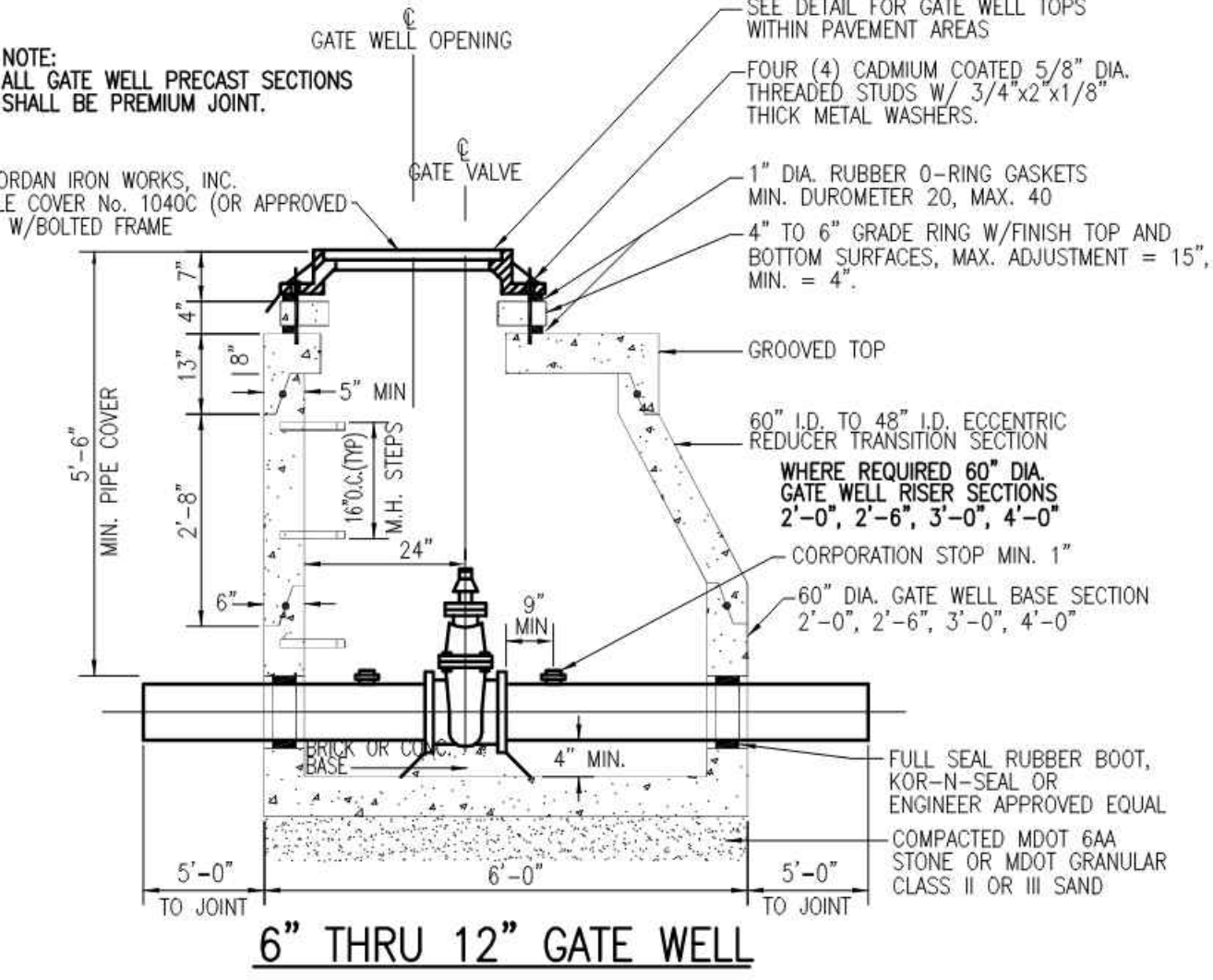


AIR RELEASE AND BLOW-OFF CONNECTION

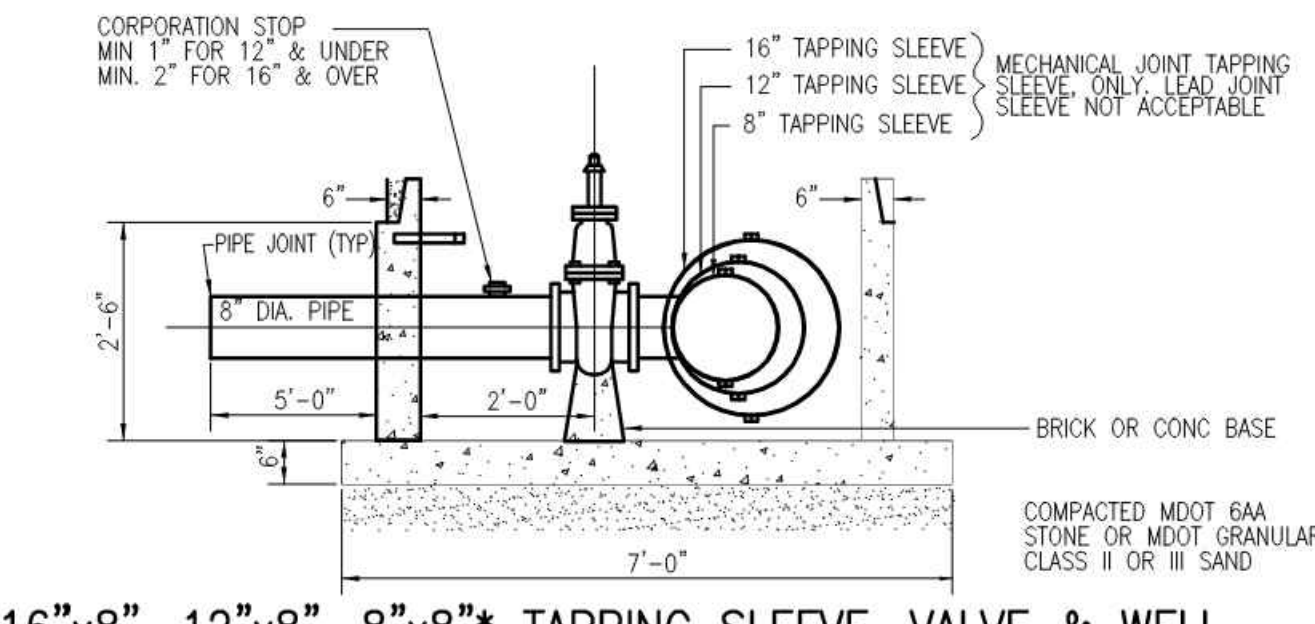


STANDARD AIR RELEASE & WELL FOR 16" & 20" WATER MAIN

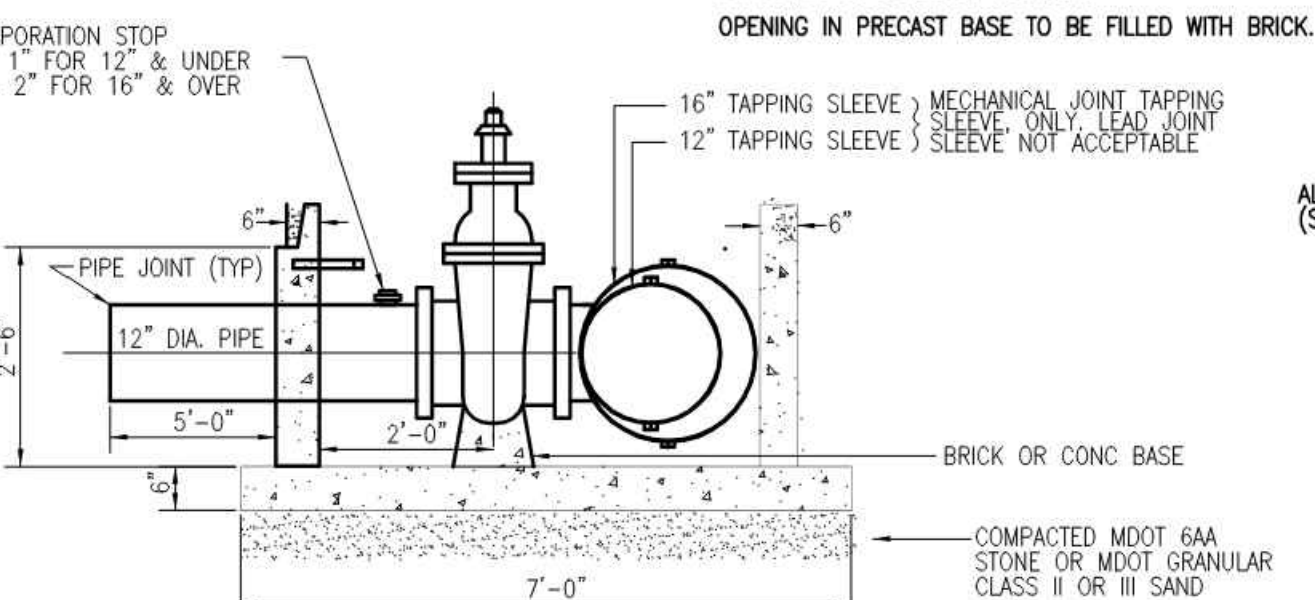
NOTES:  
 ALL AIR RELEASE WELLS SHALL BE PRECAST STRUCTURES.  
 ALL AIR RELEASE VALVES SHALL BE AUTOMATIC.



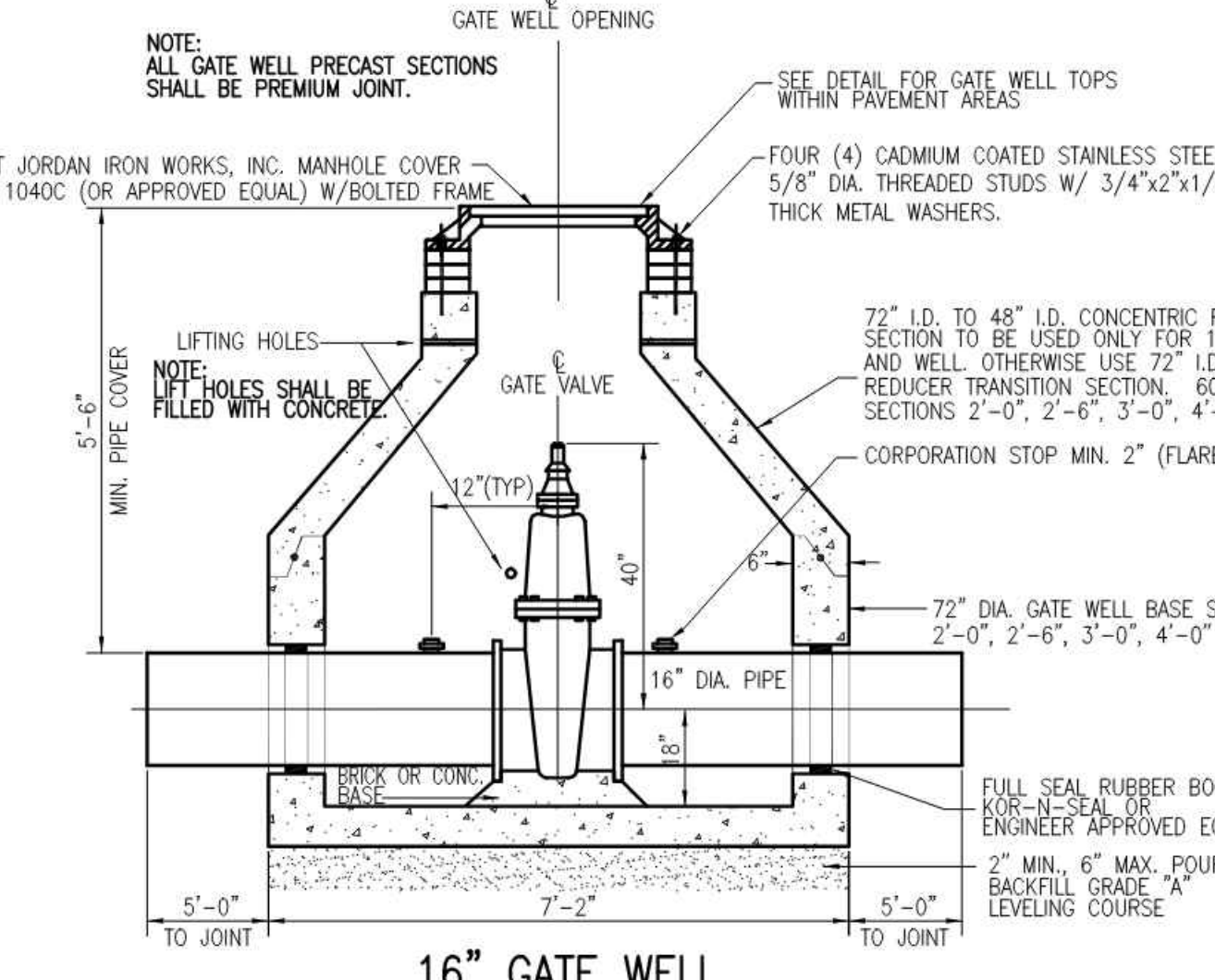
6" THRU 12" GATE WELL



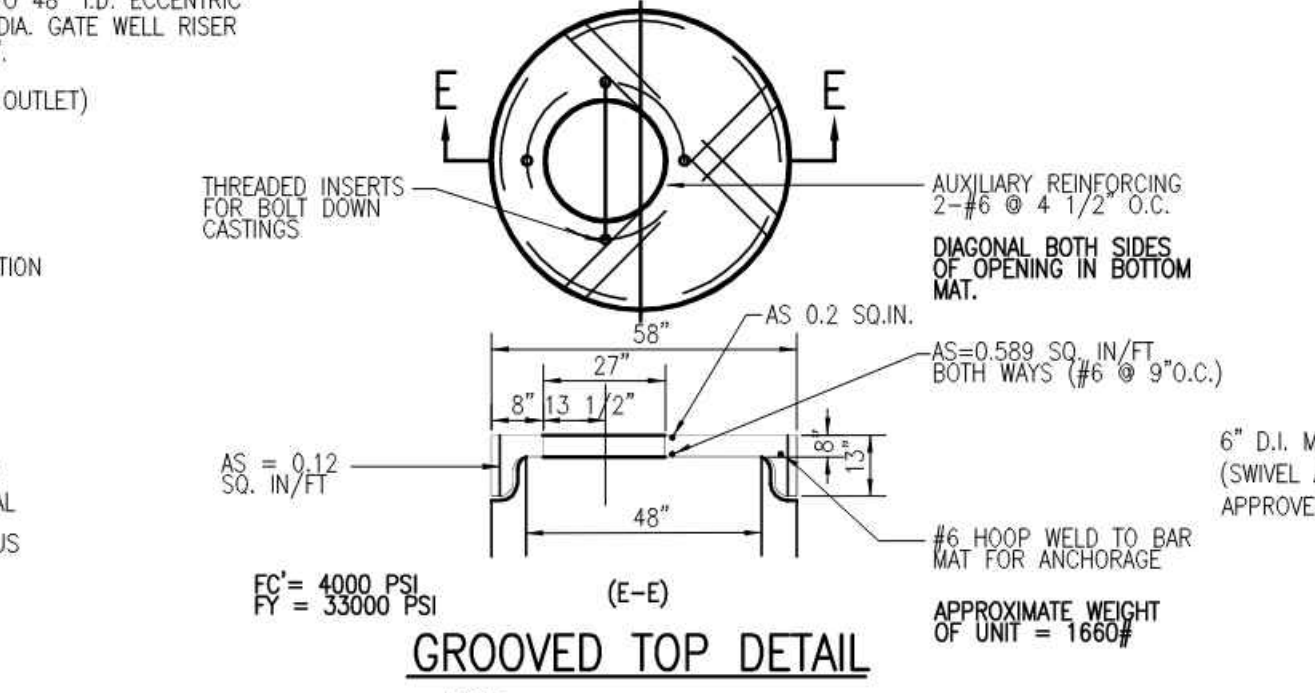
16"x8", 12"x8", 8"x8" TAPPING SLEEVE, VALVE & WELL



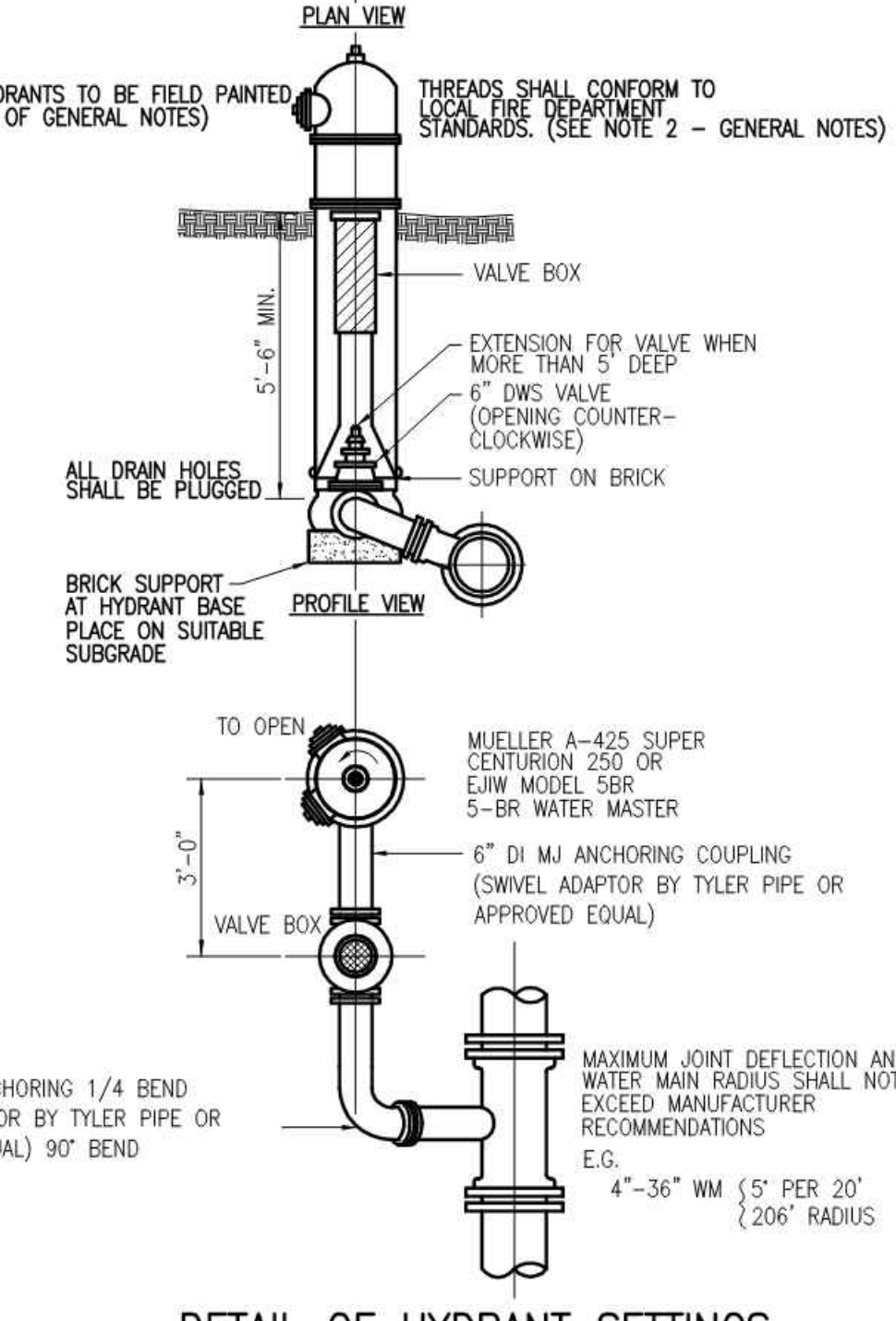
16"x12", 12"x12" TAPPING SLEEVE, VALVE & WELL



16" GATE WELL



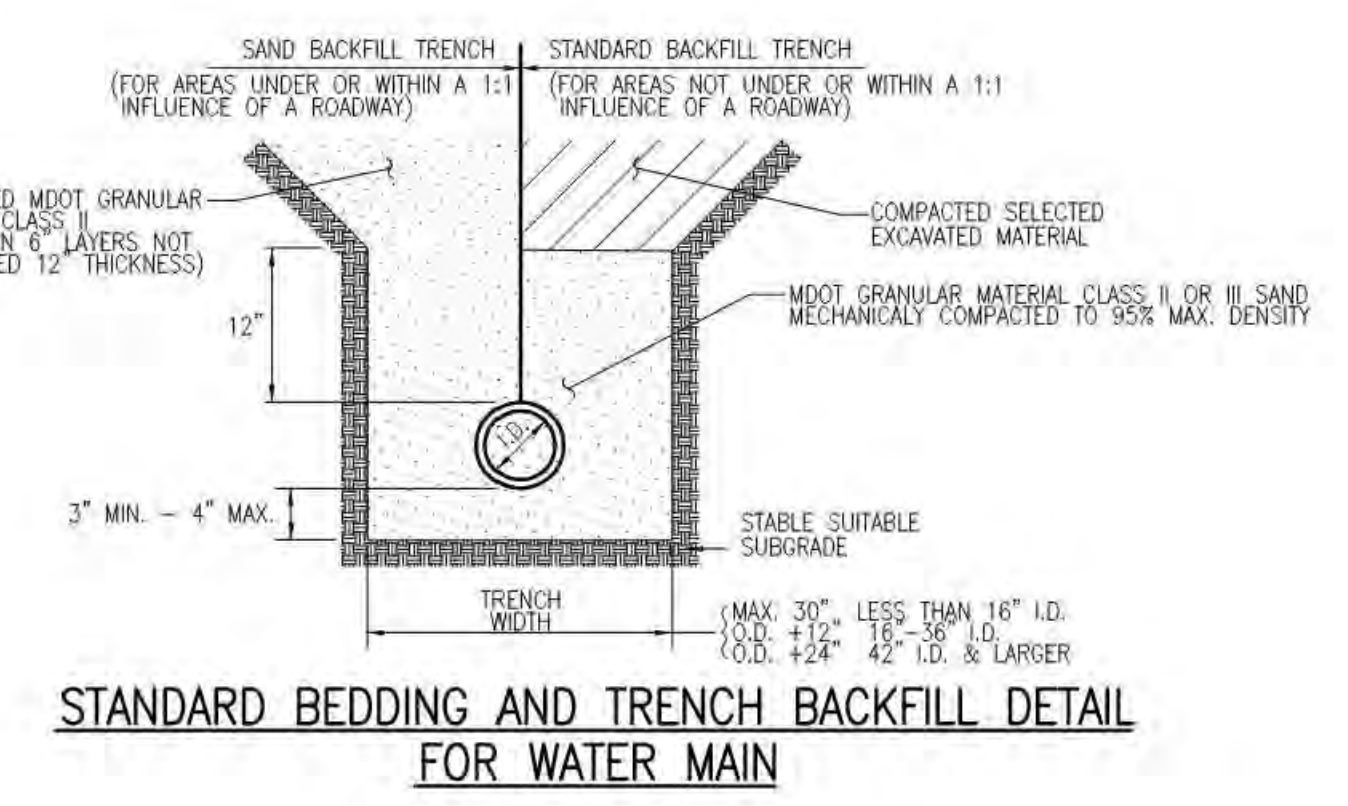
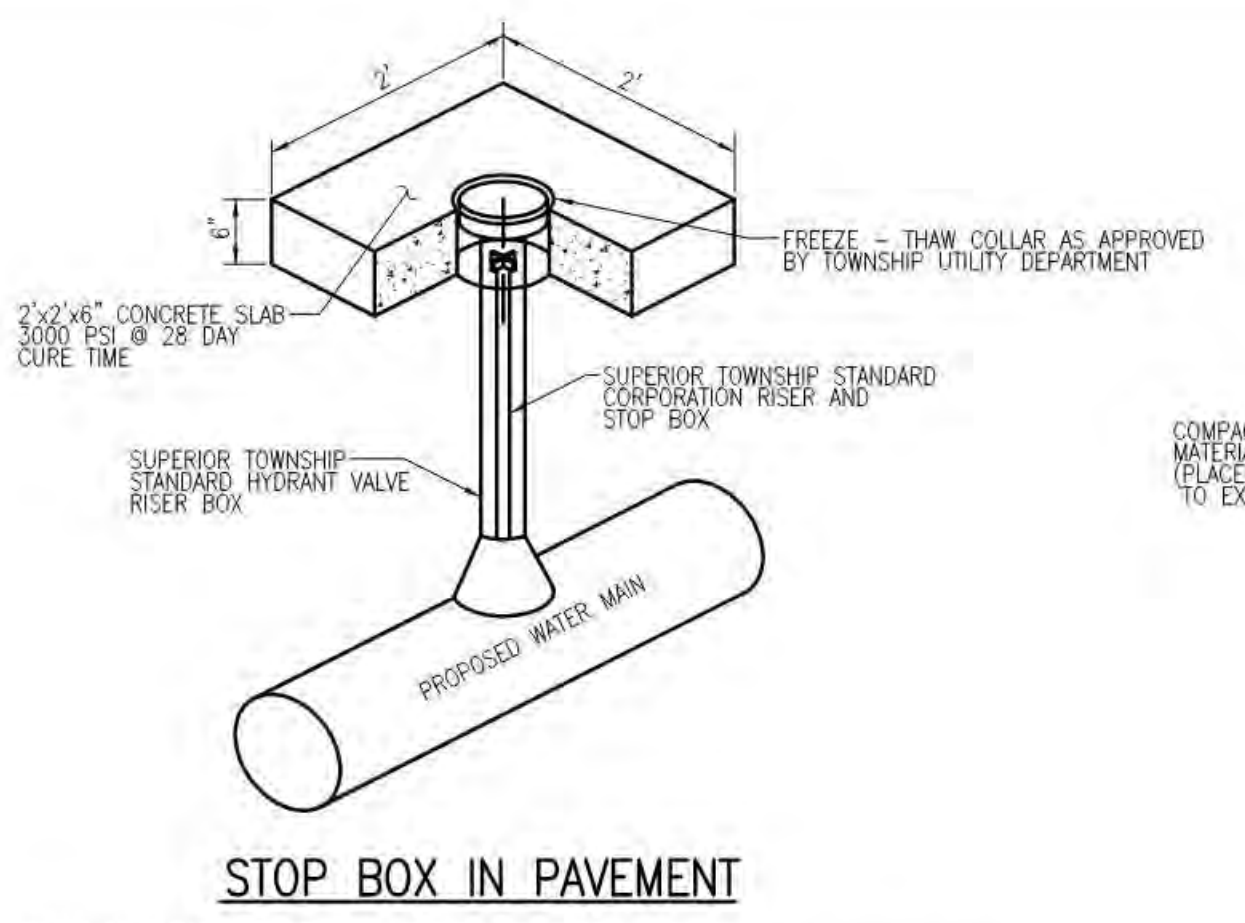
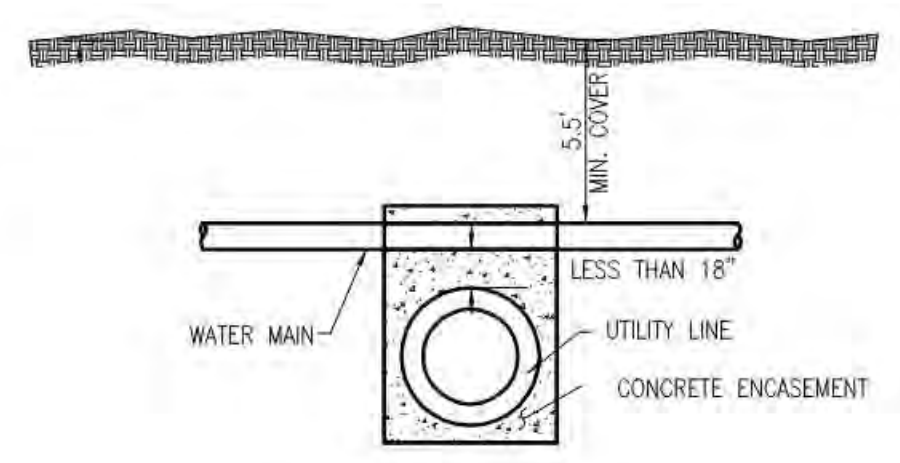
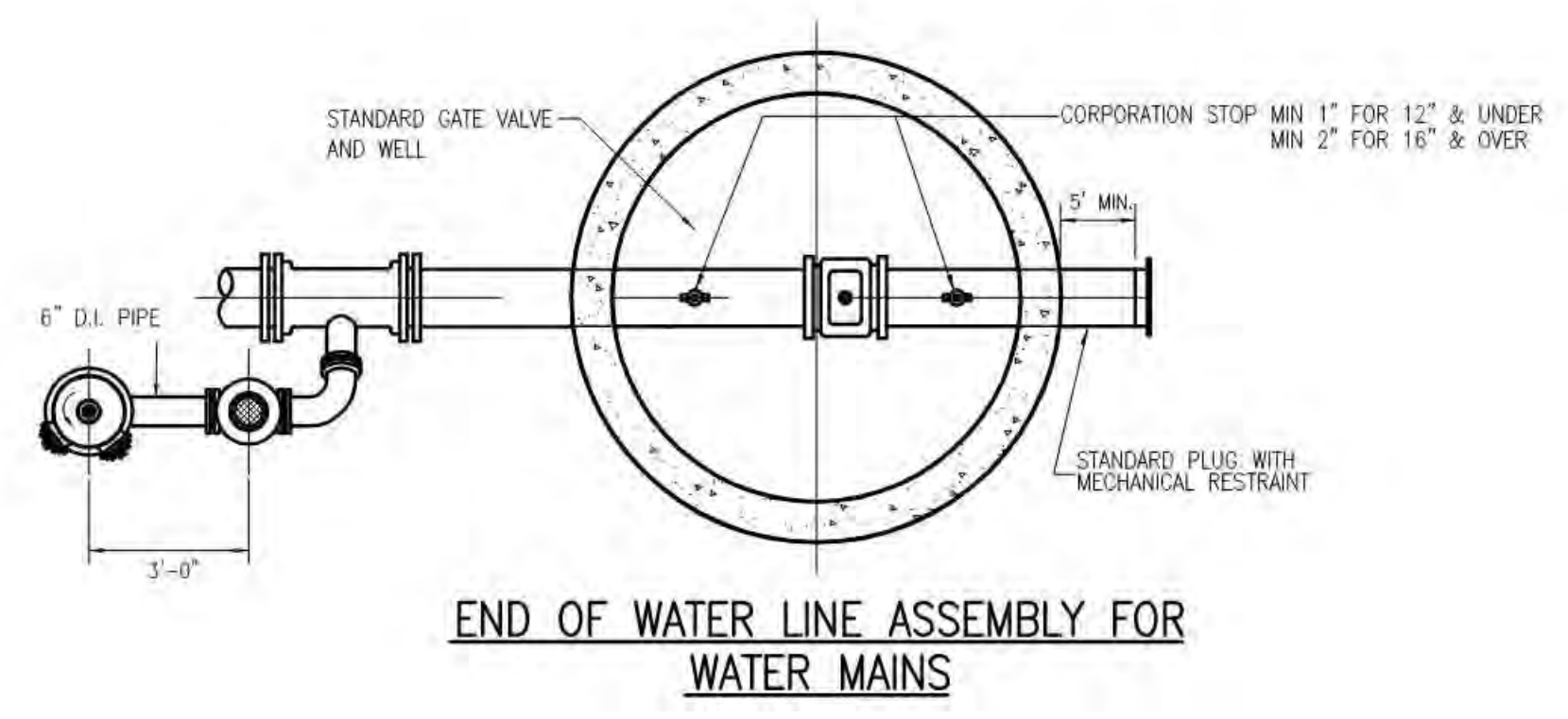
GROOVED TOP DETAIL



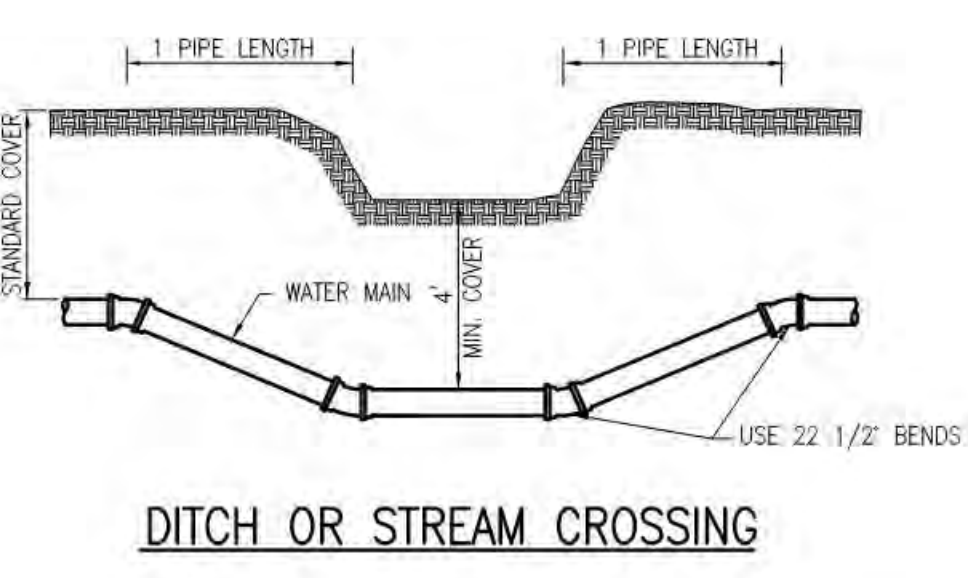
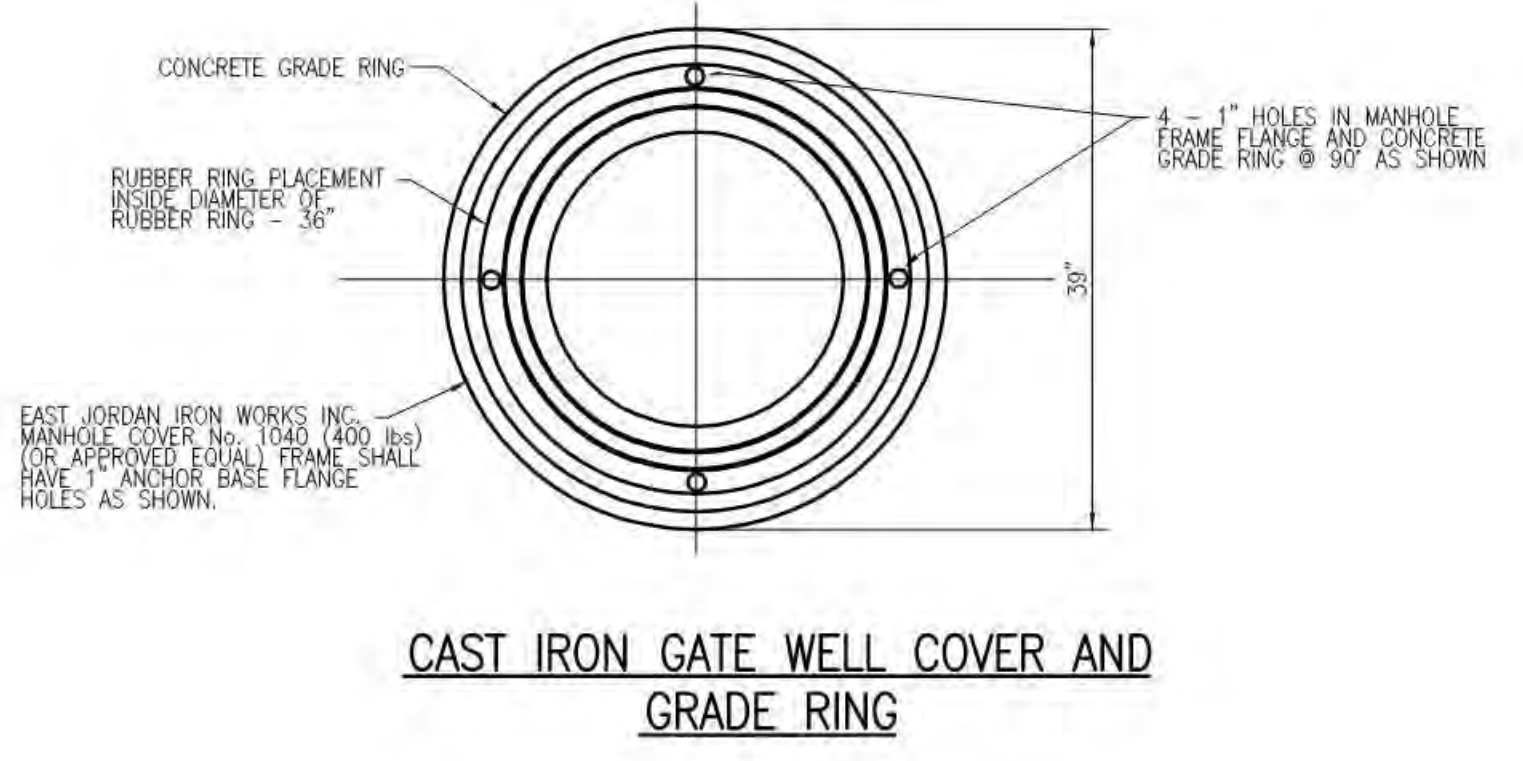
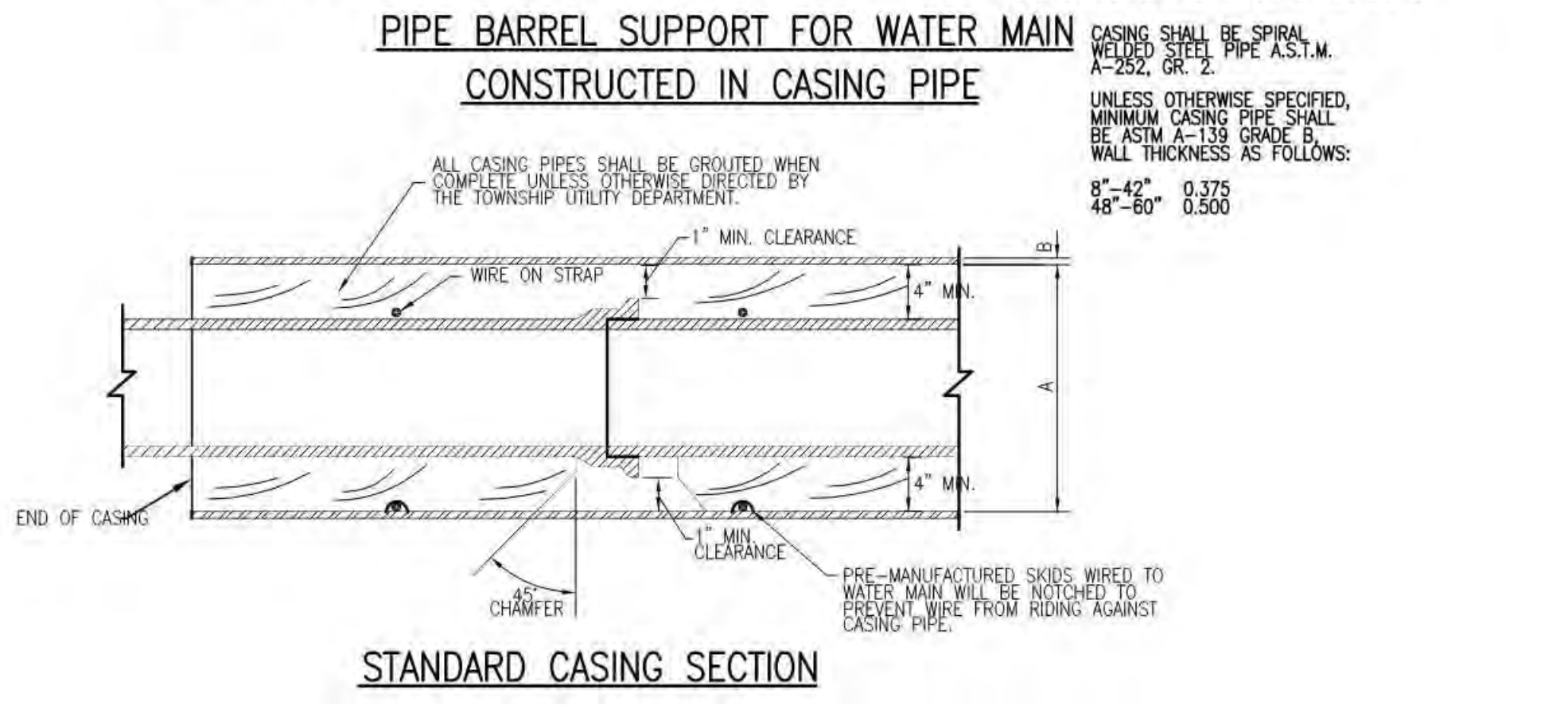
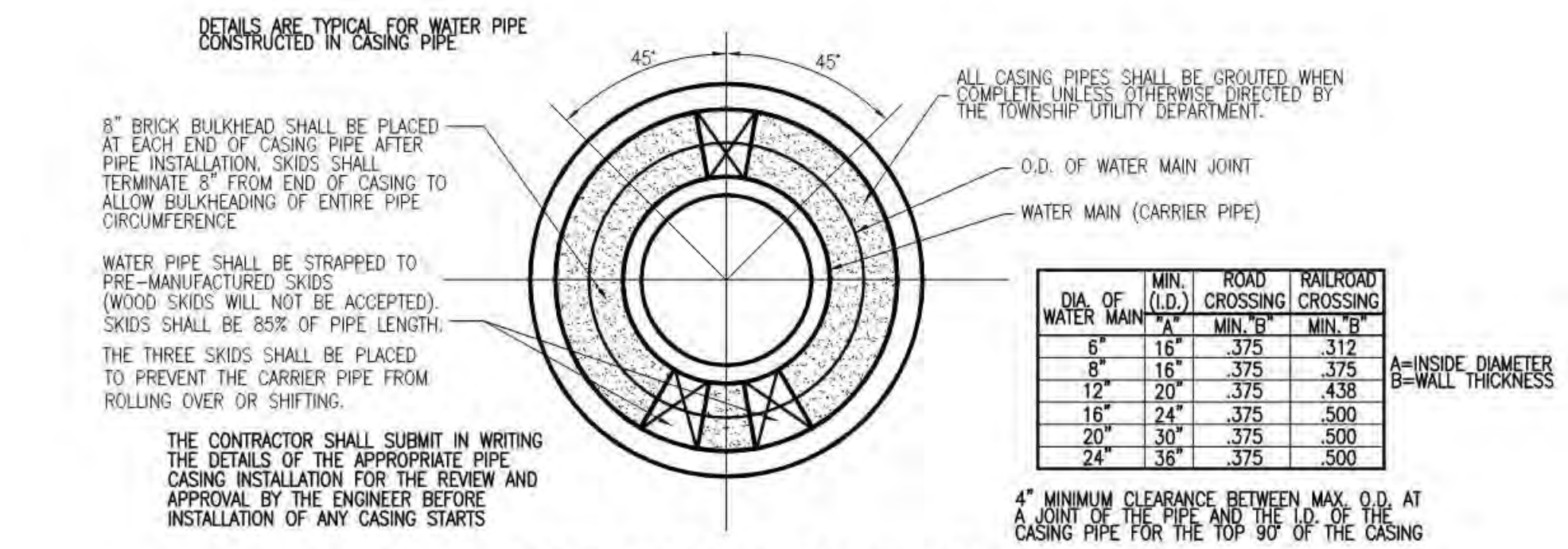
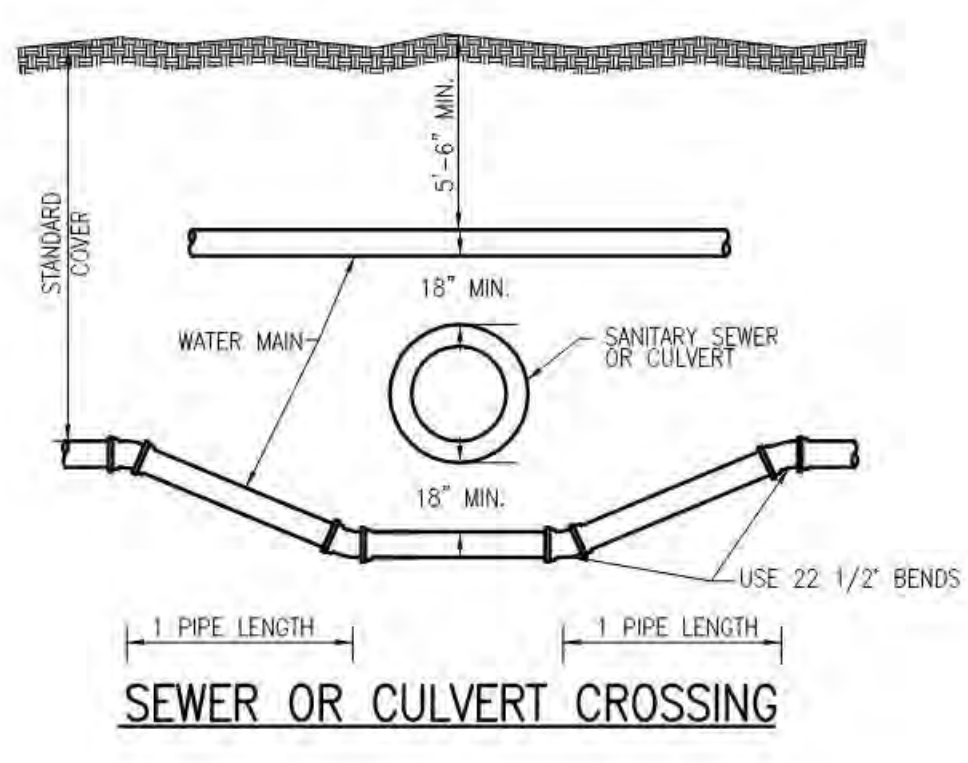
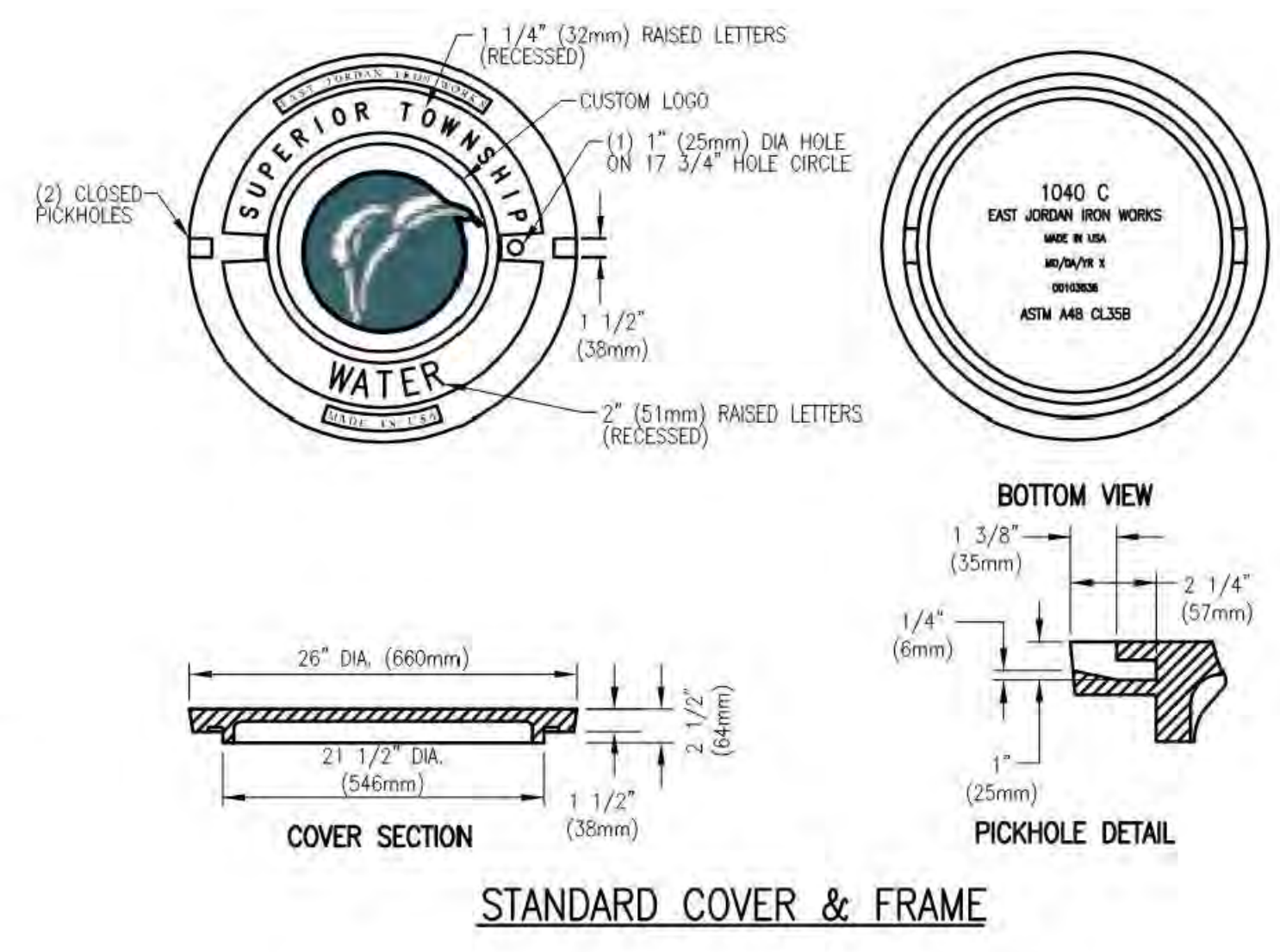
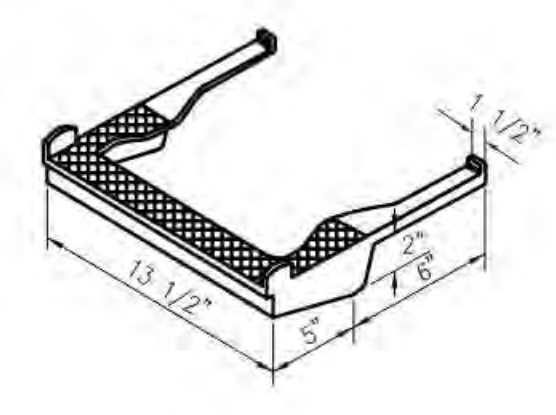
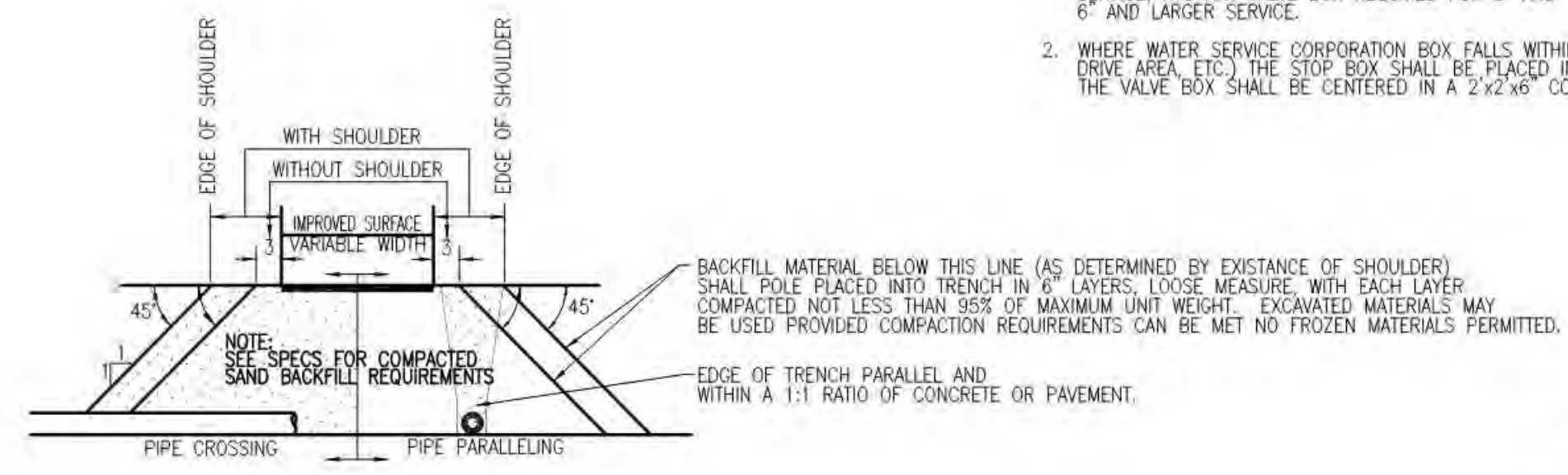
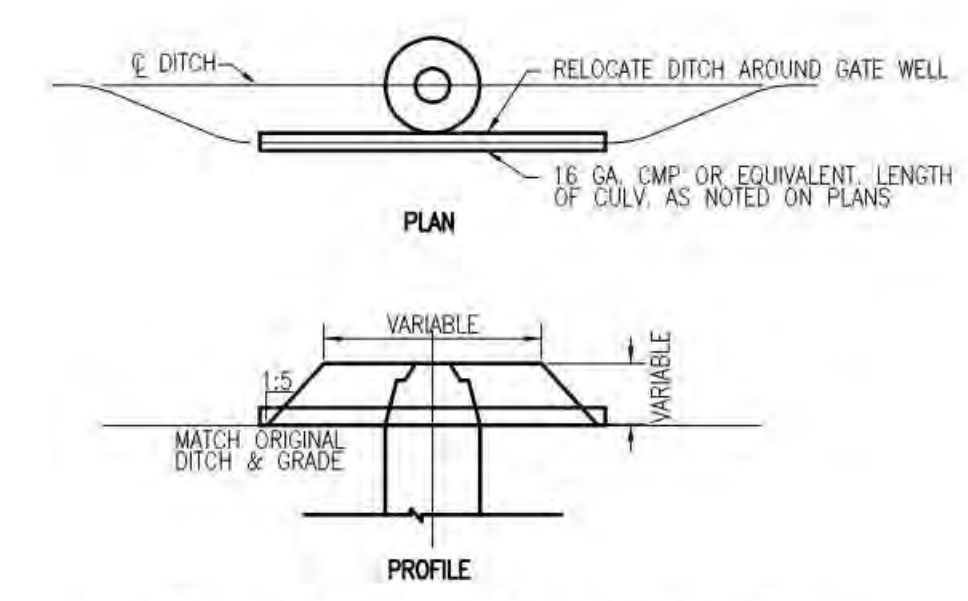
DETAIL OF HYDRANT SETTINGS

- WATER MAIN NOTES**
- All construction procedures and materials used on all water main projects shall conform to Ypsilanti Community Utilities Authority (Y.C.U.A.), Detroit Water System Department (D.W.S.D.), and the Charter Township of Superior current Standards and Specifications.
  - All hydrants shall be Mueller A-425-Super-Centurion 250 or E.J.L.W. 5-BR Water Master and shall conform to AWWA current standards and shall have a 5 1/4" valve opening which closes with the water pressure. Hydrants shall be traffic style with breakable flange and coupling. Hydrants shall have a swivel flange to allow bonnet to be turned 360 degrees without removing the bonnet and barrel flanges shall be integrally cast with the barrel. Inlet shoe shall have a bronze valve seat, which can be removed without digging. Inlet connection shall be 6" mechanical joint, ASA-A21-11. Stem threads shall be sealed with double "O" rings and shall be permanently lubricated with oil weather grease. Hose connections: Two (2) 4 1/2" pumper nozzles facing the centerline of the road unless otherwise directed by the Township. Pumper connections shall have: National Standard Threads on one pumper connection (4 1/2" I.D., 4 threads per inch, 5.389 minor dia., 5.761 major dia., 5.586 pitch dia.) and Storz Fitting on the other pumper connection (R/S Manufacturing). Operating Nut: (1) 1 1/2" P-F pentagon, open left. Drain holes in hydrant shall be plugged and watertight. Hydrants shall be painted red above the ground and black below. All hydrants shall be constructed with companion valve in a three piece pipe adjustable cast iron valve box.
  - All water mains shall be ductile iron as per the following specification. Ductile iron pipe shall be ANSI 1-A21.51 (AWWA-C151) std. wall thickness, cement lined with bituminous seal coat Class 54 for sizes 6" through 16" Class 55 for 24" pipe, pipe sizes larger than 24" in nominal diameter shall meet all the requirements of the current AWWA C100 for ductile iron pipe.
  - Gate Valves shall be iron body, fully bronze mounted, E.J.L.W. resilient wedge, non-rising stem, opening counterclockwise with 2" square operating nut conforming to Y.C.U.A. and D.W.S.D. specifications. All gate valves with operating nuts at a distance greater than 5' below ground surface shall be provided with an extension stem. The length of the extension shall be such that it will be within 5' of ground surface when an extension stem is used. It shall be held in place by two extension stem guide assemblies. Each assembly shall be comprised of a "U" bracket and "L" bracket supplied by E.J.L.W. The stem guides shall be located opposite from each other, and shall be suitably fastened to the wall of the gate well. In addition, a "stop" shall be welded to the extension stem in a location that will prevent the extension stem from slipping off the operating nut. Details of extension stem and method of installation shall be approved by the engineer prior to installation. All precast concrete gate well sections shall be manufactured to conform with ASTM C478, standard specifications for precast reinforced concrete manhole sections, except wall thickness, shall be shown on these details. All joints for precast concrete gate well sections shall be "modified grooved tongue" with gasket manufactured to conform with ASTM C443, standard specification for joints for circular concrete sewer and culvert pipe rubber gaskets. All gate well covers shall be E.J.L.W. #1040C with bolted frame and have words "Superior Township Water Main and Logo" in raised letters on the frame cover, or approved equal.
  - Tapping sleeve shall be mechanical joint with DWS Mechanical Joint Tapping Gate Valve. Lead joint sleeves shall not be used.
  - No installation of water main is to be attempted without Township's inspector being present. Unless otherwise specified on plans, top of all water mains shall be 5.5 ft. below existing or proposed road centerline, or 5.5 ft. below existing or proposed ground, whichever results in lower elevation. An 18" minimum vertical clearance between storm or sanitary sewer shall be maintained.
  - Three (3) working days before you dig, dial MISS DIG at 1-800-482-7171.
  - All required cross connection devices shall be installed as required by the local plumbing inspector and in accordance with the standards of the Michigan Department of Public Health.
  - The design engineer shall furnish Superior Township with mylar "Record" water main plans along with a computer disk using the most recent release of AutoCAD, upon job completion. Plans shall locate all water mains, hydrants and gate valves and wells.
  - Where work is to be performed in the vicinity of a Superior Township main, contractor shall notify the Superior Township Utility Department at (734) 480-5500 at least 3 working days prior to start of construction as well as township engineer to schedule inspection.
  - All pipe and all pipe fittings shall be made in the U.S.A.
  - All bolts on all flanged and mechanical joint fittings shall be domestic origin high strength, low alloy COR-BLUE steel bolts or approved equal. These bolts shall meet the current provisions of American National Standard ANSI/AWWA C111/A21.11-90 for rubber gasket joints for ductile iron pressure pipes and fittings. Bolt manufacturer's certificate of compliance must accompany each shipment.
  - BACKFILL NOTE: Under road surfaces, pavement, sidewalk, curb, driveways and where the edge of the trench is within 3 (three) feet of the pavement or as called for on the plans, the trench depth shall be 4 (four) inches lower than the proposed water main elevation. The trench width shall be the outside diameter plus 16 (sixteen) inches for pipe diameters up to 36 (thirty-six) inches and larger. The trench shall be backfilled by placing granular material by the "controlled Density Method" or other means having approval of the engineer and compacting it to 95 (ninety-five) percent of its maximum unit weight.
  - "Mega Lugs," "Field Lock Gaskets," or a mechanical joint restraint system shall be used instead of concrete thrust blocks for joint restraint.
  - All bolts used in securing fittings to the water main shall be "COR-BLUE" bolts or approved equal.
  - All buried bolts, nuts and washers shall be "COR-BLUE" or equivalent and poly-wrapped.
  - Like size to like size tapping sleeves shall not be used with transite pipe.
  - Where water main is located under pavement, the Township shall not be responsible for repairing pavement within the easement in the event that maintenance or repairs to the water main become necessary.
  - Mechanical and slip-on joints for ductile iron shall be in accordance with AWWA C111 (ANSI A21.11).
  - All fire hydrant joints shall be totally restrained by use of "Mega Lugs" or other approved restrained joint.
  - Fittings for ductile iron pipe shall be ductile iron or cast iron and shall meet requirements of AWWA C110 (ANSI A21.10) or AWWA C153 (ANSI A21.53). Ductile iron fittings shall be rated for 350 psi, pipe 24" diameter and less and 250 psi for pipe sizes over 24" diameter, except that ductile iron flanged fitting shall be rated for 250 psi for all pipe diameters.
  - Manhole steps shall be steel encased with polypropylene plastic or approved equivalent to M.A. Industries, Inc., PS-1 for brick, or PS-18 for block, East Jordan Iron Works B502 (or approved equal). Manhole steps at 16" centers.
  - Maximum joint deflection and water main radius shall not exceed manufacturer recommendations (e.g. 4"-36" WM - 5' per 20' or 206' radius).





- WATER STOP BOX REQUIREMENTS:
- TWO HOLE ARCH PATTERN (ERIE PATTERN) TYPE WITH 1" UPPER AND 5" EXTENDED LENGTH WITH 42" ROD (FORD STOP BOX PART NO. EA1-50-40-42R OR APPROVED EQUAL). SMALL BOX REQUIRED FOR 3/4" AND 1" SERVICE; LARGE BOX REQUIRED FOR 1-1/2" AND 2" SERVICE; HYDRANT VALVE BOX REQUIRED FOR 3" AND 4" SERVICE; GATE WELL REQUIRED FOR 6" AND LARGER SERVICE.
  - WHERE WATER SERVICE CORPORATION BOX FALLS WITHIN A PAVED AREA (PARKING LOT, SERVICE DRIVE AREA, ETC.) THE STOP BOX SHALL BE PLACED IN A STANDARD HYDRANT VALVE BOX. THE VALVE BOX SHALL BE CENTERED IN A 2' x 2' CONCRETE SLAB.



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