

**SUPERIOR CHARTER TOWNSHIP PLANNING COMMISSION  
SUPERIOR TOWNSHIP HALL  
3040 N. PROSPECT, SUPERIOR TOWNSHIP, MI 48198  
AGENDA  
JANUARY 25, 2023  
7:00 p.m.**

1. CALL TO ORDER
2. ROLL CALL
3. DETERMINATION OF QUORUM
4. ADOPTION OF AGENDA
5. APPROVAL OF MINUTES
  - A. Approval of the November 16, 2022, Regular Meeting Minutes
6. CITIZEN PARTICIPATION
7. CORRESPONDENCE
8. PUBLIC HEARINGS, DELIBERATIONS AND ACTIONS
9. REPORTS
  - A. Ordinance Officer Report
  - B. Building Department Report
  - C. Zoning Administrator Report
10. OLD BUSINESS
11. NEW BUSINESS
  - A. STPC 23-01 Huron Dental Mixed-Use Development
  - B. TC Collins – Community Garden Presentation
12. POLICY DISCUSSION
  - A. Adoption of the 2023 Meeting Schedule
  - B. Election of Officers for 2023
  - C. Dixboro Corridor Pedestrian/Road Safety
  - D. Master Plan Update
13. ADJOURNMENT

Thomas Brennan III, Commission Secretary  
3040 N. Prospect, Ypsilanti, MI 48198

Laura Bennett, Planning & Zoning Administrator  
734-482-6099

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NOVEMBER 16, 2022  
DRAFT MINUTES  
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1. CALL TO ORDER

Chairman Gardner called the regular meeting to order at 7:00 p.m.

2. ROLL CALL

The following members were present: Findley, Gardner, McGill, Sanii-Yahyai, and Steele. Also present was Ben Carlisle, Carlisle Wortman; Laura Bennett, Planning & Zoning Administrator; and George Tsakoff, OHM.

3. DETERMINATION OF QUORUM

A quorum was present.

4. ADOPTION OF AGENDA

A motion was made by Commissioner Findley and supported by Commissioner Sanii-Yahyai to adopt the agenda as presented. The motion carried.

5. APPROVAL OF MINUTES

A. Minutes of the July 27, 2022 Meeting

A motion was made by Commissioner Findley and supported by Commissioner Sanii-Yahyai to approve the minutes as amended. The motion carried.

6. CITIZEN PARTICIPATION

None.

7. CORRESPONDENCE

None.

8. PUBLIC HEARINGS, DELIBERATIONS AND ACTIONS

None.

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9. REPORTS

A. Ordinance Officer Report

A motion was made by Commissioner Findley and supported by Commissioner Steele to receive the report. The motion carried.

B. Building Department Report

A motion was made by Commissioner Findley and supported by Commissioner Steele to receive the report. The motion carried.

C. Zoning Administrator Report

A motion was made by Commissioner Findley and supported by Commissioner Steele to receive the report. The motion carried.

10. OLD BUSINESS

None.

11. NEW BUSINESS

A. STPC 22-04 Kinsley Development Preliminary Site Plan

Joe Klee, Vice President of Land Development for Lombardo, reminded Commissioners that this project was before the Planning Commission in April for rezoning. He explained that infiltration tests have been completed, as well as coordination with the Fleming Creek Advisory Council. A company has been enlisted for a traffic study, as well.

Commissioner Gardner asked if the homes were considered condominiums and if there was a fee interest to the whole lot.

Mr. Klee stated that the project consists of site condominiums and each lot will be privately owned. The homes will be estate-style, designed to fit in with the community. The square footage of the homes will range from a 2,400 square foot ranch up to a 4,200 square foot two-story home. Additionally, the homes will be built by Cranbrook Custom Homes, which is a division of Lombardo.

Commissioner Gardner inquired about the historic structure on the site.

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Mr. Klee stated that Lombardo will work with the Township to relocate the structure to a place of the Township's choosing.

Mr. Carlisle suggested that staff work with the applicant to determine where the building gets relocated.

Commissioner Gardner asked that it is determined by Final Site Plan.

Commissioner Steele inquired about lot coverage, noting that the current lot coverage is 15% and could be larger than that.

Mr. Klee replied that they are not planning on exceeding the current lot coverage of 15%.

Ben Carlisle stated that at 15% lot coverage, the homes will fit comfortably within the building envelope.

Mr. Carlisle reviewed the Planner's Report dated November 8, 2022.

Commissioner Gardner inquired about the rain garden behind lot 6.

Mark Crider, Atwell, replied that Atwell coordinated with the Washtenaw County Water Resources Commissioner's Office (WCWRC) for infiltration testing to find the best location for the rain garden.

George Tsakoff reviewed the Engineer's Report dated November 8, 2022.

Vehicular access to the rain garden was discussed. Mr. Crider noted that Atwell can provide a 20' easement to the rain garden between lots 6 and 7 for maintenance purposes.

Commissioner Gardner stated that in regard to the stormwater management comments, they do not seem insurmountable. He added that the Fleming Creek Advisory Council provided a letter and several comments about the project.

Mr. Carlisle explained that Homeowner's Associations do not always have the resources to maintain and inspect rain gardens. He advised against dedicating the rain garden to the HOA and recommended leaving jurisdiction to the WCWRC.

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Mr. Tsakoff stated that he isn't sure the WCWRC will take over jurisdiction of the rain garden. It may fall upon the HOA to maintain and inspect it.

Mr. Klee stated that if the WCWRC will not take jurisdiction, it will be handed over to the HOA.

Commissioner Steele asked if maintenance is required for a rain garden.

Mr. Carlisle replied that there is annual plant inspection and monitoring required.

It was determined that there are no other feasible spots for the rain garden to be located.

Commissioner Findley noted that in his report, the Fire Marshall is requiring a dry hydrant at the site.

Mr. Crider replied that a dry hydrant can be placed within the retention pond. He explained that piping is brought out from the retention pond to be accessible by the fire department.

Motion by Commissioner Steele, supported by Commissioner Findley, to approve the Preliminary Site Plan for STPC 22-04 Kinsley Development with the following conditions:

1. Confirm access to and maintenance of the rain garden to the satisfaction of the Township Engineer.
2. Based on needed access to rain garden, confirm that lot 6 and 7 is buildable.
3. Confirm with the Road Commission what and if any ROW acquisition or dedication will be required.
4. All outstanding items noted in the Township Engineer's report.
5. All outstanding items noted in the Township Planner's report.
6. Add a dry hydrant at the road that fronts the pond/rain basin for fire department use.

Roll Call:

Yes: Findley, Gardner, McGill, Sanii-Yahyai, Steele.  
No: None.  
Absent: Brennan, Dabish-Yahkind.

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Abstain: None.  
The motion carried.

12. POLICY DISCUSSION

None.

13. ADJOURNMENT

Motion by Commissioner Findley, supported by Commissioner Steele to adjourn.

Motion Carried.

The meeting was adjourned at 8:00 pm.

Respectfully submitted,  
Thomas Brennan III, Planning Commission Secretary

Laura Bennett, Recording Secretary  
Superior Charter Township  
3040 N. Prospect Rd.  
Ypsilanti, MI 48198 (734) 482-6099

# **Zoning Report**

1/25/2023

Laura Bennett, Planning & Zoning Administrator

## **Superior Storage**

I spoke with Rob Lucas, the owner of 10190 Plymouth-Ann Arbor Road. He informed me that Mr. Joss is no longer pursuing development of the property as mini storage/RV storage. Mr. Lucas is brainstorming what to do with the property that fits into the A-1 zoning classification.

## **Arbor Hills Animal Clinic**

Performed a site visit in December 2022. The contractor was told to stop work on the exterior of the site because the Township had not yet received a performance guarantee nor was a pre-construction meeting held with OHM. After my site visit, the owner provided the performance guarantee, and the pre-construction meeting was held with OHM on January 6, 2023. All permits, including outside agencies, have now been issued.

## **9900 Ford Road**

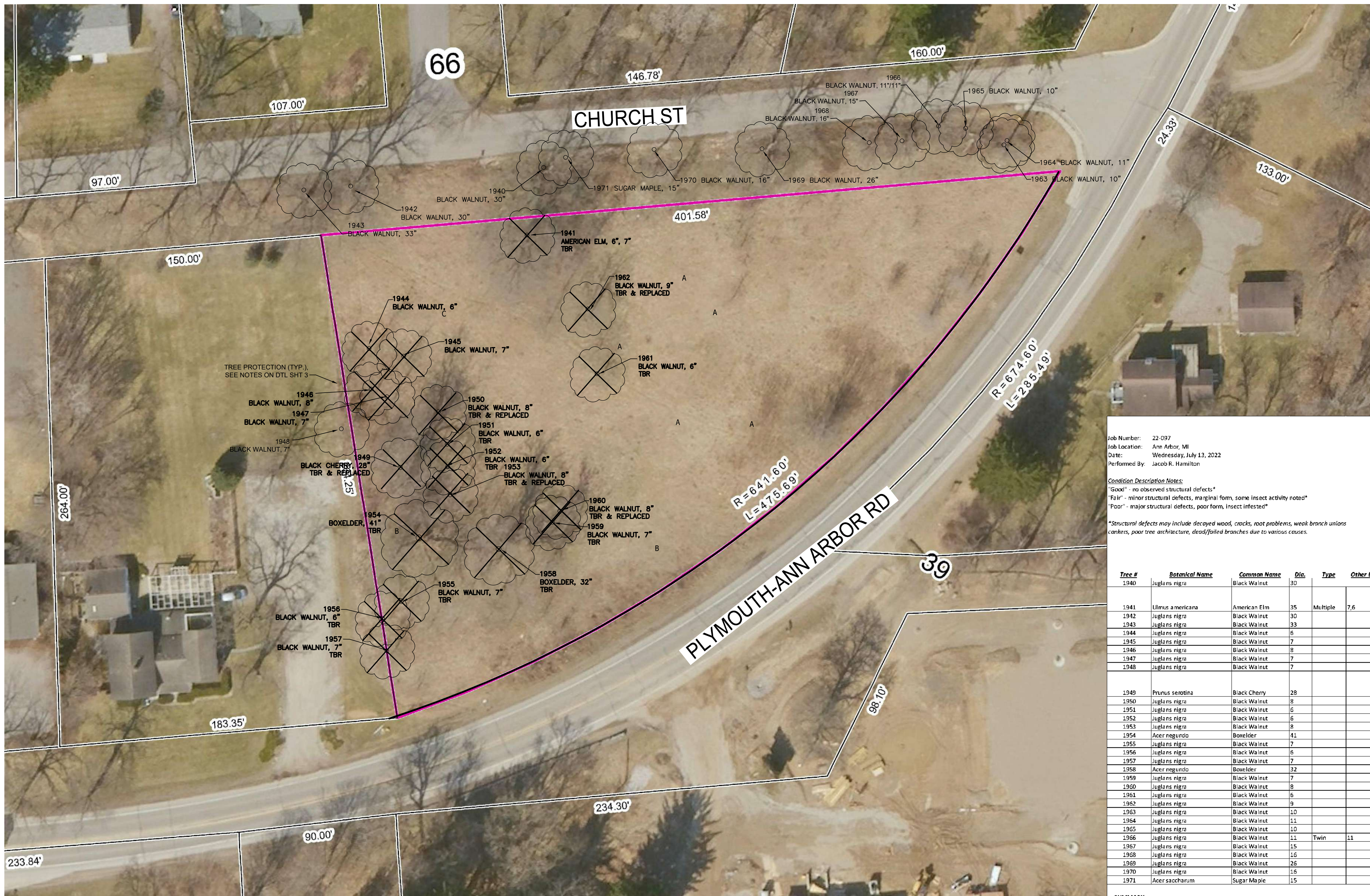
The Township received a call from a resident on Ford Road that an outdoor pipe had burst at a neighboring vacant home located at 9900 Ford Road, but he was able to turn the pipe off. He informed us that the home was open and unsafe. Bill Balmes and I went out to the site and observed that the house was unlocked and uninhabitable. From the doorwall we could see that the floor was water damaged and many areas were down to studs. There was also evidence of rodents.

A notice of violation was sent to the responsible party and the owner has contacted us. He is currently working with Building and Zoning to bring the house and property back up to code.









**LEGEND**

PROPOSED (PR)	EXISTING (EX)	DESCRIPTION
900	900	CONTOUR
FF	FF	SPOT ELEVATION
FG	FG	FINISHED FLOOR ELEVATION
T/A	T/A	FINISHED GRADE ELEVATION
T/C	T/C	TOP OF ASPHALT
T/W	T/W	TOP OF CURB / CONCRETE
F/L	F/L	TOP OF WALK
T/P	T/P	FLOW LINE
B/P	B/P	TOP OF PIPE
RM	RM	BOTTOM OF PIPE
INV	INV	RM ELEVATION
MH	MH	INVERT ELEVATION
IN	IN	MANHOLE STRUCTURE
CB	CB	INLET STRUCTURE
RY	RY	CATCHBASIN STRUCTURE
ES	ES	REARWARD STRUCTURE
GV	GV	END-SECTION
HY	HY	GATEVALVE STRUCTURE
UP	UP	HYDRANT
SN	SN	UTILITY POLE
FM	FM	SANITARY SEWER
PS	PS	SANITARY LEAD
ST	ST	FORCE MAIN
WM	WM	PRESSURE SEWER
WL	WL	STORM SEWER
FO	FO	WATER MAIN
OH	OH	WATER LEAD
C	C	FIBER OPTIC
E	E	OVERHEAD WIRE
T	T	CABLE
X	X	ELECTRIC
D	D	GAS
		TELEPHONE
		FENCE
		SILT FENCE
		WETLAND BOUNDARY
		LIMITS OF GRADING/CLEARING
		MANHOLE
		INLET / CATCHBASIN
		FLARED END-SECTION
		GATE VALVE
		HYDRANT
		UTILITY POLE
		SIGN
		NOT FIELD VERIFIED TO BE REMOVED
		SANITARY SEWER LABEL
		STORM SEWER LABEL

**BEBOSS Engineering**  
 Engineers Surveyors Planners Landscape Architects  
 3121 E. GRAND RIVER AVE.  
 HOWELL, MI. 48843  
 517.546.4836 FAX 517.548.1670

Job Number: 22-097  
 Job Location: Ann Arbor, MI  
 Date: Wednesday, July 13, 2022  
 Performed By: Jacob R. Hamilton

**Condition Description Notes:**  
 "Good" - no observed structural defects\*  
 "Fair" - minor structural defects, marginal form, some insect activity noted\*  
 "Poor" - major structural defects, poor form, insect infested\*  
 \*Structural defects may include decayed wood, cracks, root problems, weak branch unions, cankers, poor tree architecture, dead/failed branches due to various causes.

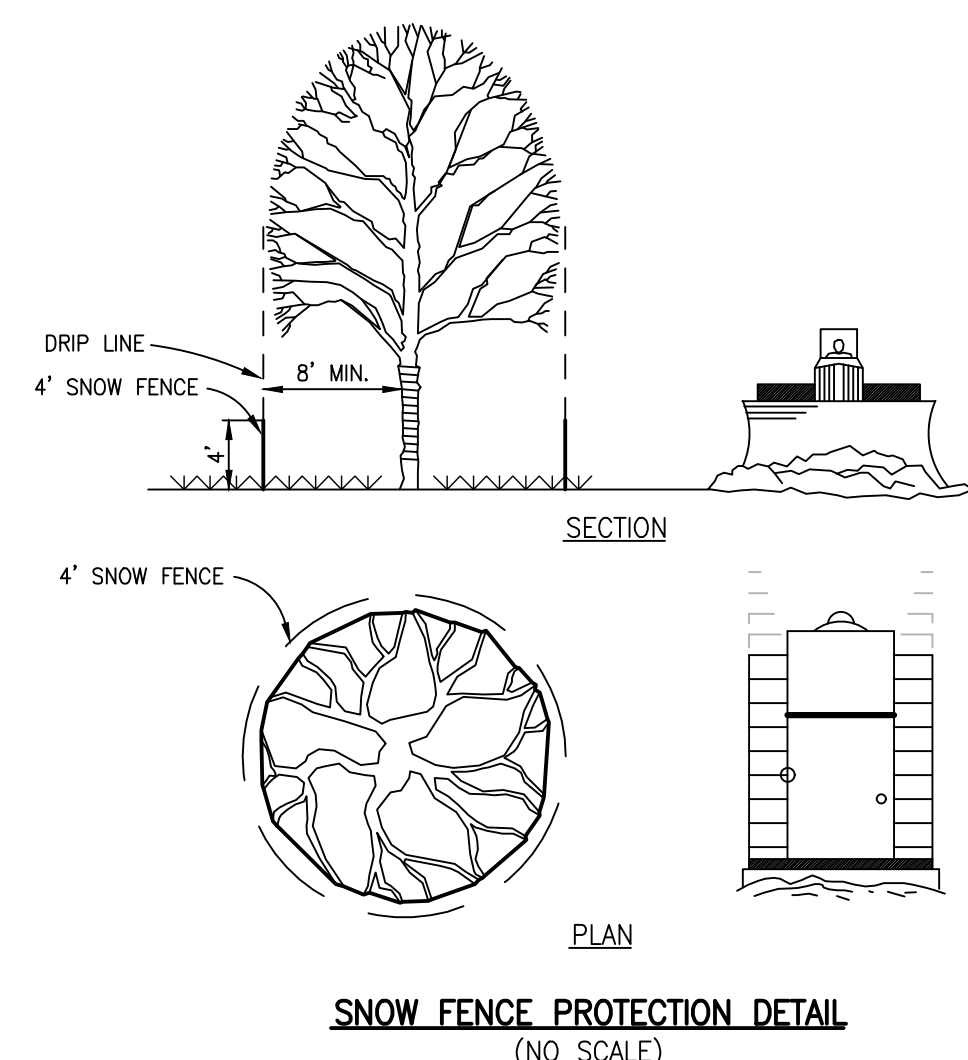
Tree #	Botanical Name	Common Name	Dia.	Type	Other Dia.	Condition	Comments	Tree to Be Removed	REPLACEMENT RATIO: Replacement Required Per Ordinance?	Number of Replacement Trees Per Removed Tree
1940	Juglans nigra	Black Walnut	30			Good		NO, OFF SITE	Yes, Landmark Tree over 18" D.B.H.; (1) 2.5" caliper replacement tree per inch of removed tree D.B.H.	(35) 2.5" Caliper
1941	Ulmus americana	American Elm	35	Multiple	7.6	Good		YES	No, below 8" D.B.H. per Ordinance	
1942	Juglans nigra	Black Walnut	30			Good		NO, OFF SITE	Yes, Replacement Ratio 1:1	(1) 2.5" Caliper
1943	Juglans nigra	Black Walnut	33			Good		NO, OFF SITE	Yes, Replacement Ratio 1:1	(1) 2.5" Caliper
1944	Juglans nigra	Black Walnut	6			Good		YES	No, below 8" D.B.H. per Ordinance	
1945	Juglans nigra	Black Walnut	7			Good		YES	No, below 8" D.B.H. per Ordinance	
1946	Juglans nigra	Black Walnut	8			Good		YES	No, below 8" D.B.H. per Ordinance	
1947	Juglans nigra	Black Walnut	7			Good		YES	No, below 8" D.B.H. per Ordinance	
1948	Juglans nigra	Black Walnut	7			Good		NO, OFF SITE	Yes, Landmark Tree over 16" D.B.H.; (1) 2.5" caliper tree per inch of removed tree D.B.H.	(28) 2.5" Caliper
1949	Prunus serotina	Black Cherry	28			Good		YES	Yes, Replacement Ratio 1:1	(1) 2.5" Caliper
1950	Juglans nigra	Black Walnut	8			Good		YES	No, below 8" D.B.H. per Ordinance	
1951	Juglans nigra	Black Walnut	6			Good		YES	No, below 8" D.B.H. per Ordinance	
1952	Juglans nigra	Black Walnut	6			Good		YES	No, below 8" D.B.H. per Ordinance	
1953	Juglans nigra	Black Walnut	8			Good		YES	Yes, Replacement Ratio 1:1	(1) 2.5" Caliper
1954	Acer negundo	Boxelder	41			Poor	Lost leader, broken large limb, rot	YES	No, species not valuable per Ordinance	
1955	Juglans nigra	Black Walnut	7			Good		YES	No, below 8" D.B.H. per Ordinance	
1956	Juglans nigra	Black Walnut	8			Good		YES	No, below 8" D.B.H. per Ordinance	
1957	Juglans nigra	Black Walnut	7			Good		YES	No, below 8" D.B.H. per Ordinance	
1958	Acer negundo	Boxelder	32			Good		YES	No, species not valuable per Ordinance	
1959	Juglans nigra	Black Walnut	7			Good		YES	No, below 8" D.B.H. per Ordinance	
1960	Juglans nigra	Black Walnut	8			Good		YES	Yes, Replacement Ratio 1:1	(1) 2.5" Caliper
1961	Juglans nigra	Black Walnut	8			Good		YES	No, below 8" D.B.H. per Ordinance	
1962	Juglans nigra	Black Walnut	9			Good		YES	Yes, Replacement Ratio 1:1	(1) 2.5" Caliper
1963	Juglans nigra	Black Walnut	10			Good		NO, OFF SITE		
1964	Juglans nigra	Black Walnut	11			Fair	Girdled by wire fence	NO, OFF SITE		
1965	Juglans nigra	Black Walnut	10			Good		NO, OFF SITE		
1966	Juglans nigra	Black Walnut	11	Twin	11	Good		NO, OFF SITE		
1967	Juglans nigra	Black Walnut	15			Good		NO, OFF SITE		
1968	Juglans nigra	Black Walnut	16			Fair	Heavy vines	NO, OFF SITE		
1969	Juglans nigra	Black Walnut	26			Good		NO, OFF SITE		
1970	Juglans nigra	Black Walnut	16			Good		NO, OFF SITE		
1971	Acer saccharum	Sugar Maple	15			Good		NO, OFF SITE		

**SUMMARY**

TOTAL NUMBER OF REGULATED TREES TO BE PRESERVED:	0
TOTAL NUMBER OF REGULATED TREES TO BE REMOVED:	20
NUMBER OF REGULATED TREES ON SITE BEFORE REMOVAL:	20
PERCENTAGE OF REGULATED TREES ON SITE AFTER REMOVAL:	0%
TOTAL NUMBER OF REPLACEMENT TREES REQUIRED:	68
PERCENTAGE OF REPLACEMENT TREE REQUIREMENT SATISFIED BY UP TO 50% OF BUFFERING AND SCREENING TREES ON SITE:	50%

**TREE REMOVALS, PRESERVATION, AND PROTECTION**

- SEE LIST ABOVE FOR ALL REGULATED TREES TO BE REMOVED, RELOCATED OR PRESERVED
- INVASIVE SPECIES INFORMATION, INCLUDING THE GENERAL LOCATIONS OF INVASIVE SPECIES, A DESCRIPTION OF THE EXTENT OF GROWTH, THE CONDITION AND SIZE RANGE OF SUCH SPECIES ON THE SITE, AND PERCENTAGE OF THE SITE COVERED BY SUCH SPECIES (BUCKTHORN, AUTUMN OLIVE, HONEYSUCKLE, MULTIFLORA ROSE, PHRAGMITES)
- A PLAN FOR THE ERADICATION AND CONTROL OF THESE FOUR INVASIVE SPECIES AS PART OF THE DEVELOPMENT PROJECT.
- STATEMENT OF COMPLIANCE WITH THE TREE PRESERVATION AND REPLACEMENT TREE REQUIREMENTS OF THIS SECTION, INCLUDING THE NUMBERS OF REGULATED TREES TO BE PRESERVED AND REMOVED, PERCENTAGES OF REGULATED TREES ON SITE BEFORE AND AFTER ANY REMOVAL.



**TREE PROTECTION NOTES:**

- THE LANDSCAPE ARCHITECT SHALL SUPERVISE THE TAGGING OF TREES TO BE TRANSPLANTED, TREES TO REMAIN, AND TREES TO BE REMOVED. FOR IDENTIFICATION OF PROPOSED ACTION FOR EXISTING TREES, THE FOLLOWING METHODS WILL BE USED: AN ORANGE PAINTED "X" FOR TREES TO BE REMOVED; YELLOW FLAGGING FOR TREES TO BE TRANSPLANTED; AND SNOW FENCE PROTECTION AS SHOWN IN THE DETAIL FOR TREES TO REMAIN.
- EXISTING TREES WITHIN FIFTEEN FEET (15') OF BUILDINGS ARE TO BE PRUNED AFTER CONSTRUCTION BY A PROFESSIONAL TREE CONTRACTOR AS SPECIFIED BY THE LANDSCAPE ARCHITECT.
- NO DAMAGING ATTACHMENTS SUCH AS WIRES (OTHER THAN CABLE WIRES FOR TREES) SIGNS, OR PERMITS MAY BE FASTENED TO ANY TREE PROTECTED BY THE ORDINANCE.
- FOR TREES TO BE SAVED, A FOUR FOOT (4') HIGH SNOW FENCE SHALL BE ERECTED AROUND THE TREE DRIP LINE PRIOR TO LAND CLEARING AND CONSTRUCTION AND MAINTAINED THROUGHOUT SITE DEVELOPMENT. NO CUTTING, FILING, OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREA WITH OUT APPROVAL OF THE CITY/TOWNSHIP. THE SNOW FENCING SHALL REMAIN IN ITS APPROVED LOCATION UNTIL SUCH TIME AS IT IS AUTHORIZED TO BE REMOVED BY THE CITY OR ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- NO ACTIVITY SHALL BE CONDUCTED WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO BE RETAINED, INCLUDING BUT NOT LIMITED TO THE PLACING OF ANY SOLVENTS, MATERIAL, CONSTRUCTION MACHINERY, OR SOIL WITHIN SUCH DRIP LINE.
- THE DEVELOPER AND/OR THE BUILDER SHALL ERECT SIGNS THROUGHOUT THE PROJECT THAT ARE CLEARLY VISIBLE STATING WORDS TO THE EFFECT THAT ALL SUBCONTRACTORS, SUPPLIERS AND TRADESMEN ARE TO HELP MAINTAIN THE TREES AND WILL BE HELD RESPONSIBLE FOR ANY UNAUTHORIZED DAMAGE TO TREES AND WOODLANDS.
- ALL PURCHASED REPLACEMENT TREES SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS, SUCH AS:
  - NURSERY GROWN;
  - STATE DEPARTMENT OF AGRICULTURE INSPECTED;
  - NO. 1 GRADE WITH STRAIGHT, UNSCARRED TRUNK AND WELL DEVELOPED UNIFORM CROWN (PARK GRADE TREES WILL NOT BE ACCEPTED);
  - STAKED, WRAPPED, WATERED AND MULCHED IN ACCORDANCE WITH STANDARD PLANTING PRACTICES;
  - GUARANTEED FOR ONE (1) YEAR, INCLUDING LABOR, TO REMOVE AND DISPOSE OF DEAD MATERIALS.
- SEE NOTES PER SUPERIOR TOWNSHIP ZONING ORDINANCE ARTICLE 14.F.6.: WOODLANDS AND TREE PRESERVATION: INSTALLATION AND MAINTENANCE REQUIREMENTS, PAGES 28-37.

**FOR SITE PLAN APPROVAL ONLY!  
NOT FOR CONSTRUCTION**

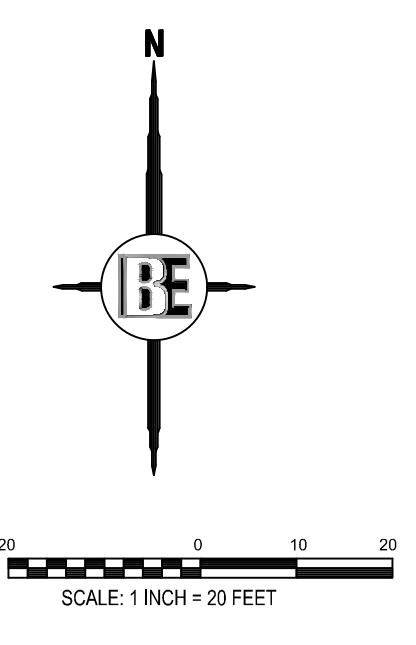
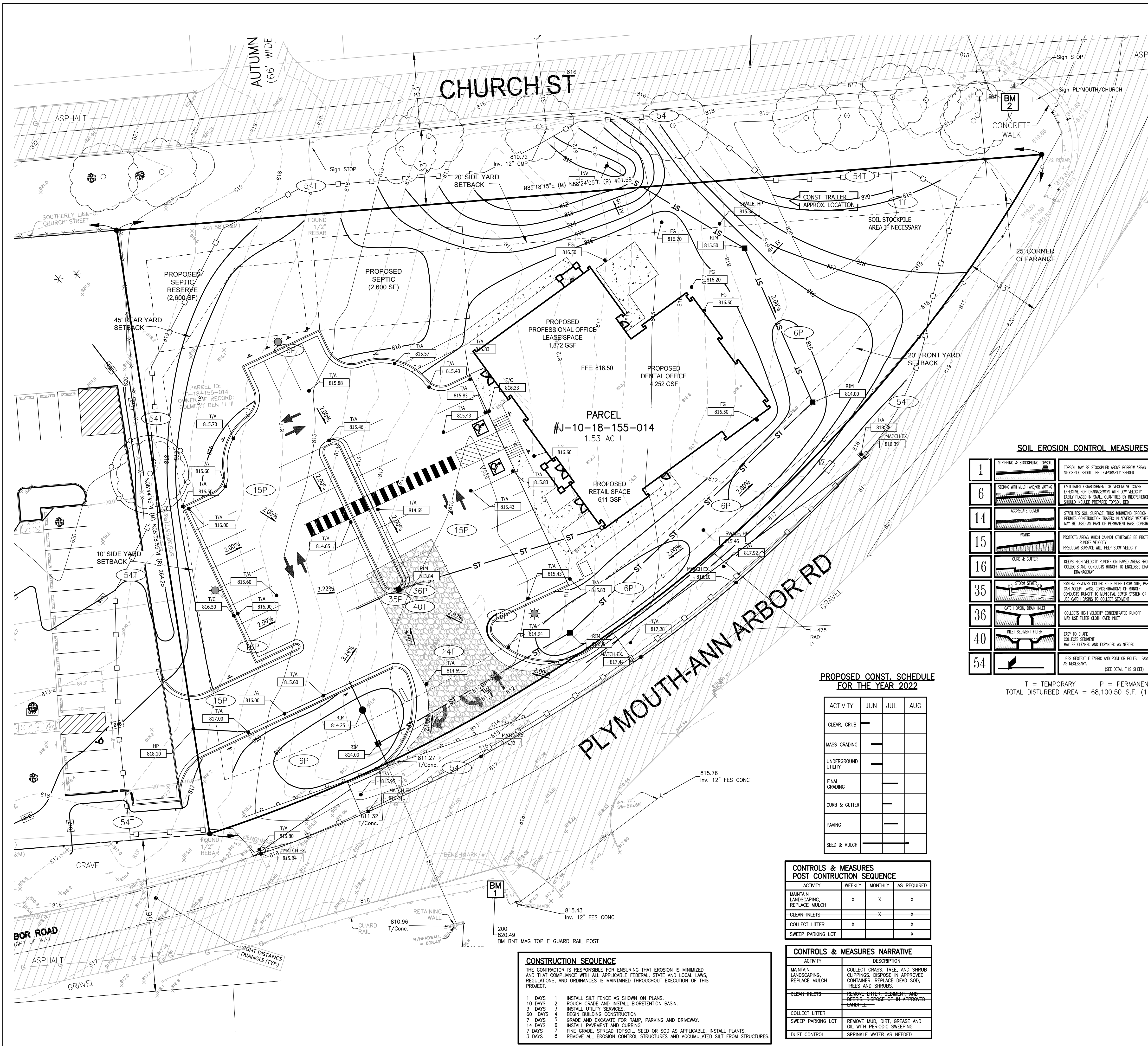
PROJECT: DENTAL OFFICE & MIXED USE  
 PREPARED FOR: CASSINO BUILDING AND DEVELOPMENT  
 47232 VAN DYKE AVE  
 STERLING HEIGHTS, MI 48314  
 586-322-4462

TITLE: TREE REMOVAL AND PROTECTION PLAN

DESIGNED BY:	JA
DRAWN BY:	JA
CHECKED BY:	BL
SCALE:	1" = 30'
JOB NO.:	22-097
DATE:	12/21/2022
SHEET NO.:	3







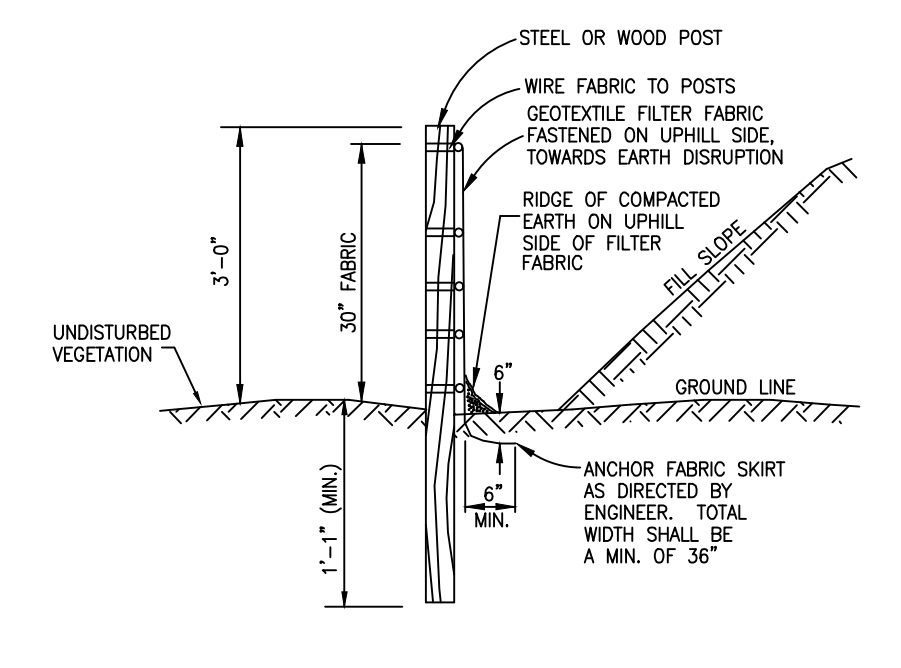
**LEGEND**

PROPOSED (PR)	EXISTING (EX)	DESCRIPTION
---	---	CONTOUR
FF	FF	FINISHED FLOOR ELEVATION
FG	FG	FINISHED GRADE ELEVATION
T/C	T/C	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
B/P	B/P	BOTTOM OF PIPE
RM	RM	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CB	CB	CATCHBASIN STRUCTURE
RY	RY	REARYARD STRUCTURE
ES	ES	END-SECTION
OV	OV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAIN
PS	PS	PRESSURE SEWER
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
G	G	GAS
T	T	TELEPHONE
L	L	FENCE
X	X	WETLAND BOUNDARY
---	---	LIMITS OF GRADING/CLEARING
---	---	MANHOLE
---	---	INLET / CATCHBASIN
---	---	FLARED END-SECTION
---	---	GATE VALVE
---	---	HYDRANT
---	---	UTILITY POLE
---	---	SIGN
---	---	NOT FIELD VERIFIED TO BE REMOVED
---	---	SANITARY SEWER LABEL
---	---	STORM SEWER LABEL
---	---	WATER MAIN LABEL
---	---	SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
---	---	CONCRETE
---	---	ASPHALT
---	---	MODIFIED CURB
---	---	LIMITS OF GRADING

**SOIL EROSION CONTROL MEASURES**

NO.	MEASURE	DESCRIPTION
1	STRIPPING & STOCKPILING TOPSOIL	TOPSOIL MAY BE STOCKPILED ABOVE BORROW AREAS TO ACT AS A DAMPENING STOCKPILE SHOULD BE TEMPORARILY SEEDED
6	SEEDING WITH MULCH AND/OR MATING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER EFFECTIVE FOR DRAPING AREAS WITH LOW VELOCITY EROSION PLACED IN SMALL QUANTITIES BY EXPERIENCED PERSONNEL SHOULD INCLUDE PREPARED TOPSOIL, SED
14	AGGREGATE COVER	STABILIZES SOIL SURFACE, THIS MINIMIZES EROSION PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER MAY BE USED AS PART OF PERMANENT EROSION CONTROL OF PAVED AREAS
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VELOCITY
16	CURB & GUTTER	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACE COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGEWAY
35	SHOULDER DRAIN	SYSTEM REMOVES COLLECTED RUNOFF FROM SIDE, PARTICULARLY FROM PAVED AREAS CAN ACCEPT LARGE CONCENTRATIONS OF RUNOFF CONDUCTS RUNOFF TO MUNICIPAL SEWER SYSTEM OR STABILIZED OUTFALL LOCATION USE CATCH BASINS TO COLLECT SEWAGE
36	CATCH BASIN, DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF MAY USE FILTER CLOTH OVER INLET
40	INLET SEDIMENT FILTER	EASY TO SHAPE COLLECTS SEDIMENT MAY BE CLEANED AND EXPANDED AS NEEDED
54	SEED & MULCH	USES GEOTEXTILE FABRIC AND POST OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY. (SEE DETAIL THIS SHEET)

**SITE BENCHMARKS (NAVD88 DATUM):**  
 -BM 1 = BM BNT MAG TOP E GUARD RAIL POST  
 ELEV = 820.49 (NAVD88)  
 -BM 2 = 30 BNT MAG NW/S P POLE  
 ELEV = 819.52 (NAVD88)



**SILT FENCE DETAIL**  
NO SCALE

**PROPOSED CONST. SCHEDULE FOR THE YEAR 2022**

ACTIVITY	JUN	JUL	AUG
CLEAR, GRUB			
MASS GRADING			
UNDERGROUND UTILITY			
FINAL GRADING			
CURB & GUTTER			
PAVING			
SEED & MULCH			

**CONTROLS & MEASURES POST CONSTRUCTION SEQUENCE**

ACTIVITY	WEEKLY	MONTHLY	AS REQUIRED
MAINTAIN LANDSCAPING, REPLACE MULCH	X	X	X
CLEAN INLETS		X	X
COLLECT LITTER	X		X
SWEEP PARKING LOT			X

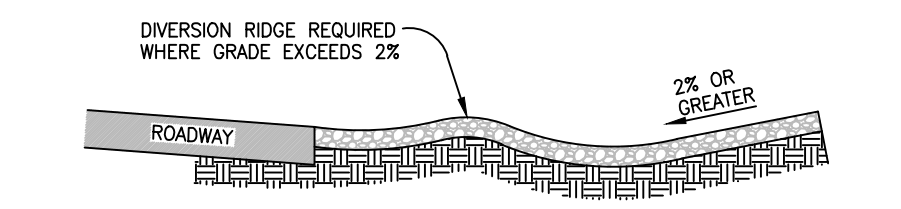
**CONTROLS & MEASURES NARRATIVE**

ACTIVITY	DESCRIPTION
MAINTAIN LANDSCAPING, REPLACE MULCH	COLLECT GRASS, TREE, AND SHRUB CLIPPINGS, DISPOSE IN APPROVED CONTAINER, REPLACE DEAD SOD, TREES AND SHRUBS.
CLEAN INLETS	REMOVE LITTER, SEDIMENT, AND DEBRIS, DISPOSE OF IN APPROVED LANDFILL.
COLLECT LITTER	REMOVE LITTER, SEDIMENT, AND DEBRIS, DISPOSE OF IN APPROVED LANDFILL.
SWEEP PARKING LOT	REMOVE MUD, DIRT, GREASE AND OIL WITH PERIODIC SWEEPING.
DUST CONTROL	SPRINKLE WATER AS NEEDED.

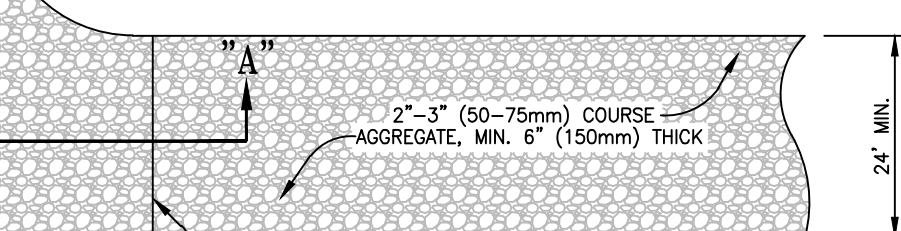
**CONSTRUCTION SEQUENCE**

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.

1 DAYS	1. INSTALL SILT FENCE AS SHOWN ON PLANS.
10 DAYS	2. ROUGH GRADE AND INSTALL BIOTRETENTION BASIN.
3 DAYS	3. INSTALL UTILITY SERVICES.
60 DAYS	4. BEGIN BUILDING CONSTRUCTION.
7 DAYS	5. GRADE AND EXCAVATE FOR RAMP, PARKING AND DRIVEWAY.
14 DAYS	6. INSTALL PAVEMENT AND CURBING.
7 DAYS	7. FINE GRADE, SPREAD TOPSOIL, SEED OR SOD AS APPLICABLE, INSTALL PLANTS.
3 DAYS	8. REMOVE ALL EROSION CONTROL STRUCTURES AND ACCUMULATED SILT FROM STRUCTURES.



**SECTION "A"-"A"**



**TEMPORARY GRAVEL TRACKING MAT DETAIL**  
NO SCALE

**FOR SITE PLAN APPROVAL ONLY!  
NOT FOR CONSTRUCTION**

**BEBOSS Engineering**  
 Engineers Surveyors Planners Landscape Architects  
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**DENTAL OFFICE & MIXED USE**  
 CASSINO BUILDING AND DEVELOPMENT  
 4723 VAN DYKE AVE  
 STERLING HEIGHTS, MI 48314  
 586-332-462

**GRADING, DRAINAGE, & SECC PLAN**

PROJECT	DATE

DESIGNED BY: JS  
 DRAWN BY: JS  
 CHECKED BY:  
 SCALE: 1" = 20'  
 JOB NO: 22-097  
 DATE: 12/21/2022  
 SHEET NO. 6

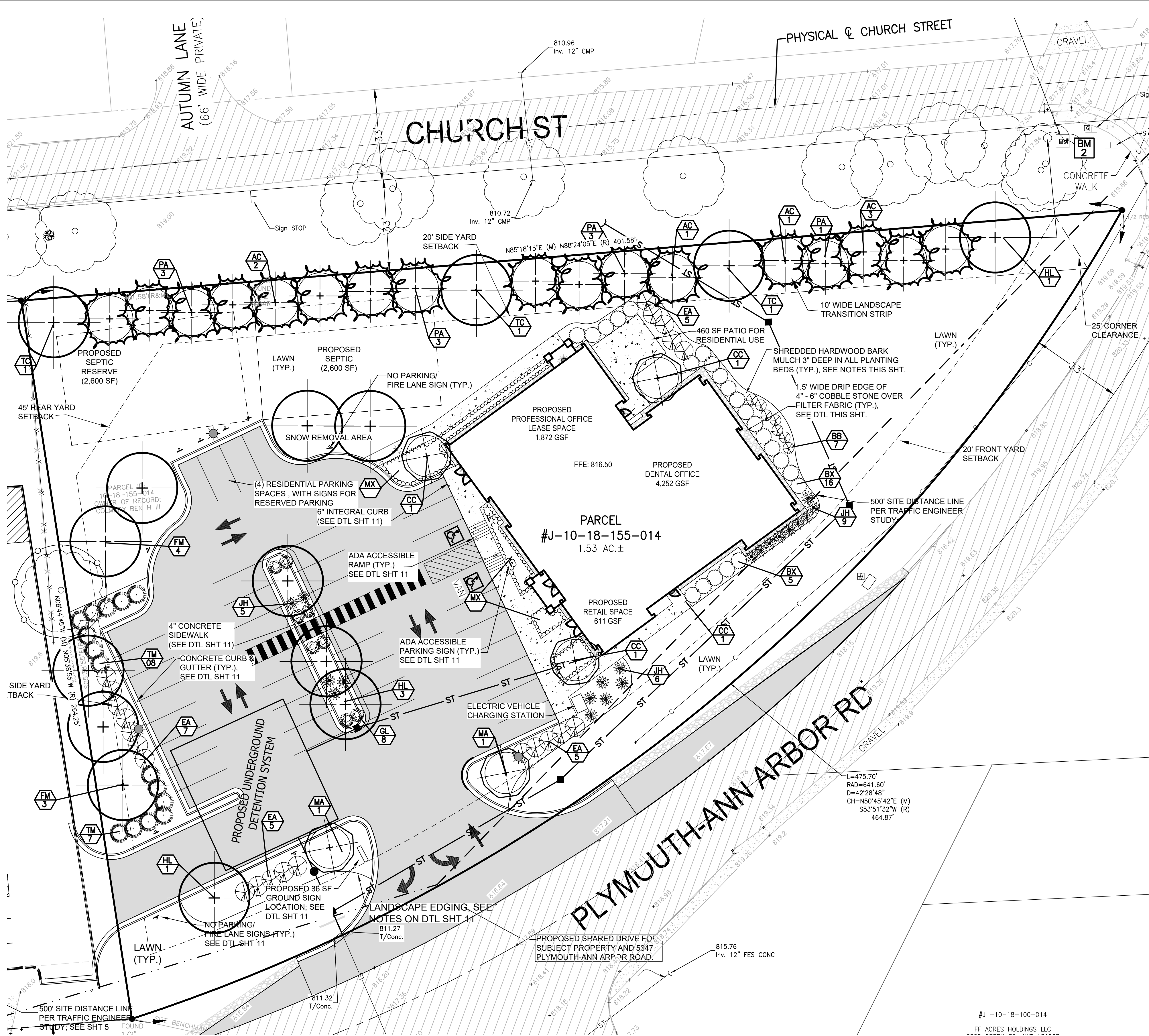


**GENERAL LANDSCAPE SPECIFICATIONS:**

- ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE GOVERNING MUNICIPALITY. ALL STOCK SHALL BE NURSERY GROWN, CONFORMING TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK", AND IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. STOCK SHALL EXHIBIT NORMAL GROWTH HABIT AND BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DETRITS SUCH AS KNOTS, SUN-SOIL, INJURIES, ABRASIONS, OR DISFIGUREMENT. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED. ALL PLANT BALLS SHALL BE FIRM, INTACT, AND SECURELY WRAPPED AND BOUND.
- ALL PLANT BED MATERIALS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS, OTHER EXTRANEUS OBJECTS, AND POOR SOILS TO A MINIMUM DEPTH OF 12-INCHES AND BACKFILLED TO GRADE WITH SPECIFIED PLANTING MIX (SEE BELOW).
- PLANTING MIXTURE SHALL CONSIST OF 5 PARTS TOPSOIL FROM ON-SITE (AS APPROVED), 4 PARTS COARSE SAND, 1 PART SPHAGNUM PEAT MOSS (OR APPROVED COMPOST), AND 5 LBS OF SUPERPHOSPHATE FERTILIZER PER CU. YD. OF MIX. INGREDIENTS SHALL BE THOROUGHLY BLENDED FOR UNIFORM CONSISTENCY.
- ALL PLANT BEDS AND INDIVIDUAL PLANTS, NOT OTHERWISE NOTED SHALL BE MULCHED WITH A 4-INCH LAYER OF SHREDDED BARK MULCH. EDGE OF MULCH BEDS AS SHOWN, DECIDUOUS TREES IN LAWN AREAS SHALL RECEIVE A 5-FIT DIAMETER CIRCLE OF MULCH AND CONIFER TREES 8-FIT (PLANTED CROWN OF TREE) UNLESS OTHERWISE NOTED.
- LANDSCAPE STONE SHALL BE INSTALLED WHERE NOTED OR INDICATED (HATCHED). STONE SHALL BE 3/4"-1 1/4" WASHED RIVER GRAVEL OR AS SELECTED AND SHALL BE INSTALLED TO A MINIMUM DEPTH OF 3-INCHES.
- ALL LANDSCAPE BEDS, UNLESS OTHERWISE NOTED SHALL BE INSTALLED OVER WEED BARRIER FABRIC - WATER PERMEABLE FILTRATION FABRIC OF NON-WOVEN POLYPROPYLENE OR POLYESTER FABRIC. FABRIC SHALL BE OF SUITABLE THICKNESS FOR APPLICATION.
- ALL PLANTS AND PLANT BEDS SHALL BE THOROUGHLY WATERED UPON COMPLETION OF PLANTING AND STAKING OPERATIONS.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF 1 YEAR FROM THE DATE OF ACCEPTED, WRITING, BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, WITHIN A SPECIFIED PERIOD OF TIME, ALL DEAD PLANTS, AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT, DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT STOCK SHALL CONFORM TO THE ORIGINAL SPECIFICATIONS.
- EDGING SHALL BE PROVIDED FOR ALL LANDSCAPE BEDS NOT ADJACENT TO CONCRETE PAVEMENT. EDGING SHALL BE BLACK ALUMINUM EDGING, 3/16-INCH X 4-INCH. INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALL EDGING SHALL BE INSTALLED IN STRAIGHT LINES OR SMOOTH CURVES WITHOUT IRREGULARITIES.
- SOD SHALL BE DENSE, WELL ROOTED TURF, FREE OF WEEDS. IT SHALL BE COMPRISED OF A BLEND OF AT LEAST TWO KENTUCKY BLUE GRASSES AND ONE FESCUE. IT SHALL HAVE A UNIFORM THICKNESS OF 3/4-INCH AT TIME OF PLANTING, AND CUT IN UNIFORM STRIPS NOT LESS THAN 10-INCHES BY 18-INCHES. SOD SHALL BE KEPT MOIST AND LAID WITHIN 36-HOURS AFTER CUTTING.  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ALL SODDED AREAS THAT BROWN-OUT OR HAVE NOT FIRMLY KNITTED TO THE SOIL BASE WITHIN A PERIOD OF 1 MONTH SHALL BE REPLACED BY THE CONTRACTOR, AT NO COST TO THE OWNER.
- ALL AREAS OF THE SITE THAT BECOME DISTURBED DURING CONSTRUCTION AND ARE NOT TO BE PAVED, STONED, LANDSCAPED, OR SODDED SHALL BE SEEDED AND MULCHED.  
SEE MIXTURE SHALL BE AS FOLLOWS:  
KENTUCKY BLUEGRASS (CHOOSE 3 VARIETIES - ADELPHI, RUGBY, GLADE, OR PARADE) 30%  
RUBY RED OR DAWSON RED FINE FESCUE 30%  
ATLANTA RED FESCUE 20%  
PENNSYLVANIA PERENNIAL RYE 20%  
THE ABOVE SEED MIXTURE SHALL BE SOWN AT A RATE OF 250 LBS PER ACRE. PRIOR TO SEEDING, THE TOPSOIL SHALL BE FERTILIZED WITH A COMMERCIAL FERTILIZER WITH A 10-0-10 ANALYSIS:  
10% NITROGEN - MIN 25% FROM A UREA FORMALDEHYDE SOURCE  
0.5% PHOSPHATE  
10% POTASH - SOURCE POTASSIUM SULFATE OR POTASSIUM NITRATE  
THE FIRST FERTILIZER APPLICATION SHALL BE AT A RATE OF 10 LBS PER 1000 SQ FT OF BULK FERTILIZER.  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE AREA THAT FAILS TO SHOW A UNIFORM GERMINATION SHALL BE RE-SEEDING AND SUCH RE-SEEDING SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDS AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.

**LANDSCAPE CALCULATIONS:  
PER SUPERIOR TOWNSHIP ZONING ORDINANCE**

- LANDSCAPING:**
- TRANSITION BUFFER REQUIRED WHERE OFFICE AND COMMERCIAL USES ADJACENT TO A LOT IN A RESIDENTIAL ZONING DISTRICT
    - 20 FT MIN. WIDTH TRANSITION STRIP IN VILLAGE CENTER DISTRICT. THIS BUFFER CAN BE 50% OF THE WIDTH REQUIRED = 10 FT WIDE
    - BUFFER SHALL BE PROVIDED ALONG EVERY LOT LINE, EXCEPT A FRONT LOT LINE WHICH IS CONTIGUOUS TO OR ACROSS THE STREET FROM A LOT IN SUCH DISTRICT (THIS PARCEL: ALONG CHURCH STREET)
  - LANDSCAPING STRIP AT LEAST 20 FT WIDE SHALL BE PROVIDED ALONG AND ADJACENT TO THE FRONT PROPERTY LINE, ALONG ALL STREET FRONTAGES, AND SHALL EXTEND ACROSS THE ENTIRE WIDTH OF THE LOT, SUBJECT TO THE FOLLOWING:
    - NO PARKING AREA, SIDEWALK OR SIMILAR IMPROVEMENT LOCATED IN THIS AREA
    - GREENBELTS: REQUIRED WITHIN THE FRONT SETBACK AREA FOR PARKING LOTS AND AROUND NON-RESIDENTIAL PARKING LOT WITHIN 100' OF A RESIDENTIAL DISTRICT:
      - WIDTH: 15' WIDE IN FRONT YARD SETBACK, AND NOT LESS THAN 10' ELSEWHERE
      - ONE TREE PER 20' OF STREET FRONTAGE: 265 LF/20 = 14 TREES
      - 1/2 OF THE TREES SHALL BE EVERGREENS
      - ONE SHRUB 24" HIGH (MIN) PER 10' OF STREET FRONTAGE: 265 LF/10 = 27 SHRUBS REQUIRED
  - WITHIN PARKING LOTS WHICH CONTAIN 20 OR MORE PARKING SPACES:
    - 15 SF PER PARKING SPACE: 75 SPACES \* 15 SF = 1,125 SF TOTAL AREA REQUIRED. AREA PER ISLAND: 180 SF WITH ONE DECIDUOUS TREE PLANTING REQUIRED
    - PROVIDED: TOTAL AREA PROVIDED WITHIN PARKING LOT 1,825 SF, 8 DECIDUOUS TREES AND 4 ORNAMENTAL TREES
  - GREENBELT PROVIDED ON NORTH PROPERTY LINE: EVERGREEN SCREENING WITH 17 EVERGREEN TREES AND 4 DECIDUOUS TREES
  - REPLACEMENT TREES REQUIRED: (68)
    - 29% OF (68) REQUIRED REPLACEMENT TREES ARE SATISFIED BY SCREENING/BUFFER REQUIREMENTS ABOVE = (20)
  - LANDSCAPE IS DEFICIENT OF REPLACEMENT TREE REQUIREMENT BY (48) TREES.



**LEGEND**

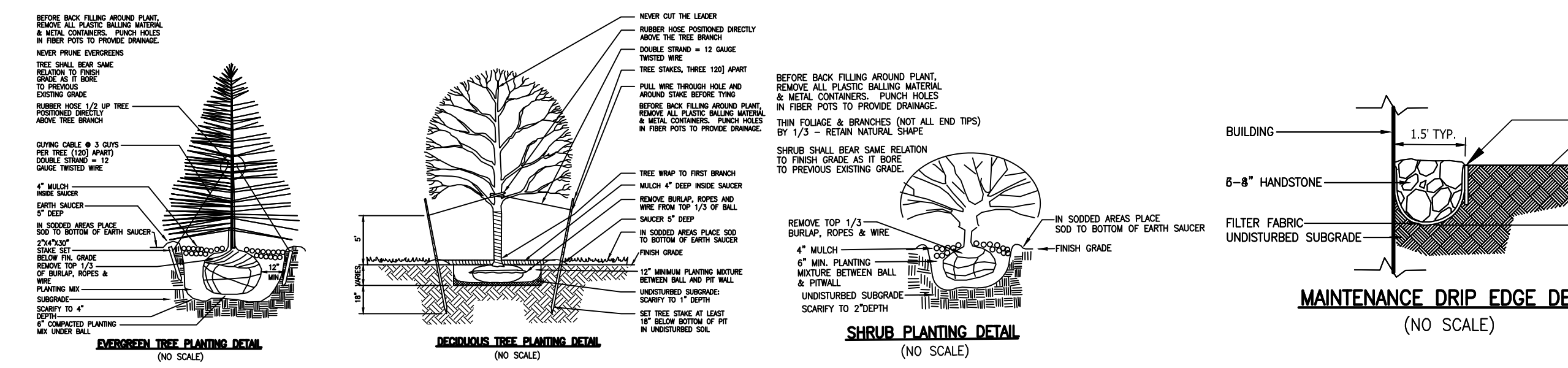
PROPOSED (PR)	EXISTING (EX)	CONTOUR
FF	FF	+922.08
FG	FG	SPOT ELEVATION
T/A	T/A	FINISHED FLOOR ELEVATION
T/W	T/W	TOP OF ASPHALT
F/L	F/L	TOP OF CURB / CONCRETE
T/P	T/P	TOP OF WALK
B/P	B/P	FLOW LINE
RM	RM	TOP OF PIPE
RV	RV	BOTTOM OF PIPE
MH	MH	RM ELEVATION
IN	IN	INVERT ELEVATION
CS	CS	MANHOLE STRUCTURE
RY	RY	INLET STRUCTURE
ES	ES	CATCHBAIN STRUCTURE
GF	GF	REAR-YARD STRUCTURE
HY	HY	END-SECTION
UP	UP	GATEVALVE STRUCTURE
SN	SN	HYDRANT
FM	FM	UTILITY POLE
PS	PS	SANITARY SEWER
WM	WM	SANITARY LEAD
WL	WL	FORCE MAIN
FO	FO	PRESSURE SEWER
OH	OH	STORM SEWER
C	C	WATER MAIN
E	E	WATER MAIN LABEL
T	T	SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
X	X	CONCRETE
W	W	MODIFIED CURB
W	W	LIMITS OF GRADING

**LANDSCAPE LEGEND**

EXISTING DECIDUOUS TREE	PROPOSED DECIDUOUS TREE
PROPOSED CONIFER TREE	PROPOSED ORNAMENTAL TREE
PROPOSED CONIFER SHRUB	PROPOSED DECIDUOUS SHRUB
PROPOSED PERENNIAL FORB	PROPOSED LOW EVERGREEN SHRUB
PROPOSED LOW DECIDUOUS SHRUB	PROPOSED TREE PROTECTION

**LANDSCAPE PLANT LIST**

KEY QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
BB 07	Hydrangea paniculata Bobo	Bobo Panicle Hydrangea	24" Ht.	Cont.
BX 23	Buxus microphylla 'Wintergem'	Wintergem Boxwood	30" Ht.	Cont.
EA 22	Corynochaete alata 'Compacta'	Heart Burning Bush	24" Ht.	Cont.
GL 08	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	18" Ht.	Cont.
JH 20	Juniperus horizontalis	Creeping Juniper	18" Ht.	Cont.
TM 15	Taxus x media 'Danaeiformis'	Dense Japanese Yew	30 Ht.	Cont.
<b>DECIDUOUS AND EVERGREEN TREES</b>				
OC 08	Abies concolor	White Fir	8' Ht.	B & B
CO 03	Cercis canadensis	Eastern Redbud	2.0' cal.	B & B
AC 07	Acer x freemanii 'Jefferson'	Autumn Blaze Maple	2.5' cal.	B & B
FM 07	Acer x freemanii 'Suncole'	Honey Locust 'Sunburst'	2.5' cal.	B & B
MA 02	Molais x 'JFS-KRIS'	Royal Balmrape Flowering Crabapple	2.0' cal.	B & B
PA 06	Picea abies	Honey Spruce	8' Ht.	B & B
TC 03	Tilia cordata 'Greenpire'	Greenspire Littleleaf Linden	2.5' cal.	B & B
MX 700	700 SF Perennial Mix (TBD)	Mix of perennials to be planted 2' O.C. and selected by landscape contractor	1 gal.	Cont.



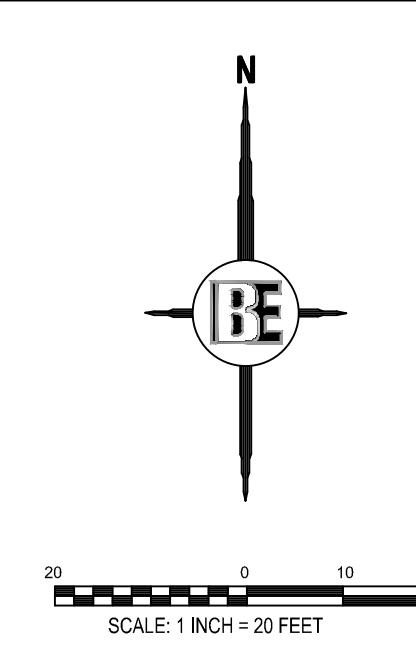
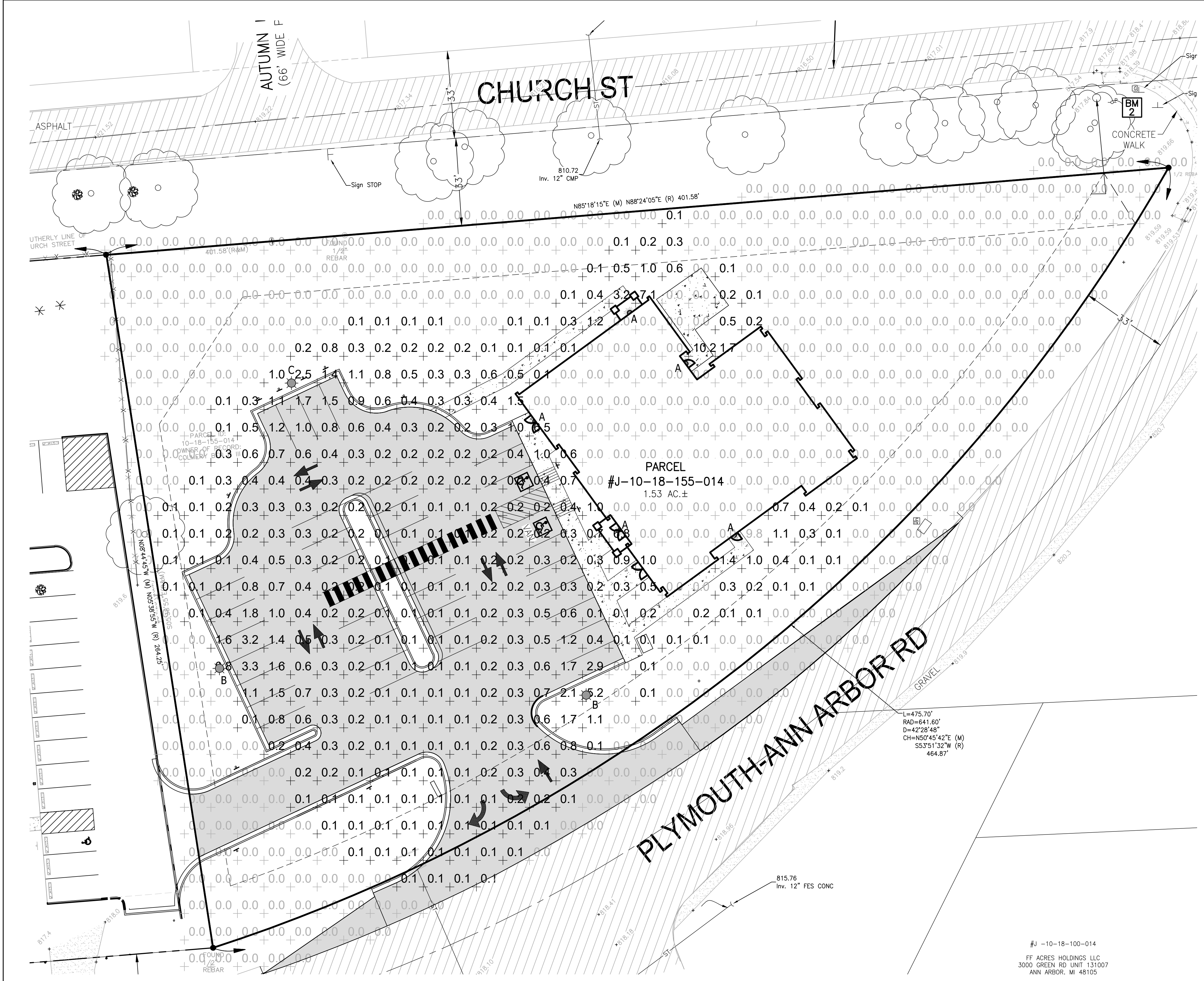
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3121 E. GRAND RIVER AVE.  
HOWELL, MI. 48843  
517.546.4836 FAX 517.548.1670

**PROJECT:** DENTAL OFFICE & MIXED USE  
**PREPARED FOR:** CASSINO BUILDING AND DEVELOPMENT  
42723 VAN DYKE AVE  
STERLING HEIGHTS, MI 48314  
586-332-4662

**TITLE:** LANDSCAPE PLAN

DESIGNED BY:	DATE:
XX	
DRAWN BY:	DATE:
XX	
CHECKED BY:	DATE:
SCALE:	DATE:
1" = 20'	12/21/2022
JOB NO:	DATE:
22-097	12/21/2022
SHEET NO.	REVISION PER
8	



**LEGEND**

PROPOSED (PR)	EXISTING (EX)	CONTOUR
FF	FF	SPOT ELEVATION
FG	FG	FINISHED FLOOR ELEVATION
T/A	T/A	FINISHED GRADE ELEVATION
T/C	T/C	TOP OF ASPHALT
T/W	T/W	TOP OF CURB / CONCRETE
F/L	F/L	TOP OF WALK
T/P	T/P	FLOW LINE
B/P	B/P	TOP OF PIPE
RM	RM	BOTTOM OF PIPE
INV	INV	RIM ELEVATION
MH	MH	INVERT ELEVATION
IN	IN	MANHOLE STRUCTURE
CB	CB	INLET STRUCTURE
RY	RY	CATCHBASIN STRUCTURE
ES	ES	REARWARD STRUCTURE
OV	OV	END-SECTION
HY	HY	GATEVALVE STRUCTURE
UP	UP	HYDRANT
SN	SN	UTILITY POLE
SL	SL	SANITARY SEWER
FM	FM	SANITARY LEAD
PS	PS	FORCE MAIN
ST	ST	PRESSURE SEWER
WM	WM	STORM SEWER
WL	WL	WATER MAIN
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
T	T	TELEPHONE
L	L	FENCE
D	D	SILT FENCE
W	W	WETLAND BOUNDARY
U	U	LIMITS OF GRADING/CLEARING
IN	IN	MANHOLE
IC	IC	INLET / CATCHBASIN
GV	GV	FLARED END-SECTION
HY	HY	GATE VALVE
UP	UP	HYDRANT
SN	SN	UTILITY POLE
SL	SL	SIGN
FM	FM	NOT FIELD VERIFIED
PS	PS	TO BE REMOVED
ST	ST	SANITARY SEWER LABEL
WM	WM	STORM SEWER LABEL
WL	WL	WATER MAIN LABEL
FO	FO	SOIL EROSION CONTROL MEASURE (P=PERMANENT, T=TEMPORARY)
OH	OH	CONCRETE
C	C	ASPHALT
E	E	MODIFIED CURB
T	T	LIMITS OF GRADING
L	L	SINGLE FIXTURE LIGHT FIXTURE
D	D	WALL MOUNTED LIGHT FIXTURE
W	W	FOOT CANDLES

**SITE LIGHTING REQUIREMENTS FOR SUPERIOR TOWNSHIP**

PARKING LOTS - FIXTURES 20 FEET IN HEIGHT ABOVE GRADE MAX, 15 FEET WHEN CLOSER THAN 50 FEET TO A PROPERTY LINE.

DECORATIVE EXTERIOR FIXTURES LIMITED TO LAMPS WITH MAX WATTAGE OF 100 WATTS PER FIXTURE

MAX INTENSITY OF LIGHT WITHIN ANY SITE SHALL NOT EXCEED:  
 AT ANY POINT WITHIN THE SITE - 10.0 FC  
 AT ANY LOT BOUNDARY OR ROAD RIGHT-OF-WAY LINE - 0.2 FC AT 5 FEET ABOVE GRADE

FREESTANDING POLE LIGHTING MAX HEIGHT OF FIXTURES SHALL BE DIRECTLY PROPORTIONAL TO THE FIXTURE'S PROXIMITY TO THE BOUNDARY OF A LOT OR PARCEL IN A RESIDENTIAL ZONING DISTRICT OR OCCUPIED BY ANY RURAL OR RESIDENTIAL USES AS FOLLOWS:

LESS THAN 50 FEET	15 FEET MAX FIXTURE HEIGHT
50 FEET TO 300 FEET	20 FEET MAX FIXTURE HEIGHT
MORE THAN 300 FEET	25 FEET MAX FIXTURE HEIGHT

ARCHITECTURAL LIGHTING ON BUILDING FACADES SHALL BE LIMITED TO FULLY SHIELDED FIXTURES DIRECTED TOWARD THE FACADE AND CONCENTRATED ON THE WALL SURFACE.

**GENERAL LIGHTING NOTES**

1. THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

**SITE LIGHTING SUMMARY**

AVERAGE LIGHTING LEVEL: 0.2 FC  
 MAXIMUM LIGHT LEVEL: 9.8 FC  
 MINIMUM LIGHT LEVEL: 0.0 FC

SYMBOL	LABEL	QTY.	DESCRIPTION	CATALOG NUMBER	AMP	LUMENS	LLF	BASE HGT	POLE HGT
☀	A	05	LITHONIA LIGHTING WSQ LED WITH P1-PERFORMANCE PACKAGE, 3000K, AND SR2 OPTIC TYPE	WSQ LED P1 SR2 30K MVOLT	LED	ABSOLUTE	.93	N/A	10' WALL MOUNTED
☀	B	02	LITHONIA LIGHTING EML17XT GCF LED, 1 MODULE, ONE 74-WATT LED, 63 LED'S 350mA 4000K, TYPE 2, DOWNLIGHT POS. OPTIC	EML17 GCF XT 63LED 350 mA 40K R2	LED	ABSOLUTE	.93	2.5'	12.5'
☀	C	01	LITHONIA LIGHTING EML17XT GCF LED, 1 MODULE, ONE 74-WATT LED, 63 LED'S 350mA 4000K, TYPE 2, DOWNLIGHT POS. OPTIC	EML17 GCF XT 63LED 350 mA 40K R2	LED	ABSOLUTE	.93	2.5'	17.5'

ALL IES FILES PROVIDED BY MANUFACTURER FOR CALCULATION OF LIGHTING LEVEL.

**EAJ Series**  
Eurotique Family Wall Bracket

**Specifications**  
EPA: 2.76W

EAJ: Fits on 3.375" dia. X 11" tall sensor  
 EAJ-S: Fits on 4.375" dia. X 11" tall sensor

EAJ: Luminaire mounts via plumbers housing  
 EAJ-S: Luminaire mounts via 1.5" NPT anvil nipple

**EML17**  
Munich Pendant Eurotique Family

**Specifications**  
SMA: 2.76W  
 OMBP: 17"  
 Height: 17"  
 Diameter: 17"  
 Weight: 60 lbs

**WSQ LED**  
Architectural Wall Sconce

**Specifications**  
Luminaire  
 Height: 9.50"  
 Width: 18"  
 Depth: 4"  
 Weight: 17 lbs

**Optional Back Box (BBW)**  
 Height: 4"  
 Width: 5.12"  
 Depth: 3.125"  
 Weight: 1.5 lbs



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 STERLING HEIGHTS, MI 48314  
 586-332-4602

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**LIGHTING PLAN**

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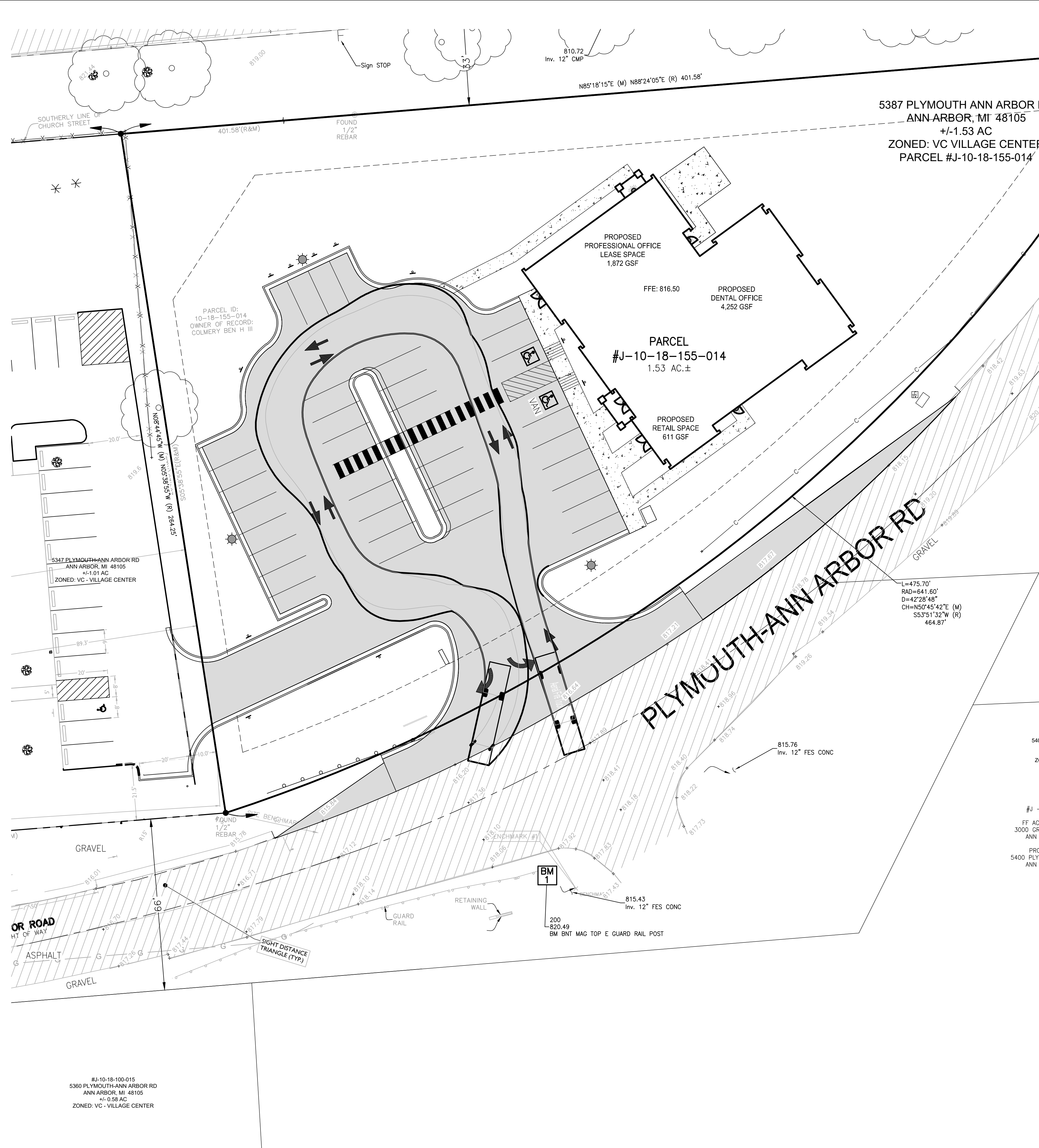
PROJECT	PREPARED FOR	TITLE	DATE

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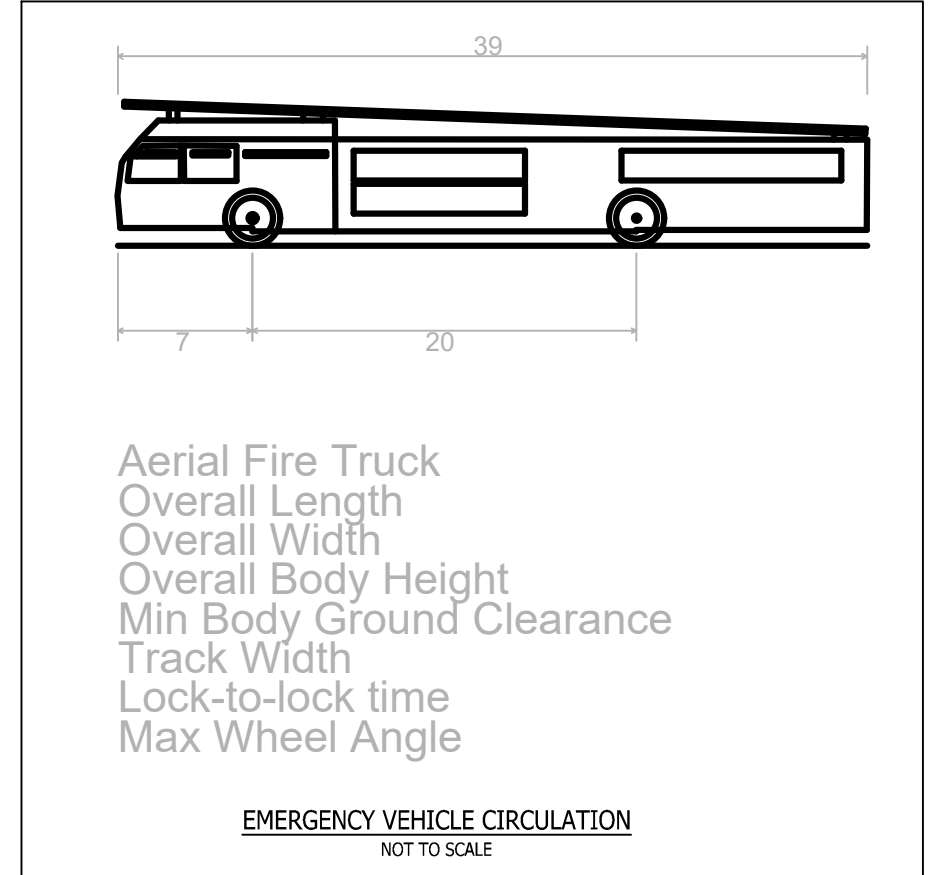
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**LEGEND**

PROPOSED (PR)	EXISTING (EX)	
FF	FF	CONTOUR
FG	FG	FINISHED FLOOR ELEVATION
T/A	T/A	FINISHED GRADE ELEVATION
T/C	T/C	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF ASPHALT
F/L	F/L	TOP OF WALK
T/P	T/P	FLOW LINE
B/P	B/P	TOP OF PIPE
RM	RM	BOTTOM OF PIPE
INV	INV	RIM ELEVATION
MH	MH	INVERT ELEVATION
IN	IN	MANHOLE STRUCTURE
CB	CB	INLET STRUCTURE
RY	RY	CATCHBASIN STRUCTURE
ES	ES	REARYARD STRUCTURE
OV	OV	END-SECTION
HY	HY	GATEVALVE STRUCTURE
UP	UP	HYDRANT
SN	SN	UTILITY POLE
SL	SL	SANITARY SEWER
FM	FM	SANITARY LEAD
PS	PS	FORCE MAIN
ST	ST	PRESSURE SEWER
WM	WM	STORM SEWER
WL	WL	WATER MAIN
FO	FO	WATER LEAD
OH	OH	FIBER OPTIC
C	C	OVERHEAD WIRE
G	G	CABLE
E	E	ELECTRIC
T	T	GAS
L	L	TELEPHONE
F	F	FENCE
X	X	SILT FENCE
W	W	WETLAND BOUNDARY
---	---	LIMITS OF GRADING/CLEARING
○	○	MANHOLE
□	□	INLET / CATCHBASIN
○	○	FLARED END-SECTION
○	○	GATE VALVE
○	○	HYDRANT
○	○	UTILITY POLE
○	○	SN
○	○	NOT FIELD VERIFIED
○	○	TO BE REMOVED
---	---	SANITARY SEWER LABEL
---	---	STORM SEWER LABEL
---	---	WATER MAIN LABEL
---	---	SOIL EROSION CONTROL MEASURE
---	---	(P=PERMANENT, T=TEMPORARY)
---	---	CONCRETE
---	---	ASPHALT
---	---	MODIFIED CURB
---	---	LIMITS OF GRADING



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**PROJECT:** DENTAL OFFICE & MIXED USE  
**PREPARED FOR:** CASSINO BUILDING AND DEVELOPMENT  
 42723 VAN DYKE AVE  
 STERLING HEIGHTS, MI 48314  
 586-332-462

**TITLE:** CIRCULATION PLAN

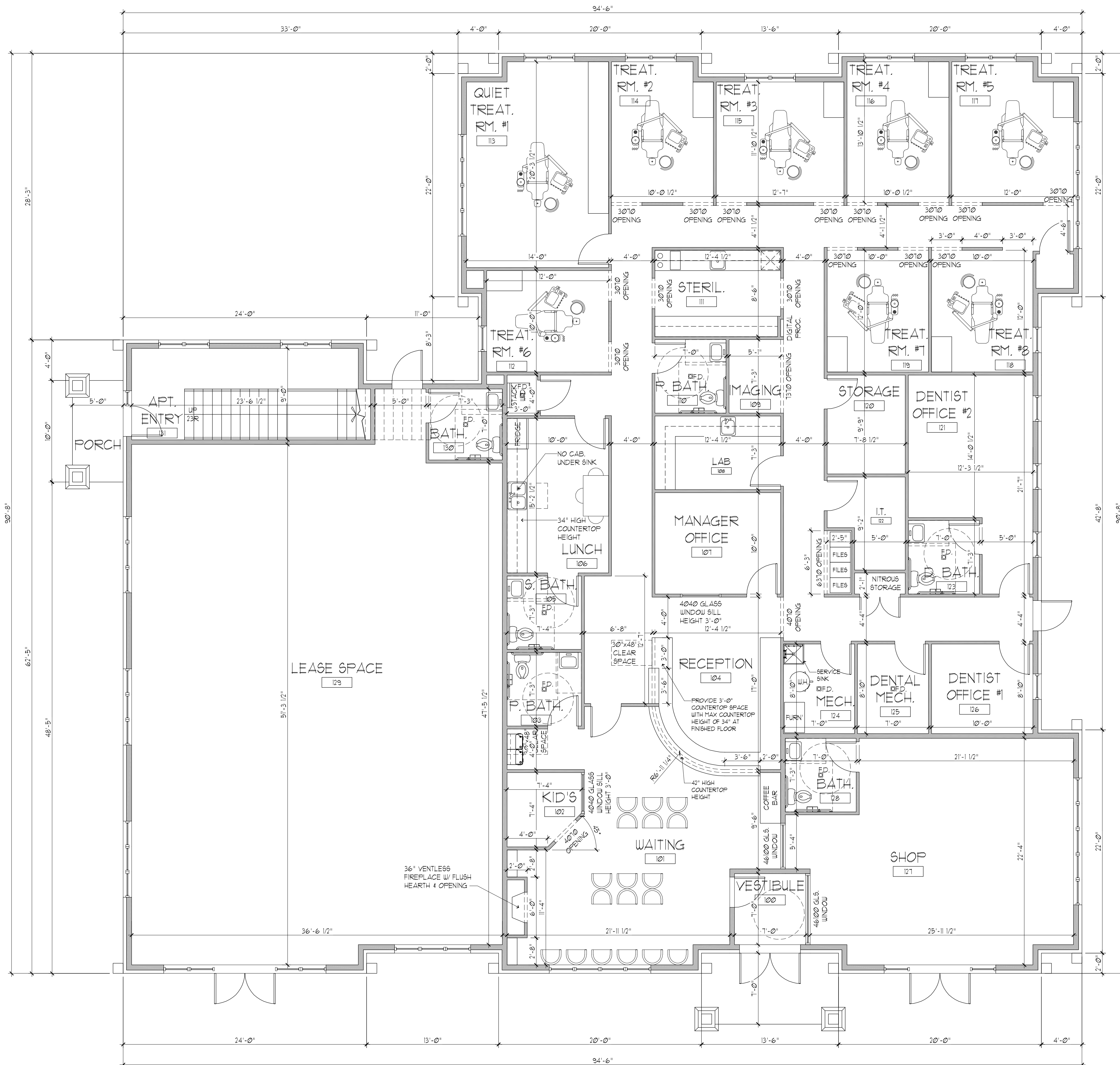
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 JOB NO: 22-097  
 DATE: 12/21/2022  
 SHEET NO. 10

**BEBOSS Engineering**

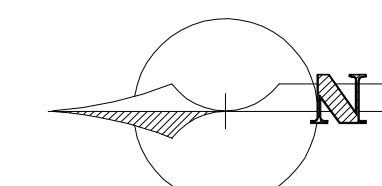
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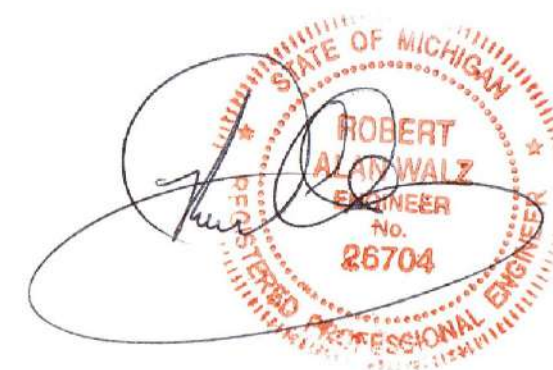


DENTAL OFFICE: 4393 SQ. FT.  
 SHOP: 650 SQ.FT.  
 LEASE SPACE: 2,020 SQ. FT.  
 TOTAL SQUARE FOOTAGE: 7,063 SQ. FT.

GROUND FLOOR: 7,063 SQ. FT.  
 SECOND FLOOR: 3,552 SQ. FT.  
 TOTAL BUILDING SQUARE FOOTAGE: 10,615 SQ. FT.



**GROUND FLOOR PLAN**  
 DENTAL OFFICE: 4393 SQ. FT. SCALE 3/16" = 1'-0"  
 SHOP: 650 SQ.FT.  
 LEASE SPACE: 2,020 SQ. FT.  
 TOTAL SQUARE FOOTAGE: 7,063 SQ. FT.



MAVERICK CONSULTING ENGINEERS, INC.  
 3190 WALNUT LAKE CT.  
 COMMERCE TWP, MI 48390



920 EAST LONG LAKE RD.  
 SUITE 200  
 TROY MI 48065  
 P. 248.524.0445  
 F. 248.524.0447

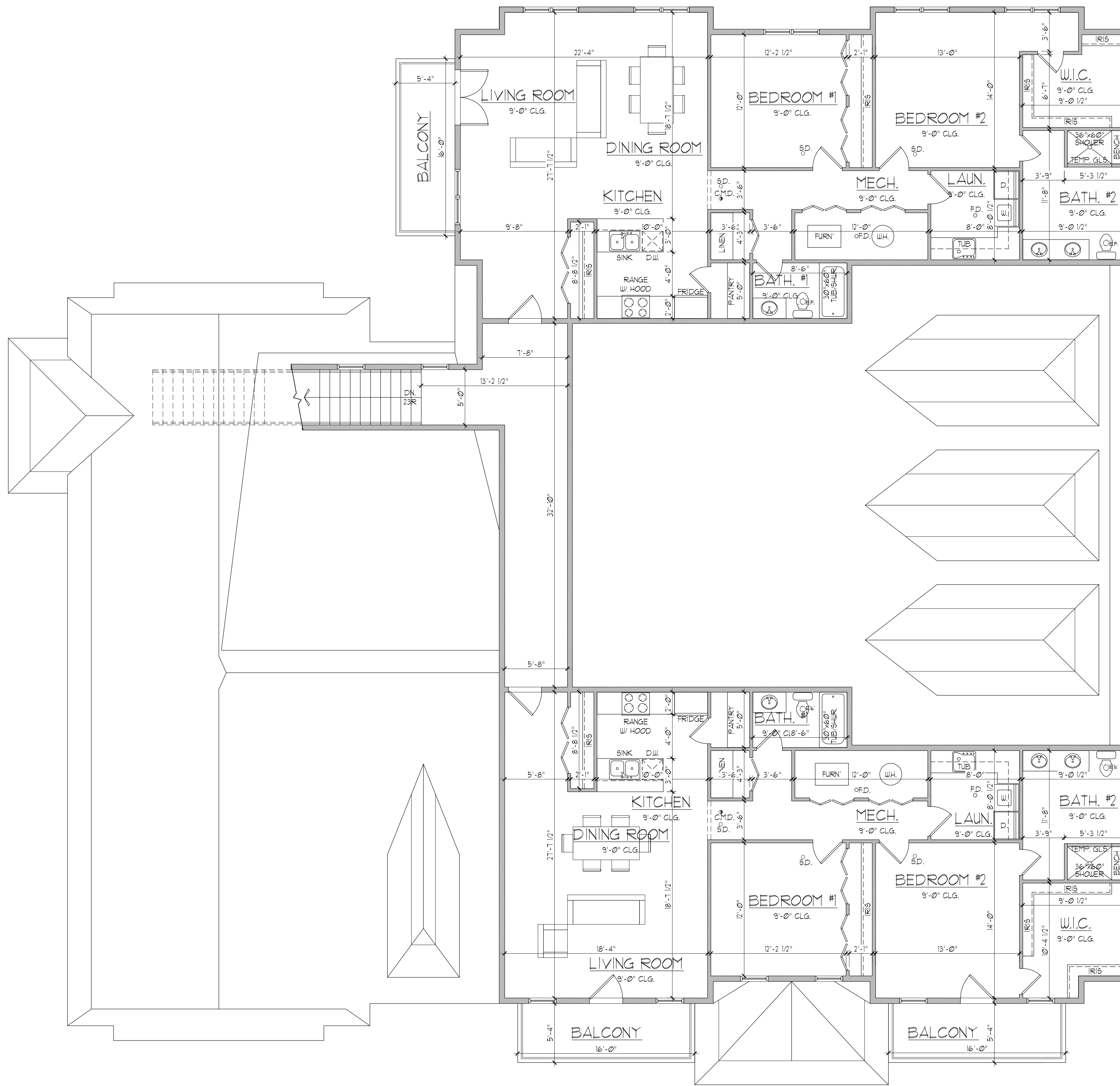
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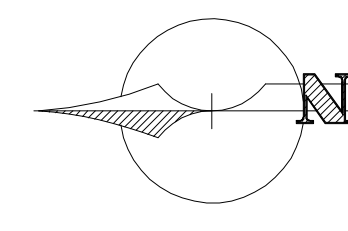
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 OFFICE

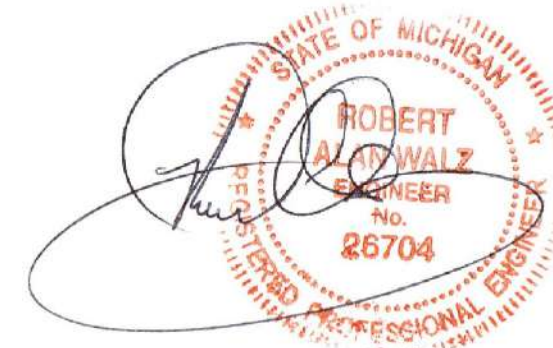
5387 PLYMOUTH ROAD  
 ANN ARBOR, MI. 48105

Site Plan Approval: 11-17-2022  
 Permit Set:  
 Revisions:  
 Final Set:  
 Drawn By: B.J.  
 Checked By: D.D.

Job No:  
**22-241**  
 Sheet No:  
**A1 OF 4**




**SECOND FLOOR PLAN**  
 APARTMENT 1: 1820 SQ. FT. SCALE 3/16" = 1'-0"  
 APARTMENT 2: 1732 SQ. FT.  
 TOTAL SQUARE FOOTAGE: 3552 SQ. FT.



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Site Plan Approval: 11-17-2022

Permit Set:

Revisions:

Final Set:

Drawn By: B.J.

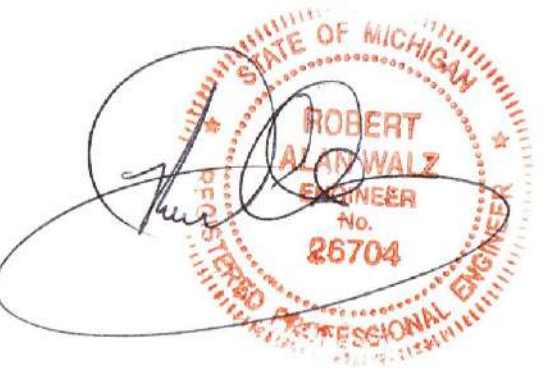
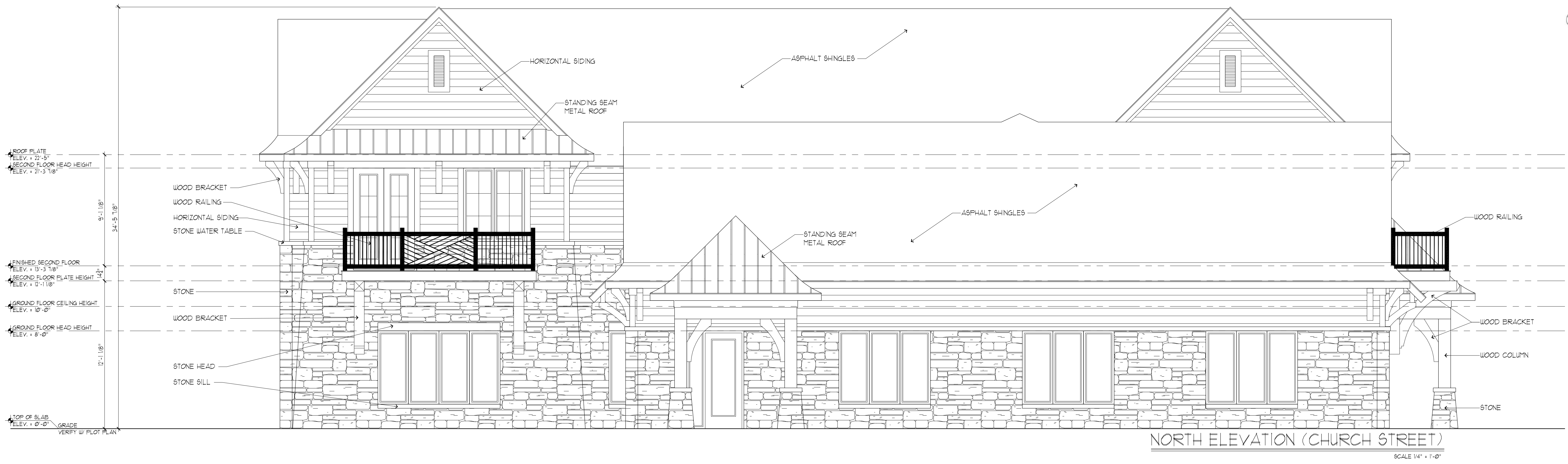
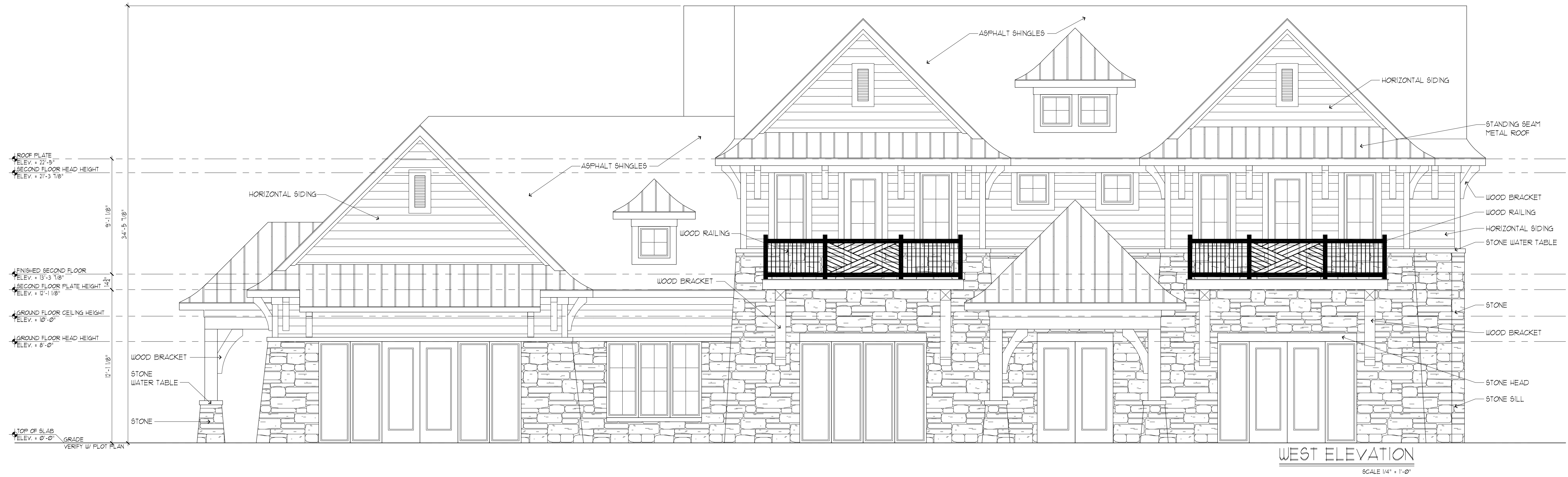
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**22-241**

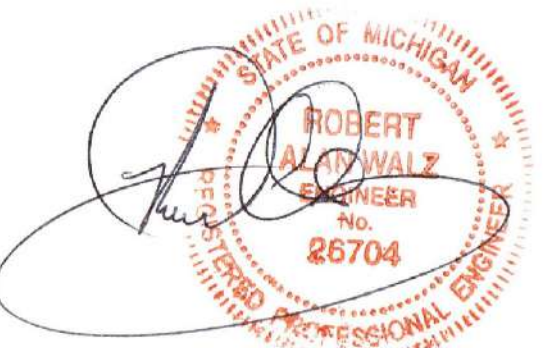
Sheet No:  
**A3 OF 4**



**EAST ELEVATION**  
SCALE 1/4" = 1'-0"



**SOUTH ELEVATION (PLYMOUTH - ANN ARBOR ROAD)**  
SCALE 1/4" = 1'-0"



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REHEMULLA DENTAL OFFICE

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Site Plan Approval: 11-17-2022  
Permit Set:  
Revisions:  
Final Set:  
Drawn By: B.J.  
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Job No:  
**22-241**

Sheet No:  
**A4 OF 4**







## CHARTER TOWNSHIP OF SUPERIOR WASHTENAW COUNTY, MICHIGAN

### MEMORANDUM

**TO:** Superior Charter Township  
**FROM:** Dixboro Design Review Board  
**DATE:** December 5, 2022  
**RE:** 5387 Plymouth Road

At its meeting of November 17, 2022, the Dixboro Design Review Board reviewed a proposal for development of a new structure to be located at 5387 Plymouth Road. This review was performed in compliance with the Township requirements within the VC, Village Center Zoning District.

The proposed project involves construction of a mixed-use building, including a dental practice, a retail shop, lease space and two second floor residential units. Currently vacant, the site is located along the primary road corridor in the Village of Dixboro area. In support of the proposal, a site plan prepared by Boss Engineering and design drawings, including floor plans and elevations prepared by Martini Samartino Design Group, were provided. The building contractor for the project, Cassino Building & Development, also provided background on the proposal.

A description of the proposed project addressed the steps taken in preparing the proposal. Of note:

- Applicant has met with the adjacent owner (5347 Plymouth Rd) to discuss site access issues, resulting in an agreement for a single access drive from Plymouth Rd serving both properties.
- Applicant has reached an agreement with the Washtenaw County Road Commission for the design and location of the shared access drive.
- Applicant has met with the Washtenaw County Water Resources Commissioner's office and reached an agreement on a stormwater management system for the property.
- Applicant has met with the Washtenaw County Environmental Health Division and determined the site is suitable for an on-site septic system, the location of which is included on the site plan.

Based upon its review of the proposed project, the Design Review Board offers the following comments:

1. The proposed site plan is a good approach to what has been considered a difficult property, especially the shared access with the adjacent property.
2. The proposed structure incorporates a quality design utilizing features that are complimentary to the character of other existing structures in the community.
3. Recognizing the proposed project will include development of a new business sign identifying the use of the property, this new sign should be constructed in the same general design as other business signs used on nearby properties. A good example is the sign utilized by RFC Financial, located at 5263 Plymouth Road.
4. Members of the Design Review Board cited the Design Review Guidelines (p. 17) concerning building color: *"The use of color where appropriate should be applied to create a similar appearance to that of existing structures. The recommended approach is white or light tones with dark trim. Predominant colors should be light or subdued, not bright or pastel tones."*
5. The owner is encouraged to develop a pedestrian path connecting the site to Church Street.

Based upon its review, the Dixboro Design Review Board found the proposed project to be compatible with the characteristics common to the Village and believes it will make a positive contribution to the local community. The building will help to promote a "village character" and it is both acceptable and appropriate for the Village.

Please feel free to contact the Dixboro Design Review Board if you have any questions.

cc: Applicants  
Design Review Board members  
File



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

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**To:** Superior Township Planning Commission

**From:** Paul Montagno, AICP

**Date:** January 19, 2023

**RE:** Huron Dental Pre-Application

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The applicant has submitted a site plan application to construct a 4,200 sq/ft mixed use building at 5387 Plymouth Road. The site is located at the southwest corner of Plymouth Road and Church Street. The primary use of this site will be a dentist office, but other accessory uses of the building include:

- Retail: 600 sq/ft.
- Office Space : 1,800 sq/ft
- Residential: 2 units

The site will be served with a 36 parking space parking lot. Proposed access to the site is via Plymouth Road, and cross-access with the recently approved veterinary clinic. The site is adjacent to the aforementioned veterinary clinic and across Plymouth Road from the Boro Restaurant. Behind the site on Church Street are single-family homes.

The site is zoned VC, Village Center District. The dental office is a permitted use in the VC, Village Center District. The applicant does not indicate the type of retail proposed. According to the Table of Permitted Uses by District in section 4.02, general retail sales is not permitted, but some limited retail uses are permitted.



### **Purpose of the Village Center (VC) District**

Based on Section 2.118 of the Zoning Ordinance, the VC District was established as a Special District to encourage and permit mixed uses with a village scale and character in the Dixboro community. This district is located in the Dixboro community in accordance with the adopted Growth Management Plan. Uses permitted in this district are intended to be compatible with residential-type structures and neighboring residences, and are intended to be oriented to pedestrians. The VC District is intended to encourage retention of existing residential structures, either in residential use or in conversion to other permitted uses, and to ensure that remodeled or new structures will have a residential character similar to the existing character of the Dixboro community. Where feasible and appropriate, residential uses should also be incorporated into new developments of commercial and office uses. It is the intent of this district that the setting of buildings will be spacious, and will reflect the existing residential character of Plymouth Road in Dixboro. Parking shall not dominate the appearance of buildings or sites.

### **Master Plan**

The site is located within the Village Center subarea of the Dixboro Master Plan:

*Village Center – The area designated as the village center along Plymouth Road should be gradually converted to a mixed-use area, with a village scale and character. The village center should be limited to lots that front onto Plymouth Road. Uses permitted in the village center should be compatible with residential-type structures and a neighboring residential environment.*

*Uses such as tea and dining rooms, craft shops and studios, bed and breakfast inns, gift shops, antique shops, and small professional offices are considered appropriate in this area, provided maximum sizes are established to ensure a residential scale. Drive-through operations should not be permitted. Single-family dwellings should be permitted in the area.*

*Existing residential structures should be retained, but may be converted to the types of non-residential uses listed above. New buildings should be compatible in scale with the existing residential structures, and should have rooflines and architectural proportions and details that reflect existing houses. Exterior finish materials should be the same as commonly used on single-family dwellings; commercial-appearing materials, such as metal or glass curtain walls and concrete blocks, should not be used in this area. Building height should be limited to two floors and 30 feet.*

*The setting for buildings should be spacious, with setbacks and spacing between buildings to reflect the existing residential situation along Plymouth Road, west of Church Street. Parking for non-residential uses should not be permitted in front of buildings, and parking lots should be small, so that they will not dominate the appearance and character of sites. Existing non-residential structures should be remodeled to meet these standards, to the extent feasible. Exterior lighting should be compatible with a residential atmosphere. Residential-type fixtures, not more than 20 feet high and down shielded, should be used.*

-Page 9-8 and 9-9

The Future Land Use Plan designates the parcel as part of the Dixboro Subarea. The Dixboro Subarea plan does permit for a variety of low intense non-residential uses, provided the development is consistent with the historic nature of the area, and the proposed development addresses other aspects of the subarea plan.

### **Site Plan**

A detailed site plan has been submitted. Though a full site plan review has not been conducted, the plan appears to generally meet the dimensional requirements of the Zoning Ordinance. As noted above, there are some specifics related to the VC district that the Planning Commission should consider. Items included in the plan that the Planning Commission may want to evaluate and provide feedback on during the pre-application discussion include the proposed layout of the site, circulation and access, parking calculations, the proposed landscaping plan, lighting, and building elevations.

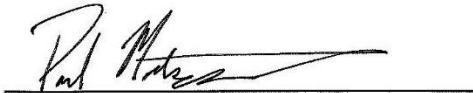
The building design appears to be consistent with the intended residential character. They have proposed lighting that is down directed with a style that is similar to the neighboring site. The site layout appears to be spacious reflecting the existing character of Dixboro Plymouth Road corridor. However, the parking lot appears to dominate the site. The calculations indicate that they are providing 5 more spaces than required by the ordinance. The landscaping proposed may help to soften this appearance.

**Questions for Planning Commission Consideration:**

1. Does the Planning Commission find that use of the site is for a dental clinic, retail, and residential to be consistent with the Master Plan?
2. Is the layout of the proposed development consistent with the master plan and the intent of the Village Center District?
3. Are the building elevations consistent with the existing and intended character of the area according to the master plan and the intent of the Village Center District?
4. Does the Planning Commission have any specific direction for the applicant as it relates to the layout of the site, the parking lot, the landscaping plan or the building elevations?
5. Is there additional information that the applicant should provide?

I look forward to meeting with the Planning Commission to discuss this project.

Sincerely,



---

**CARLISLE/WORTMAN ASSOC., INC.**  
**Paul Montagno, AICP**  
**Senior Associate**

cc: Ken Schwartz, Township Supervisor  
Lynette Findley, Township Clerk  
Laura Bennett, Planning Coordinator  
George Tsakoff, Township engineer  
Ben Carlisle, Principal Planner

Willow Run Acres thanks the Superior Township Board of Trustees for the opportunity to submit a proposal for ARPA funding.

## **Proposal for a Community Farm in Superior Township**

### **What Is Willow Run Acres (WRA)?**

Willow Run Acres 501 (c) (3) was started by Takunia (TC) Collins to provide nutrition and gardening services to his daughter's elementary school class as part of a science project on potatoes. When he asked the children where potatoes came from and they said, "McDonald's," he knew agriculture education was needed. A long-time farmer and former chef, Collins' taught the kids how to plant and take care of their own potatoes, and "The Potato Project" was born; after handing out ten potatoes the first year, Collins gave nearly 200 out the second year. In this ongoing program, students learn about the economics of potato cultivation, potato varieties, and the cultural significance of this important crop.

WRA was recently awarded \$90K from Washtenaw County to expand WRA's current 13-week nutrition and agricultural education course. The curriculum for preschool and school age children includes horticultural lessons on garden preparation, plant selection, companion planting, cultivation, safety, cultural sustainability practices, and post-harvest management. This information is conveyed through demonstration and lessons incorporating art, math, technological, historical, and ethnobotanical instructional paths. These topics meet the Washtenaw County's Community Priority Fund goal of adopting evidence-based educational services and practices to address the academic needs of students, including year-long tutoring, summer classes, after-school activities, and other extended learning and enrichment programs. WRA's programming allowed children not only to learn about and harvest plants, but also to participate fully in the growing cycle from seed to sale. The 13-week agricultural education program serves preschool to sixth grade students with age-appropriate lessons and hands-on experience in Willow Run Acres' many gardening beds. The class incorporates garden safety for every age group, and farm-to-market concepts, as the children take some of their products to the local farmers' market to sell.

WRA also recently received a \$5K grant from Washtenaw Rotary Club to purchase a FARMBOT. This is a robot farming machine that enables anyone including people with disabilities to sow, plant, weed and water. TC is hoping to be able to use this at the community farm.

## **What is WRA trying to address?**

WRA is interested in ameliorating the food desert that exists in the southeast corner of Superior Township (QCT 4074), resulting in many residents experiencing chronic diet-related diseases and food insecurity.

## **Why does WRA want to do this?**

Because TC deeply believes we are all responsible to care for and support each other. Therefore, he is proposing to turn idle land into a self-sustaining community farm, by creating a place for people of all ages and backgrounds to learn potentially life-changing skills. Together, the residents will grow, harvest and sell produce obtained from the land. In addition, as the community farm takes shape, it will naturally become a place in which community building and emotional growth and support can happen as well as economic stability and mobility for the residents.

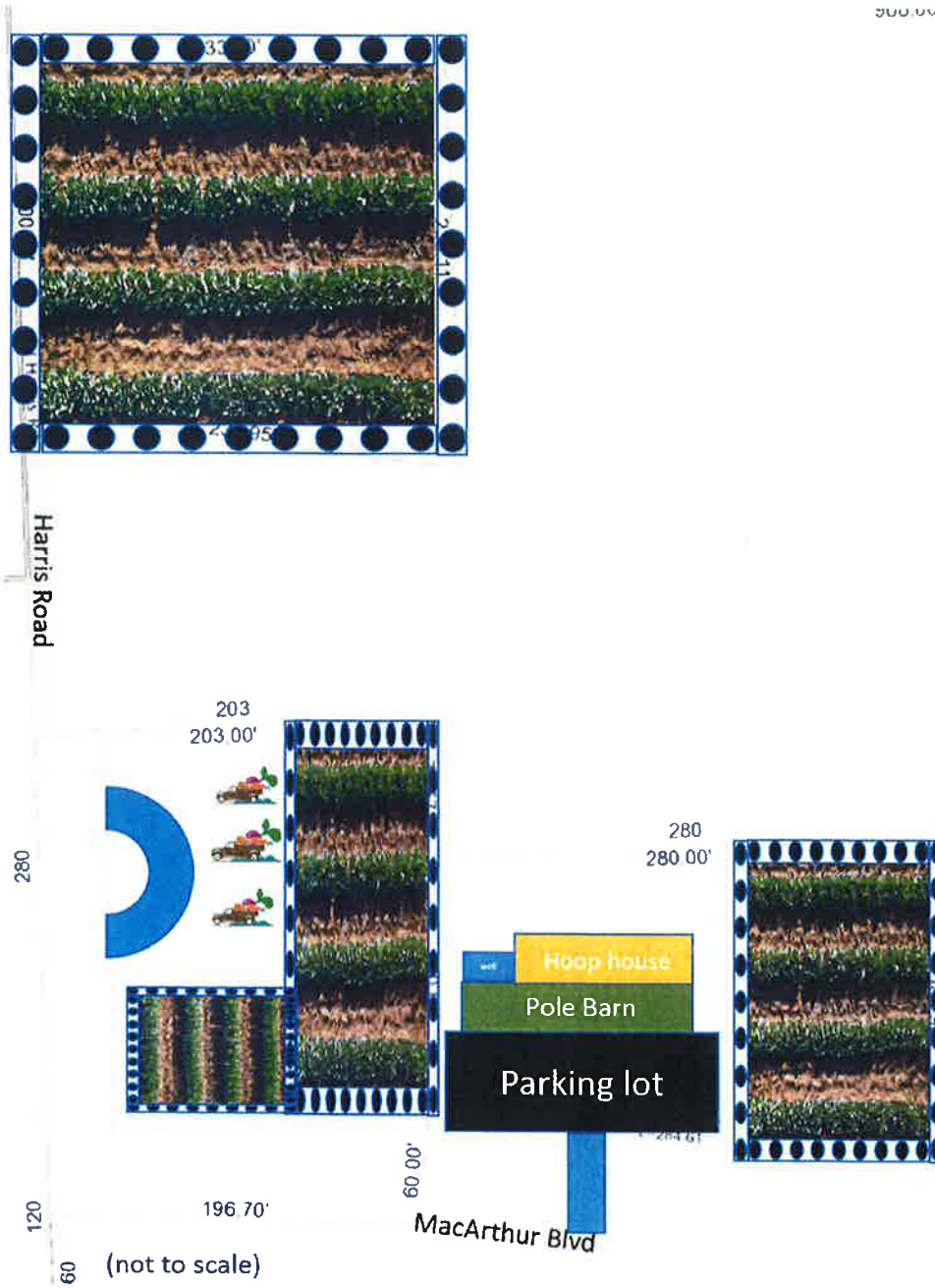
## **What would the community farm look like?**

Part of the land will be for a Pole Barn to create space for:

- An Artisan and Farmers Market
  - Vendors will sell their produce and products one or two days a week for a rental fee
- Processing and selling the food produced on the farm
- Education and training programs for kids and adults

The majority of the land will be used to grow food for various purposes:

- To sustain the community farm
- To provide a u-pick-your-own-veggies
- To provide low cost and free food depending on the person's ability to pay
- To provide farming education
- To help build a more equitable agricultural economy for People of Color
- To empower the community by providing local resources to build on

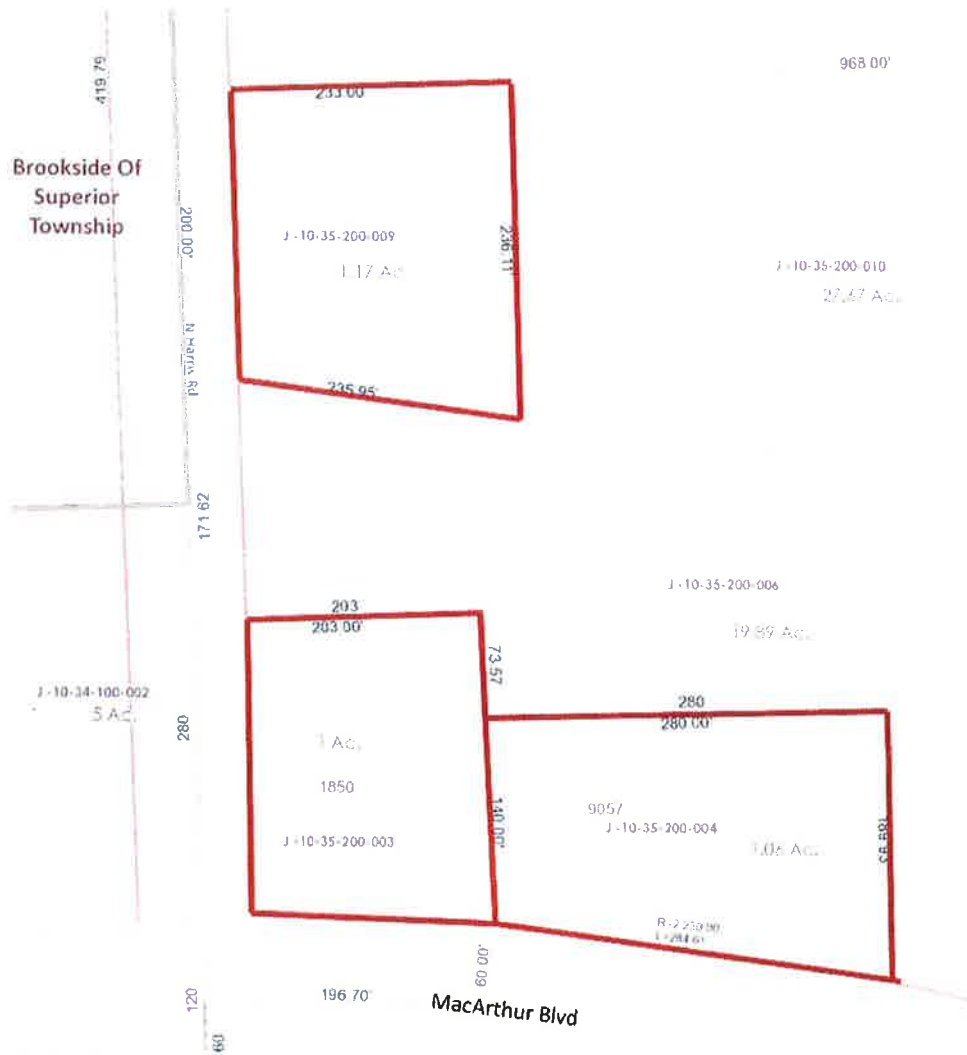


**What is needed to get the community farm started:**

**Land**

To transfer authority of 3 parcels of land (Total 3.23 acres) on Harris Road and MacArthur Blvd (Parcel#’s J-10-35-200-009, J-10-35-200-003 and J-10-35-200-004) for all purposes to Parks and Recreation. Parks and Recreation will oversee the land and Willow Run Acres will run and manage the space. Parks and Recreation will lease the land to Willow Run Acres for 10 years at no cost with an option to renew. Parks and Recreation will create a MOU with Willow Run Acres.





**40' X 64' insulated Pole Barn (\$75,000)**

To locate the Farmers Market and the learning no matter the weather

**Well (\$20,000)**

To ensure a sustainable flowing source of **free** water to keep farming costs down

**Deer "Pole Bean and Wire Fence" with lockable gates (\$30,000)**

To protect the property

**Electrical Work (\$10,000)**

To provide electricity to the pole barn in case WRA is unable to secure solar panels

**Sanitation (\$20,000)**

To provide for a single ADA bathroom and a sink

**ADA Bathroom (\$1,000)**

To be in a partitioned room inside the pole barn

**3 compartment Sink (\$1,500)**

To provide a place for washing and sanitizing produce in the pole barn

**Stand alone Stainless steel Sink (\$150)**

To comply with Health Department standards.

**Refrigerator (\$1,500)**

To protect the produce from spoilage

**Rental Porta Potty (\$2,000)**

To provide for the community's needs until the ADA bathroom is available

**Clearing the Land (\$5,000)**

To remove vegetation from the 1 acre plot (J-10-35-200-009) on Harris and the eastern border of parcel J-10-35-200-004 on MacArthur Blvd



**Fertilizer, seeds, compost, fruit saplings (\$3,850)**

To begin the process of working the land

**Total Budget: \$170,000**

## **Why this project will be successful (Sustainability Plan):**

Willow Run Acres will provide educational garden and farming practices that will include programs such as holistic wellness and exercise. The focus will be to grow diverse crops based on our multicultural community to ensure everyone is included from child to senior no matter where they come from.

Investing these and other kinds of resources in the community will empower and uplift residents to invest their time and new knowledge to ensure their community farm is sustainable for many generations to come.



JULY/AUGUST 2019

## **Teaching kids about potatoes focus of Michigan man**

*By Zeke Jennings*