PROJECT CONTACTS

DEVELOPER / APPLICANT DIVERSE REAL ESTATE LLC 13001 23 MILE ROAD, SUITE 200 SHELBY TWP, MICHIGAN 48315

CIVIL ENGINEER ATWELL, LLC 311 NORTH MAIN STREET ANN ARBOR, MICHIGAN 48104 CONTACT: MATT BUSH, P.E. PHONE: (810) 923-6878

SITE DATA

NET SITE AREA:

CONTACT: JOE KLEE

PHONE: (248) 721-2072

GROSS SITE AREA: PROPOSED ROW: **3.99 ACRES EXCLUDED PARCEL AREA:** 7.61 ACRES

R2 - SINGLE FAMILY RESIDENTIAL (APPROVED JUNE 2022) EXISTING ZONING:

PROPOSED ZONING: R2 - SINGLE FAMILY RESIDENTIAL PROPOSED USE: SINGLE FAMILY RESIDENTIAL SITE

NUMBER OF PROP. LOTS TOTAL: PROPOSED DENSITY (GROSS): PROPOSED DENSITY (NET):

MINIMUM LOT WIDTH: LOT SETBACKS:

REGULATED

NON-REGULATED

FRONT-SIDE-15' MIN. (50' TOTAL)

REAR-PROPOSED LOT COVERAGE: MAX 25%

PROPOSED GENERAL COMMON ELEMENT (G.C.E.): 10.58 ACRES WETLAND IMPACTS:

*FIRE DEPARTMENT NOTE: ROADWAYS AND BRIDGES TO BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS

0.0 ACRES

LEGAL DESCRIPTION

EXHIBIT "A" DESCRIPTION PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY STEWART TITLE GUARANTY COMPANY ISSUING AGENT: ATA NATIONAL TITLE GROUP, LLC, ISSUING OFFICE FILE NUMBER: 81-21796648-GCM, COMMITMENT DAT

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS: TOWNSHIP OF SUPERIOR, COUNTY OF WASHTENAW, STATE OF MICHIGAN

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 8. TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHI WASHTENAW COUNTY, MICHIGAN; THENCE NORTH 00 DEGREES 58 MINUTES 12 SECONDS EAST ALONG THE NORTH AND SOUTH 1/4 LINE 933.09 FEET TO A POINT IN THE CENTER OF FLEMING CREEK, SAID POINT BEING THE POINT OF BEGINNING: THENCE CONTINUING NORTH 00 DEGREES 58 MINUTES 12 SECONDS ALONG SAID NORTH AND SOUTH 1/4 LINE 378.14 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD; THENCE NORTH 73 DEGREES 32 MINUTES 14 SECONDS EAST ALONG SAID CENTERLINE 332.78 FEET; THENCE SOUTH 01 DEGREES 02 MINUTES 14 SECONDS WEST 411.82 FEET TO A POINT IN THE CENTER OF FLEMING CREEK; THENCE SOUTH 79 DEGREES 12 MINUTES 25 SECONDS WEST 323.81

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY MICHIGAN: THENCE NORTH OO DEGREES 58 MINUTES 12 SECONDS EAST ALONG THE NORTH SOUTH 1/4 LINE OF SAID SECTION 1311.23 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD, SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00 DEGREES 58 MINUTES 12 SECONDS EAST ALONG SAID NORTH AND SOUTH 1/4 LINE 1252.41 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF M-14 EXPRESSWAY; THENCE SOUTH 88 DEGREES 26 MINUTES 20 SECONDS EAST ALONG SAID RIGHT OF WAY LINE 565.80 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE 789.28 FEET ALONG THE ARC OF A 3716.72 FOOT RADIUS CIRCULAR CURVE CONCAVE SOUTHWESTERLY THROUGH A CENTRAL ANGLE OF 12 DEGREES 10 MINUTES 02 SECONDS, HAVING A CHORD WHICH BEARS SOUTH 82 DEGREES 21 MINUTES 19 SECONDS EAST 787.79 FEET TO A POINT ON THE EAST LINE OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 8: THENCE SOUTH OO DEGREES 40 MINUTES 14 SECONDS WEST ALONG SAID EAST LINE 731.45 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD; THENCE SOUTH 73 DEGREES 32 MINUTES 14 SECONDS WEST ALONG SAID CENTERLINE 1417.16 FEET TO THE POINT OF BEGINNING.

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE NORTH 00 DEGREES 58 MINUTES 12 SECONDS EAST ALONG THE NORTH AND SOUTH 1/4 LINE 1311.23 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD; THENCE NORTH 73 DEGREES 32 MINUTES 14 SECONDS EAST ALONG SAID CENTERLINE 572.78 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 73 DEGREES 32 MINUTES 14 SECONDS EAST ALONG SAID CENTERLINE 1163.76 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD BRIDGE OVER FLEMING CREEK; THENCE ALONG THE BOUNDARY LINE BETWEEN THE LAND OF NANRY TO THE NORTH AND GALPIN TO THE SOUTH IN THE FOLLOWING COURSES: SOUTH 28 DEGREES 0.3 MINUTES 30 SECONDS WEST 21.00 FEET; SOUTH 16 DEGREES 26 MINUTES 00 SECONDS WEST 115.27 FEET TO A POINT ON THE NORTHWESTERLY BANK OF FLEMING CREEK; SOUTH 46 DEGREES 37 MINUTES 30 SECONDS WEST 145.29 FEET TO A POINT ON THE SOUTHERLY BANK OF SAID CREEK; SOUTH 52 DEGREES 16 MINUTES 00 SECONDS WEST 172.87 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 54 DEGREES 59 MINUTES OO SECONDS WEST 159.72 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 63 DEGREES 32 MINUTES 00 SECONDS WEST 119.48 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 71 DEGREES 54 MINUTES 00 SECONDS WEST 127.92 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 63 DEGREES 02 MINUTES 00 SECONDS WEST 285.51 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 66 DEGREES 26 MINUTES 30 SECONDS WEST 258.24 FEET TO POINT ON THE NORTHERLY BANK OF SAID CREEK; THENCE NORTH 02 DEGREES 36 MINUTES 24 SECONDS EAST 424.34 FEET TO THE POINT OF BEGINNING.

ALL THAT PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST LYING NORTH OF PLYMOUTH ROAD, NORTHWESTERLY OF THE CENTERLINE OF FLEMING CREEK AND WESTERLY OF A LINE BEARING SOUTH 24 DEGREES 32 MINUTES EAST FROM A POINT ON THE EAST AND WEST 1/4 LINE LOCATED 724.89 FEET WEST OF THE EAST 1/4 POST OF SAID SECTION 8; EXCEPT

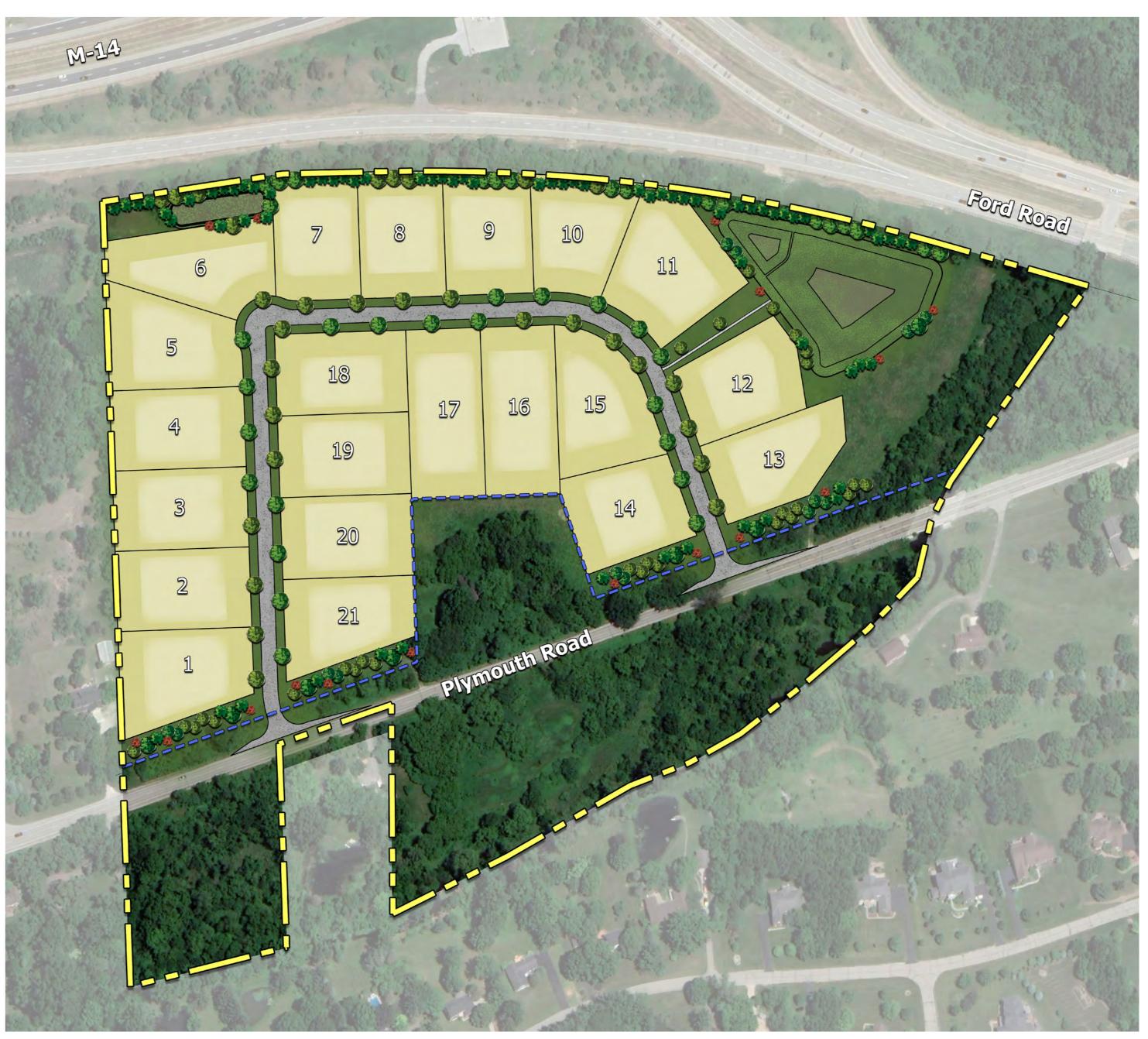
THAT PART OF TRACT "A" LYING NORTH OF A LINE 103 FEET SOUTH OF, MEASURED AT RIGHT ANGLES AND PARALLEL WITH, THE REFERENCE LINE OF EASTBOUND ROADWAY OF LIMITED ACCESS HIGHWAY M-14, TOGETHER WITH ALL RIGHT OF INGRESS AND EGRESS, IF ANY THERE BE, TO, FROM AND BETWEEN THE HIGHWAY ON TRACT "B" AND THE REMAINDER OF TRACT "A". THE REFERENCE LINE OF EASTBOUND ROADWAY IS DESCRIBED AS FOLLOWS: BEGINNING 2609.83 FEET SOUTH 2 DEGREES 37 MINUTES 29 SECONDS EAST ALONG SECTION LINE FROM NORTHWEST CORNER AND 62.82 FEET NORTHERLY FROM WEST 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST; THENCE NORTH 88 DEGREES 57 MINUTES 38 SECONDS EAST 3180.88 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 17 DEGREES 25 MINUTES 12 SECONDS AND A RADIUS OF 3819.72 FEET; THENCE SOUTHEAST ALONG THE ARC OF SAID CURVE 1161.33 FEET TO ITS POINT OF TANGENT; THENCE SOUTH 73 DEGREES 37 MINUTES 10 SECONDS EAST 898.97 FEET TO A POINT OF ENDING IN CENTERLINE OF PLYMOUTH ROAD, SAID POINT OF ENDING LYING 459.16 FEET SOUTH 02 DEGREES 07 MINUTES 17 SECONDS EAST; THENCE 151.11 FEET SOUTH 61 DEGREES 32 MINUTES 20 SECONDS WEST FROM EAST 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST, TOWNSHIP OF SUPERIOR, WASHTENAW COUNTY,

SCHEDULE B, PART II EXCEPTIONS PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY STEWART TITLE GUARANTY COMPANY, ISSUING AGENT: ATA NATIONAL TITLE GROUP, LLC, ISSUING OFFICE FILE NUMBER: 81-21796648-GCM,

- 8. EASEMENT GRANTED TO THE DETROIT EDISON COMPANY FOR CONSTRUCTION, OPERATION AND MAINTENANCE OF ELECTRIC LIGHT AND POWER LINES. INCLUDING THE TRIMMING OF TREES ALONG SAID LINES, AS DISCLOSED BY AGREEMENT RECORDED IN LIBER 1 OF GRANTS, PAGE 106, WASHTENAW COUNTY RECORDS. RESPONSE: COVERS A PORTION OF SUBJECT PROPERTY AND ADDITIONAL LAND, EASEMENT AS SHOWN HEREON, NO WIDTH DEFINED, APPEARS TO BE BLANKET IN NATURE.
- RELEASE OF RIGHT OF WAY TO THE STATE OF MICHIGAN FOR HIGHWAY PURPOSES RECORDED IN LIBER 266, PAGE 574, WASHTENAW COUNTY RECORDS.
- 10. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN AGREEMENT RECORDED IN LIBER 1058, PAGE 381, WASHTENAW COUNTY RECORDS RESPONSE: AS SHOWN HEREON.
- 11. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN, AND EASEMENT(S) CREATED BY, DECLARATION OF TAKING RECORDED IN LIBER 1417, PAGE 840, WASHTENAW COUNTY RECORDS. RESPONSE: TRACT "A" COVERS PARCEL 1 TRACT B, RIGHT OF WAY TAKING AND EASEMENT AS SHOWN HEREON.
- 12. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN MEMORANDUM OF LICENSE RECORDED IN LIBER 5399, PAGE 760, WASHTENAW COUNTY RECORDS.
 RESPONSE: COVERS A PORTION OF SUBJECT PROPERTY AND ADDITIONAL LAND, EASEMENT AS SHOWN HEREON.

KINSLEY DEVELOPMENT

A SINGLE FAMILY DEVELOPMENT SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN PRELIMINARY SITE PLAN



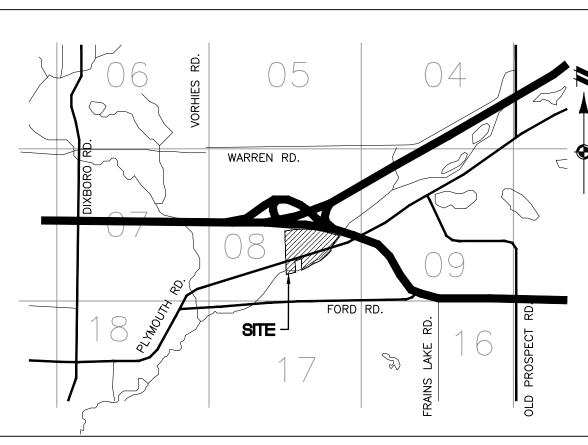
OVERALL DEVELOPMENT MAP

SCALE: 1" = 150 FEET

PROJECT NARRATIVE

KINSLEY IS LOCATED ON THE NORTH SIDE OF PLYMOUTH ROAD, JUST WEST OF FORD ROAD AND SOUTH OF M-14 IN SUPERIOR TOWNSHIP. THE SITE IS APPROXIMATELY 47 ACRES AND IS ZONED R-2, SINGLE FAMILY RESIDENTIAL. THE APPLICANT IS PROPOSING TO DEVELOP THE PARCEL AS A 21 UNIT SITE CONDOMINIUM, PORTIONS OF THE EXISTING PARCEL ARE TO BE EXCLUDED FROM THIS SITE CONDOMINIUM AS NOTED. THE PROPOSED LOTS HAVE A MINIMUM WIDTH OF 150' AND MINIMUM LOT SIZE OF 43,560 SQUARE FEET (1.0 ACRES). THE HOMES WILL RANGE FROM 2,700 TO 6,200 SQUARE FEET WITH SALES PRICES STARTING IN THE HIGH \$600,000S. THE DEVELOPMENT WILL BE CONSTRUCTED IN A SINGLE PHASE. KINSLEY WILL CONTAIN PRIVATE ROADS AND WILL CONTAIN PRIVATE WELLS AND SEPTIC SYSTEMS. SITE DEVELOPMENT IS ANTICIPATED TO BEGIN IN 2023, WITH VERTICAL CONSTRUCTION BEGINNING IN 2024 AND CONSTRUCTION

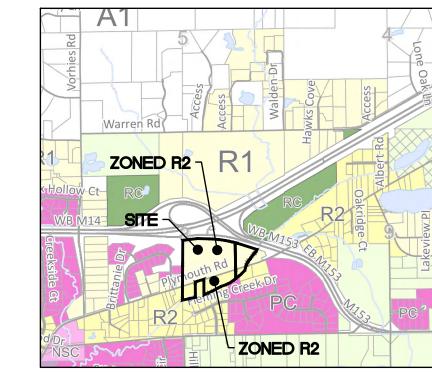




VICINITY MAP 1" = 20,000 FEET

SHEET INDEX

- COVER SHEET
- OVERALL EXISTING CONDITIONS EXISTING CONDITIONS AREA
- EXISTING CONDITIONS AREA 3 EXISTING CONDITIONS AREA
- NATRUAL FEATURES PLAN
- OVERALL LAYOUT PLAN
- LAYOUT PLAN AREA LAYOUT PLAN AREA 2
- LAYOUT PLAN AREA 3
- LAYOUT PLAN AREA 4
- OVERALL UTILITY PLAN
- UTILITIES PLAN AREA
- UTILITIES PLAN AREA 3
- GRADING PLAN AREA 2 GRADING PLAN AREA 3
- GRADING PLAN AREA 4
- STORM WATER PLAN & PROFILE 1
- STORM WATER PLAN & PROFILE 2 STORM WATER PLAN & PROFILE 3
- STORM WATER PLAN & PROFILE 4
- STORM WATER PLAN & PROFILE 5
- STORM WATER PLAN & PROFILE 6
- STORM WATER PLAN & PROFILE 7 CONCEPTUAL DRAINAGE
- STORM WATER CONVEYANCE CALCULATIONS
- SOIL EROSION AND SEDIMENTATION CONTROL PLAN SOIL EROSION AND SEDIMENTATION CONTROL DETAILS
- TREE LIST
- ELEVATIONS
- **ELEVATIONS** LANDSCAPE PLAN
- L-2 GREENBELT PLAN
- L-3 DETENTION PONDS L-4 LANDSCAPE DETAILS



<u>ZONING MAP</u>



NSTRUCTION SITE SAFETY IS SOLE RESPONSIBILITY OF THE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY

CONSENT OF ATWELL LLC

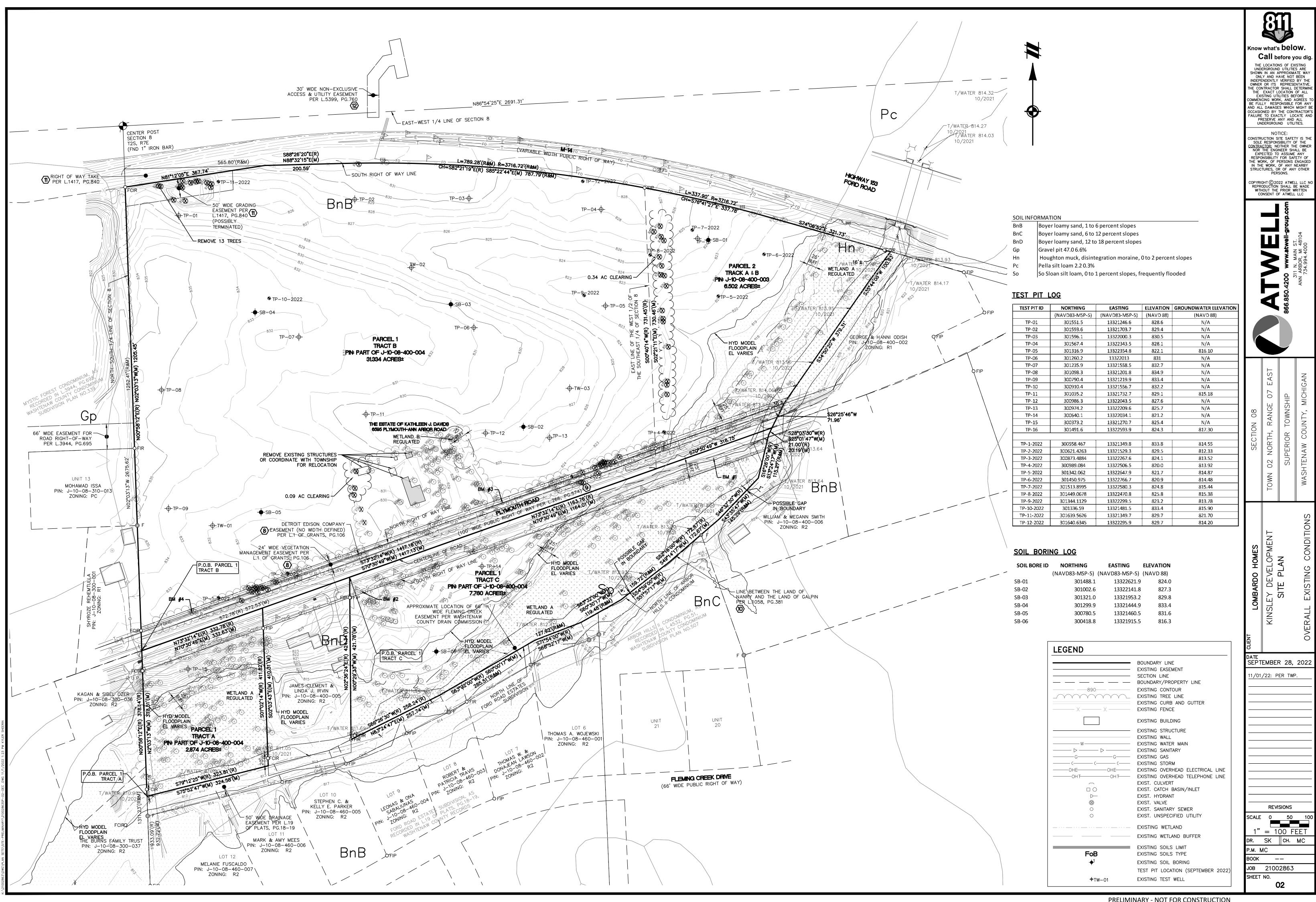
SEPTEMBER 28, 2022

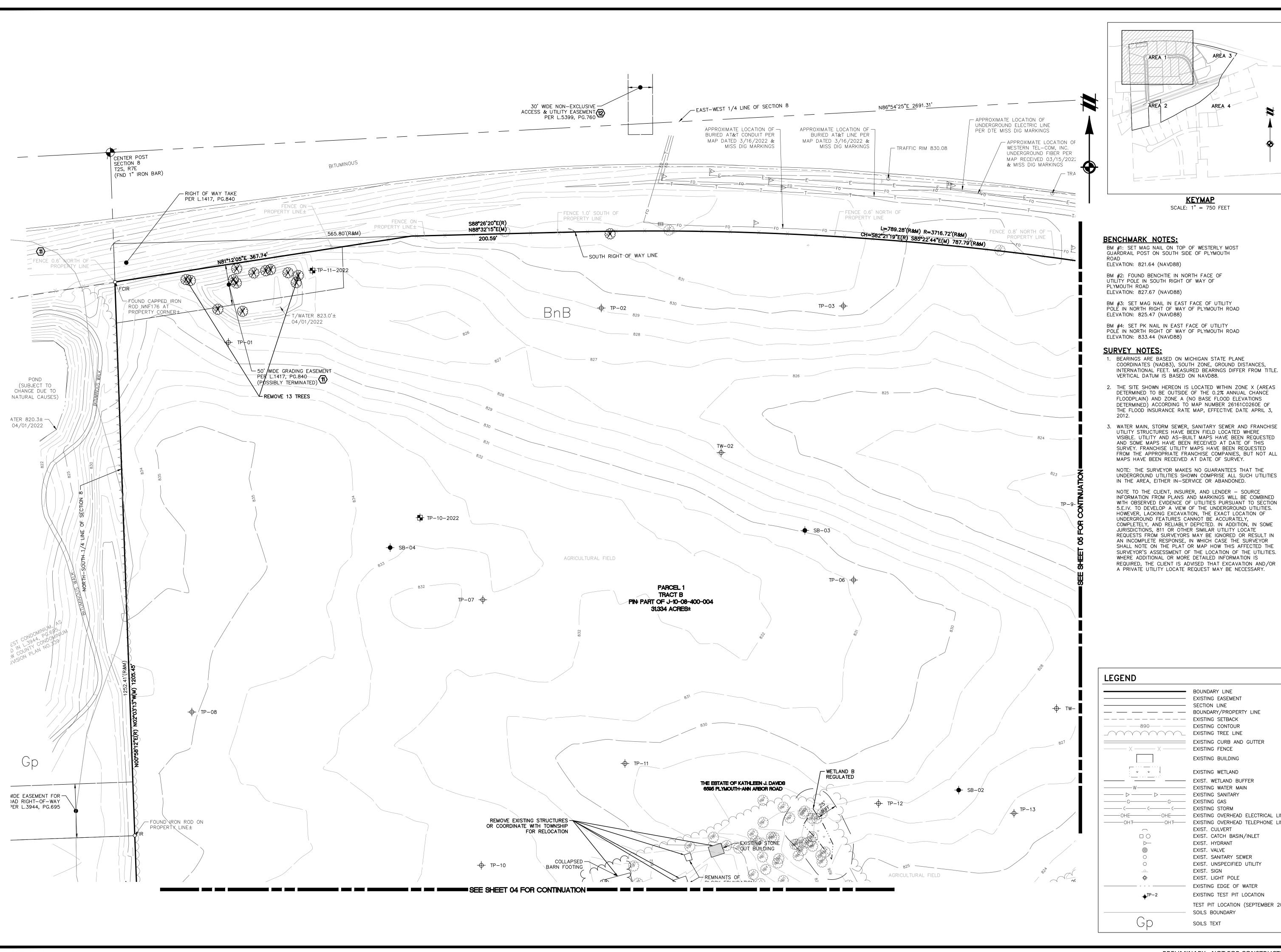
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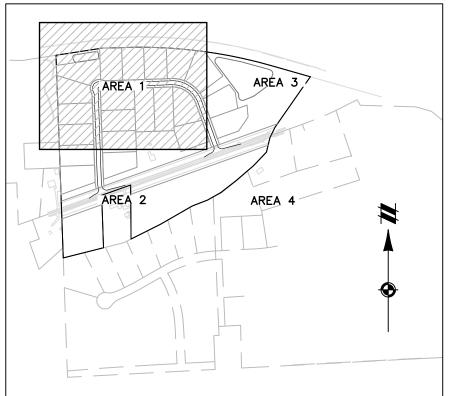
REVISIONS

AS NOTED SK || CH. MC

.M. MC BOOK --JOB 21002863 SHEET NO.







<u>KEYMAP</u> SCALE: 1" = 750 FEET

BM #1: SET MAG NAIL ON TOP OF WESTERLY MOST GUARDRAIL POST ON SOUTH SIDE OF PLYMOUTH

UTILITY POLE IN SOUTH RIGHT OF WAY OF

BM #3: SET MAG NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD

BM #4: SET PK NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 833.44 (NAVD88)

COORDINATES (NAD83), SOUTH ZONE, GROUND DISTANCES, INTERNATIONAL FEET. MEASURED BEARINGS DIFFER FROM TITLE. VERTICAL DATUM IS BASED ON NAVD88.

- 2. THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHÂNCE FLOODPLAIN) AND ZONE A (NO BASE FLOOD ELEVATIONS DETERMINED) ACCORDING TO MAP NUMBER 26161C0260E OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE APRIL 3,
- UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.

NOTE: THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.

NOTE TO THE CLIENT, INSURER, AND LENDER - SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.

	EXISTING SETBACK EXISTING CONTOUR EXISTING TREE LINE EXISTING CURB AND GUTTER
· · · · · · · · · · · · · · · · · · ·	EXISTING WETLAND
— W — D — G — G — — C — C — C — C — C — OHE — OHE	EXISTING GAS
○ ○ ❖	EXIST. SANITARY SEWER EXIST. UNSPECIFIED UTILITY EXIST. SIGN EXIST. LIGHT POLE EXISTING EDGE OF WATER
∳ TP−2	EXISTING LEGE OF WATER EXISTING TEST PIT LOCATION TEST PIT LOCATION (SEPTEMBER 202)
	120. 1.1 200/11014 (021 121/1021)

BOUNDARY LINE

Know what's below.

Call before you dig. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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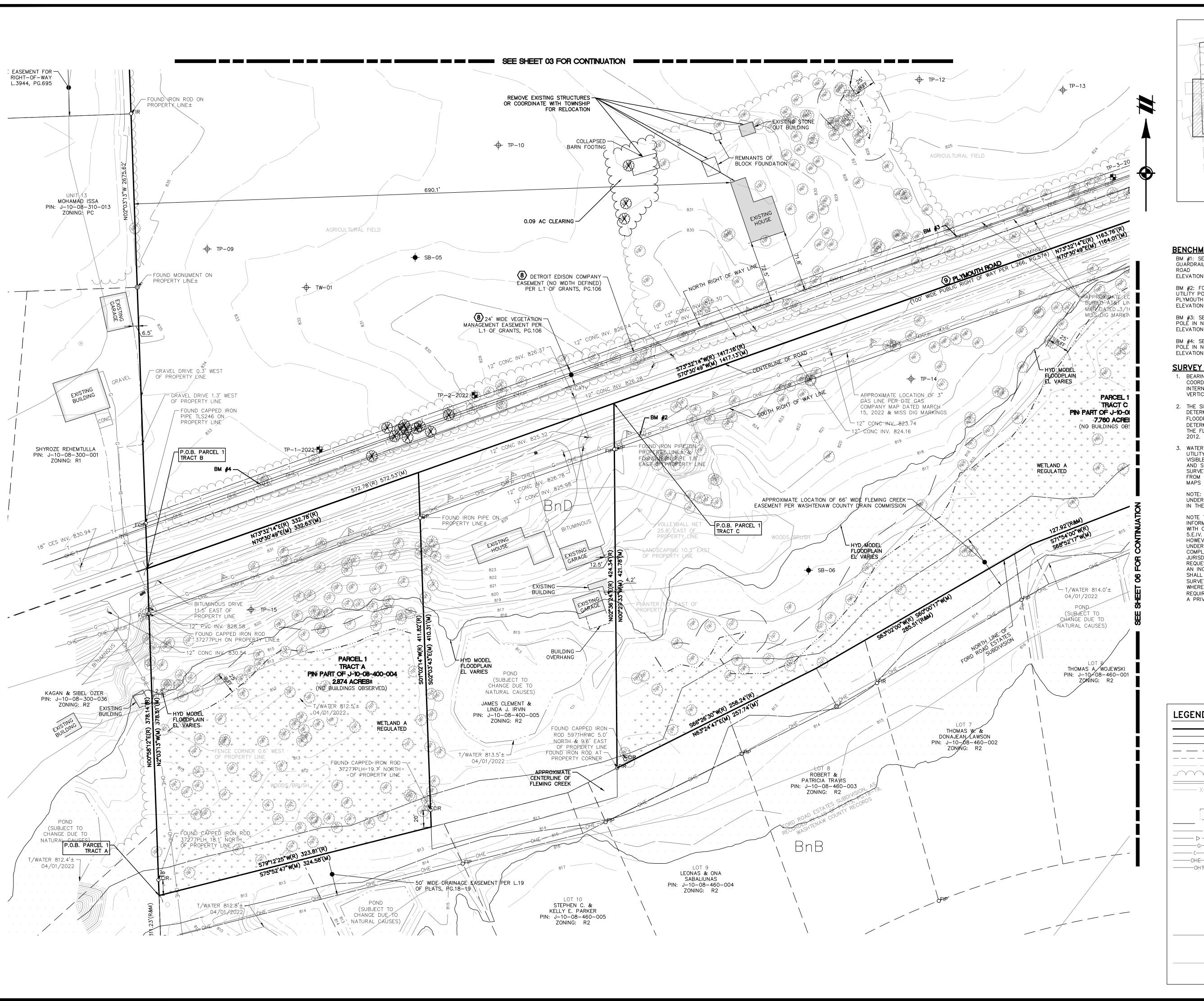
DATE SEPTEMBER 28, 2022

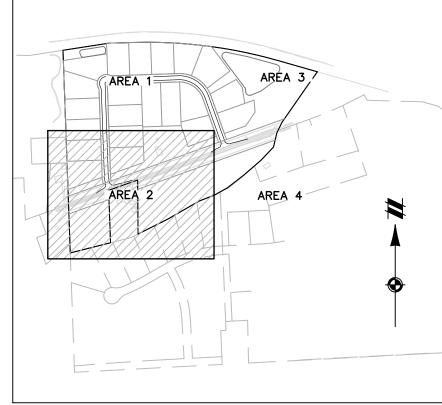
REVISIONS 1" = 50 FEETSK || CH. MC

P.M. MC BOOK --JOB 21002863 SHEET NO. 03

SOILS BOUNDARY

SOILS TEXT





KEYMAP

BENCHMARK NOTES:

BM #1: SET MAG NAIL ON TOP OF WESTERLY MOST GUARDRAIL POST ON SOUTH SIDE OF PLYMOUTH ELEVATION: 821.64 (NAVD88)

BM #2: FOUND BENCHTIE IN NORTH FACE OF UTILITY POLE IN SOUTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 827.67 (NAVD88)

BM #3: SET MAG NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 825.47 (NAVD88)

BM #4: SET PK NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 833.44 (NAVD88)

- COORDINATES (NAD83), SOUTH ZONE, GROUND DISTANCES, INTERNATIONAL FEET. MEASURED BEARINGS DIFFER FROM TITLE. VERTICAL DATUM IS BASED ON NAVD88.
- 2. THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHÂNCE FLOODPLAIN) AND ZONE A (NO BASE FLOOD ELEVATIONS DETERMINED) ACCORDING TO MAP NUMBER 26161C0260E OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE APRIL 3,
- UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.

UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.

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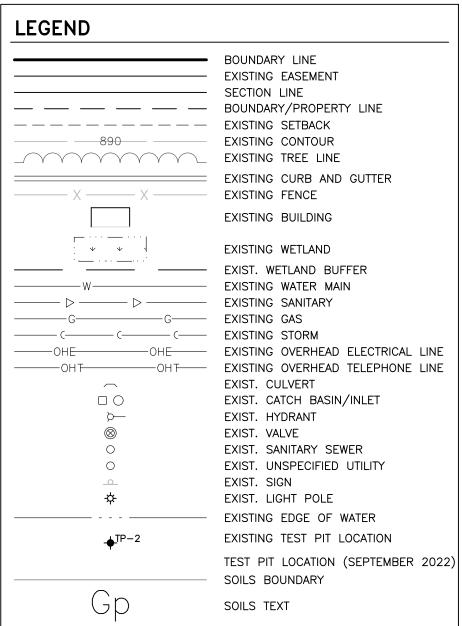
SCALE: 1" = 750 FEET

SURVEY NOTES: 1. BEARINGS ARE BASED ON MICHIGAN STATE PLANE

- 3. WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL

NOTE: THE SURVEYOR MAKES NO GUARANTEES THAT THE

A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.



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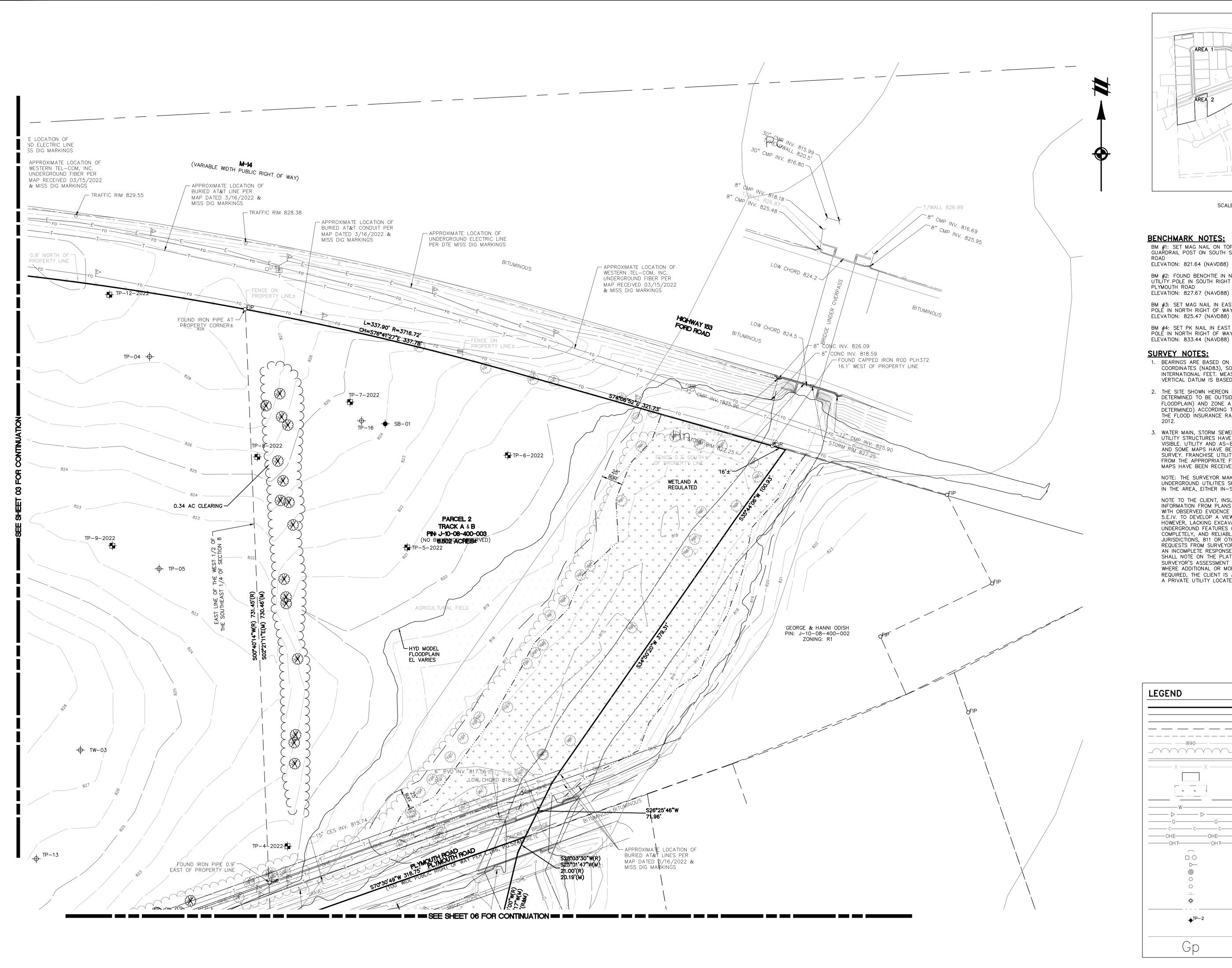
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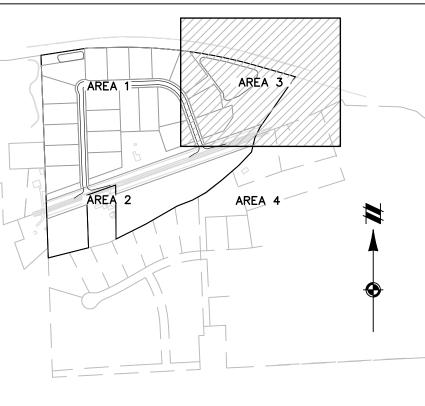
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REVISIONS 1" = 50 FEET SK || CH. MC P.M. MC BOOK --JOB 21002863

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SHEET NO.





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REVISIONS

1" = 50 FEET

05

DR. SK | CH. MC

P.M. MC

SHEET NO.

BOOK --

JOB 21002863

Call before you dig THE LOCATIONS OF EXISTING

<u>KEYMAP</u> SCALE: 1" = 750 FEET

BENCHMARK NOTES:

BM #1: SET MAG NAIL ON TOP OF WESTERLY MOST GUARDRAIL POST ON SOUTH SIDE OF PLYMOUTH ELEVATION: 821.64 (NAVD88)

BM #2: FOUND BENCHTIE IN NORTH FACE OF UTILITY POLE IN SOUTH RIGHT OF WAY OF PLYMOUTH ROAD

BM #3: SET MAG NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 825.47 (NAVD88)

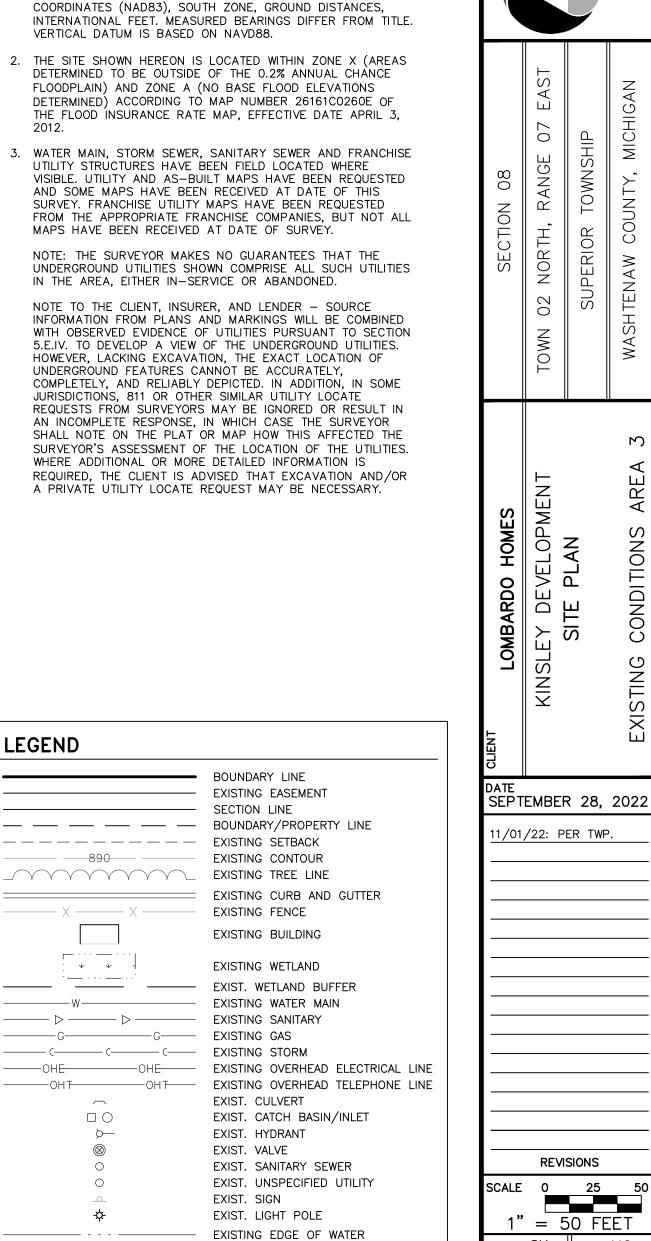
BM #4: SET PK NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 833.44 (NAVD88)

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- DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHÂNCE FLOODPLAIN) AND ZONE A (NO BASE FLOOD ELEVATIONS DETERMINED) ACCORDING TO MAP NUMBER 26161C0260E OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE APRIL 3,
- UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.

UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.

NOTE TO THE CLIENT, INSURER, AND LENDER - SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINE WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE
REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR

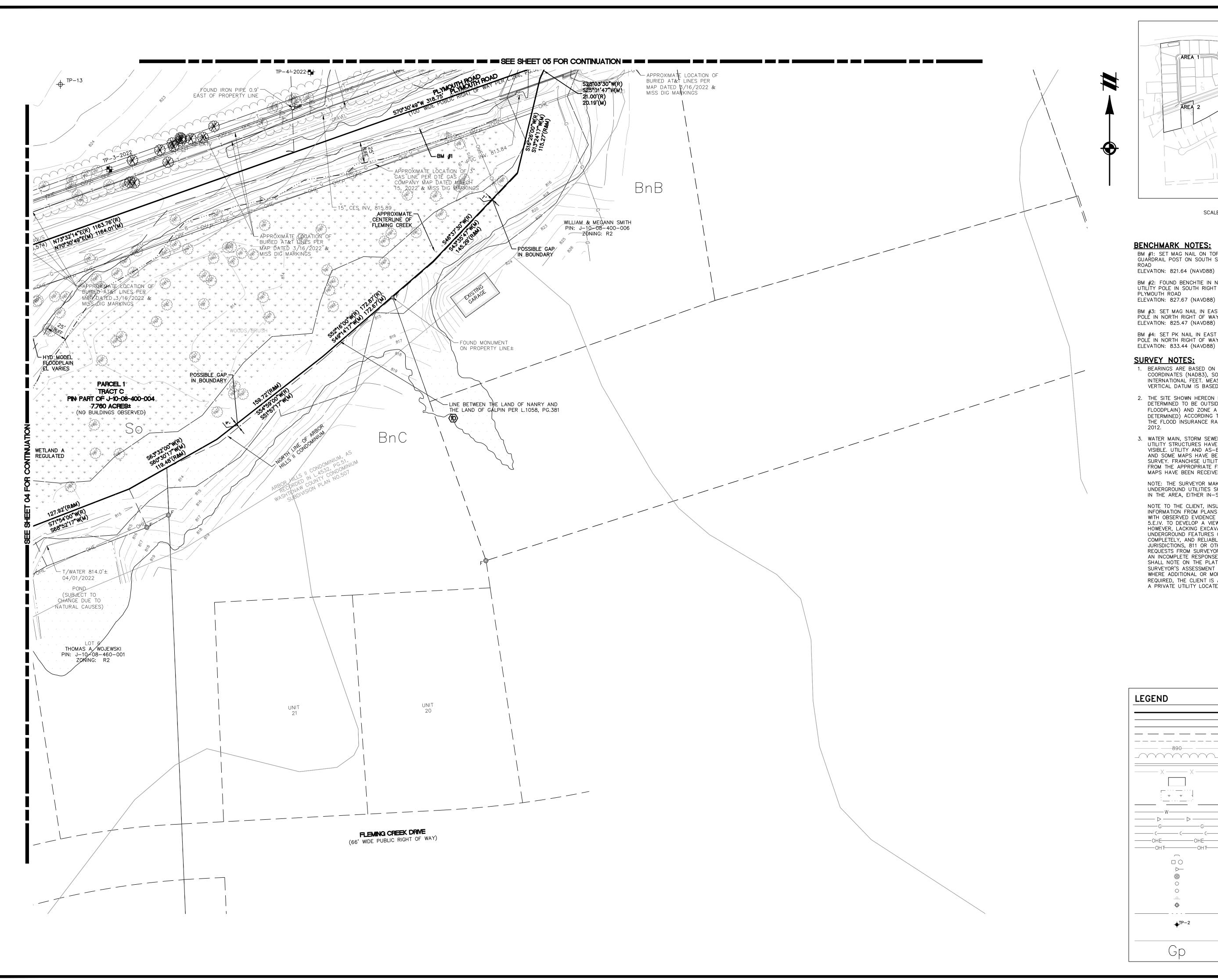


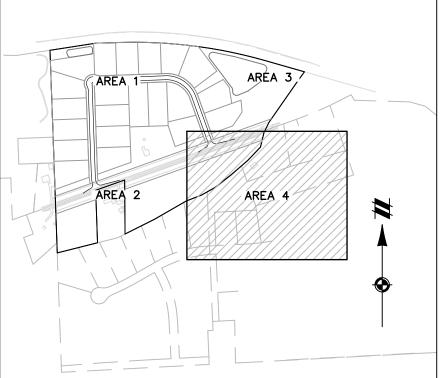
EXISTING TEST PIT LOCATION

SOILS BOUNDARY

SOILS TEXT

TEST PIT LOCATION (SEPTEMBER 2022)





<u>KEYMAP</u> SCALE: 1" = 750 FEET

BENCHMARK NOTES:

BM #1: SET MAG NAIL ON TOP OF WESTERLY MOST GUARDRAIL POST ON SOUTH SIDE OF PLYMOUTH

BM #2: FOUND BENCHTIE IN NORTH FACE OF UTILITY POLE IN SOUTH RIGHT OF WAY OF

BM #3: SET MAG NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD

BM #4: SET PK NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 833.44 (NAVD88)

1. BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATES (NAD83), SOUTH ZONE, GROUND DISTANCES, INTERNATIONAL FEET. MEASURED BEARINGS DIFFER FROM TITLE. VERTICAL DATUM IS BASED ON NAVD88.

- 2. THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHÂNCE FLOODPLAIN) AND ZONE A (NO BASE FLOOD ELEVATIONS DETERMINED) ACCORDING TO MAP NUMBER 26161C0260E OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE APRIL 3,
- 3. WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.

NOTE: THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.

NOTE TO THE CLIENT, INSURER, AND LENDER - SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINE WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.

BOUNDARY LINE --- EXISTING EASEMENT —— SECTION LINE — — BOUNDARY/PROPERTY LINE ---- Existing setback _____ EXISTING TREE LINE EXISTING CURB AND GUTTER EXISTING BUILDING EXISTING WETLAND EXIST. WETLAND BUFFER —— EXISTING WATER MAIN ——— D ———— EXISTING SANITARY OHE OHE EXISTING OVERHEAD ELECTRICAL LINE OHT—OHT—OHT— EXISTING OVERHEAD TELEPHONE LINE EXIST. CULVERT EXIST. CATCH BASIN/INLET EXIST. HYDRANT EXIST. VALVE EXIST. SANITARY SEWER EXIST. UNSPECIFIED UTILITY EXIST. SIGN EXIST. LIGHT POLE EXISTING EDGE OF WATER EXISTING TEST PIT LOCATION TEST PIT LOCATION (SEPTEMBER 2022) SOILS BOUNDARY SOILS TEXT



Know what's **below**. Call before you dig THE LOCATIONS OF EXISTING THE LOCATIONS OF EXISTING
UNDERGROUND UTILITIES ARE
SHOWN IN AN APPROXIMATE WAY
ONLY AND HAVE NOT BEEN
INDEPENDENTLY VERIFIED BY THE
OWNER OR ITS REPRESENTATIVE.
THE CONTRACTOR SHALL DETERMINE
THE EXACT LOCATION OF ALL
EXISTING UTILITIES BEFORE
COMMENCING WORK, AND AGREES TO
BE FULLY RESPONSIBLE FOR ANY
AND ALL DAMAGES WHICH MIGHT BE
OCCASIONED BY THE CONTRACTOR'S

OCCASIONED BY THE CONTRACTOR'
FAILURE TO EXACTLY LOCATE ANI
PRESERVE ANY AND ALL
UNDERGROUND UTILITIES.

NOTICE:

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NOTICE:

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SEPTEMBER 28, 2022 11/01/22: PER TWP. REVISIONS

1" = 50 FEET

06

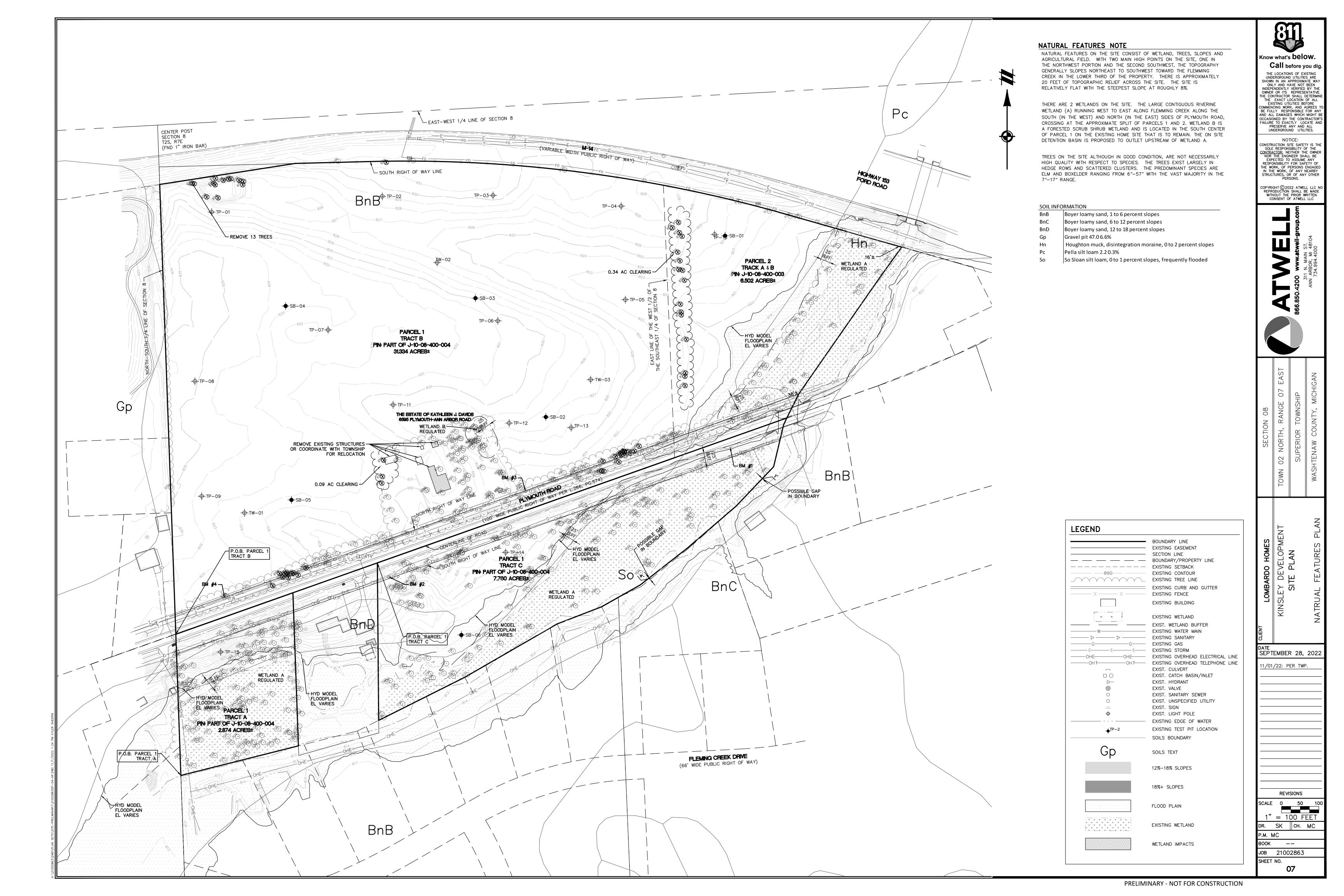
DR. SK | CH. MC

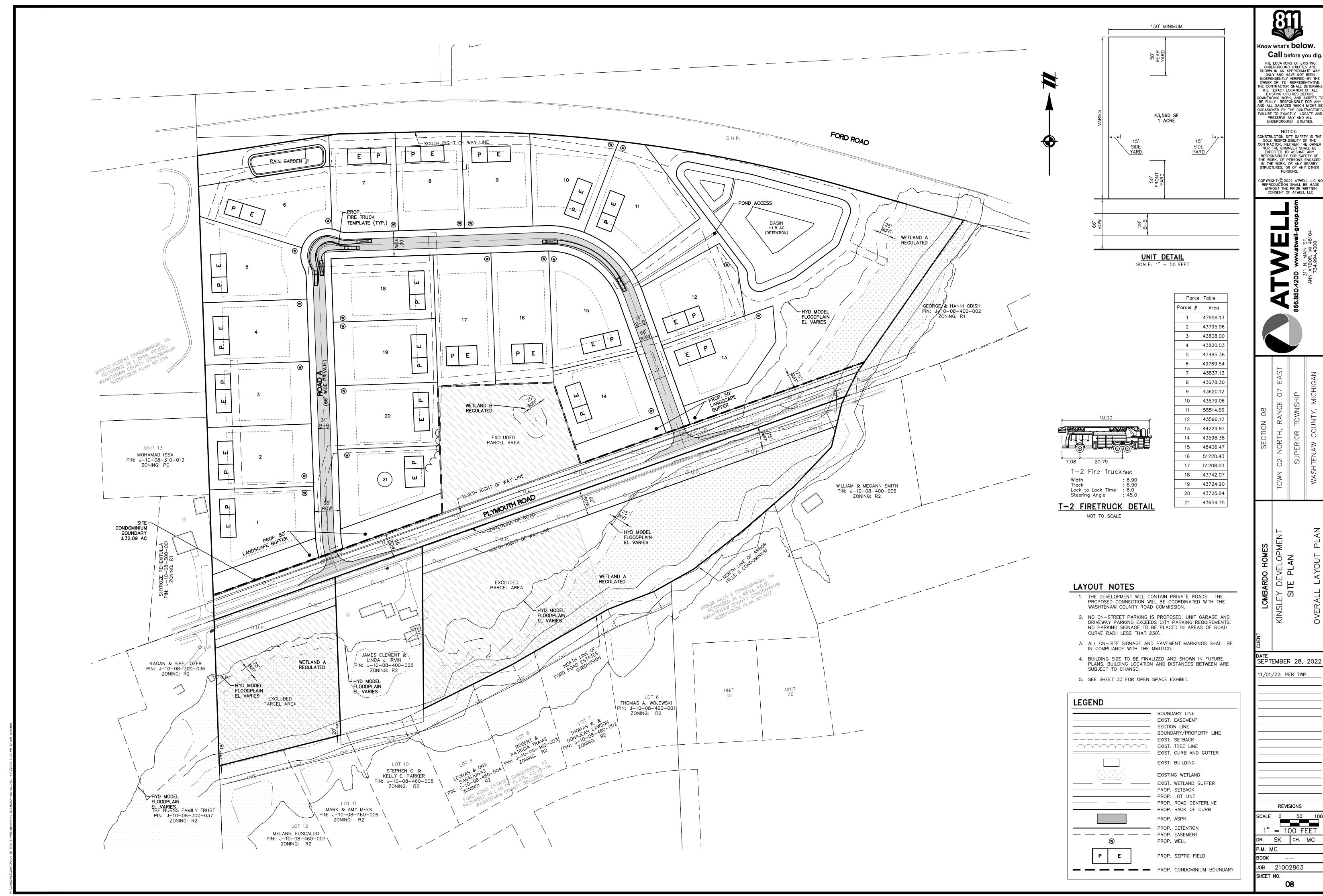
P.M. MC

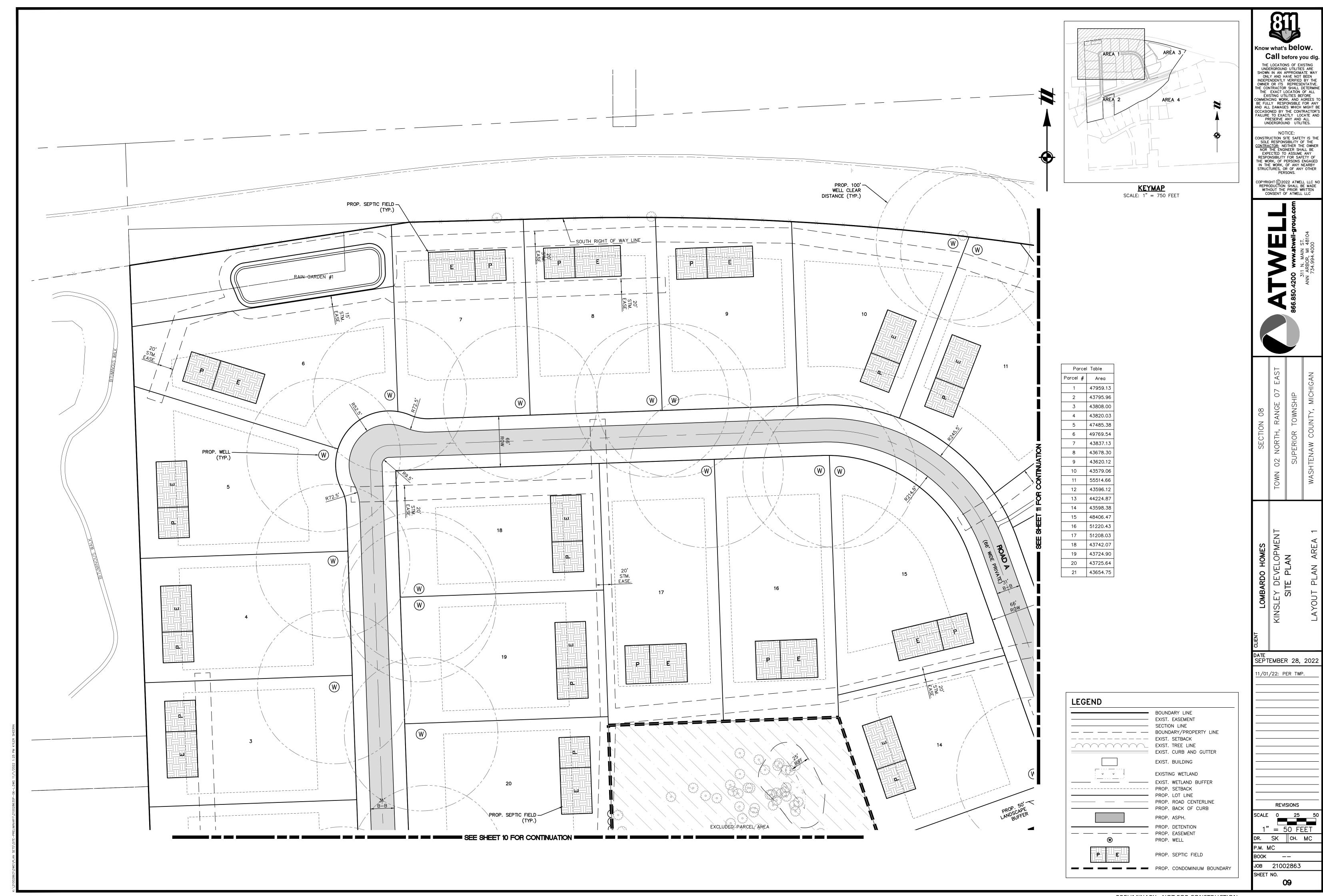
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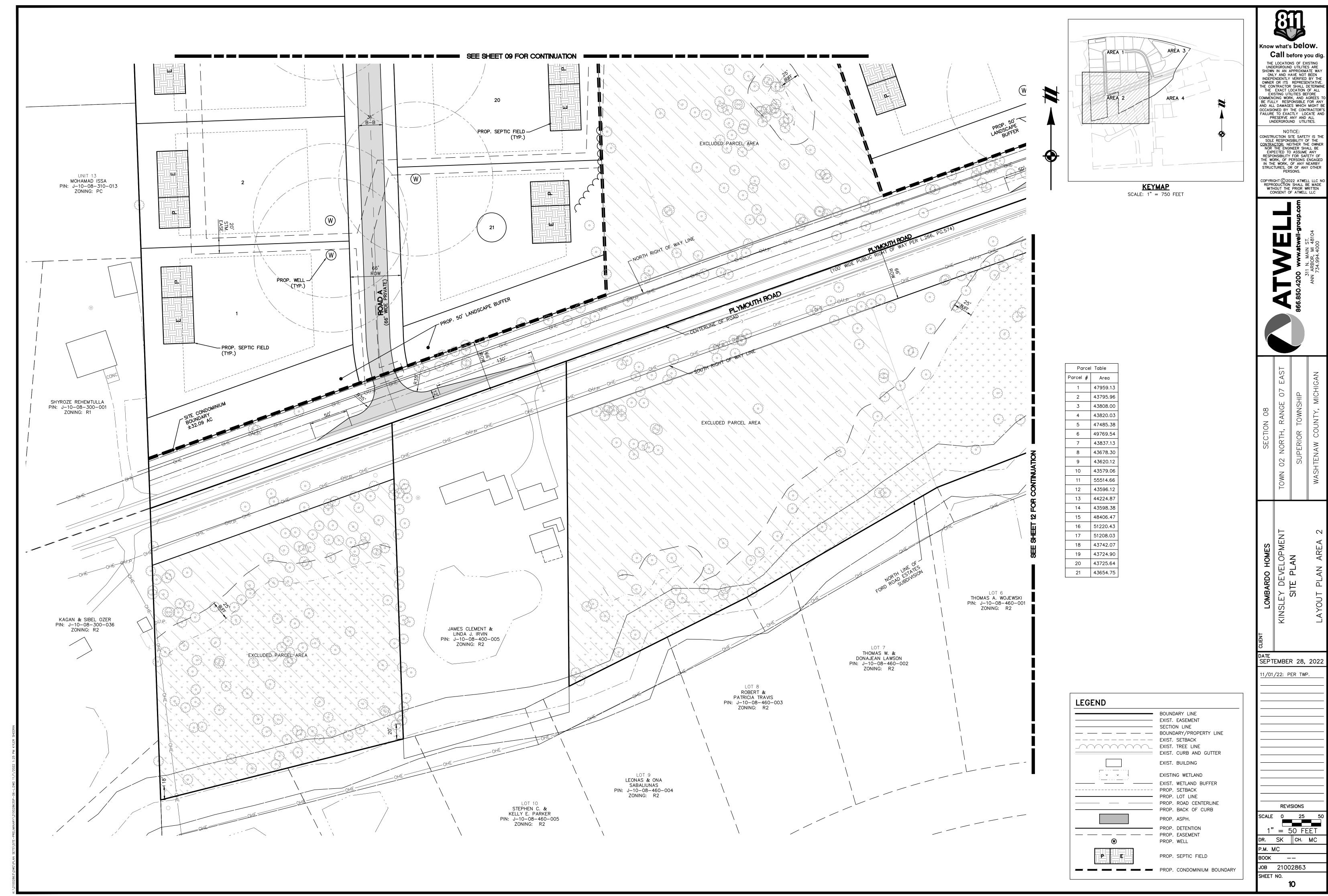
BOOK --

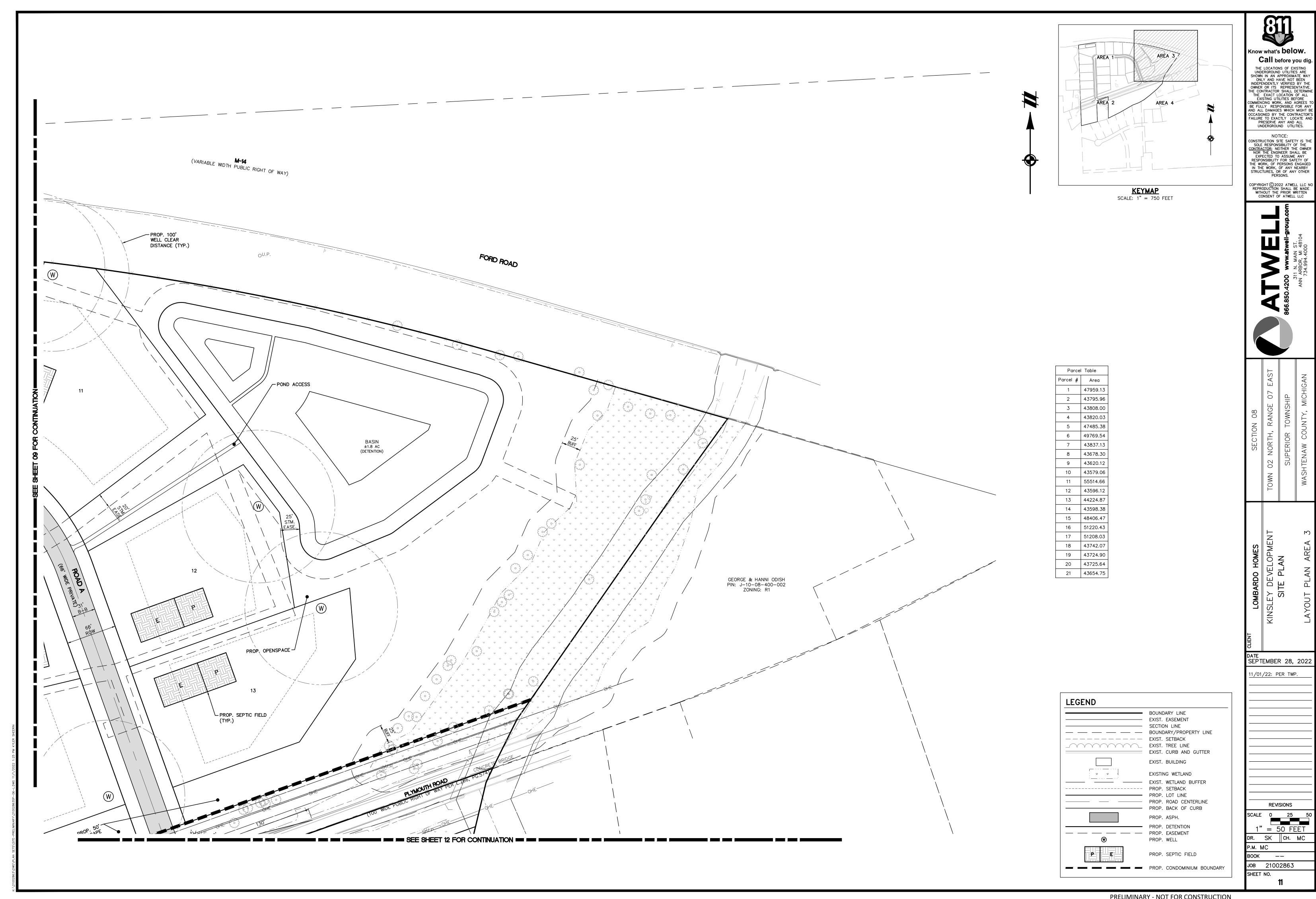
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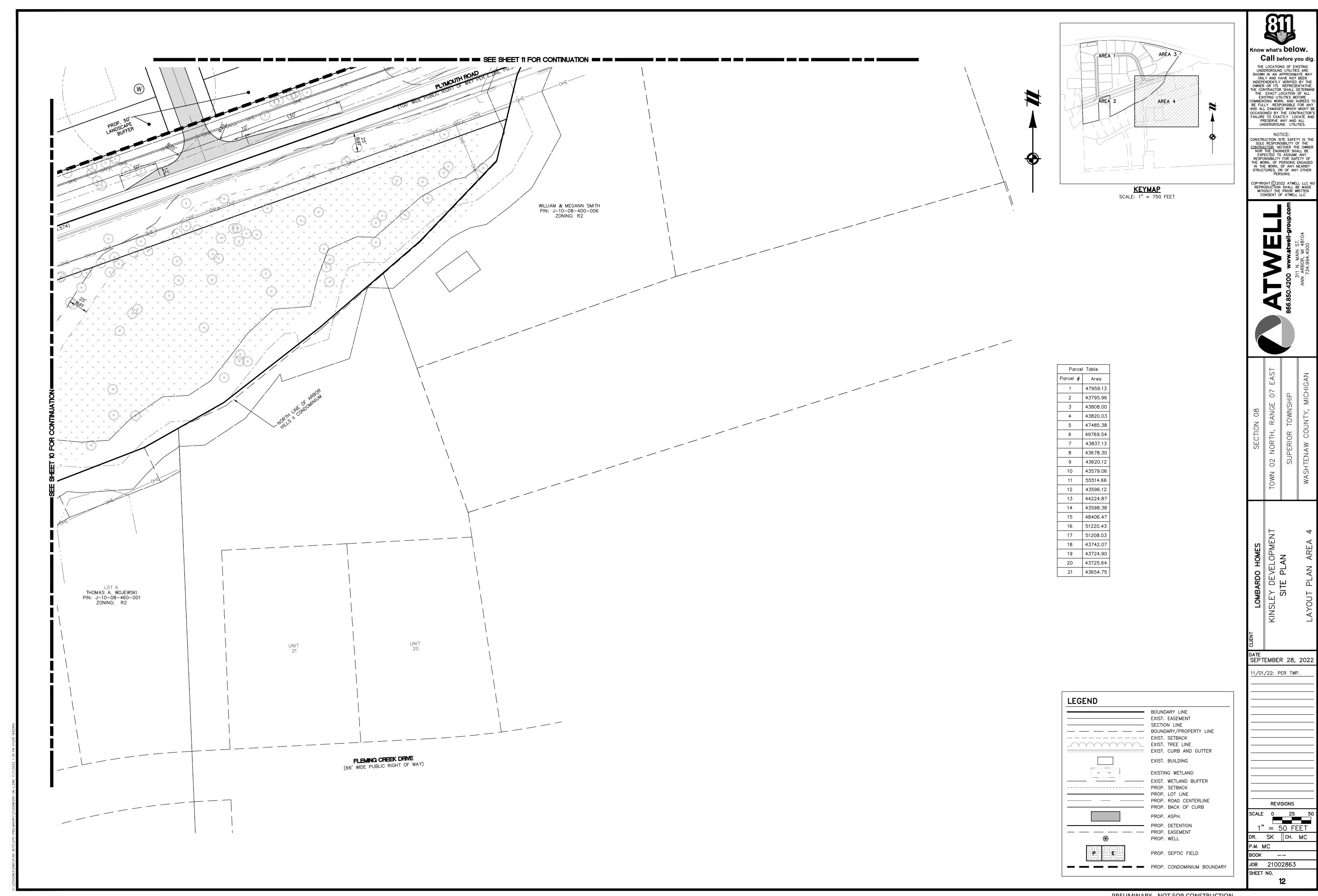


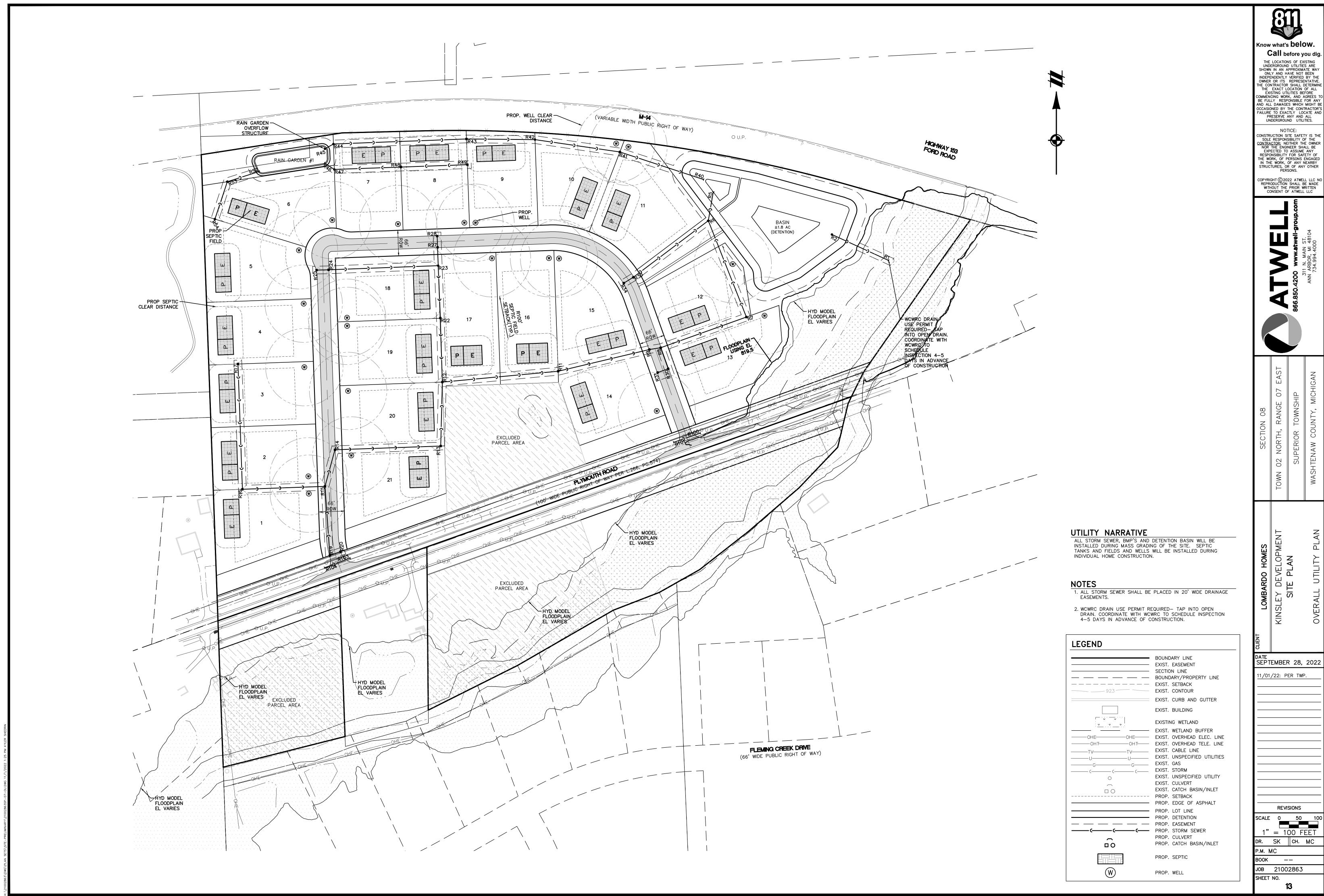


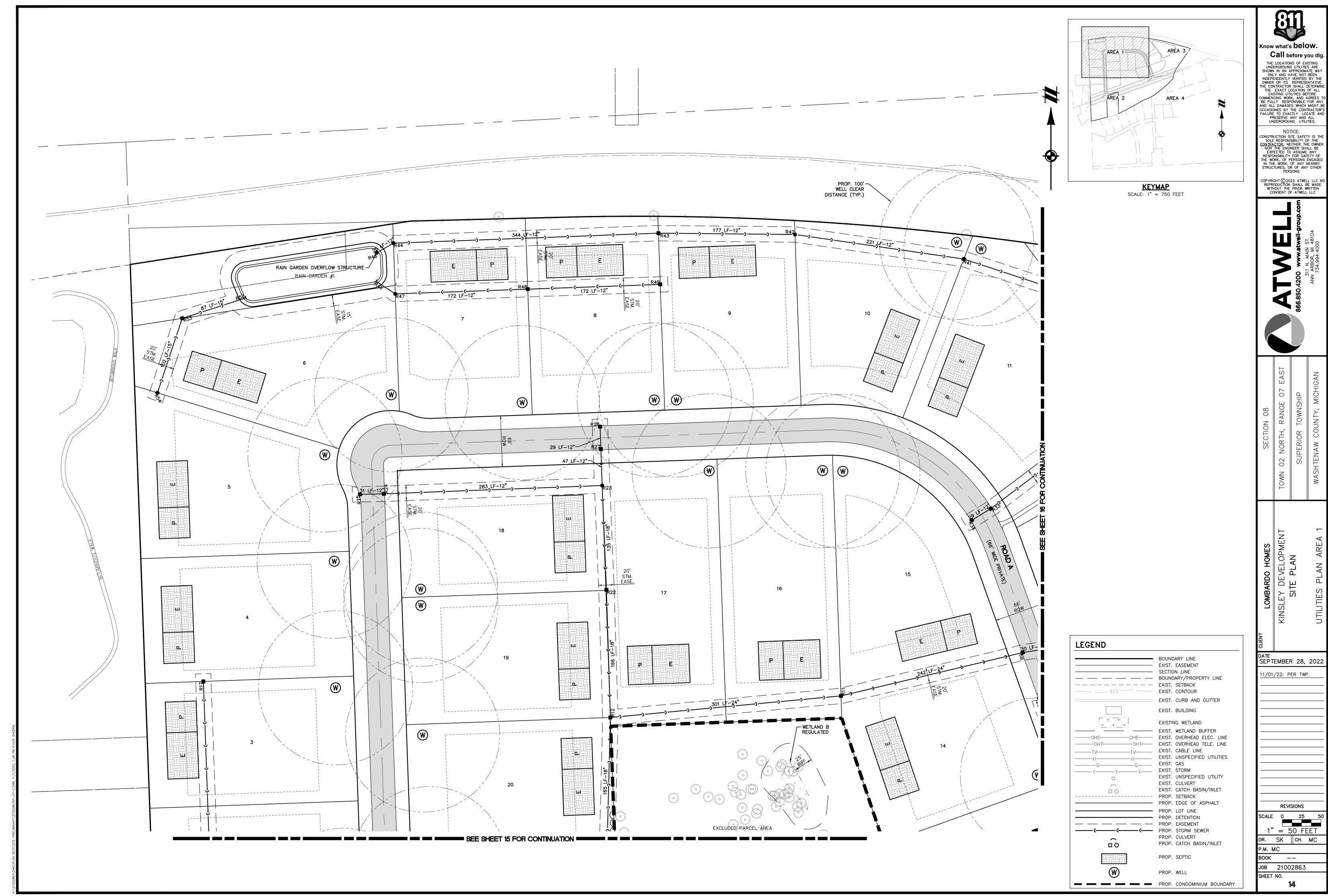


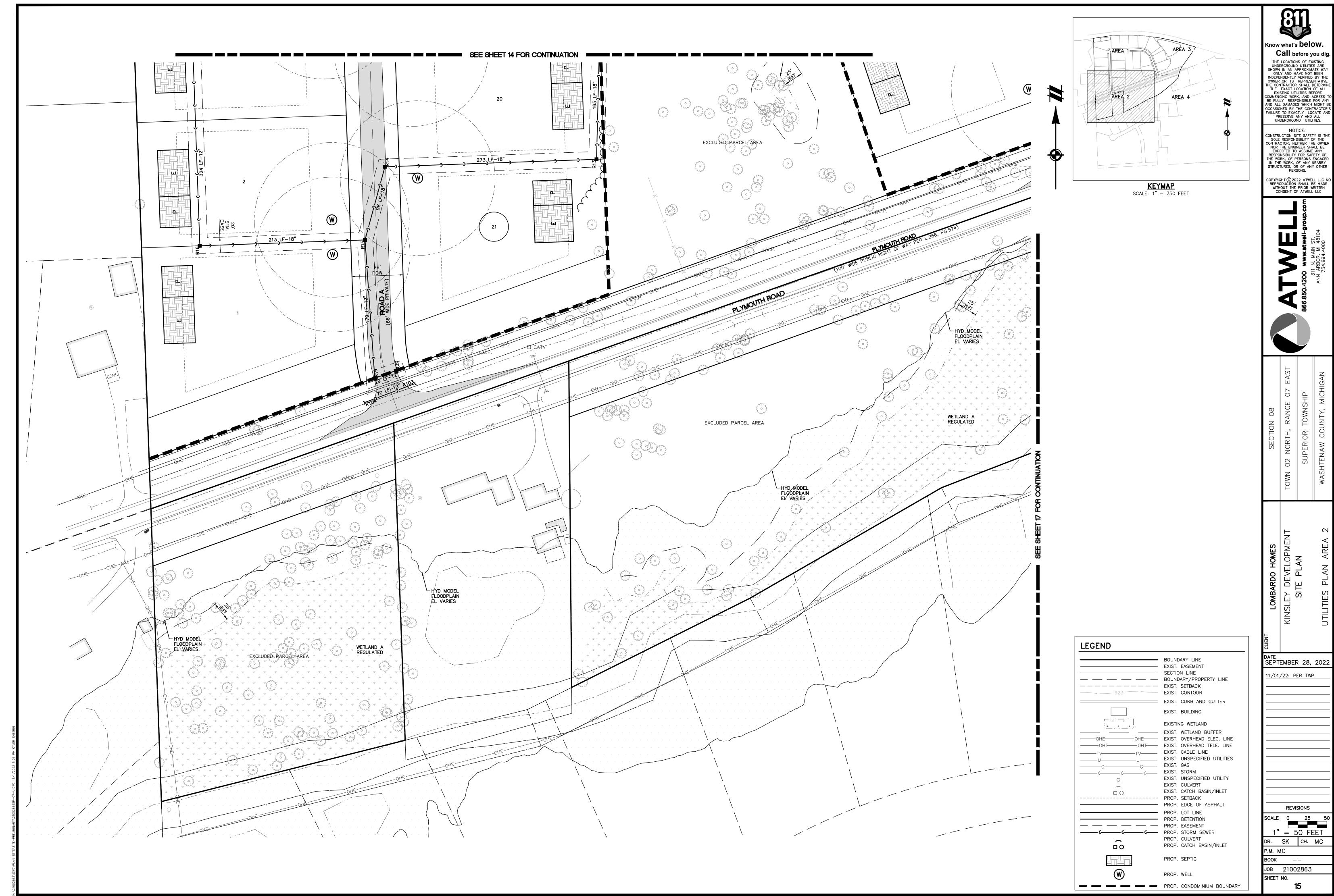


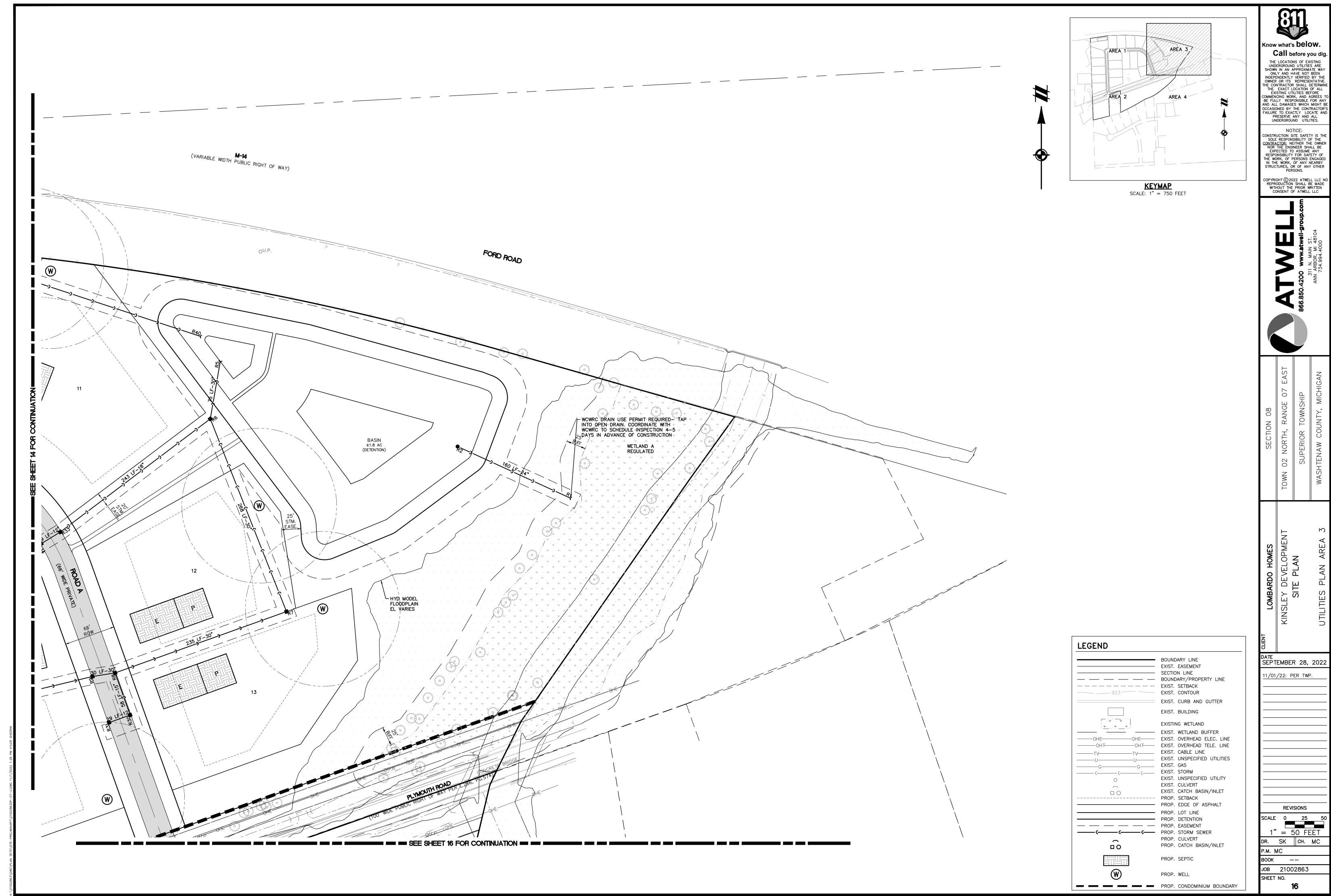


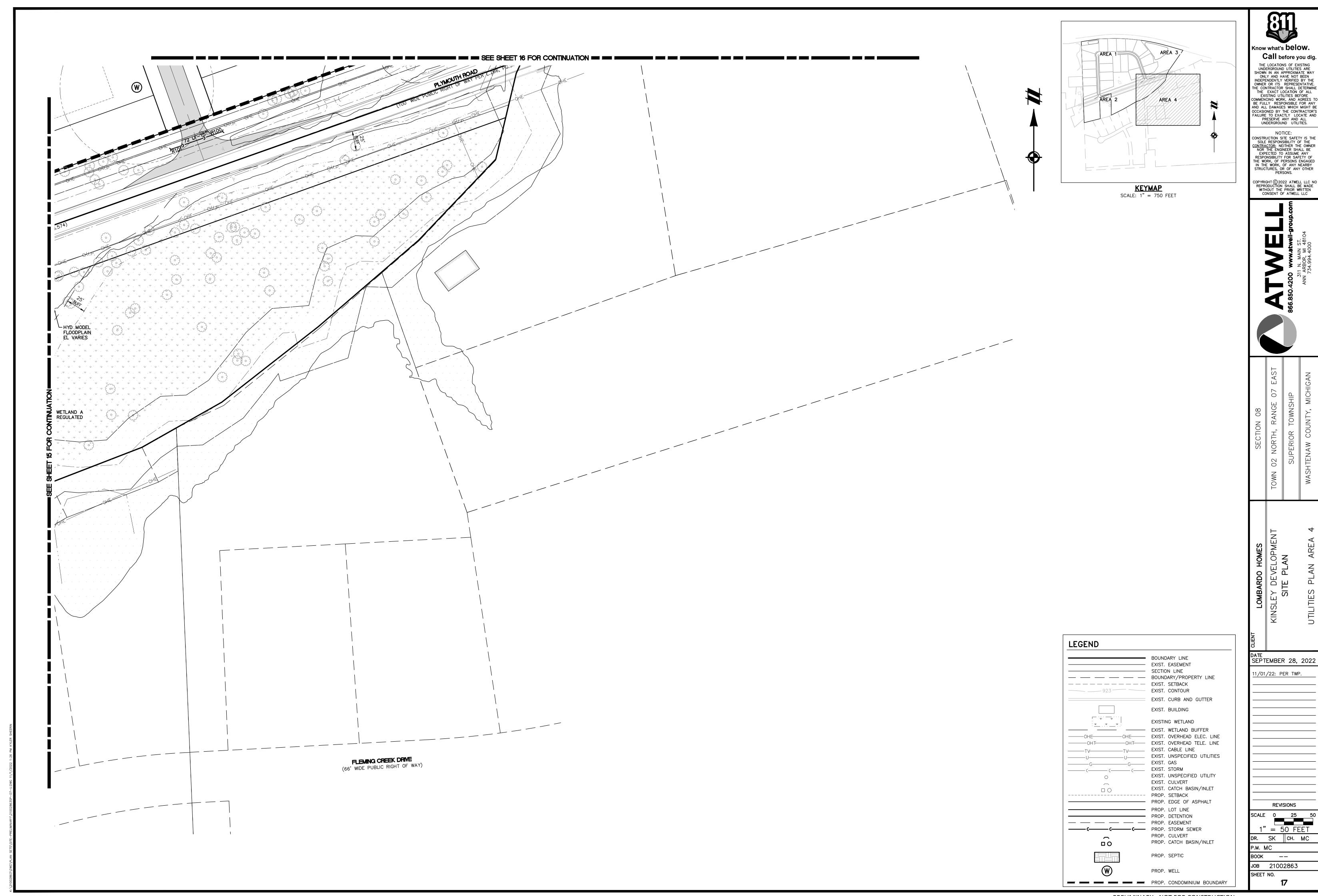


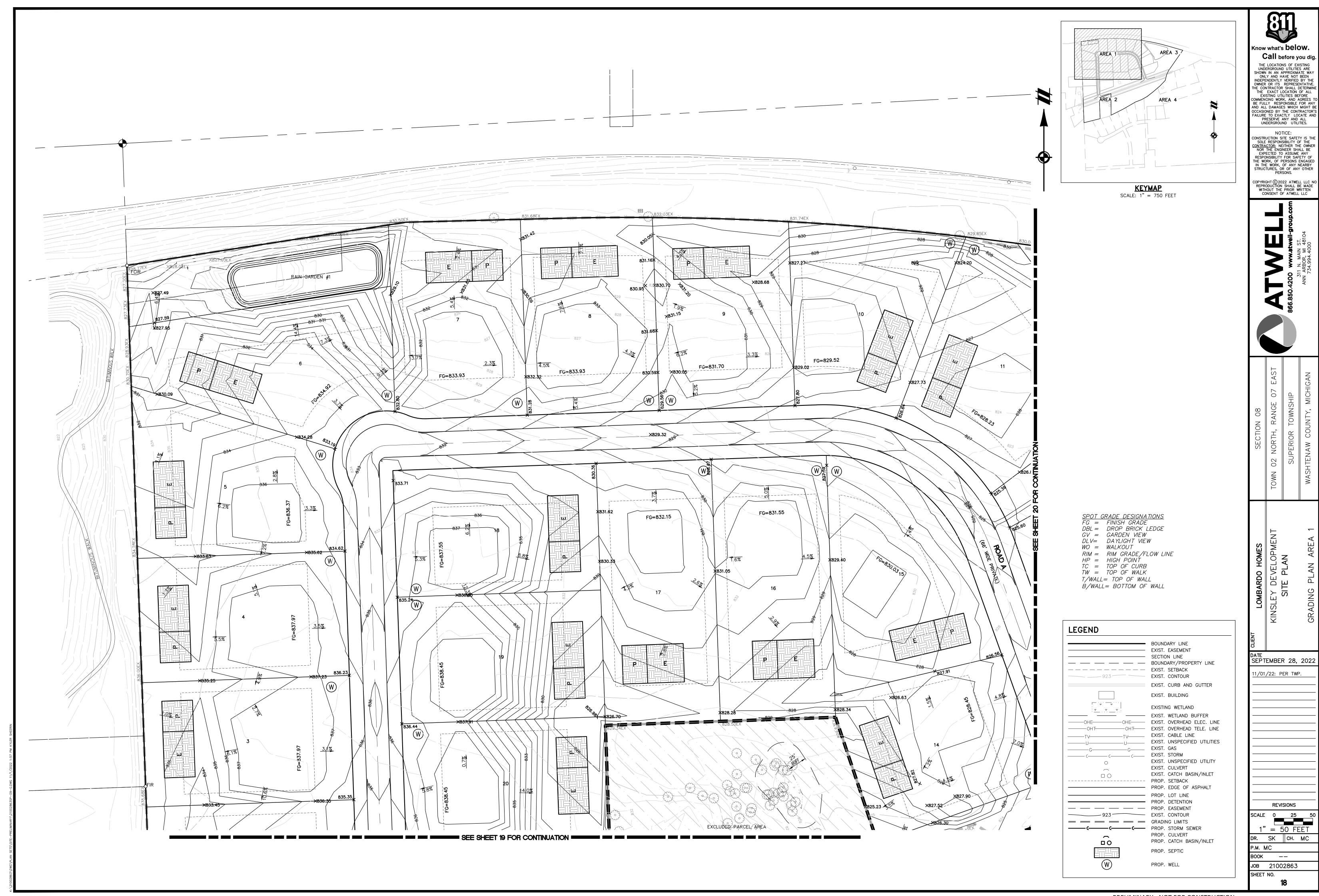


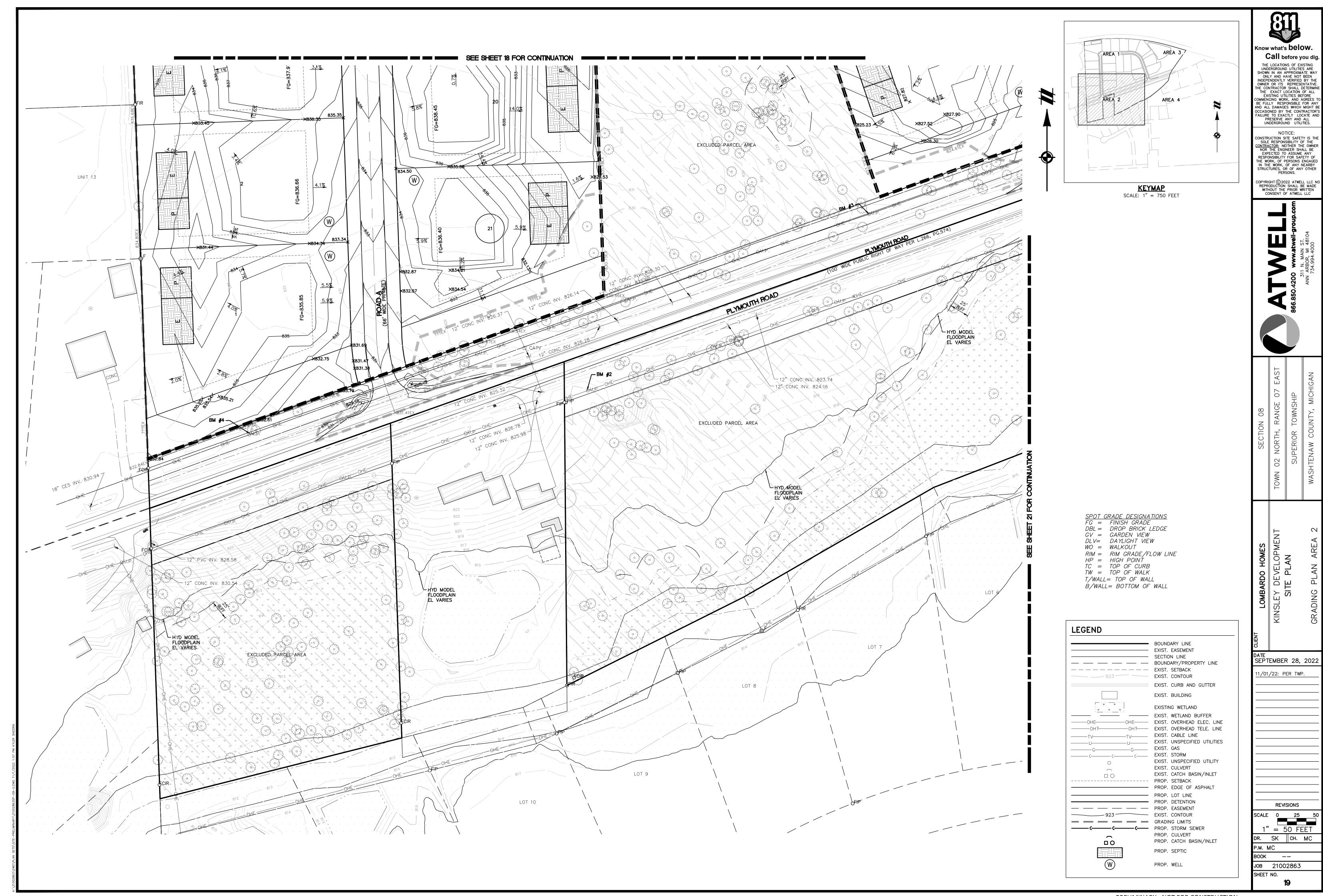


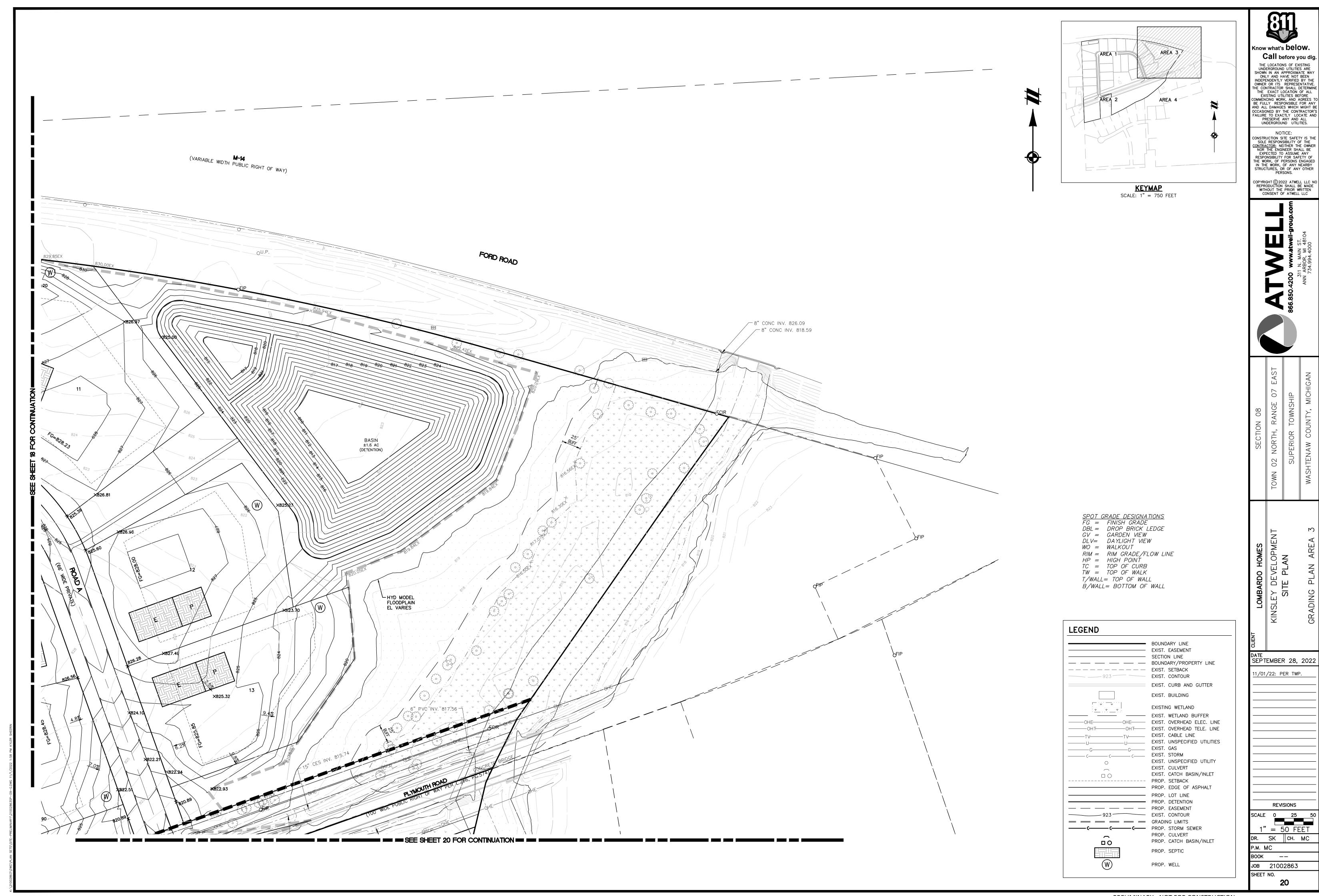




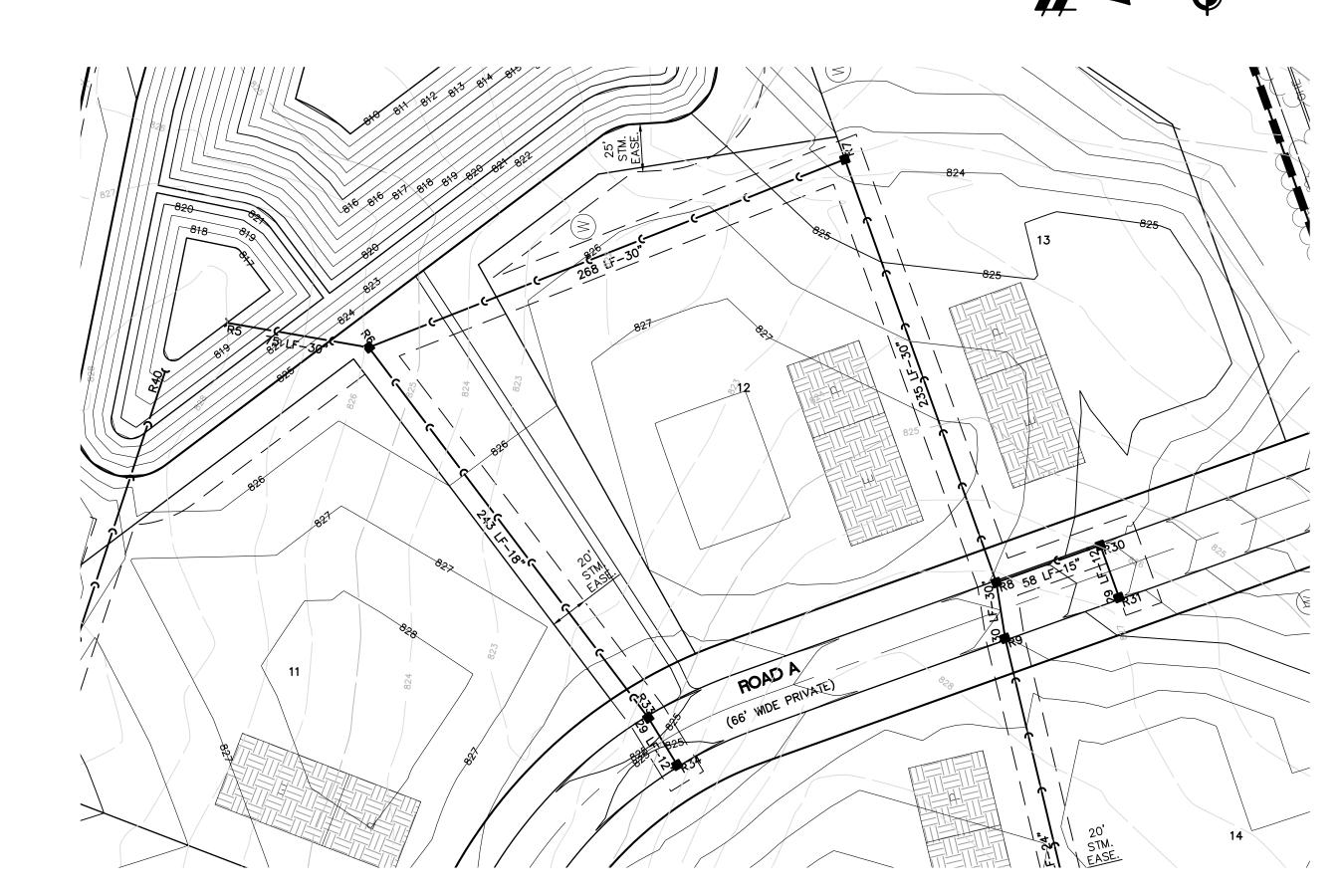












(R34) (R33)

PROPOSED -GRADE

SI

820.26 819.86

12" INV. 18" INV.

2+00

EXISTING GROUND

243 L.F.-18" RCP CLIV @ 0.75%

1+00

<u>R6-R34</u> VERT: 1"=5'

HORZ: 1"=50'

835

830

825

820

815

810

805

-0+50

18" INV. 818.04 S 30" INV. 817.24 S 30" INV. 817.24 N

0+00

835

830

825

820

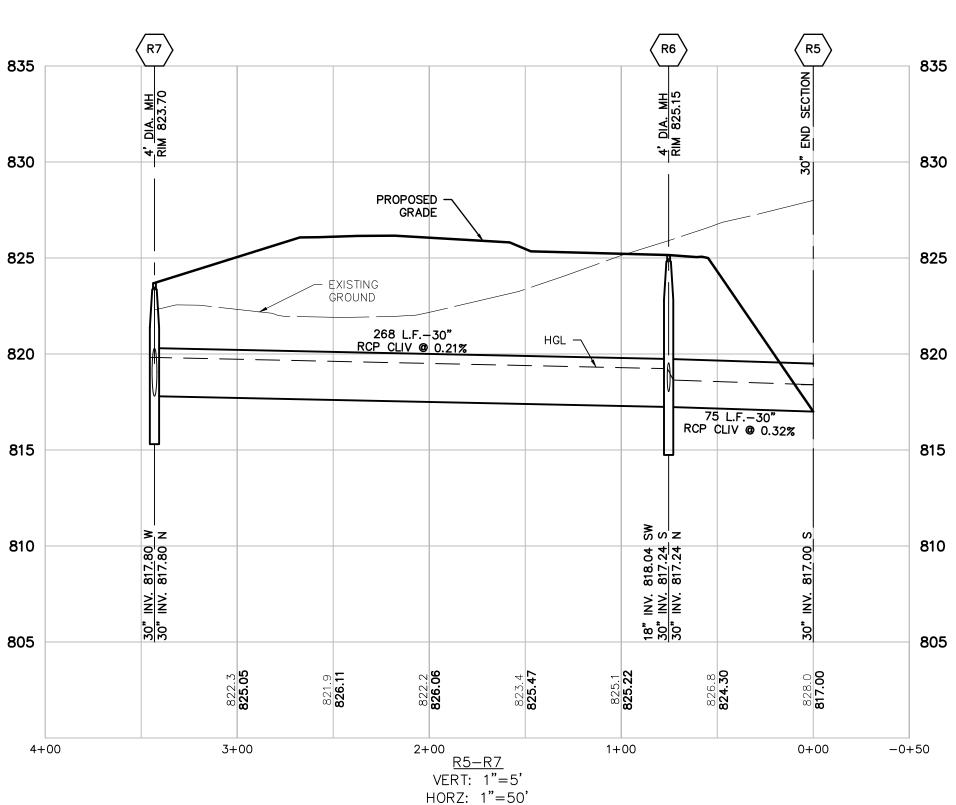
810

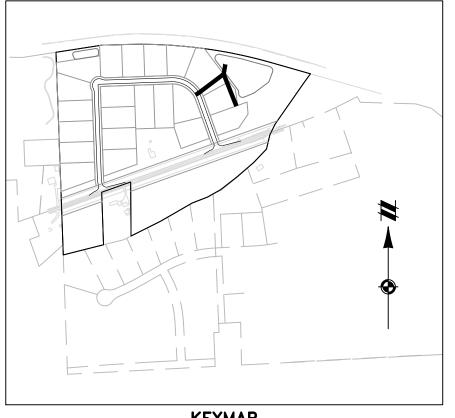
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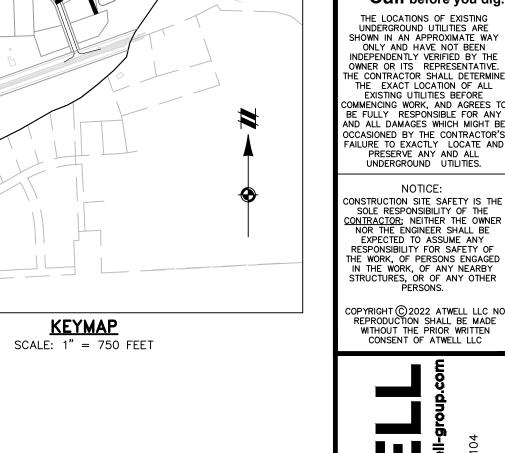
3+50

29 L.F. -12"-/ RCP CLIV @ 0.52%

3+00





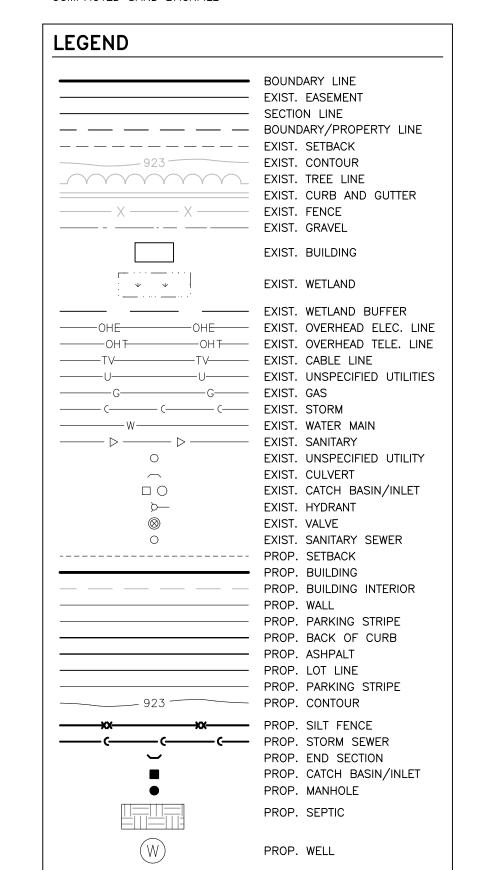


Know what's below.

Call before you dig

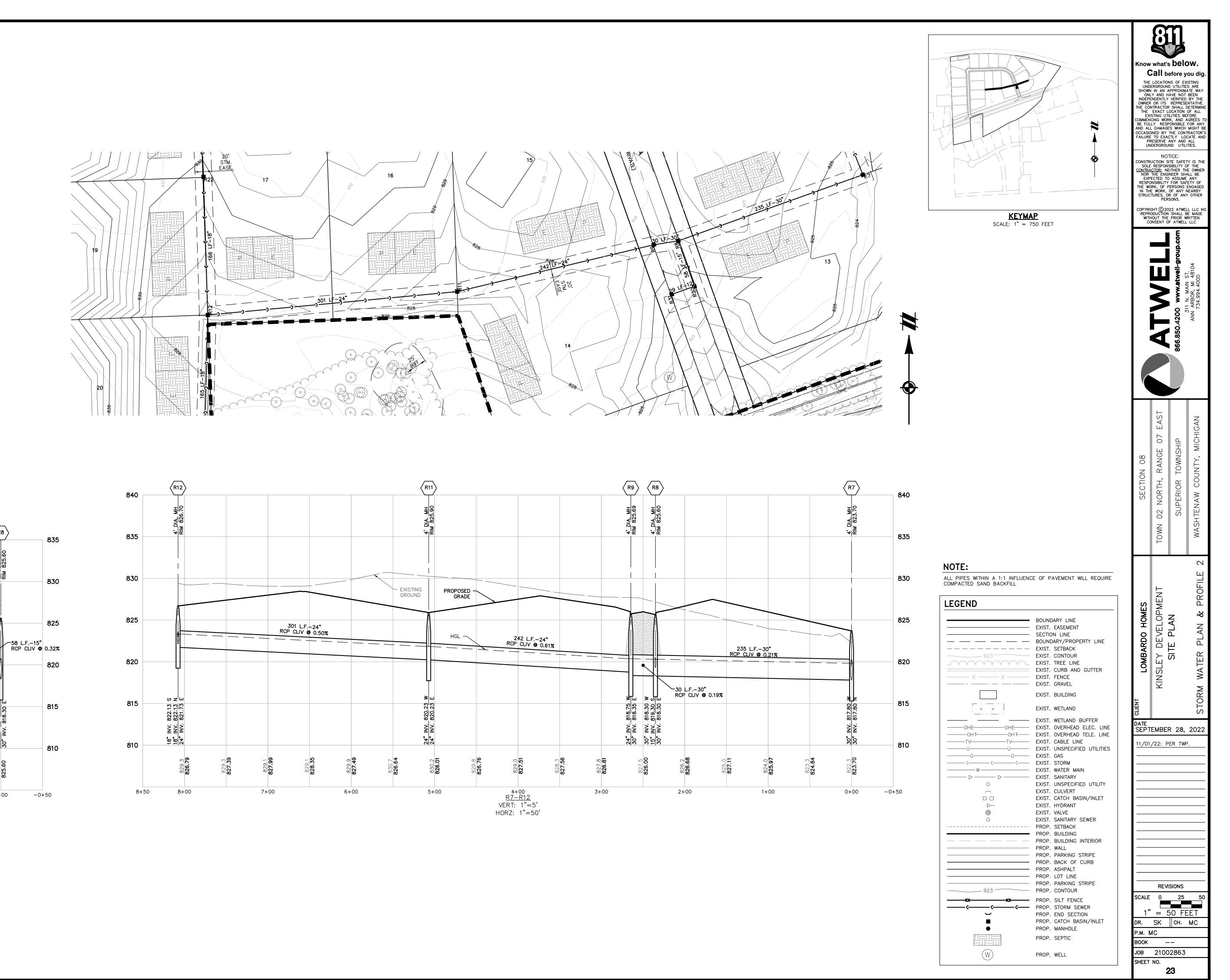
NOTE:

ALL PIPES WITHIN A 1:1 INFLUENCE OF PAVEMENT WILL REQUIRE COMPACTED SAND BACKFILL



DATE SEPTEMBER 28, 2022 11/01/22: PER TWP. REVISIONS SCALE 0 25 50 1" = 50 FEETDR. SK CH. MC BOOK --JOB 21002863 SHEET NO. 22

P.M. MC



(R31)

835

830

825

820

810

1+50

PROPOSED -GRADE

29 L.F.-12"-RCP CLIV @ 0.44%

1+00

(R30)

4' DIA. CB RIM 824.10

819.68 819.48

12" INV. 15" INV.

R8-R31 VERT: 1"=5'

HORZ: 1"=50'

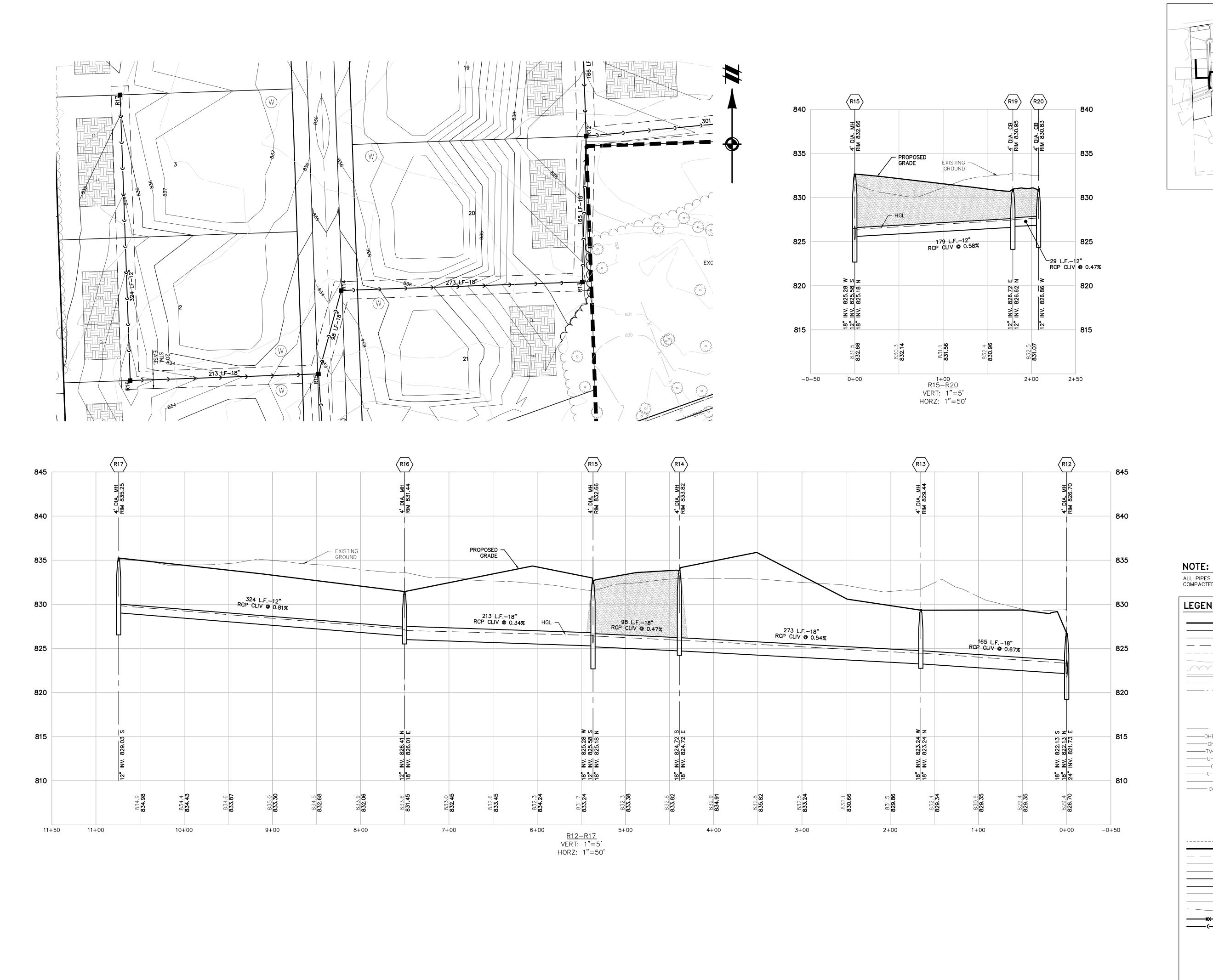
 $\langle R8 \rangle$

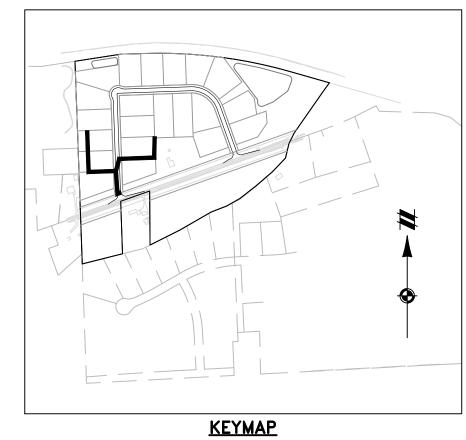
818.30 819.30 818.30

30" 15" 30"

0+00

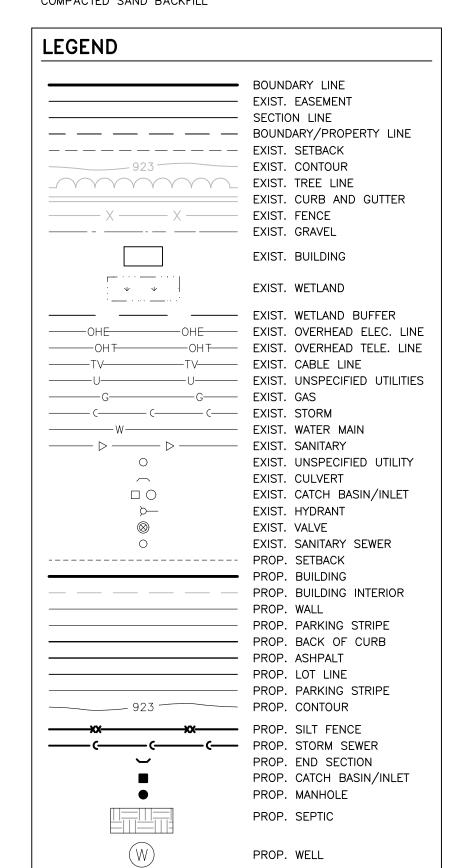
_ EXISTING GROUND





SCALE: 1" = 750 FEET

ALL PIPES WITHIN A 1:1 INFLUENCE OF PAVEMENT WILL REQUIRE COMPACTED SAND BACKFILL



Know what's below.

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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY

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A 200 CHON SHALL BE MADE THOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC

RANGE O7 EAST
TOWNSHIP
INTY, MICHIGAN
73

CLIENT LOMBARDO HOMES

KINSLEY DEVELOPMENT

SITE PLAN

SITE PLAN

STORM WATER PLAN & PROFILE 3

REVISIONS

SCALE 0 25 50

1" = 50 FEET

DR. SK CH. MC

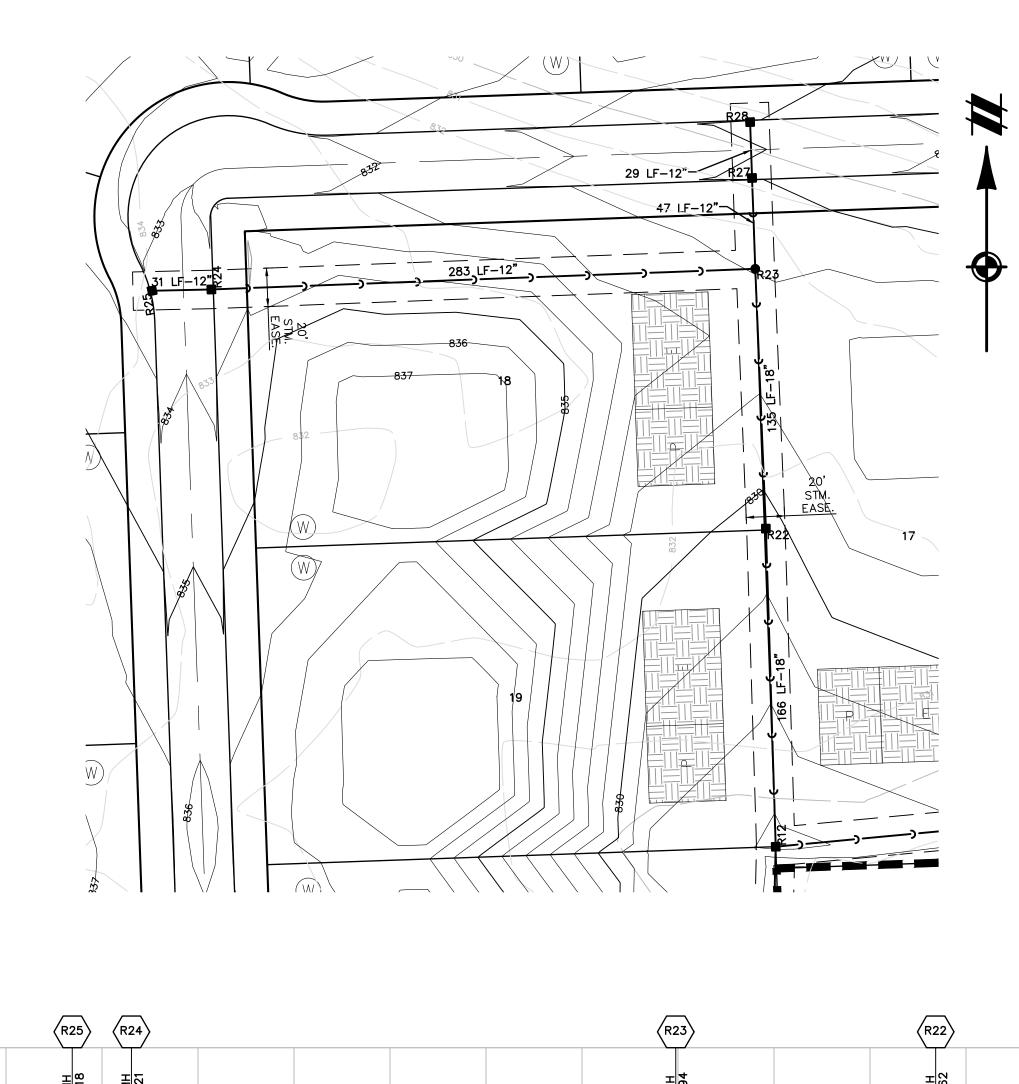
P.M. MC

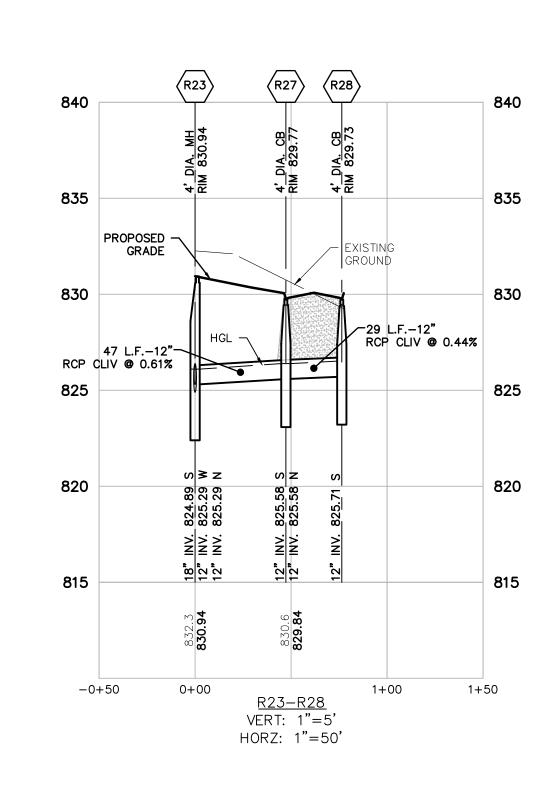
BOOK --

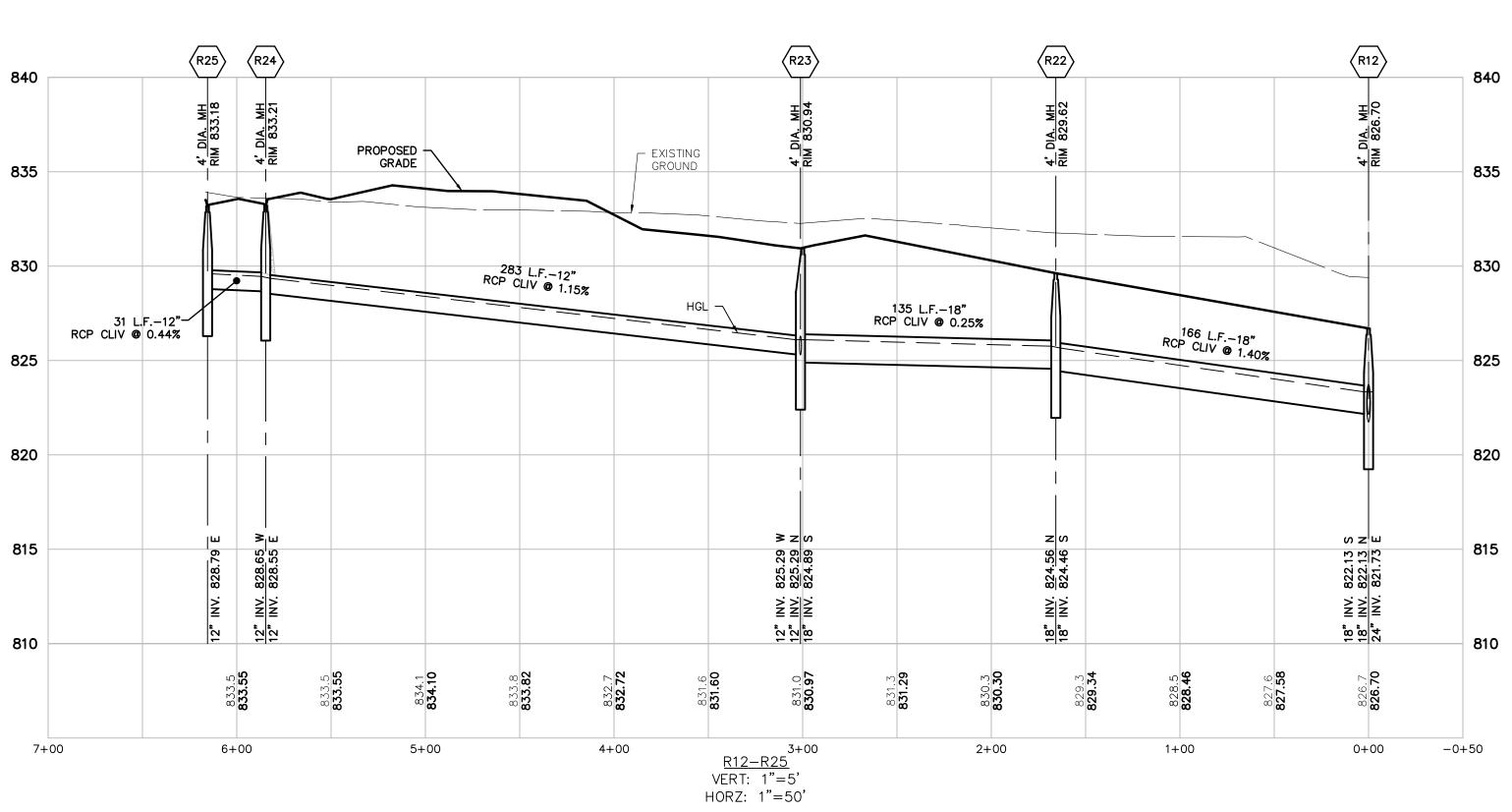
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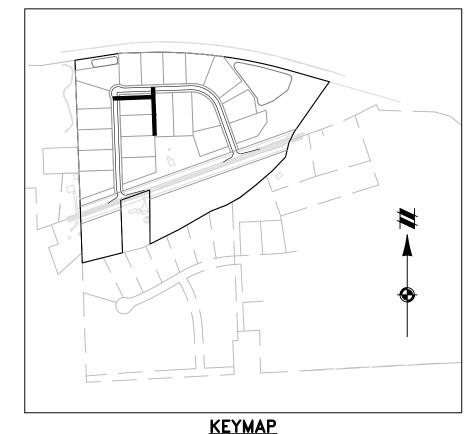
JOB 21002863

24









KEYMAP
SCALE: 1" = 750 FEET



NOTE:	
ALL PIPES WITHIN A 1:1 INFLUENCE COMPACTED SAND BACKFILL	OF PAVEMENT WILL REQUIR

LEGEND	
923 ————————————————————————————————————	BOUNDARY/PROPERTY LINE EXIST. SETBACK EXIST. CONTOUR EXIST. TREE LINE EXIST. CURB AND GUTTER EXIST. FENCE EXIST. GRAVEL
	EXIST. BUILDING
Ψ Ψ	EXIST. WETLAND
OHE OHE OHT OHT TV TV U U U G G G ((((((((((((((((EXIST. UNSPECIFIED UTILITIES EXIST. GAS EXIST. STORM EXIST. WATER MAIN EXIST. SANITARY EXIST. UNSPECIFIED UTILITY EXIST. CULVERT EXIST. CATCH BASIN/INLET EXIST. HYDRANT EXIST. VALVE EXIST. SANITARY SEWER PROP. SETBACK PROP. BUILDING PROP. BUILDING PROP. BUILDING INTERIOR PROP. WALL PROP. PARKING STRIPE PROP. BACK OF CURB PROP. LOT LINE PROP. PARKING STRIPE
923 xx	- PROP. CONTOUR - PROP. SILT FENCE
	PROP. STORM SEWER PROP. END SECTION PROP. CATCH BASIN/INLET PROP. MANHOLE
	PROP. SEPTIC
	PROP. WELL

DR. SK CH. MC

25

P.M. MC

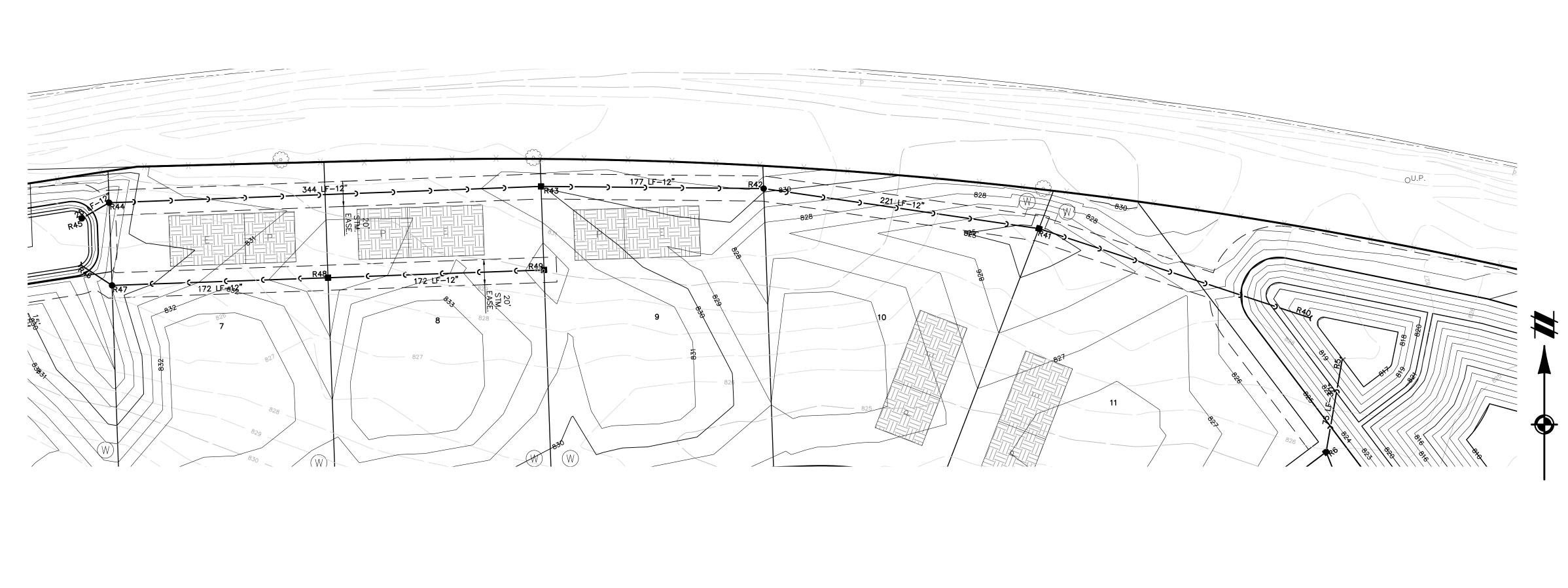
SHEET NO.

воок —— JOB 21002863

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177 L.F.-12"

RCP CLIV @ 0.44%

6+00

5+00 <u>R40-R45</u>

VERT: 1"=5'

HORZ: 1"=50'

4' DIA. CB RIM 824.19

818.69 W 818.49 E

12" INV. 15" INV.

2+00

227 L.F.-15" RCP CLIV @ 0.44%

1+00

- + - - + - -

221 L.F.-12" RCP CLIV @ 0.44%

3+00

4+00

R45 R44

835

830

825

815

810

10+50

25 L.F.-12" RCP CLIV @ 0.44% 820 4' DIA. MH RIM 827.18

822.16 822.16

<u>N</u> N

12"

9+00

10+00

PROPOSED GRADE

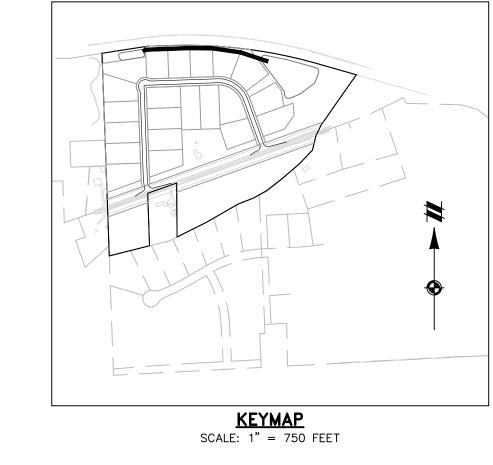
344 L.F.-12" RCP CLIV @ 0.44%

8+00

EXISTING GROUND

HGL ─

7+00



NOTE:

830

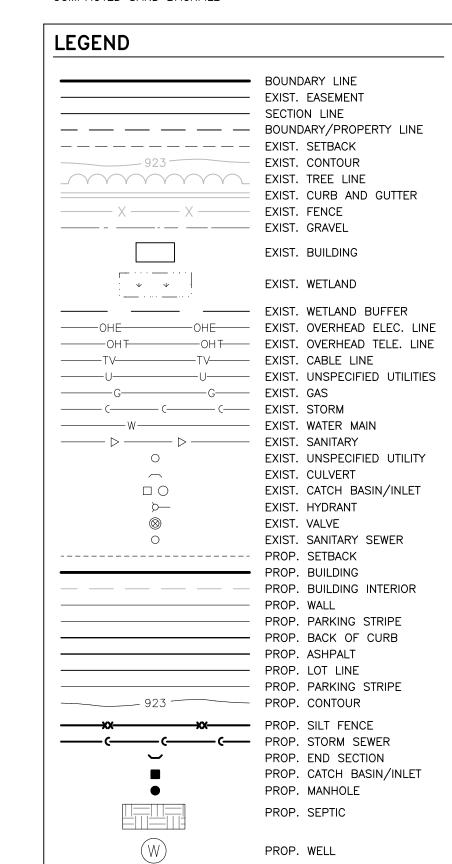
825

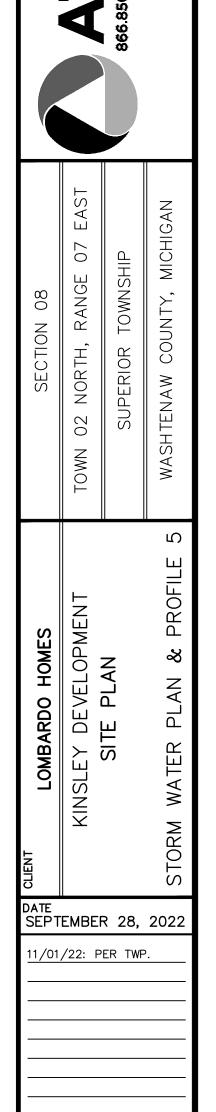
820

-0+50

0+00

ALL PIPES WITHIN A 1:1 INFLUENCE OF PAVEMENT WILL REQUIRE COMPACTED SAND BACKFILL





REVISIONS

1" = 50 FEET

DR. SK ∥CH. MC

26

P.M. MC

SHEET NO.

BOOK --

JOB 21002863

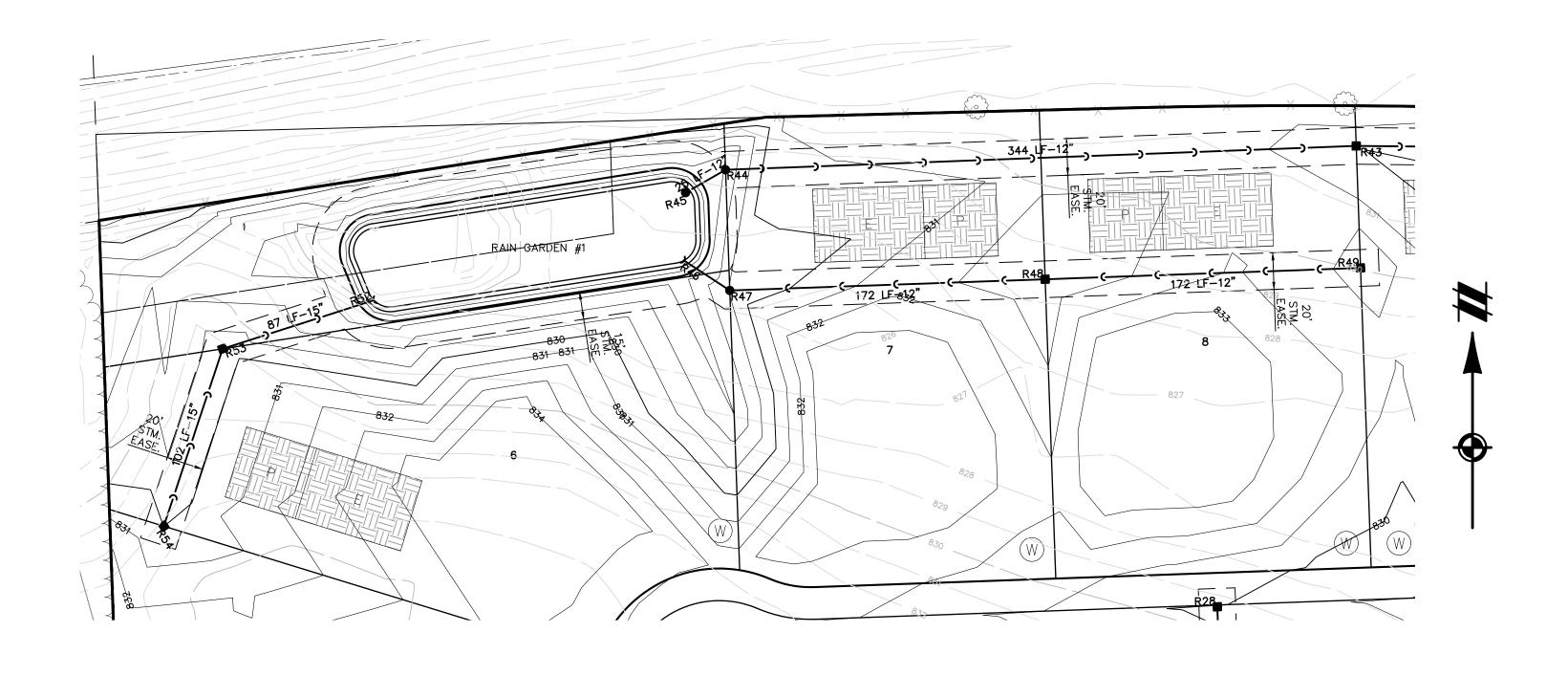
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830

835

830

825

820

-0+50

0+00

PROPOSED -

GRADE

172 L.F.-12" RCP CLIV @ 0.44%

1+00

EXISTING GROUND

12" INV. 12" INV.

2+00 <u>R47-R49</u>

VERT: 1"=5'

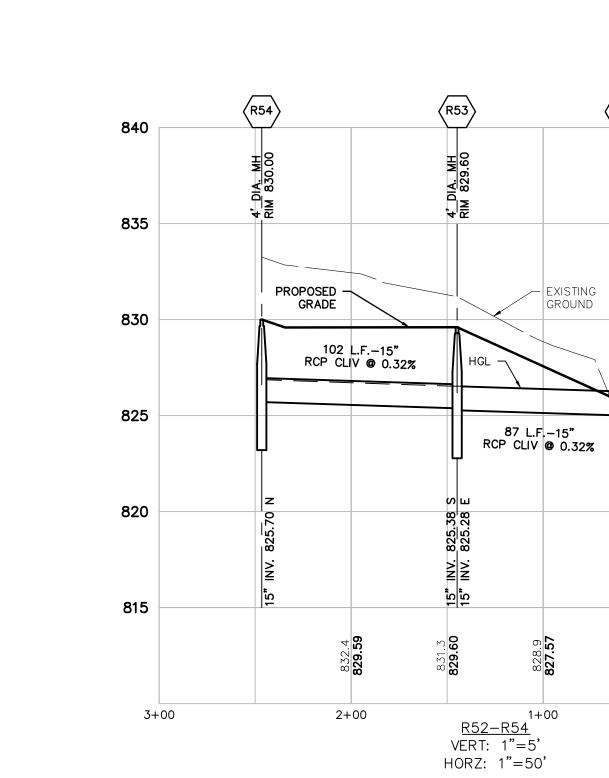
HORZ: 1"=50'

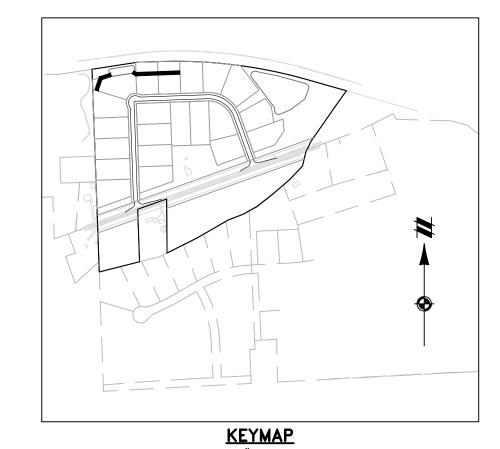
172 L.F.-12" RCP CLIV @ 0.44%

3+00

4+00

4+50





KEYMAP
SCALE: 1" = 750 FEET



840

835

830

825

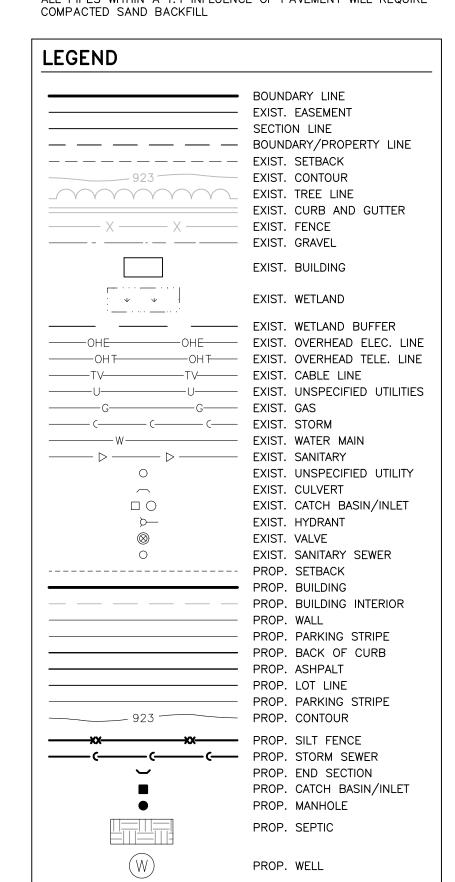
820

815

-0+50

0+00

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NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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OOO TO THE PRIOR WRITTEN CONSENT OF ATWELL LLC

PLAN
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHI

DATE SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS

SCALE 0 25 50

1" = 50 FEET

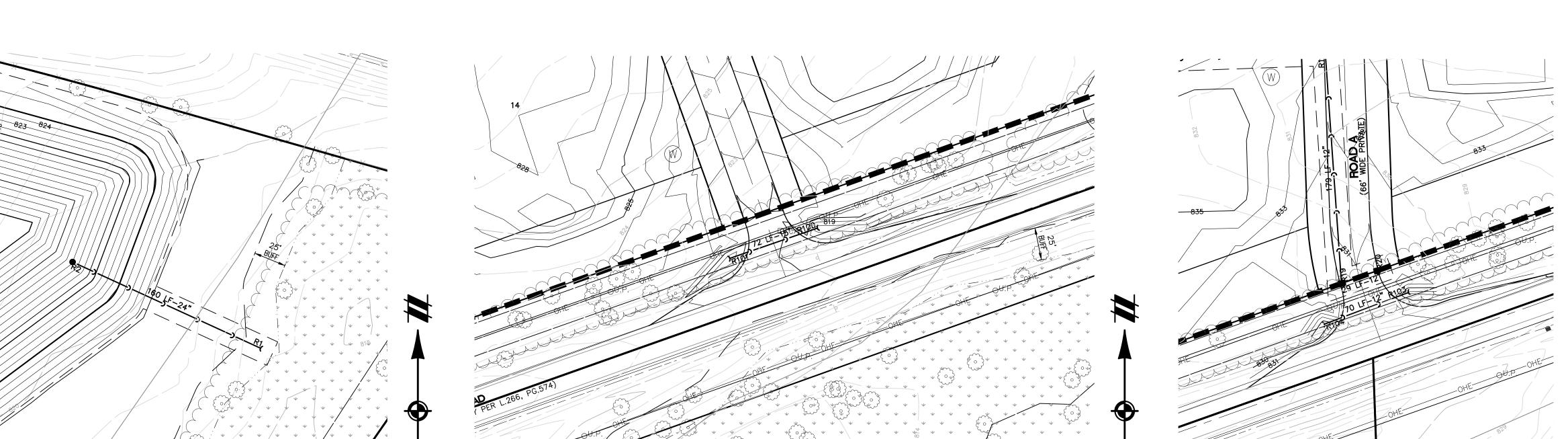
DR. SK CH. MC

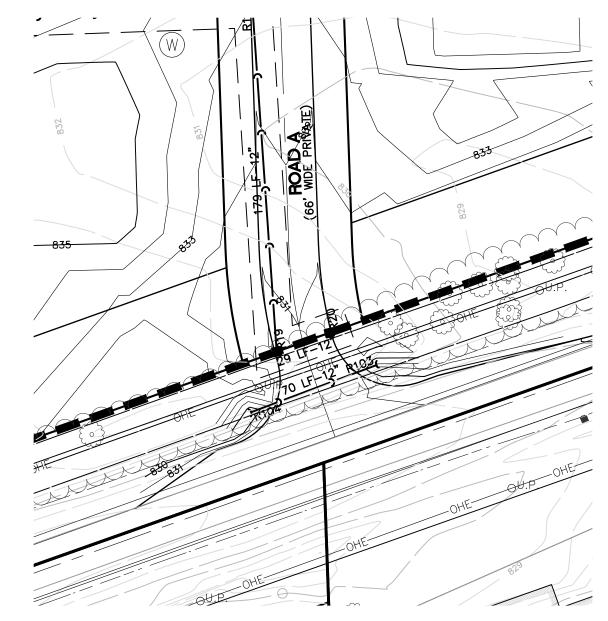
P.M. MC

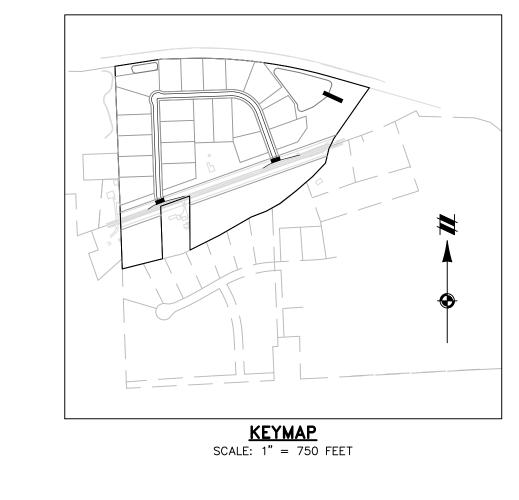
BOOK -
JOB 21002863

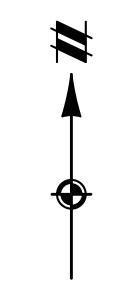
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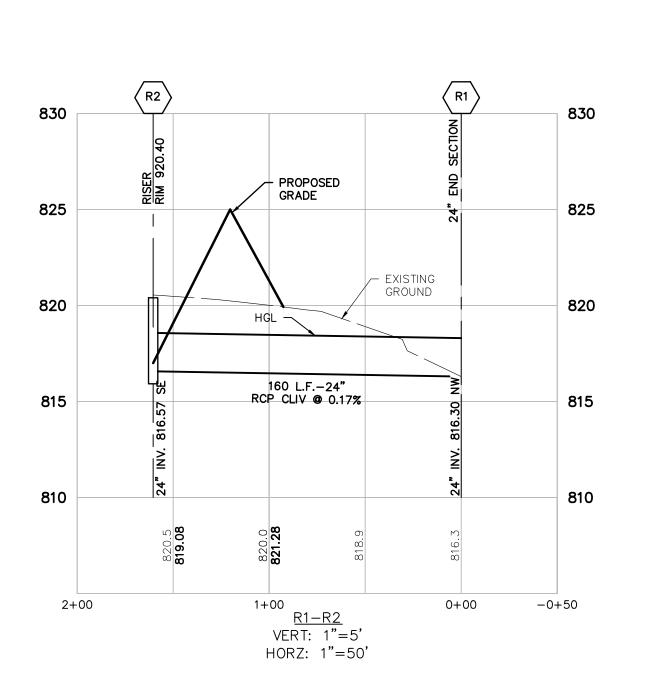
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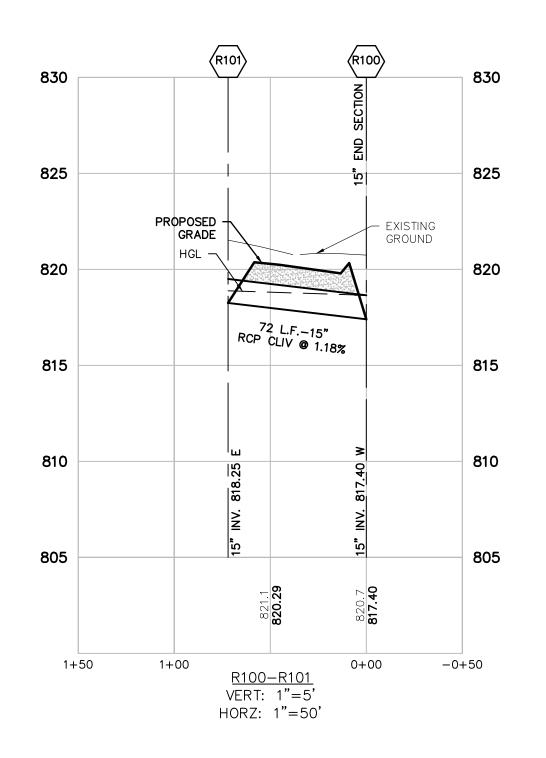


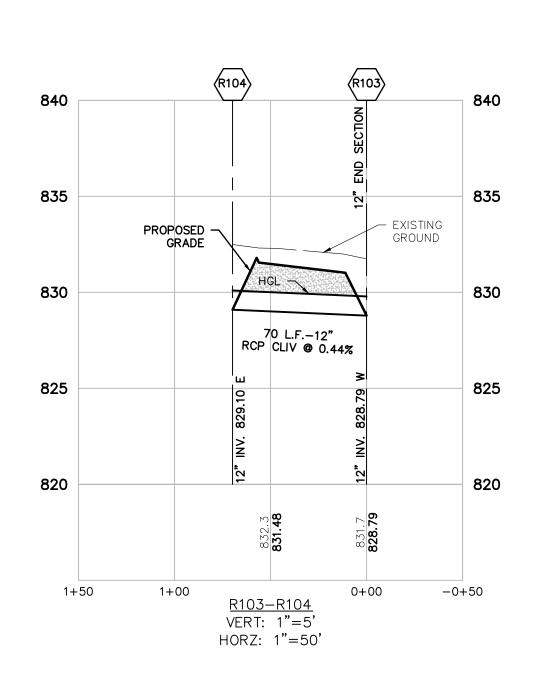












NOTE:

ALL PIPES WITHIN A 1:1 INFLUENCE OF PAVEMENT WILL REQUIRE COMPACTED SAND BACKFILL

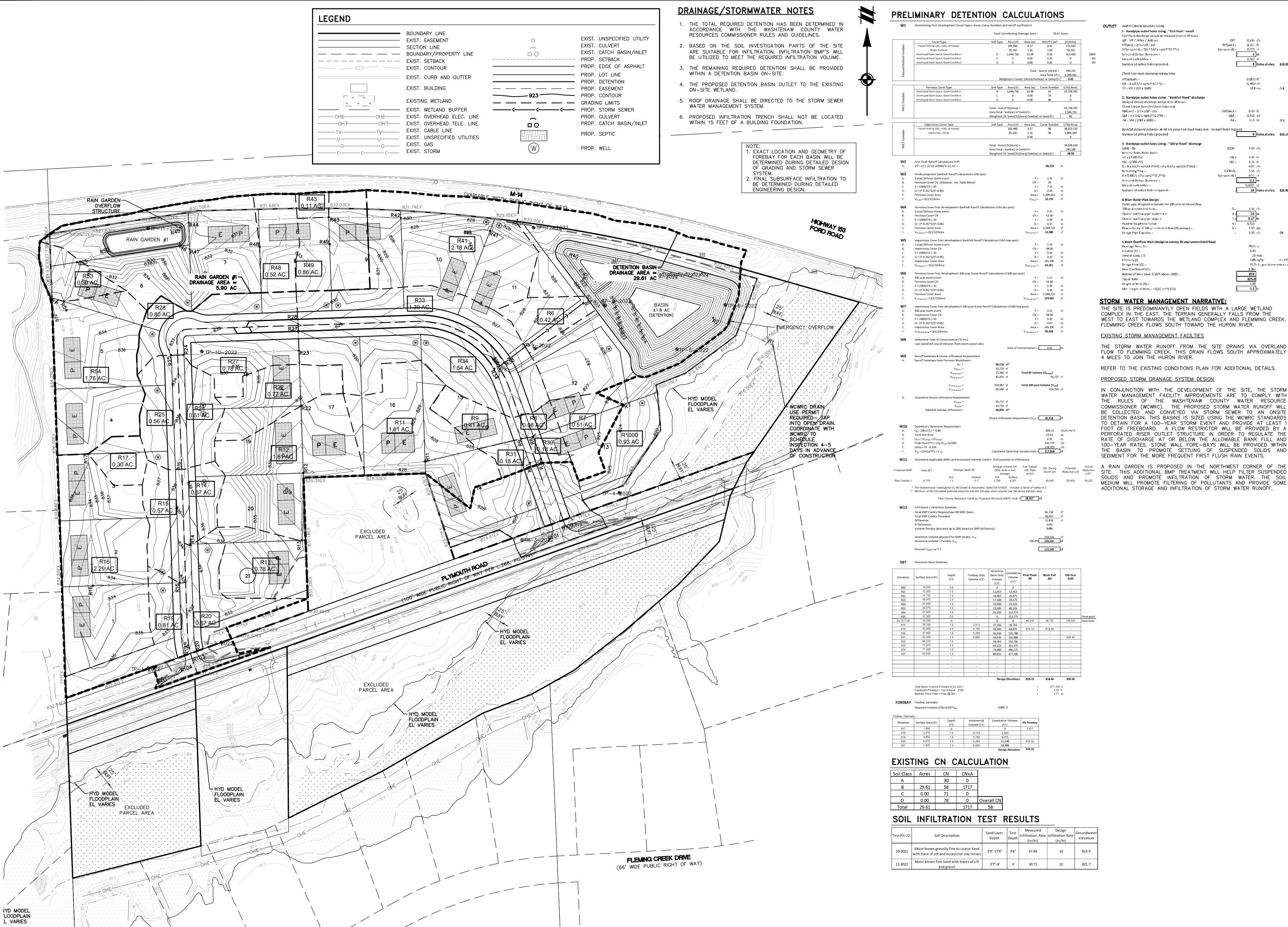
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
923	EXIST. CONTOUR
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. GRAVEL
	EXIST. BUILDING
· · · · · · · · · · · · · · · · · · ·	EXIST. WETLAND
	EXIST. WETLAND BUFFER
OHE OHE	
——————————————————————————————————————	
TVTV	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
G	
((((
W	EXIST. WATER MAIN
$-\!\!\!-\!\!\!\!-\!$	
0	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
<u>></u>	EXIST. HYDRANT
⊗	EXIST. VALVE
0	EXIST. SANITARY SEWER
	PROP. BUILDING
	PROP. BUILDING INTERIOR
	PROP. WALL
	PROP. PARKING STRIPE
	PROP. BACK OF CURB
	PROP. ASHPALT
	PROP. LOT LINE
607	PROP. PARKING STRIPE
923	PROP. CONTOUR
	PROP. SILT FENCE
——·——	PROP. STORM SEWER
)	PROP. END SECTION
	PROP. CATCH BASIN/INLET
•	PROP. MANHOLE
	PROP. SEPTIC

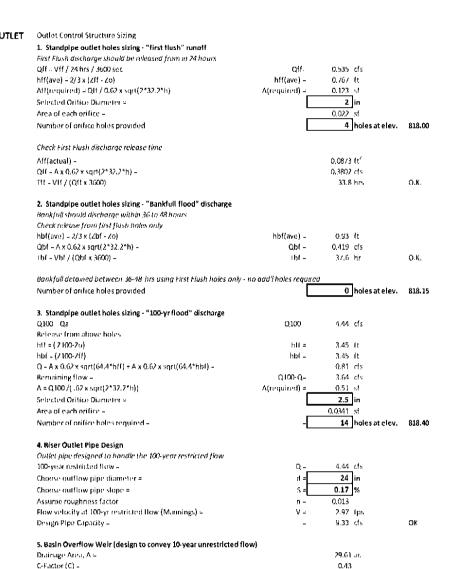
JOB 21002863

SHEET NO.

Know what's **below**.

Call before you dig.





THE SITE IS PREDOMINANTLY OPEN FIELDS WITH A LARGE WETLAND COMPLEX IN THE EAST. THE TERRAIN GENERALLY FALLS FROM THE WEST TO EAST TOWARDS THE WETLAND COMPLEX AND FLEMMING CREEK. FLEMMING CREEK FLOWS SOUTH TOWARD THE HURON RIVER.

3.89 in/hr

75.0 cfs, per storm sewer cales

1 = 175/(T+25)

THE STORM WATER RUNOFF FROM THE SITE DRAINS VIA OVERLAND FLOW TO FLEMMING CREEK. THIS DRAIN FLOWS SOUTH APPROXIMATELY

PROPOSED STORM DRANAGE SYSTEM DESIGN

WATER MANAGEMENT FACILITY IMPROVEMENTS ARE TO COMPLY WITH THE RULES OF THE WASHTENAW COUNTY WATER RESOURCE COMMISSIONER (WCWRC). THE PROPOSED STORM WATER RUNOFF WILL BE COLLECTED AND CONVEYED VIA STORM SEWER TO AN ONSITE DETENTION BASIN. THIS BASINS IS SIZED USING THE WCWRC STANDARDS TO DETAIN FOR A 100-YEAR STORM EVENT AND PROVIDE AT LEAST FOOT OF FREEBOARD. A FLOW RESTRICTOR WILL BE PROVIDED BY A PERFORATED RISER OUTLET STRUCTURE IN ORDER TO REGULATE THE RATE OF DISCHARGE AT OR BELOW THE ALLOWABLE BANK FULL AND 100-YEAR RATES. STONE WALL FORE-BAYS WILL BE PROVIDED WITHIN THE BASIN TO PROMOTE SETTLING OF SUSPENDED SOLIDS AND SEDIMENT FOR THE MORE FREQUENT FIRST FLUSH RAIN EVENTS.

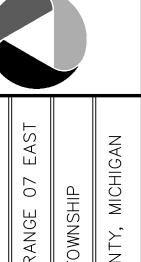
SITE. THIS ADDITIONAL BMP TREATMENT WILL HELP FILTER SUSPENDED SOLIDS AND PROMOTE INFILTRATION OF STORM WATER. THE SOIL MEDIUM WILL PROMOTE FILTERING OF POLLUTANTS AND PROVIDE SOME ADDITIONAL STORAGE AND INFILTRATION OF STORM WATER RUNOFF

Know what's **below**. Call before you dig

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HE CONTRACTOR SHALL DETERMIN
THE EXACT LOCATION OF ALL
EXISTING UTILITIES BEFORE
DIMMENCING WORK, AND AGREES TO
BE FULLY RESPONSIBLE FOR ANY ID ALL DAMAGES WHICH MIGHT I OCCASIONED BY THE CONTRACTOR' FAILURE TO EXACTLY LOCATE AN PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

ONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNE NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGEI IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER

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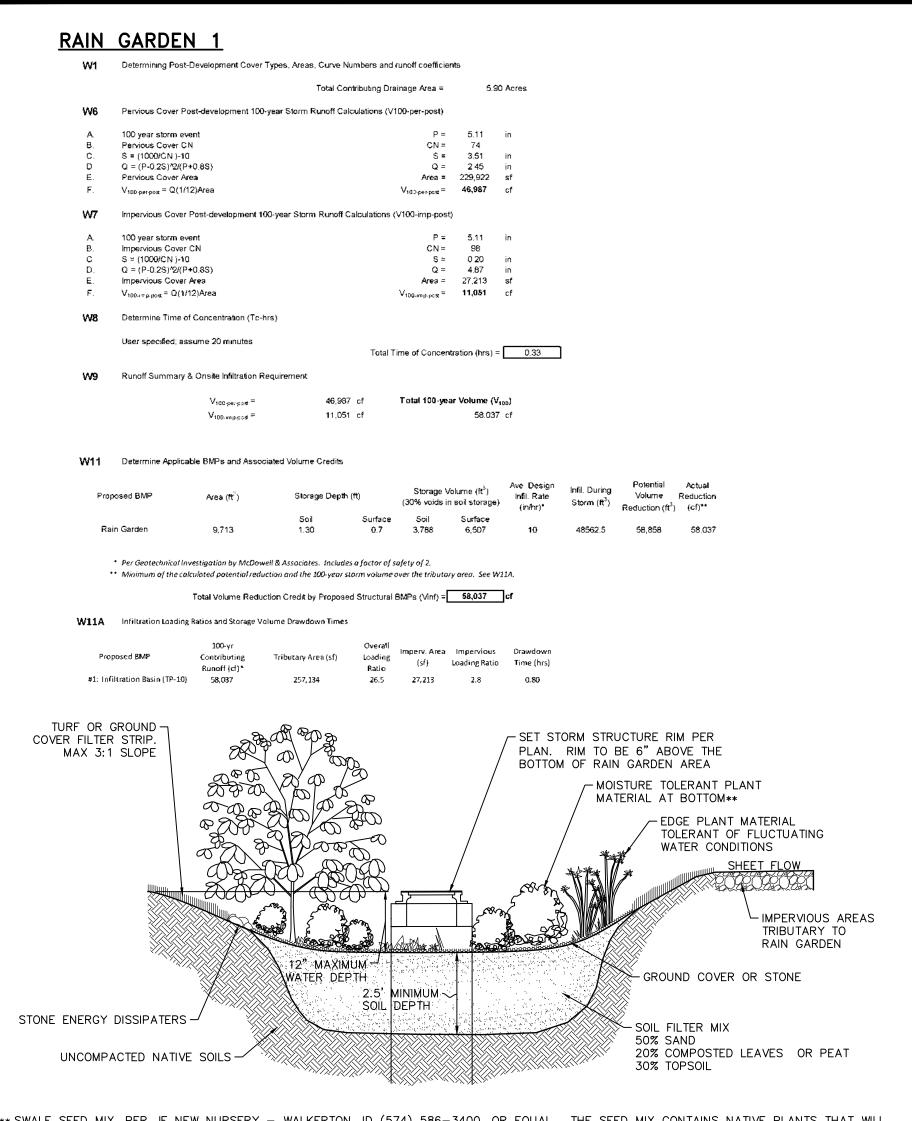
REVISIONS

 $1" = 100 \text{ FEE}^{-1}$ SK | CH. MC P.M. MC BOOK --

JOB 21002863

29

SHEET NO.



** SWALE SEED MIX, PER JF NEW NURSERY - WALKERTON, ID (574) 586-3400, OR EQUAL. THE SEED MIX CONTAINS NATIVE PLANTS THAT WILL HELP FILTER POLLUTANTS FROM YARD AND ROAD RUNOFF. THE MIX CAN BE USED IN YARD AREAS THAT RETAIN WATER FOR SOMETIME AFTER A RAIN EVENT. THE SEED MIX CONTAINS NATIVE GRASS, SEDGES AND FORB SPECIES INCLUDING BIG BLUE STERN, BRISTLY SEDGE, PORCUPINE SEDGE, BROWN FOX SEDGE, CANADA WILD RYE, FOWL MANNA GRASS, SWITCH GRASS, DARK GREEN RUSH, WOOL GRASS, WATER PLANTAIN, SWAMP MILKWEED, NEASTER, TALL COREOPSIS, SPOTTED JOE—PYE WEED, BLUE FLAG IRIS, MARSH MORNING STAR, CAROINAL FLOWER, BLUE LOBELIA, ARROWHEAD, ROUGH GOLDENROD, BLUE VERVAIN, GOLDEN ALEXANDERS AND TEMPORARY COVER OF SEED OATS, SEEDING RATE: 26.44

RAIN GARDEN TYPICAL DETAIL

PRELIMINARY CONVEYANCE CALCULATIONS

CULVERTS

	B/(T+D) ^ E varies	Tmin =	175.0 20		25.0 0.013	E = Vmin =			* = Check F	Rim-HGL cl	earance												
		Α	С	AxC	CA	Т	I	Q	Qc	D	L	S	HGq	HGv	HG	Vf	Tf	H.G.L	. ELEV.	RIM/GR	OUND ELEV.	INVER	T ELEV.
FROM TRUCT INPUT	TO STRUCT	TRIB AREA (AC)	RUNOFF	EQUIV AREA	DESIGN SUM AXC	CONC. (MIN)	INTEN- SITY (IN/HR)	CAxI (CFS)	PIPE CAPAC. (CFS) * see above	PIPE DIAM. (IN)	PIPE LENGTH (FT)	PIPE SLOPE (%)	MIN HG for Q (%)	MIN HG for Vmin (%)	HGL SLOPE (%)	VEL. FULL (FPS)	TIME OF FLOW (MIN)	UPPER END	LOWER	UPPER END	LOWER END	UPPER END	LOWE
ENTION 1			1						500 00010														
R17	R16	0.30	0.51	0.15	0.15	20.0	3.89	0.58	3.21	12	324	0.81	0.03	0.44	0.44	4.1	1.3	829.83	827.21	835.25	831.44	829.03	826.4
R16	R15	2.29	0.37	0.85	1.00	21.3	3.78	3.78	6.12	18	213	0.34	0.13	0.25	0.25	3.5	1.0	827.02	826.48	831.44	832.66	826.01	825.2
R15	R14	0.57	0.45	0.25	1.95	22.3	3.70	7.21	7.21 *	18	98	0.47	0.47	0.25	0.47	4.1	0.4	826.40	825.93	832.66	833.82	825.18	824.7
R14	R13	0.37	0.44	0.16	2.11	22.7	3.67	7.74	7.74 *	18	273	0.54	0.54	0.25	0.54	4.4	1.0	825.93	824.45	833.82	829.44	824.72	823.
R13	R12	0.78	0.37	0.29	2.40	23.7	3.59	8.62	8.62 *	18	165	0.67	0.67	0.25	0.67	4.9	0.6	824.45	823.33	829.44	826.70	823.24	822.
R12	R11	1.81	0.36	0.65	4.49	24.3	3.55	15.94	16.00	24	301	0.50	0.50	0.17	0.50	5.1	1.0	823.33	821.84	826.70	825.90	821.73	820.2
R11	R9	1.61	0.36	0.58	5.07	25.3	3.48	17.64	17.67	24	242	0.61	0.61	0.17	0.61	5.6	0.7	821.84	820.36	825.90	825.69	820.23	818.
R9	R8	0.41	0.45	0.18	5.25	26.0	3.43	18.01	18.01 *	30	30	0.19	0.19	0.13	0.19	3.6	0.1	820.36	820.31	825.69	825.60	818.35	818.
R8	R7	0.08	0.42	0.04	5.46	26.1	3.42	18.70	18.80	30	235	0.21	0.21	0.13	0.21	3.8	1.0	820.31	819.82	825.60	823.70	818.30	817.
R7	R6	0.51	0.40	0.20	5.66	27.1	3.36	19.01	19.01 *	30	268	0.21	0.21	0.13	0.21	3.8	1.2	819.82	819.24	823.70	825.15	817.80	817.
R6	R5	0.42	0.36	0.15	7.09	28.3	3.28	23.28	23.28 *	30	75	0.32	0.32	0.13	0.32	4.7	0.3	818.64	818.40	825.15	816.08	817.24	817.
R20	R19	0.87	0.46	0.40	0.40	20.0	3.89	1.56	2.36	12	31	0.44	0.19	0.44	0.44	3.0	0.2	827.66	827.52	830.83	830.95	826.86	826.
R19	R15	0.81	0.37	0.30	0.70	20.2	3.87	2.71	2.71	12	179	0.58	0.58	0.44	0.58	3.5	0.9	827.43	826.40	830.95	832.66	826.62	825.
R25	R24	0.56	0.45	0.25	0.25	20.0	3.89	0.97	2.36	12	31	0.44	0.07	0.44	0.44	3.0	0.2	829.59	829.45	833.18	833.21	828.79	828
R24	R23	0.51	0.43	0.24	0.49	20.0	3.87	1.90	3.82	12	283	1.15	0.07	0.44	0.44	4.9	1.0	829.35	826.10	833.21	830.94	828.55	825
R23	R22	0.00	0.00	0.00	1.21	21.2	3.79	4.58	5.25	18	135	0.25	0.19	0.44	0.44	3.0	0.8	826.10	825.76	830.94	829.62	824.89	824
R22	R12	0.77	0.30	0.23	1.44	22.0	3.72	5.36	12.43	18	166	1.40	0.26	0.25	0.26	7.0	0.4	825.66	823.33	829.62	826.70	824.46	822
R28	R27	0.80	0.44	0.35	0.35	20.0	3.89	1.36	2.36	12	29	0.44	0.15	0.44	0.44	3.0	0.2	826.52	826.39	829.73	829.77	825.71	825.
R27	R23	0.78	0.47	0.37	0.72	20.2	3.87	2.79	2.79 *	12	47	0.61	0.61	0.44	0.61	3.5	0.2	826.39	826.10	829.77	830.94	825.58	825.
R31	R30	0.18	0.51	0.09	0.09	20.0	3.89	0.35	2.36	10	29	0.44	0.01	0.44	0.44	3.0	0.2	820.62	820.49	824.10	824.10	819.81	819
R30	R8	0.18	0.45	0.08	0.09	20.0	3.87	0.66	3.65	12 15	58	0.32	0.01	0.32	0.44	3.0	0.2	820.49	820.31	824.10	825.60	819.48	819
R34	Doo	1.54	0.42	0.66	0.66	20.0	2 00	2.57	2.57	10	20	0.50	0.52	0.44	0.52	2.2	0.1	024.24	821.06	004.74	824.72	020.44	920
R33	R33 R6	1.39	0.43	0.62	0.66 1.28	20.0	3.89 3.88	4.97	2.57 9.10	12 18	29 243	0.52 0.75	0.52	0.44 0.25	0.52 0.25	3.3 5.2	0.1	821.21 821.06	819.24	824.71 824.72	825.15	820.41 819.86	820. 818.
R54	R53	1.76	0.36	0.64	0.64	20.0	3.89	2.49	3.65	15	102	0.32	0.15	0.32	0.32	3.0	0.6	826.86	826.53	830.00	829.60	825.70	825
R53	R52	0.39	0.30	0.12	0.76	20.6	3.84	2.92	3.65	15	87	0.32	0.20	0.32	0.32	3.0	0.5	826.53	826.25	829.60	828.17	825.28	825
R49	R48	0.97	0.35	0.34	0.34	20.0	3.89	1.32	2.36	12	172	0.44	0.14	0.44	0.44	3.0	1.0	827.64	826.88	830.70	830.06	826.64	825.
R48	R47	0.52	0.40	0.21	0.55	21.0	3.80	2.09	2.36	12	172	0.44	0.34	0.44	0.44	3.0	1.0	826.88	826.13	830.06	829.10	825.89	825
R47	R46	0.00	0.00	0.00	0.55	22.0	3.72	2.09	2.36	12	30	0.44	0.34	0.44	0.44	3.0	0.2	826.13	826.00	829.10	827.75	825.13	825.
R45	R44	0.00	0.00	0.00	0.00	20.0	3.89	0.00	2.36	12	25	0.44	0.00	0.44	0.44	3.0	0.1	823.07	822.96	826.25	827.25	822.27	822
R44	R43	0.00	0.00	0.00	0.00	20.1	3.88	0.00	2.36	12	344	0.44	0.00	0.44	0.44	3.0	1.9	822.95	821.45	827.25	830.05	822.16	820
R43	R42	0.11	0.30	0.03	0.03	22.0	3.72	0.11	2.36	12	177	0.44	0.00	0.44	0.44	3.0	1.0	821.34	820.57	830.05	830.23	820.55	819
R42	R41	0.00	0.00	0.00	0.03	23.0	3.65	0.11	2.36	12	221	0.44	0.00	0.44	0.44	3.0	1.2	820.46	819.49	830.23	824.19	819.67	818.
R41	R40	2.18	0.34	0.74	0.77	24.2	3.56	2.74	4.33	15	221	0.45	0.18	0.32	0.32	3.5	1.0	819.12	818.40	824.19	820.25	818.49	817
JTLETS																							
R2	R1	0.00	0.00	0.00	0.00	20.0	3.89	0.00	9.33	24	160	0.17	0.00	0.17	0.17	3.0	0.9	818.58	818.30	821.45	816.37	816.57	816.

R103 0.00 0.00 0.00 0.00 20.0 3.89 0.00 2.36 12 70 0.44 0.00 0.44 3.0 0.4 830.10 829.79 826.18 825.98

R100 0.00 0.00 0.00 0.00 20.0 3.89 0.00 7.02 15 72 1.18 0.00 0.32 0.32 5.7 0.2 818.88 818.65 815.33

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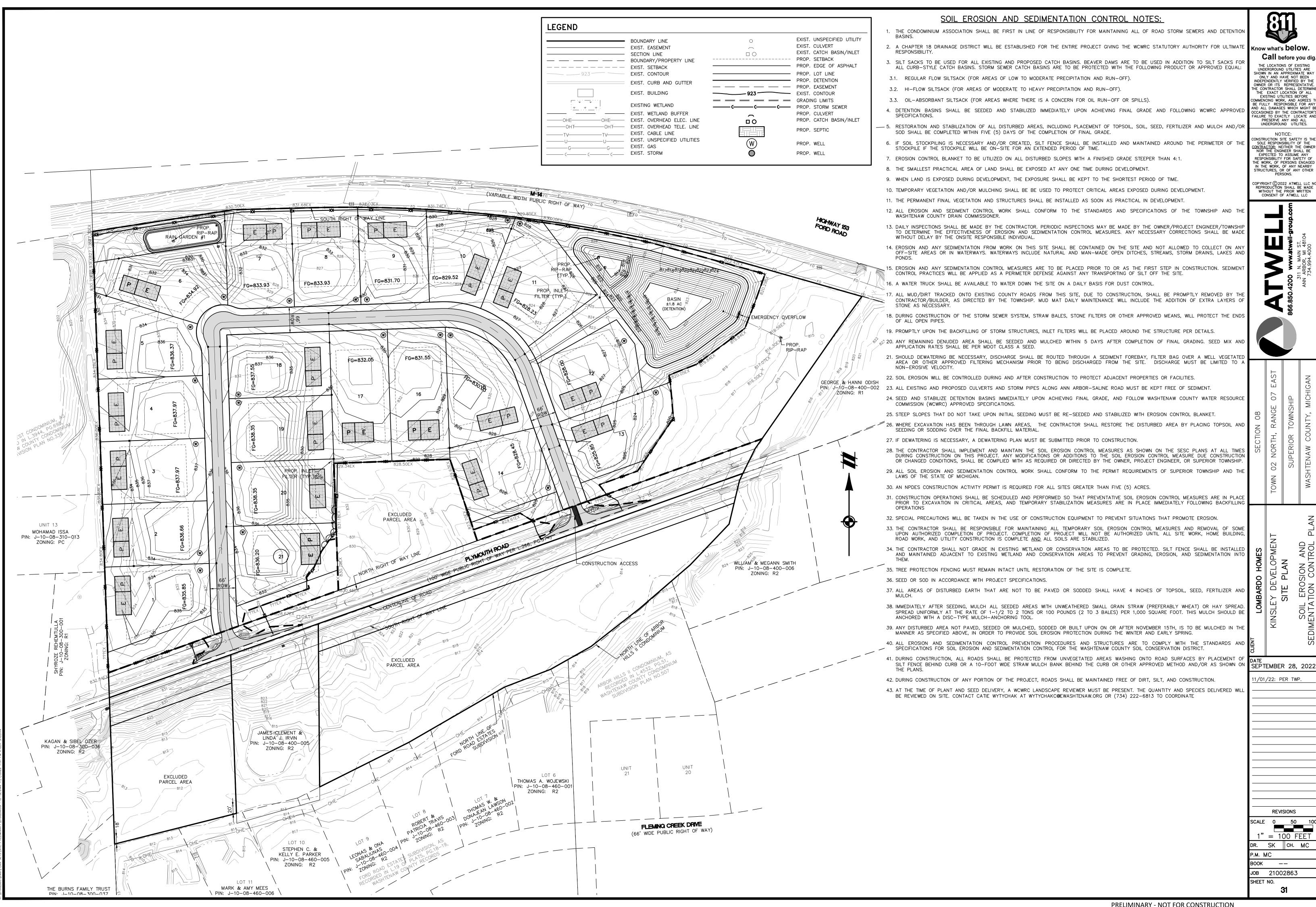
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REVISIONS

1" = 100 FEETDR. SK CH. MC P.M. MC

BOOK --JOB 21002863 SHEET NO. 30



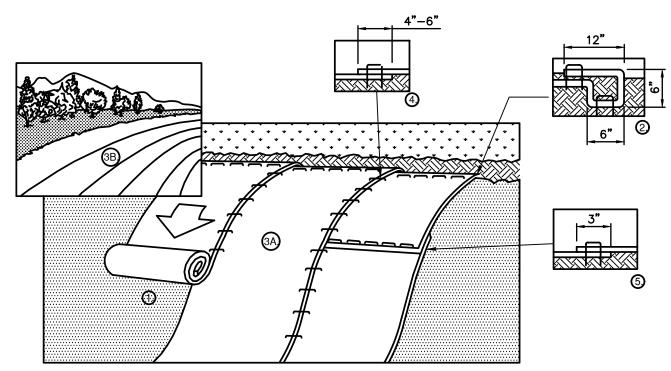
Know what's **below**

Call before you dig THE LOCATIONS OF EXISTING

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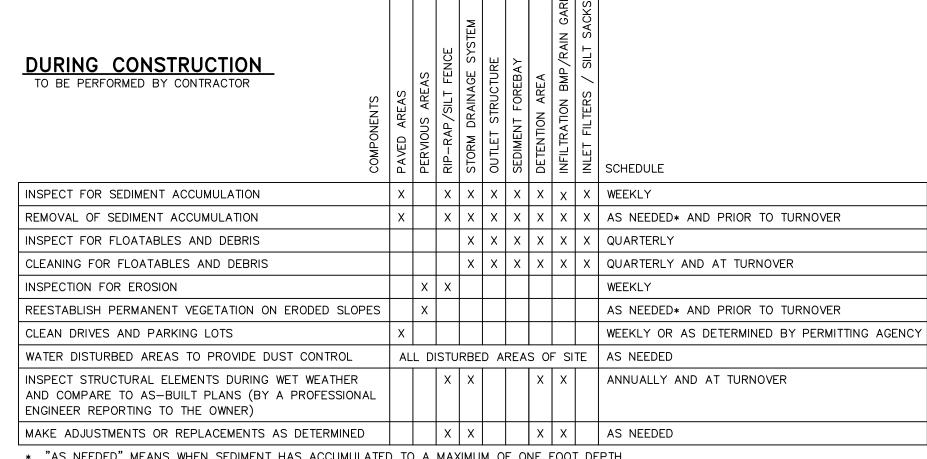
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SOIL EROSION CONTROL MAINTENANCE TASKS AND SCHEDULE



- 1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- 3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURES RECOMMENDATION.
- 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- 5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- 6. PLACE STAPLES/STAKES PER MANUFACTURE RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING
- 1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
- 2. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION.

EROSION CONTROL BLANKET (SLOPE INSTALLATION)



^{* &}quot;AS NEEDED" MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH

LONG TERM STORM WATER & BUDGET

1. THE CONDOMINIUM ASSOCIATION SHALL BE FIRST IN LINE OF RESPONSIBILITY FOR MAINTAINING ALL OF ROAD STORM SEWERS AND DETENTION BASINS 2. A CHAPTER 18 DRAINAGE DISTRICT WILL BE ESTABLISHED FOR THE ENTIRE PROJECT GIVING THE WCWRC STATUTORY RESPONSIBILITY FOR ULTIMATE RESPONSIBILITY

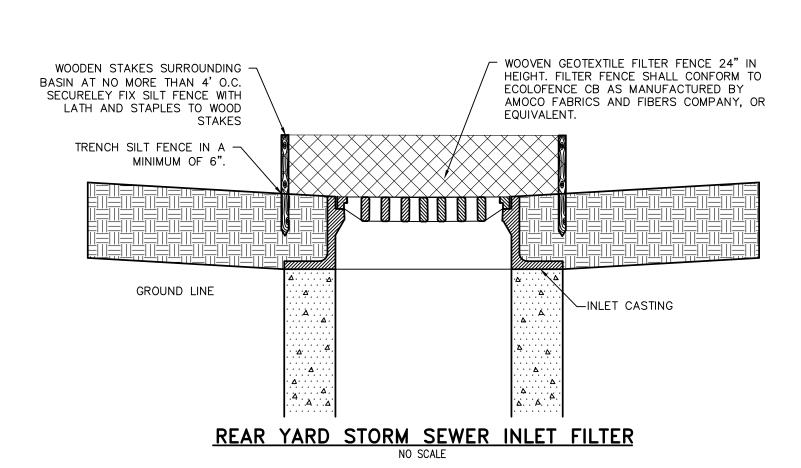
	COMPONENTS	PAVED AREAS	PERVIOUS AREAS	RIP-RAP	STORM DRAINAGE SYSTEM	SEDIMENT FOREBAYS	INFILTRATION BASINS	OUTLET CONTROL STR	RAIN GARDENS	INFILTRATION TRENCHES	SCHEDULE
MENT ACCUMULATION		X		×	X	×	X	×	×	\times	SEMI-ANUALLY/AS NEEDE
MENT ACCUMULATION		X		X	X	X	X	X	X	X	5-10 YRS/AS NEEDED*
TABLES AND DEBRIS					X	X	X	X	X	X	ANNUALLY
DATABLES AND DEBRIS					X	X	X	X	Χ	X	ANNUALLY
ROSION			X	X			X		X		ANNUALLY/AFTER MAJOR

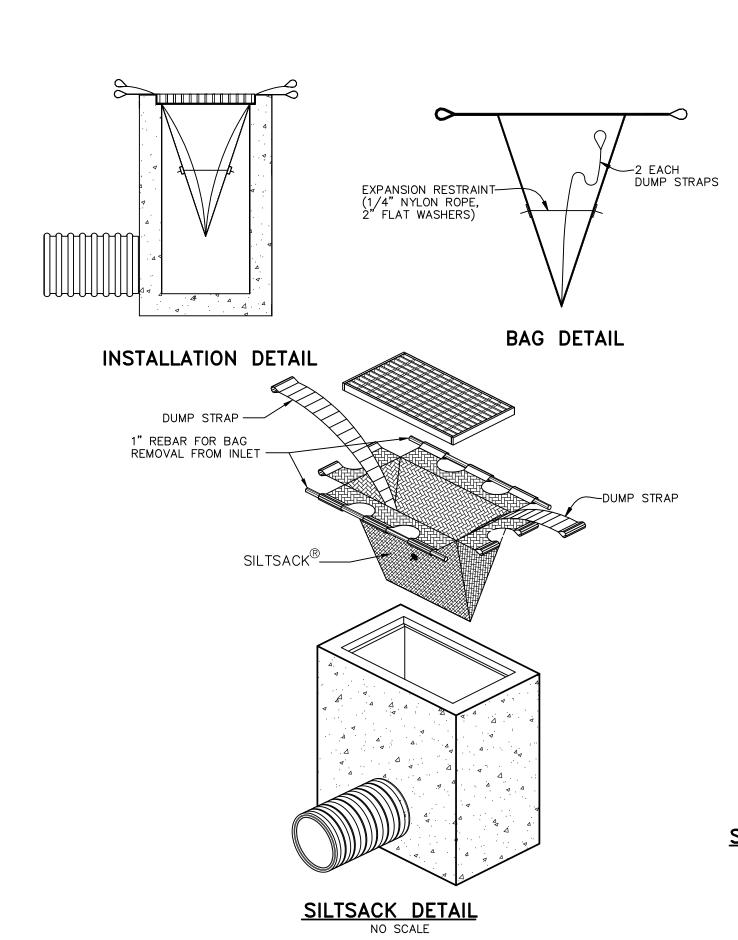
TASKS	PA	H	불	ST(SE	¥	3	₹	볼		SCHEDULE	ANNUAL COST
INSPECT FOR SEDIMENT ACCUMULATION	×		X	X	X	Χ	X	×	X		SEMI-ANUALLY/AS NEEDED*	\$100.00
REMOVAL OF SEDIMENT ACCUMULATION	X		X	X	X	X	X	X	X		5-10 YRS/AS NEEDED*	\$200.00
INSPECT FOR FLOATABLES AND DEBRIS				X	X	X	X	X	X		ANNUALLY	\$100.00
CLEANING FOR FLOATABLES AND DEBRIS				X	X	×	X	X	X		ANNUALLY	\$300.00
INSPECTION FOR EROSION		×	X			×		X			ANNUALLY/AFTER MAJOR STORMS	\$100.00
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES		X				×		X			AS NEEDED	\$300.00
RAIN GARDEN MAINTENANCE								X			TWICE PER YEAR (SPRING AND FALL)	\$500.00
CLEAN DRIVES AND PARKING LOTS	X										ANNUALLY	\$500.00
MOWING		\times									0-2 TIMES PER YEAR	\$400.00
INSPECT FOLLOWING STORM 1" OR GREATER						×		X	\times		AS NEEDED	\$100.00
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY A PROFESSIONAL ENGINEER REPORTING TO THE OWNER)			×	×	×	×	×	×	×		ANNUALLY	\$100.00
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION			X	X	X	×	×	×	X		AS NEEDED	\$100.00
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITY	TIES	AND	REF	PORT	T0	PRC	PER	TY C	WNE	R	ANNUALLY	\$50.00
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCIONNER	E AN	D RI	EPAIF	RS.	REF	PORT	TO	PRC	PER	ſΥ	ANNUALLY	\$50.00
PROPERTY OWNER REVIEWS COST EFFECTIVENESS OF THE PREVIOUS NAKES NECESSARY ADJUSTMENTS	ROPERTY OWNER REVIEWS COST EFFECTIVENESS OF THE PREVENTATIVE MAINTENANCE PROGRAM AND AKES NECESSARY ADJUSTMENTS							ANNUALLY	\$50.00			
OWNER TO HAVE A PROFESSIONAL ENGINEER CARRY OUT EMER IDENTIFICATION OF SEVERE PROBLEMS	GENO	CY IN	NSPE	CTIO	NS	UPOI	٧				AS NEEDED	\$150.00

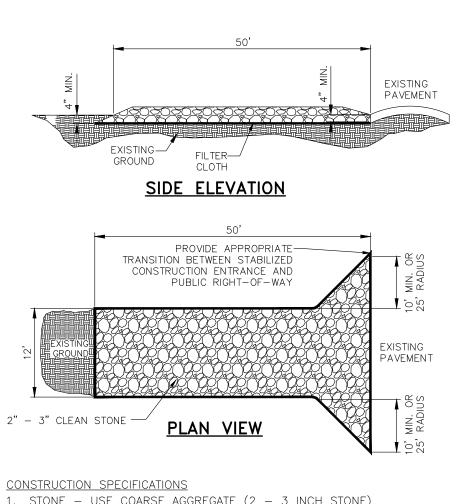
^{* &}quot;AS NEEDED" MEANS WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE FOOT DEPTH

WHEN JOINING TWO OR MORE SILT FENCES TIE THE TWO END POSTS TOGETHER WITH NYLON CORD. EXTENDS INTO TRENCH

GEOTEXTILE SILT FENCE







1. STONE - USE COARSE AGGREGATE (2 - 3 INCH STONE) 2. LENGTH - 50' MIN. 3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.

4. WIDTH - 12' MIN.

STABILIZED CONSTRUCTION ENTRANCE AND STONE LAYDOWN NOT TO SCALE

CONSTRUCTION SEQUENCE (SESC)

- 1. INSTALL TEMPORARY EROSION AND SEDIMENTATION MEASURES (1 WEEK) SPRING 2023
- 1.1. INSTALL SEDIMENT FENCE AND TREE PROTECTION FENCING PRIOR TO ANY GRADING OPERATION 1.2. INSTALL MUD TRACKING PAD
- 2. MASS GRADING / CONSTRUCT DETENTION FACILITIES (28 DAYS) SPRING 2023
- PLACE TOPSOIL, FERTILIZER, SEED AND MULCH OVER ENTIRE DETENTION BASIN AREA INSTALL DETENTION BASIN STANDPIPE.
- 2.3. ROUGH GRADE SITE, STOCKPIPE TOPSOIL 3. INSTALL UTILITIES, INCLUDING STORM DRAINAGE SYSTEM AND RIP-RAP (18 DAYS) - SPRING/SUMMER 2023
- 4. MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED.
- 5. BEGIN PAVING ACTIVITIES (2 WEEKS) WEATHER DEPENDENT SUMMER 2023
- 6. INSTALL FRANCHISED UTILITIES.
- 7. AS-BUILT CERTIFICATION OF THE STORM WATER DETENTION SYSTEM. (1 WEEK) FALL 2023
- 8. FINISH GRADE, REDISTRIBUTE TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS. INSTALL LANDSCAPING. FALL 2023
- 9. INSPECT AND CLEAN ALL CATCH BASINS, STORM SEWERS, AND DETENTION FACILITIES
- 9.1. REMOVE ANY ACCUMULATED SEDIMENT WITHIN THE DETENTION BASIN AND STORM SEWER SYSTEM 9.2. REPLACE CLEAN WASHED STONE AROUND DETENTION STANDPIPE
- 10. ENSURE ALL SOIL IS STABILIZED.
- 11. COMPLETE CONSTRUCTION OF SITE (PHASE 1). FALL 2023
- 12. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. (1 WEEK) FALL 2023

STOCKPILE NOTE

STOCKPILING IS NOT ANTICIPATED. IF NEEDED, SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE PERIMETER OF ANY STOCKPILES, IF STOCKPILE WILL BE LARGE AND IS EXPECTED TO BE ON-SITE FOR A PERIOD OF TIME.



now what's **below**. Call before you dig THE LOCATIONS OF EXISTING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMIN. THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH PROPERTY AND ALL DAM ND ALL DAMAGES WHICH MIGHT I OCCASIONED BY THE CONTRACTOR' FAILURE TO EXACTLY LOCATE AN PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

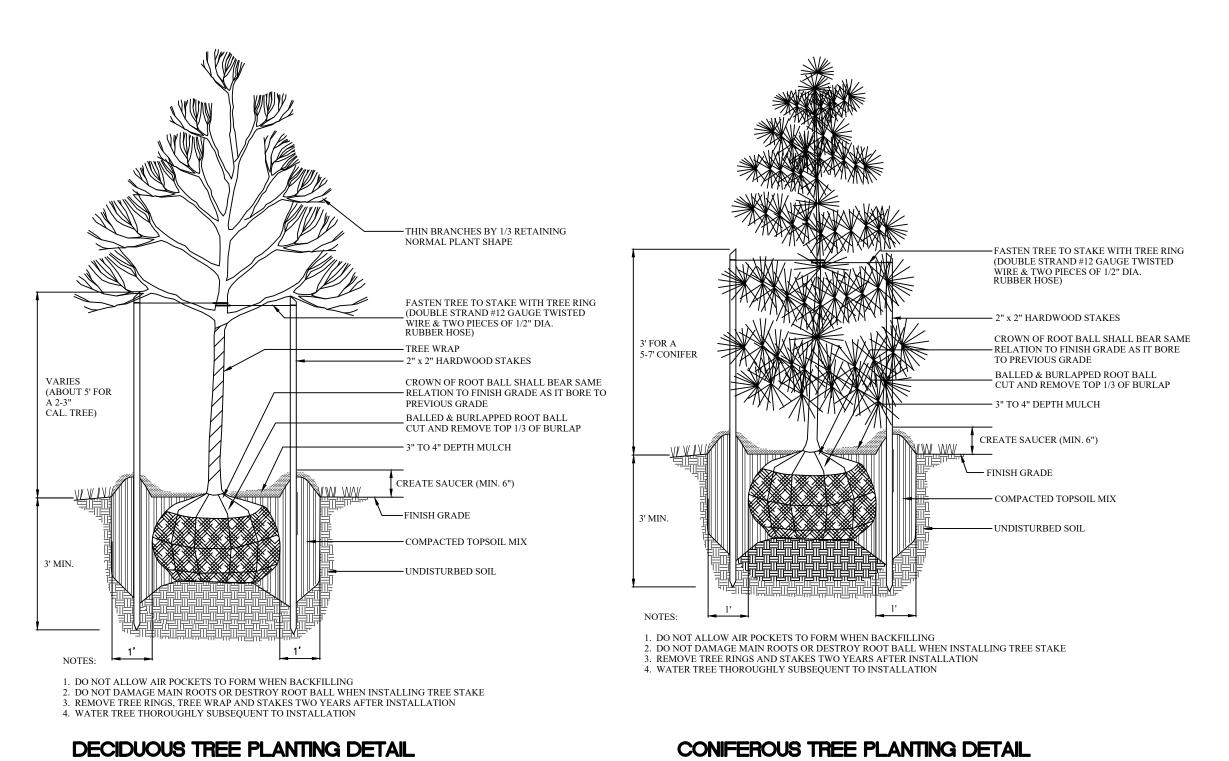
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SEPTEMBER 28, 2022 1/01/22: PER TWP.

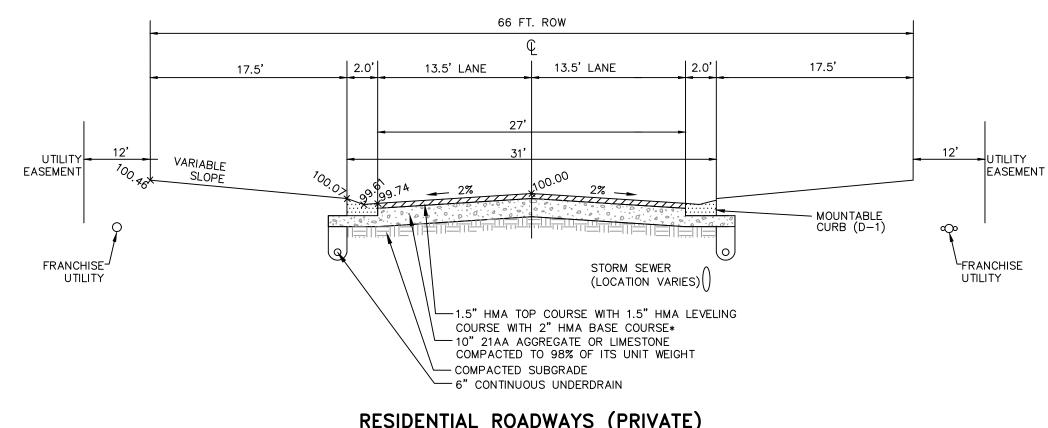
REVISIONS

1" = 100 FEETSK || CH. MC P.M. MC BOOK --

JOB 21002863 SHEET NO. 32



NO SCALE



Know what's **below.**

Call before you dig

THE LOCATIONS OF EXISTING
UNDERGROUND UTILITIES ARE
SHOWN IN AN APPROXIMATE WAY
ONLY AND HAVE NOT BEEN
INDEPENDENTLY VERIFIED BY THE
OWNER OR ITS REPRESENTATIVE.
THE CONTRACTOR SHALL DETERMINE
THE EXACT LOCATION OF ALL
EXISTING UTILITIES BEFORE
COMMENCING WORK, AND AGREES TO
BE FULLY RESPONSIBLE FOR ANY
AND ALL DAMAGES WHICH MIGHT BE
OCCASIONED BY THE CONTRACTOR'S
FAILURE TO EXACTLY LOCATE AND
PRESERVE ANY AND ALL
UNDERGROUND UTILITIES.

NO IICE:

CONSTRUCTION SITE SAFETY IS THE
SOLE RESPONSIBILITY OF THE
CONTRACTOR: NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF
THE WORK, OF PERSONS ENGAGED
IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER
PERSONS.

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11/01/22: PER TWP.

REVISIONS

NO SCALE DR. SK CH. MC

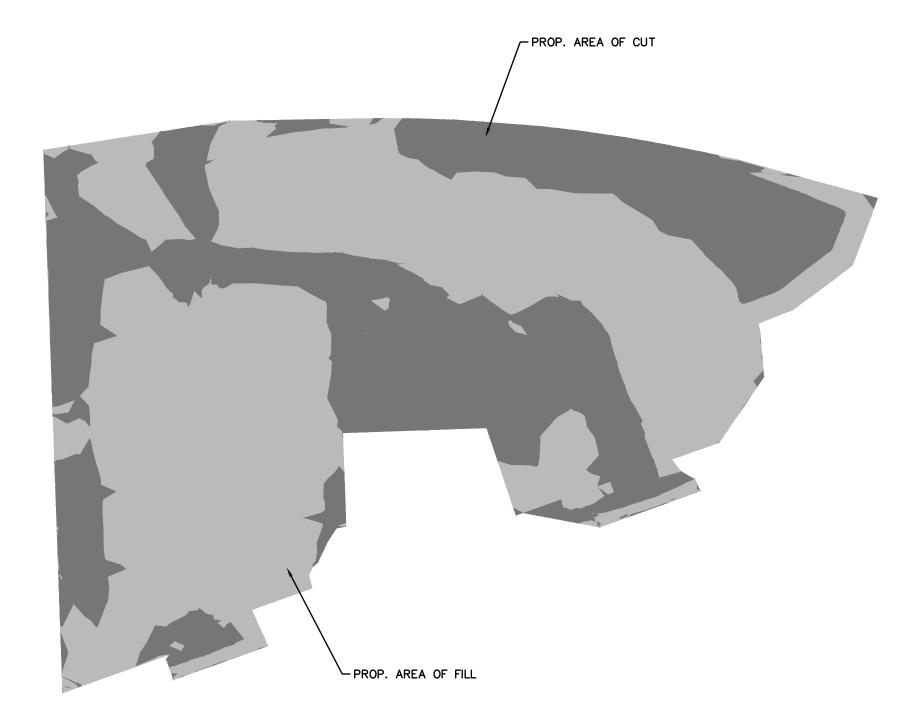
33

P.M. MC

SHEET NO.

BOOK --JOB 21002863

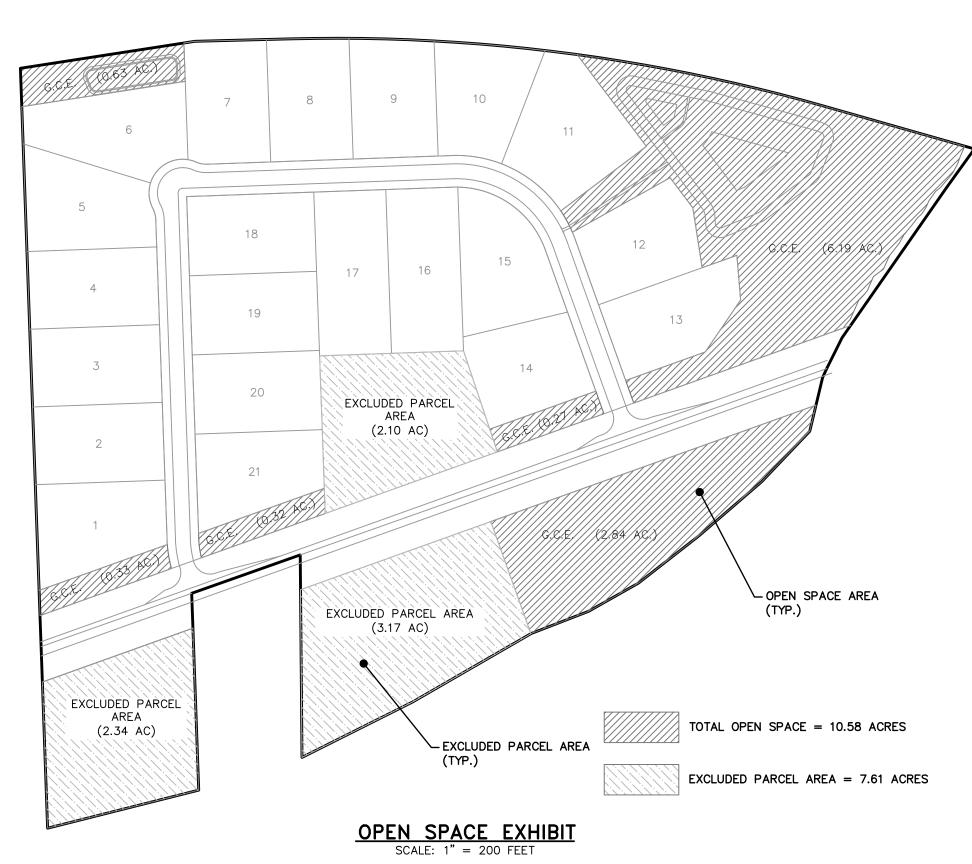
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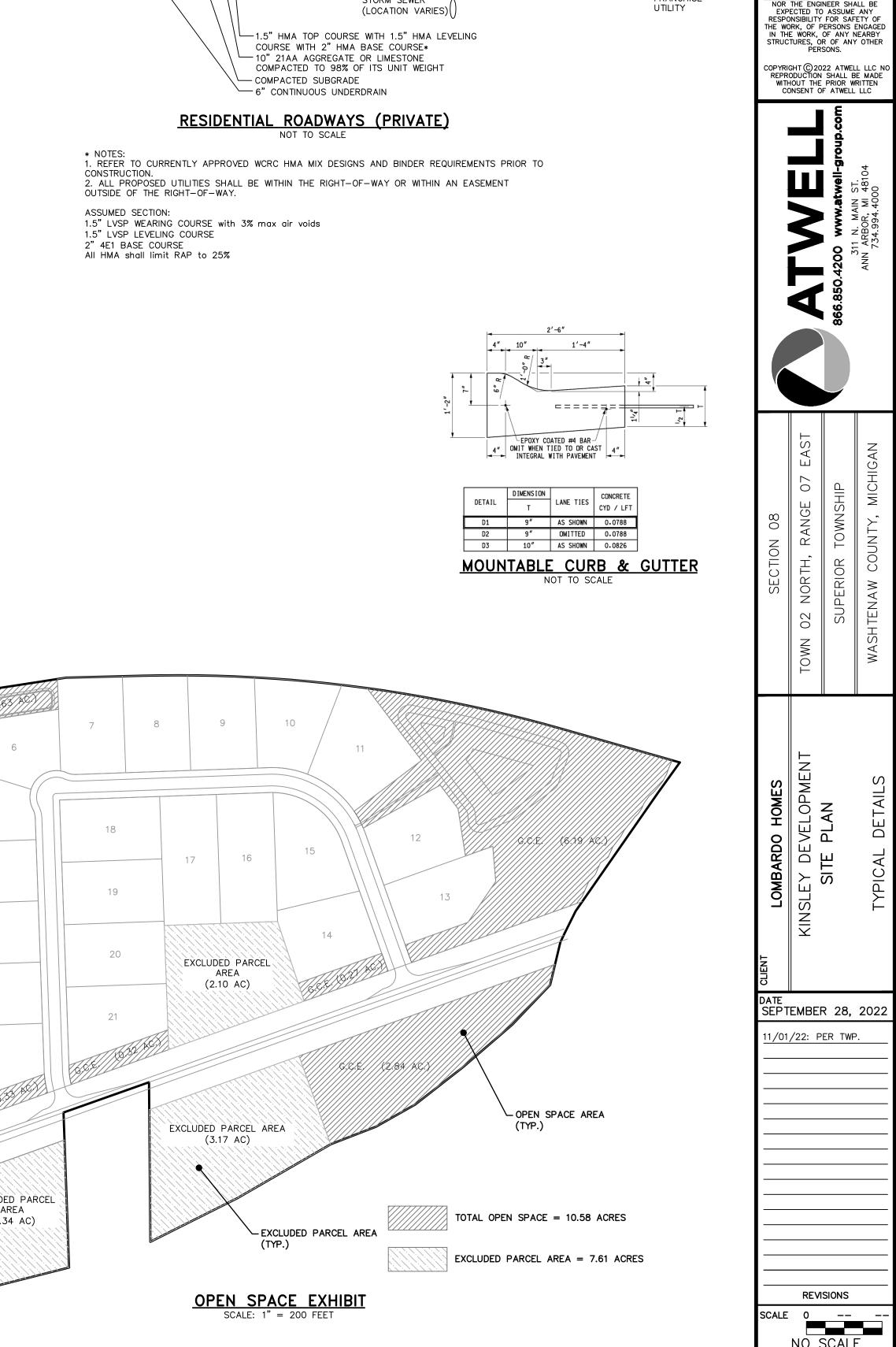


NO SCALE

CUT AND FILL AREAS

SCALE: 1" = 200 FEET





Tree Tag#	<u>Data Code</u>	Scientific Name	Common Name	DBH (inches)	Condition	<u> Iymouth Road - Tree Table</u> <u> Comments</u>	Regulated	Landmark Tree	<u>To Be</u> Removed ▼	Replacement Required?
2001 2002	ACNE ACSA	Acer negundo Acer saccharum	Boxelder Sugar Maple	8 10	Fair Good	Vines	Yes Yes	No No	nemoved *	No No
2003 2004 2005	ROPS ACSA ACSA	Robinia pseudoacacia Acer saccharum Acer saccharum	Black Locust Sugar Maple Sugar Maple	15 10.5 16	Poor Good Good	Four Trunk (4T): 14.5, 13, 9; Inner Bark Rot (IBR), Nearly Dead	No Yes Yes	No No Yes		No No No
2005	PYCO PYCO	Pyrus communis Pyrus communis	Common Pear Common Pear	10	Good Good		Yes Yes	No No		No No
2008 2009	PYCO PYCO	Pyrus communis Pyrus communis	Common Pear Common Pear	8 8	Good Good		Yes Yes	No No		No No
2010 2011 2012	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	24 10.5 14	Good Good		Yes Yes Yes	No No No		No No
2012 2013 2014	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	14 11 11.5	Good Good Good		Yes Yes Yes	No No No		No No No
2015 2016	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	10.5 18	Good Good		Yes Yes	No No	_	No No
2017	ACNE PRSE	Acer negundo Prunus serotina	Boxelder Black Cherry	11 12	Good Good	4T: 7.5, 7, 6.5	Yes Yes	No No		No No
2019 2020 2021	ACNE ACNE MASPP	Acer negundo Acer negundo Malus species	Boxelder Boxelder Apple/Crabapple	14.5 10 10	Fair Good Good	Leaning Three Trunk (3T): 8, 5	Yes Yes Yes	No No No		No No No
2022	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	22 17.5	Good Good	Two Trunk (2T): 10	Yes Yes	No No		No No
2024 2025	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	11 12	Good Fair	Vines	Yes Yes	No No		No No
2026 2027	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	9 14	Fair Good	Vines 2T: 10	Yes Yes	No No		No No
2028 2029 2030	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	9.5 11.5 17	Good Good	2T: 7	Yes Yes Yes	No No No		No No No
2031	PYCO ACSA	Pyrus communis Acer saccharum	Common Pear Sugar Maple	10.5 23	Good Good		Yes Yes	No Yes		No No
2033 2034	PRSE ACNE	Prunus serotina Acer negundo	Black Cherry Boxelder	13.5 18	Good Poor	Dead Branches	Yes No	No No		No No
2035	ULAM MOAL	Ulmus americana Morus alba	American Elm White Mulberry	12 35	Good Fair	Dead Branches	Yes Yes	No Yes		No No
2037 2038 2039	ACNE ACNE MASPP	Acer negundo Acer negundo Malus species	Boxelder Boxelder Apple/Crabapple	12.5 11.5 8.5	Good Good Fair	2T: 8; Vines	Yes Yes Yes	No No No		No No No
2040 2041	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	12 12	Good Poor	21: 8; vines 2T: 8 Fallen	Yes No	No No		No No
2042 2043	PIST PIST	Pinus strobus Pinus strobus	White Pine White Pine	12 8	Good Good	40ft Tall 30ft Tall	Yes Yes	No No		No No
2044 2045	PIST PIST	Pinus strobus Pinus strobus	White Pine White Pine	10 16	Good Good	30ft Tall 50ft Tall	Yes Yes	No No		No No
2046 2047 2048	PIST PIST ACNE	Pinus strobus Pinus strobus	White Pine White Pine Boxelder	6 5 8.5	Good Good	30ft Tall 25ft Tall	Yes Yes	No No		No No
2048 2049 2050	ACNE ACNE ULAM	Acer negundo Acer negundo Ulmus americana	Boxelder Boxelder American Elm	8.5 10.5 8	Good Good		Yes Yes Yes	No No No		No No No
2050 2051 2052	ACNE ACNE	Acer negundo Acer negundo	American Elm Boxelder Boxelder	8 13 10.5	Good Good Good	2T: 6.5	Yes Yes Yes	No No No		No No No
2053 2054	ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder	9.5 15	Good Good		Yes Yes	No No		No No
2055 2056	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	8	Fair Good	Leaning	Yes Yes	No No		No No
2057 2058	POTR ACNE	Populus tremuloides Acer negundo	Quaking Aspen Boxelder	12 11	Good Good		Yes Yes	No No		No No
2059 2060 2061	ACNE ULAM POTR	Acer negundo Ulmus americana Populus tremuloides	Boxelder American Elm Quaking Aspen	9 9.5 13	Good Good Good		Yes Yes Yes	No No No		No No No
2061 2062 2063	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	8.5 8.5	Good Good		Yes Yes Yes	No No		No No No
2064 2065	ACNE SANI	Acer negundo Salix nigra	Boxelder Black Willow	12 31	Good Poor	Dead Branches	Yes No	No No		No No
2066 2067	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	13 13	Good Good		Yes Yes	No No	_	No No
2068 2069	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	9 13.5	Good Good		Yes Yes	No No		No No
2070 2071 2072	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	14 14 17	Good Poor Good	4T: 3, 3, 2; Fallen 2T: 6	Yes No Yes	No No No		No No No
2072 2073 2074	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	17 10 8	Good Fair Fair	21: 6 Vines Vines	Yes Yes Yes	No No No		No No No
2075 2076	ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder	11.5 12	Good Good	Five Trunk (5T): 6.5, 4, 4, 4	Yes Yes	No No		No No
2077 2078	ACNE RHCA	Acer negundo Rhamnus cathartica	Boxelder Common Buckthorn	15 10.5	Poor Good	2T: 5; Dead Limb 4T: 6, 6, 5.5	No No	No No		No No
2079 2080	SANI ACNE	Salix nigra Acer negundo	Black Willow Boxelder	30 10	Poor Good	IBR, Dead Limbs	No Yes	No No		No No
2081 2082 2083	ACNE ACNE SANI	Acer negundo Acer negundo Salix nigra	Boxelder Boxelder Black Willow	10 17 36	Good Fair Good	Broken Limb	Yes Yes Yes	No No Yes		No No No
2083 2084 2085	ACNE ACNE	Salix nigra Acer negundo Acer negundo	Black Willow Boxelder Boxelder	36 16.5 11	Good Good Good		Yes Yes Yes	Yes No No		No No No
2086 2087	CRSPP ACNE	Crataegus species Acer negundo	Hawthorn Boxelder	9.5 8.5	Good Good	3T: 7, 7	Yes Yes	No No		No No
2088 2089	CRSPP ACNE	Crataegus species Acer negundo	Hawthorn Boxelder	8 12	Good Fair	Fungi	Yes Yes	No No		No No
2090 2091 2092	ACNE ACNE SANI	Acer negundo Acer negundo Salix piara	Boxelder Boxelder Black Willow	8.5 8.5 21	Poor Good	Nearly Dead	No Yes Yes	No No No		No No No
2092 2093 2094	ACNE ACNE	Salix nigra Acer negundo Acer negundo	Black Willow Boxelder Boxelder	21 15 11.5	Good Fair Good	Vines	Yes Yes Yes	No No No		No No No
2094 2095 2096	SANI ACNE	Salix nigra Acer negundo	Black Willow Boxelder	11.5 12 12	Good Good		Yes Yes	No No		No No
2097 2098	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	12 14	Poor Fair	IBR 3T: 8, 7; Dead Branches	No Yes	No No		No No
2099 2100	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	17.5 21	Good Good	2T: 18	Yes Yes	No No		No No
2101 2102 2103	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	12 13 10	Good Good Fair	Fallen	Yes Yes Yes	No No No		No No No
2103 2104 2105	ACNE FRPE ACNE	Acer negundo Fraxinus pennsylvanica Acer negundo	Boxelder Green Ash Boxelder	10 8 8	Fair Good Good	rallen	Yes Yes Yes	No No No		No No No
2106 2107	ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder	22 9.5	Good Good	2T: 15	Yes Yes	No No		No No
2108 2109	ACNE JUVI	Acer negundo Juniperus virginiana	Boxelder Eastern Redcedar	11 13.5	Good Good	30ft Tall	Yes Yes	No No		No No
2110 2111	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	10 8	Good Good	Seven Trunk (7T): 7.5, 7, 6.5, 6, 5.5, 4	Yes Yes	No No		No No
2112 2113 2114	PIGL PIGL MOAI	Picea glauca Picea glauca Morus alba	White Spruce White Spruce White Mulherry	9.5 9	Good Good	35ft Tall 30ft Tall	Yes Yes Yes	No No		No No
2114 2115 2116	MOAL PIST PIST	Morus alba Pinus strobus Pinus strobus	White Mulberry White Pine White Pine	9 10 15	Good Good	40ft Tall 50ft Tall	Yes Yes Yes	No No No		No No No
2117 2118	PIST PIST	Pinus strobus Pinus strobus Pinus strobus	White Pine White Pine White Pine	14.5 5	Good Good	45ft Tall 30ft Tall	Yes Yes	No No		No No
2119 2120	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	11 13	Good Good	2T: 6	Yes Yes	No No		No No
2121 2122	ACSAN ACNE	Acer saccarinum Acer negundo	Silver Maple Boxelder	51 11.5	Good Good		Yes Yes	No No		No No
2123 2124 2125	ACNE ACNE PIST	Acer negundo Acer negundo Pinus strobus	Boxelder Boxelder White Pine	9 12.5 15	Good Good	2T: 5 50ft Tall	Yes Yes Yes	No No No		No No No
2125 2126 2127	ACNE ULAM	Acer negundo Ulmus americana	Boxelder American Elm	15 11 12	Good Good Good	ovit (d))	Yes Yes Yes	No No No		No No No
2128 2129	ULAM ULAM	Ulmus americana Ulmus americana	American Elm American Elm	8.5 9	Good Good		Yes Yes	No No		No No
2130 2131	ULAM ACNE	Ulmus americana Acer negundo	American Elm Boxelder	8 8	Good Good	2T: 6.5	Yes Yes	No No		No No
2132 2133 2134	ACNE ULAM ULAM	Acer negundo Ulmus americana Ulmus americana	Boxelder American Elm American Elm	8 14 9	Good Good		Yes Yes Yes	No No No		No No No
2134 2135 2136	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	9 10	Good Good		Yes Yes	No No No		No No No
2137 2138	ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder	10 8.5	Good Poor	Fallen, Nearly Dead	Yes No	No No		No No
2139 2140	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	10 15	Good Good		Yes Yes	No No		No No
2141 2142	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	17 13	Good Good		Yes Yes	No No		No No
2143 2144 2145	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	15 9 10	Good Good	2T: 7.5	Yes Yes Yes	No No No		No No No
2145 2146 2147	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	9.5 8	Good Good Good		Yes Yes Yes	No No No		No No No
2148 2149	ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder	12 13	Good Good	4T: 10.5, 10, 6.5 2T: 11	Yes Yes	No No		No No
2150 2151	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	20 13.5	Good Good		Yes Yes	No No		No No
2152 2153	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	10 9	Good Good		Yes Yes	No No		No No
2154 2155 2156	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	8 13.5 11	Good Good		Yes Yes Yes	No No No		No No No
2156 2157 2158	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	11 11 21	Good Good Good		Yes Yes Yes	No No No		No No No
2159 2160	ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder	14 16	Good Good	2T: 10 2T: 4	Yes Yes	No No		No No
2161 2162	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	22 10	Fair Good	2T: 8; IBR	Yes Yes	No No		No No
2163 2164	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	11 14.5	Good Good	2T: 5	Yes Yes	No No		No No
2165 2166 2167	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder Boxelder	15.5 9	Fair Good Good	Fungi 4T: 6 5 5 4	Yes Yes	No No		No No
2167 2168 2169	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	13 9 18.5	Good Good Poor	4T: 6.5, 5, 4 Fungus, Nearly Dead	Yes Yes No	No No No		No No No
2169 2170 2171	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	18.5 10 11	Poor Good Fair	Fungus, Nearly Dead Vines	No Yes Yes	No No No		No No No
2172 2173	SANI ACNE	Salix nigra Acer negundo	Black Willow Boxelder	21	Fair Poor	Dead Branches Fallen, Nearly Dead	Yes No	No No		No No
2174 2175	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	8.5 14.5	Good Fair	Vines	Yes Yes	No No		No No
2176 2177	ACNE SANI	Acer negundo Salix nigra	Boxelder Black Willow	11 21	Good		Yes Yes	No No		No No
2178 2179	ACNE CRSPP	Acer negundo Crataegus species	Boxelder Hawthorn	9.5 11	Good Good	3T: 9, 8	Yes Yes	No No		No No
2180 2181 2182	ACNE PRSE CRSPP	Acer negundo Prunus serotina Crataegus species	Boxelder Black Cherry Hawthorn	20 11.5 15	Good Good Good	Six Trunk (6T): 6, 5.5, 5, 4, 4.5	Yes Yes Yes	No No No		No No No
2182 2183 2184	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	13 9	Good Good	ی روید را بر روید برا ۱۳۵۰ ۱۳۵۰ ۱۳۵۰ ۱۳۵۰ ۱۳۵۰ ۱۳۵۰ ۱۳۵۰ ۱۳۵۰	Yes Yes	No No		No No
	ACNE	Acer negundo	Boxelder	12	Good	2T: 9.5	Yes	No		No
2185 2186 2187	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	9.5	Good	3T: 9, 8.5 2T: 7	Yes Yes	No No		No No

				21000)2863 - 6595 F	Plymouth Road - Tree Table			T- D- D-ul	
Tree Tag # , 2191 2192	Data Code ACNE ACNE	Scientific Name Acer negundo Acer negundo	Common Name Boxelder Boxelder	DBH (inches) 9 9	Condition Good	Comments	Regulated Yes	Landmark Tree No No	To Be Replacement Removed Required? No No	
2193 2194 2195	ACNE JUVI JUVI	Acer negundo Acer negundo Juniperus virginiana Juniperus virginiana	Boxelder Boxelder Eastern Redcedar Eastern Redcedar	12 4 6	Good Good Good	2T: 5 12 ft Tall 20 ft Tall	Yes Yes Yes	No No No	No No No	
2196 9672 9673	JUVI ULAM PODE	Juniperus virginiana Ulmus americana Populus deltoides	Eastern Redcedar American Elm Cottonwood	6 16.5 8.5	Good Fair Good	22 ft Tall Vines	Yes Yes Yes	No No No	No No No	
9674 9675 9676	PODE PODE ACNE	Populus deltoides Populus deltoides Acer negundo	Cottonwood Cottonwood Boxelder	9 8 10	Good Good Fair	Dead Branches	Yes Yes Yes	No No No	No No No	
9677 9678 9679	ACNE RHCA SANI	Acer negundo Rhamnus cathartica Salix nigra	Boxelder Common Buckthorn Black Willow	23 8 40	Good Good Poor	6T: 7, 6, 5.5, 4.5, 4 Main Branches Dead	Yes No No	No No No	No No No	
9680 9681 9682	ULAM ACNE RHCA	Ulmus americana Acer negundo Rhamnus cathartica	American Elm Boxelder Common Buckthorn	16 12 8	Dead Good Good	2T: 15 2T: 4	No Yes No	No No No	No No No	
9683 9684 9685	RHCA RHCA ACNE	Rhamnus cathartica Rhamnus cathartica Acer negundo	Common Buckthorn Common Buckthorn Boxelder	8 9 9.5	Good Good Fair	4T: 8, 7, 6 Main Branches Dead	No No Yes	No No No	No No No	
9686 9687 9688	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	9.5 11 8	Good Fair Fair	3T: 5.5, 5 Vines 2T: 3.5; Main Branches Dead	Yes Yes Yes	No No No	No No No	
9689 9690 9691	ACNE ACNE PODE	Acer negundo Acer negundo Populus deltoides	Boxelder Boxelder Cottonwood	10.5 9.5 26	Good Good Good	2T: 5.5	Yes Yes Yes	No No No	No No No	
9692 9693 9694	ACNE RHCA ACNE	Acer negundo Rhamnus cathartica Acer negundo	Boxelder Common Buckthorn Boxelder	16 9.5 11	Good Good Fair	Fused Trunk Vines	Yes No Yes	No No No	No No No	
9695 9696 9697	ULAM ACNE PRSE	Ulmus americana Acer negundo Prunus serotina	American Elm Boxelder Black Cherry	10.5 12.5 11	Fair Poor Good	Vines 2T: 10.5; One Main Trunk Dead	Yes No Yes	No No No	No No No	
9698 9699 9700	RHCA ACNE ACNE	Rhamnus cathartica Acer negundo Acer negundo	Common Buckthorn Boxelder Boxelder	8 14 14	Good Good Good		No Yes Yes	No No No	No No No	
9701 9702 9703	ACNE FRPE ACNE	Acer negundo Fraxinus pennsylvanica Acer negundo	Boxelder	8.5 8 9	Poor Good Good	Missing Canopy	No Yes Yes	No No No	No No No	
9704 9705 9706	ACNE ACNE FRPE	Acer negundo Acer negundo Fraxinus pennsylvanica		14 13 10	Good Good Fair	Dead Branches	Yes Yes Yes	No No	No No No	
9707 9708 9709	ACNE ULAM ACNE	Acer negundo Ulmus americana Acer negundo	Boxelder American Elm Boxelder	11.5 12 13.5	Good Dead Good		Yes No Yes	No No	No No No	
9710 9711 9712	ACNE ACNE ULAM	Acer negundo Acer negundo Ulmus americana	Boxelder Boxelder American Elm	12 15.5 15.5	Good Good Good		Yes Yes Yes	No No	Yes No Yes No Yes Yes	
9713 9714 9715	PRSE ACNE	Ulmus americana Prunus serotina Acer negundo	American Elm Black Cherry Boxelder	8.5 29.5 18	Good Fair Good	Vines, Dead Limbs	Yes Yes Yes	No Yes No	Yes Yes Yes Yes Yes No	
9716 9717 9718	PRSE PRSE ACNE	Prunus serotina Prunus serotina Acer negundo	Black Cherry Black Cherry Boxelder	20.5 13 8	Poor Good Fair	2T: 9.5; Missing Canopy Vines 2T: 4.5: Dead Branches	No Yes Yes	No No No	Yes No Yes Yes Yes No Yes No	
9719 9720 9721	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	8.5 15.5 11	Fair Fair Fair	2T: 4.5; Dead Branches 2T: 15; Vines Vines 2T: 7.5	Yes Yes Yes	No No No	Yes No Yes No Yes No Yes No	
9722 9723 9724 9725	ACNE PRSE ACNE PRSE	Acer negundo Prunus serotina Acer negundo Prunus serotina	Boxelder Black Cherry Boxelder Black Cherry	11 15.5 15 20	Good Good Good	2T: 7.5 2T: 19	Yes Yes Yes	No No No Yes	Yes No Yes Yes Yes No Yes Yes	
9725 9726 9727 9728	PRSE MOAL ULPU ACNE	Prunus serotina Morus alba Ulmus pumila Acer negundo	Black Cherry White Mulberry Siberian Elm Boxelder	20 16 20 17.5	Good Good Good	2T: 19 2T: 14; Larger Trunk is Fused 3T: 16.5, 10; Smallest Trunk is Dead	Yes Yes Yes Yes	Yes No No	Yes Yes No No No	
9728 9729 9730 9731	ACNE ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder Boxelder	17.5 18 17 14	Good Good Good	31: 16.5, 10; Smallest Trunk is Dead 2T: 16	Yes Yes Yes Yes	No No No	No No No	
9731 9732 9733 9734	ACNE ACNE MOAL ACNE	Acer negundo Acer negundo Morus alba Acer negundo	Boxelder Boxelder White Mulberry Boxelder	9 8 21	Good Good Good Good	2T: 4 3T: 20.5, 13.5; Smallest Trunk is Dead	Yes Yes Yes	No No No	No No No	
9734 9735 9736 9737	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	8 16 26	Good Good Good	31: 20.5, 13.5; Smallest Trunk is Dead 2T: 6.5	Yes Yes Yes	No No No	Yes No Yes No Yes No	
9738 9739 9740	ACNE PODE PRSE	Acer negundo Populus deltoides Prunus serotina	Boxelder Cottonwood Black Cherry	13.5 37 26	Good Good Good	3T: 11, 10	Yes Yes Yes	No No Yes	Yes No Yes No No	
9741 9742 9743	PODE PODE PODE	Populus deltoides Populus deltoides Populus deltoides	Cottonwood Cottonwood Cottonwood	10 28.5 21	Good Good Good		Yes Yes Yes	No No No	Yes No Yes No Yes No	
9744 9745 9746	PODE ACNE ACNE	Populus deltoides Acer negundo Acer negundo	Cottonwood Boxelder Boxelder	30 18 8	Good Good Good	3T: 19, 14	Yes Yes Yes	No No No	Yes No Yes No Yes No	
9747 9748 9749	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	13.5 17.5 12	Good Good Good	Eight Trunk (8T): 12, 12, 11, 11, 8, 6, 4.5 3T: 9, 8	Yes Yes Yes	No No No	Yes No Yes No Yes No	
9750 9751 9752	ULPU ACNE ACNE	Ulmus pumila Acer negundo Acer negundo	Siberian Elm Boxelder Boxelder	21 21 21	Good Good Good	3T: 16, 14, 9 3T: 15, 6.5	Yes Yes Yes	No No No	No No No	
9753 9754 9755	PRSE ACNE ULAM	Prunus serotina Acer negundo Ulmus americana	Black Cherry Boxelder American Elm	29 10.5 9	Good Good Good	2T: 11 2T: 10	Yes Yes Yes	Yes No No	No No No	
9756 9757 9758	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	14.5 13 11	Good Good Good		Yes Yes Yes	No No No	No No No	
9759 9760 9761	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	11 15 14	Good Good Good		Yes Yes Yes	No No No	No No No	
9762 9763 9764	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	8 8 8.5	Good Good Good		Yes Yes Yes	No No No	No No No	
9765 9766 9767	ULAM ACNE ACNE	Ulmus americana Acer negundo Acer negundo	American Elm Boxelder Boxelder	8.5 13 9.5	Good Fair Good	Vines	Yes Yes Yes	No No No	No No No	
9768 9769 9770	ULAM ACNE ACNE	Ulmus americana Acer negundo Acer negundo	American Elm Boxelder Boxelder	9 8.5 12.5	Good Fair Fair	Vines Vines	Yes Yes Yes	No No No	No No No	
9771 9772 9773	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	10.5 20 20.5	Good Good Good		Yes Yes Yes	No No No	No No No	
9774 9775 9776	AIAL ACNE ACNE	Ailanthus altissima Acer negundo Acer negundo	Tree of Heaven Boxelder Boxelder	8 13 11	Good Fair Good	Vines Vines	Yes Yes Yes	No No	No No No	
9777 9778 9779	JUVI JUVI AIAL	Juniperus virginiana Juniperus virginiana Ailanthus altissima	Eastern Redcedar Eastern Redcedar Tree of Heaven	14 12.5 26	Good Good Fair	Main Branches Dead	Yes Yes Yes	No No Yes	No No No	
9780 9781 9782	PRSE ACSA ACSA	Acer saccharum Acer saccharum	Black Cherry Sugar Maple Sugar Maple	32.5 26 27.5	Excellent Good Good	3T: 24.5, 22	Yes Yes Yes	Yes Yes Yes	No No No	
9783 9784 9785 9786	ACSA ACSA ACSA ACNE	Acer saccharum Acer saccharum Acer saccharum Acer negundo	Sugar Maple Sugar Maple Sugar Maple Boxelder	23.5 30 28 32	Good Good Good Good		Yes Yes Yes Yes	Yes Yes Yes No	No Yes Yes Yes Yes Yes No	
9787 9788 9789	ACNE ACNE ACNE MASPP	Acer negundo Acer negundo Acer negundo Malus species	Boxelder Boxelder Apple/Crabapple	13.5 16.5 15	Good Good Good	4T: 11, 10, 9.5 2T: 9.5 2T: 14.5	Yes Yes Yes	No No No	No No No	
9789 9790 9791 9792	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	15 12 15 10	Good Good Good	Act to destroy	Yes Yes Yes Yes	No No No	No No No	
9793 9794 9795	ACNE ACSA ACSA	Acer negundo Acer saccharum Acer saccharum	Boxelder Sugar Maple Sugar Maple	8 37 44	Good Excellent Excellent	2T: 5.5	Yes Yes Yes	No Yes Yes	No No No	
9796 9797 9798	AIAL ACSA PYCO	Ailanthus altissima Acer saccharum Pyrus communis	Tree of Heaven Sugar Maple Common Pear	8 25 15	Good Good Fair	IBR, Trunk Split	Yes Yes Yes	No Yes No	No No No	
9799 9800 9801	ACSA ACSA AIAL	Acer saccharum Acer saccharum Ailanthus altissima	Sugar Maple Sugar Maple Tree of Heaven	19 8 8.5	Fair Good Good	Dead Branches	Yes Yes Yes	Yes No No	No No No	
9802 9803 9804	AIAL PRSE ACSA	Ailanthus altissima Prunus serotina Acer saccharum	Tree of Heaven Black Cherry Sugar Maple	9.5 35 42	Good Good Dead	2T: 28.5; Smaller Trunk is Dead	Yes Yes No	No Yes No	No No No	
9805 9806 9807	AIAL AIAL ACNE	Ailanthus altissima Ailanthus altissima Acer negundo	Tree of Heaven Tree of Heaven Boxelder	11 10 17.5	Good Good Fair	Vines, Main Branches Dead	Yes Yes Yes	No No No	No No No	
9808 9809 9810	AIAL PIST MASPP	Ailanthus altissima Pinus strobus Malus species	Tree of Heaven White Pine Apple/Crabapple	10 20.5 10.5	Good Good Good	50 ft Tall	Yes Yes Yes	No Yes No	No No No	
9811 9812 9813	ACSAN ACNE ACNE	Acer saccarinum Acer negundo Acer negundo	Silver Maple Boxelder Boxelder	9.5 9	Good Good Good	2T: 3	Yes Yes Yes	No No No	No No No	
9814 9815 9816	PRSE RHCA	Acer negundo Prunus serotina Rhamnus cathartica Acer negundo	Boxelder Black Cherry Common Buckthorn Boxelder	10 12 8.5	Good Good Good		Yes Yes No	No No No	No No No	
9817 9818 9819 9820	ACNE ACNE ACNE ULAM	Acer negundo Acer negundo Acer negundo Ulmus americana	Boxelder Boxelder Boxelder American Elm	9.5 11.5 16	Good Good Good		Yes Yes Yes Yes	No No No	No No No	
9820 9821 9822 9823	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	16 11 18 11	Good Good Good		Yes Yes Yes Yes	No No No	No No No	
9823 9824 9825 9826	PRSE ACNE ACNE	Prunus serotina Acer negundo Acer negundo	Black Cherry Boxelder Boxelder	11 11 15 8	Fair Good Good	Vines	Yes Yes Yes Yes	No No No	No No No	
9827 9828 9829	ACNE ACNE ULAM	Acer negundo Acer negundo Acer negundo Ulmus americana	Boxelder Boxelder American Elm	8 9.5 9.5	Good Good Good		Yes Yes Yes	No No No	No No No	
9830 9831 9832	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	14 20.5 10	Good Good Dead		Yes Yes No	No No No	No No No	
9833 9834 9835	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	15 11.5 12	Good Good Good	2T: 10.5	Yes Yes Yes	No No No	No No No	
9836 9837 9838	ULAM ACNE PODE	Ulmus americana Acer negundo Populus deltoides	American Elm Boxelder Cottonwood	12 8 27	Good Good Good	4T: 24, 20.5, 17.5	Yes Yes Yes	No No No	No No No	
9839 9840 9841	PODE ACNE ULAM	Populus deltoides Acer negundo Ulmus americana	Cottonwood Boxelder American Elm	23.5 9 15	Good Good Good		Yes Yes Yes	No No No	No No No	
9842 9843 9844	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	10 11 8	Good Good Good		Yes Yes Yes	No No No	No No No	
9845 9846 9847	ACNE ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder Boxelder	16.5 12.5 22.5	Good Good Good	2T: 7.5	Yes Yes Yes	No No No	No No No	
9848 9849 9850	MASPP PRSE ULAM	Malus species Prunus serotina Ulmus americana	Apple/Crabapple Black Cherry American Elm	12 11 12	Good Good Good		Yes Yes Yes	No No	No No No	
9851 9852 9853	ACNE ACNE ULAM	Acer negundo Acer negundo Ulmus americana	Boxelder Boxelder American Elm	25 10 14.5	Good Good Good	2T: 10	Yes Yes Yes	No No No	No No No	
9854 9855	ACNE MOAL	Acer negundo Morus alba	Boxelder White Mulberry	20 13.5	Good Fair	Vines	Yes Yes	No No	No No	

Free Tag#	Data Code	Scientific Name	Common Name	<u>21000</u>	2863 - 6595 Condition	Plymouth Road - Tree Table Comments	Regulated	Landmark Tree	To Be Replaceme
9856	ACNE	Acer negundo	Boxelder	15.5	Good	<u>Comments</u>	Yes	No	Removed • Required
9857 9858	ACNE ULAM	Acer negundo Ulmus americana	Boxelder American Elm	9 10.5	Good Dead		Yes No	No No	No No
9859 9860	ULAM ACNE	Ulmus americana Acer negundo	American Elm Boxelder	20 10.5	Poor Fair	Nearly Dead 3T: 8, 7; Vines	No Yes	No No	No No
9861 9862	JUVI ACNE	Juniperus virginiana Acer negundo	Eastern Redcedar Boxelder	10 12	Fair Fair	15 ft Tall, Vines, Leaning 2T: 10.5; Horizontal on the Ground With New Growth	Yes Yes	No No	No No
9863 9864	ACNE ULAM	Acer negundo Ulmus americana	Boxelder American Elm	11.5 26.5	Good Good	2T: 10.5 2T: 16; Fused Trunk	Yes	No Yes	No No
9865 9866	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	14.5 13.5	Good Good	6T: 14, 12, 11.5, 8, 4.5 2T: 9.5	Yes Yes	No No	No No
9867 9868	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	18 12.5	Good Good	Fused Trunk 4T: 11, 5, 4	Yes Yes	No No	No No
9869 9870	ACNE ULAM	Acer negundo Ulmus americana	Boxelder American Elm	10.5 17.5	Good Fair	3T: 9.5, 6.5 Vines	Yes Yes	No No	No No
9871 9872	ULAM ULAM	Ulmus americana	American Elm	11 15.5	Fair Good	5T: 9.5, 4.5, 4, 4; Vines	Yes	No No	No No
9873	ULAM	Ulmus americana Ulmus americana	American Elm American Elm	12.5	Good		Yes Yes	No	No
9874 9875	ULAM ULAM	Ulmus americana Ulmus americana	American Elm American Elm	9.5 26.5	Good Good	3T: 12, 11.5	Yes Yes	No Yes	No No
9876 9877	JUVI	Ulmus americana Juniperus virginiana	American Elm Eastern Redcedar	9.5 5.5	Good Good	2T: 8 15 ft Tall	Yes Yes	No No	No No
9878 9879	ACNE ULAM	Acer negundo Ulmus americana	Boxelder American Elm	11 11	Good Good	2T: 9	Yes Yes	No No	No No
9880 9881	ULAM ACNE	Ulmus americana Acer negundo	American Elm Boxelder	21 8.5	Good Good		Yes Yes	Yes No	No No
9882 9883	ACNE ULAM	Acer negundo Ulmus americana	Boxelder American Elm	16 8.5	Good Poor	Vines, Nearly Dead	Yes No	No No	No No
9884 9885	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	10.5 19.5	Good	Thirty really beau	Yes Yes	No No	No No
9886	ACNE	Acer negundo	Boxelder	9	Good		Yes	No	No
9887 9888	ULAM ACNE	Ulmus americana Acer negundo	American Elm Boxelder	15 15	Dead Good		No Yes	No No	No No
9889 9890	ULAM ULAM	Ulmus americana Ulmus americana	American Elm American Elm	15 13	Good Good	2T: 9	Yes Yes	No No	No No
9891 9892	ACNE ULAM	Acer negundo Ulmus americana	Boxelder American Elm	8 15.5	Good Poor	Nearly Dead	Yes No	No No	No No
9893 9894	ULAM PYCO	Ulmus americana Pyrus communis	American Elm Common Pear	8 16	Good Good	3T: 10.5, 7; Smallest Trunk is Dead	Yes Yes	No No	No No
9895 9896	ULAM PODE	Ulmus americana Populus deltoides	American Elm Cottonwood	31 57	Dead Excellent	, , , , , , , , , , , , , , , , ,	No Yes	No No	No No
9897	ACNE	Acer negundo	Boxelder	13	Poor	4T: 10.5, 9.5, 6; Nearly Dead	No	No	No
9898 9899	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	11 13	Fair Fair	Vines Vines	Yes Yes	No No	No No
9900 9901	RHCA ACNE	Rhamnus cathartica Acer negundo	Common Buckthorn Boxelder	8	Fair Fair	4T: 7.5, 5.5, 4.5 Horizontal With Another Tree on it	No Yes	No No	No No
9902 9903	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	14 16	Fair Poor	Vines Horizontal on the Ground, Nearly Dead	Yes No	No No	No No
9904 9905	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	10.5 11	Good Good	3T: 4, 4	Yes Yes	No No	No No
9906 9907	ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder	11 8	Good	9 .	Yes	No No	No No
9908	SANI	Salix nigra	Black Willow	12.5	Good	27.7.4	Yes	No	No
9909 9910	RHCA ACNE	Rhamnus cathartica Acer negundo	Common Buckthorn Boxelder	10.5 9	Good	3T: 7, 4	No Yes	No No	No No
9911 9912	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	16.5 11	Good Good	3T: 5, 5	Yes Yes	No No	No No
9913 9914	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	12 15	Good Good	2T: 7 2T: 13.5	Yes Yes	No No	No No
9915 9916	ACNE RHCA	Acer negundo Rhamnus cathartica	Boxelder Common Buckthorn	18.5 8	Good Good		Yes No	No No	No No
9917 9918	ULAM QUBI	Ulmus americana Quercus bicolor	American Elm Swamp White Oak	11 8	Good Good		Yes Yes	No No	No No
9919 9920	RHCA ULAM	Rhamnus cathartica	Common Buckthorn	9.5 19.5	Good Dead		No No	No No	No No
9921	ULAM	Ulmus americana Ulmus americana	American Elm American Elm	12	Good		Yes	No	No
9922 9923	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	12 10	Fair Good	Canopy Removed for Utility Line	Yes Yes	No No	No No
9924 9925	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	8 10	Fair Good	Vines	Yes Yes	No No	No No
9926 9927	ACNE RHCA	Acer negundo Rhamnus cathartica	Boxelder Common Buckthorn	10 10	Poor Good	Vines, Nearly Dead	No No	No No	No No
9928 9929	FRPE ACNE	Fraxinus pennsylvanica Acer negundo		8 13	Good Dead		Yes No	No No	No No
9930 9931	QUBI QUBI	Quercus bicolor Quercus bicolor	Swamp White Oak Swamp White Oak	29	Good Good		Yes	Yes No	No No
9932	ACNE	Acer negundo	Boxelder	12	Good		Yes	No	No
9933 9934	QUBI	Acer negundo Quercus bicolor	Boxelder Swamp White Oak	10	Good Good		Yes	No No	No No
9935 9936	ACNE RHCA	Acer negundo Rhamnus cathartica	Boxelder Common Buckthorn	9	Dead Good		No No	No No	No No
9937 9938	RHCA MASPP	Rhamnus cathartica Malus species	Common Buckthorn Apple/Crabapple	9.5 10	Good Good	2T: 9.5	No Yes	No No	No No
9939 9940	ULAM ACNE	Ulmus americana Acer negundo	American Elm Boxelder	24.5 14	Good Good		Yes Yes	Yes No	No No
9941 9942	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	14	Good Good	2T: 7	Yes Yes	No No	No No
9943 9944	QUBI ACNE	Quercus bicolor Acer negundo	Swamp White Oak Boxelder	9 8.5	Good Good		Yes Yes	No No	No No
9945	ACNE	Acer negundo	Boxelder	9	Fair	Vines	Yes	No	No
9946 9947	ULAM ACNE	Ulmus americana Acer negundo	American Elm Boxelder	32.5 10	Good	Vines 2T: 5	Yes	Yes No	No No
9948 9949	MASPP MASPP	Malus species Malus species	Apple/Crabapple Apple/Crabapple	10 11.5	Good Good	2T: 7	Yes Yes	No No	No No
9950 9951	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	14 10	Good Good		Yes Yes	No No	No No
9952 9953	MASPP MASPP	Malus species Malus species	Apple/Crabapple Apple/Crabapple	18.5 8	Good Dead	2T: 10; Smallest Trunk is Dead	Yes No	No No	No No
9954 9955	MASPP ACNE	Malus species Acer negundo	Apple/Crabapple Boxelder	9	Poor Good	Nearly Dead	No Yes	No No	No No
9956	ACNE	Acer negundo	Boxelder	8.5	Fair	Canopy Missing	Yes	No	No
9957 9958	ACNE MASPP	Acer negundo Malus species	Boxelder Apple/Crabapple	13.5	Good	2T: 9	Yes	No No	No No
9959 9960	ACNE ULAM	Acer negundo Ulmus americana	Boxelder American Elm	16 17	Fair Good	Fused Trunk, Vines	Yes Yes	No No	No No
9961 9962	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	9 15	Good Good	3T: 13, 8	Yes Yes	No No	No No
9963 9964	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	8.5 10.5	Good Poor	Nearly Dead	Yes No	No No	No No
9965 9966	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	10	Dead Good		No Yes	No No	No No
9967 9968	ULAM ACNE	Ulmus americana	American Elm Boxelder	10.5 17	Fair Fair	Vines Trunk Split in Half	Yes	No No	No No
9969	ACNE	Acer negundo Acer negundo	Boxelder	11	Fair	Vines	Yes	No	No
9970 9971	ACNE PRSE	Acer negundo Prunus serotina	Boxelder Black Cherry	11 18.5	Fair Fair	Vines Dead Branches	Yes	No Yes	No No
9972 9973	ACNE MASPP	Acer negundo Malus species	Boxelder Apple/Crabapple	12.5 13	Good Good	3T: 7, 6.5	Yes Yes	No No	No No
9974 9975	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	10 9.5	Good Good		Yes Yes	No No	No No
9976 9977	MASPP MASPP	Malus species Malus species	Apple/Crabapple Apple/Crabapple	9.5 13	Good Good	3T: 8, 6.5 3T: 9.5, 6	Yes Yes	No No	No No
9978 9979	MASPP MASPP	Malus species Malus species	Apple/Crabapple Apple/Crabapple Apple/Crabapple	8 19.5	Good Good	2T: 18	Yes	No No	No No
9980	ACNE	Acer negundo	Boxelder	10	Good	211.10	Yes	No	No
9981 9982	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	15 8	Good Good	2T: 5.5	Yes Yes	No No	No No
9983 9984	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	8 8	Good Good		Yes Yes	No No	No No
9985 9986	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	8 10	Good Good	2T: 6.5	Yes Yes	No No	No No
9987 9988	ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder	11 14	Fair Good	Vines	Yes	No No	No No
9989	ACNE	Acer negundo	Boxelder	15	Good	2T: 14.5	Yes	No	No
9990 9991	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	9 11	Good Good	2T: 10.5	Yes Yes	No No	No No
9992 9993	AIAL ACNE	Ailanthus altissima Acer negundo	Tree of Heaven Boxelder	13.5 14.5	Good Good	3T: 11, 11	Yes Yes	No No	No No
9994 9995	ACNE ACNE	Acer negundo Acer negundo	Boxelder Boxelder	26 13	Poor Good	2T: 22; Uprooted, Broken Branches, Nearly Dead 2T: 12.5	No Yes	No No	No No
9996 9997	ACNE ACNE	Acer negundo Acer negundo Acer negundo	Boxelder Boxelder	8 19	Good Good	2T: 14	Yes	No No	No No
9998	ACNE	Acer negundo	Boxelder	19	Good	2T: 18.5	Yes	No	No
9999 10000	ULAM ACNE	Ulmus americana Acer negundo	American Elm Boxelder	11 11	Good Good	2T: 8 3T: 9, 7	Yes Yes	No No	No No
		or Acer negundo , Populu	s deltoides . Juniperus v	irainiana . or Acer so	ccharinum in Su	perior Charter Township. Subject to documentation and	verification.		

Tree Replacement Calcula	ations
Trees removed	33
Trees needing replacement	8
Trees replaced at 1:1	1
Trees replaced at 3:1	3
Trees replaced at 6:1	0
D8H of Landmark Trees Removed	107.5
Required Tree Replacement	118



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SECTION 08

N 02 NORTH, RANGE 07 E

SUPERIOR TOWNSHIP

SHTENAW COUNTY, MICHIG

DATE SEPTEMBER 28, 2022 11/01/22: PER TWP.

REVISIONS SCALE 0 -- -NO SCALE

DR. SK CH. MC P.M. MC ВООК --JOB 21002863

34

SHEET NO.

3,933-4,550 Sq. Ft. | 4 Bedrooms | 3.5-4.5 Baths

Lombardo

THE LIBERTY

4,534-5,158 sq. ft. | 4-5 Bedrooms | 3.5-4.5 Baths

Lombardo

THE HUNTINGTON

4,384-4,600 Sq. Ft. | 4-6 Bedrooms | 4.5-5.5 Baths

Lombardo

European

Prairie

CRANBROK CUSTOM · HOMES





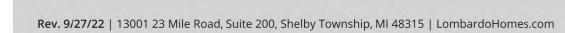












Craftsman

Farmhouse



Kinslev

THE FULLERTON

2,719-2,857 Sq. Ft. | 2-3 Bedrooms | 2.5 Baths

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Lombardo



3,642-4,471 Sq. Ft. | 4 Bedrooms | 3.5 Baths

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4,095-4,487 Sq. Ft. | 4 Bedrooms | 4 Baths

Kinsley
THE LOYÈRE











Craftsman







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EQUAL HOUSING OPPORTUNITY

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Know what's below.

Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE

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NO IICE:

CONSTRUCTION SITE SAFETY IS THE
SOLE RESPONSIBILITY OF THE
CONTRACTOR: NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF
THE WORK, OF PERSONS ENGAGED
IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER
PERSONS.

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ANN ARBOR, MI 48104
734.994.4000

4ST 866.85C

WN 02 NORTH, RANGE 07 E.
SUPERIOR TOWNSHIP
ASHTENAW COUNTY, MICHIGA

LEY DEVELOPMENT
SITE PLAN

DATE SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS

NO SCALE

DR. SK CH. MC

P.M. MC

P.M. MC

BOOK ——

JOB 21002863

SHEET NO.

35



4,646-4,691 Sq. Ft. | 4 Bedrooms | 3.5 Baths 4,330-5,084 Sq. Ft. | 4 Bedrooms | 3.5 Baths





THE LORIENT



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THE LOCATIONS OF EXISTING
UNDERGROUND UTILITIES ARE
SHOWN IN AN APPROXIMATE WAY
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AND ALL DAMAGES WHICH MIGHT BE
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DATE SEPTEMBER 28, 2022

REVISIONS

NO SCALE

DR. SK CH. MC

P.M. MC

SHEET NO.

B00K --

JOB 21002863

11/01/22: PER TWP.

3,336-3,867 Sq. Ft. | 4 Bedrooms | 3.5 Baths









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CRANBROK CUSTOM · HOMES

THE CHARDONNAY

3,418-4,100 Sq. Ft. | 4 Bedrooms | 3.5 Baths



5,821-6,108 Sq. Ft. | 4 Bedrooms | 4 Baths

THE MONET







EQUAL HOUSING OPPORTUNITY

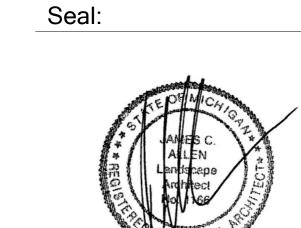
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Title: Landscape Plan

Project:

Kinsley Superior Township, Michigan

Prepared for:

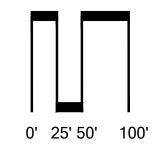
Diverse Real Estate, LLC 13001 23 Mile Road, Suite 200 Shelby Township, MI 48315 586.232.9141

Issued:
September 28, 202
November 1, 2022

Job Number:

22-073

Drawn By: Checked By:

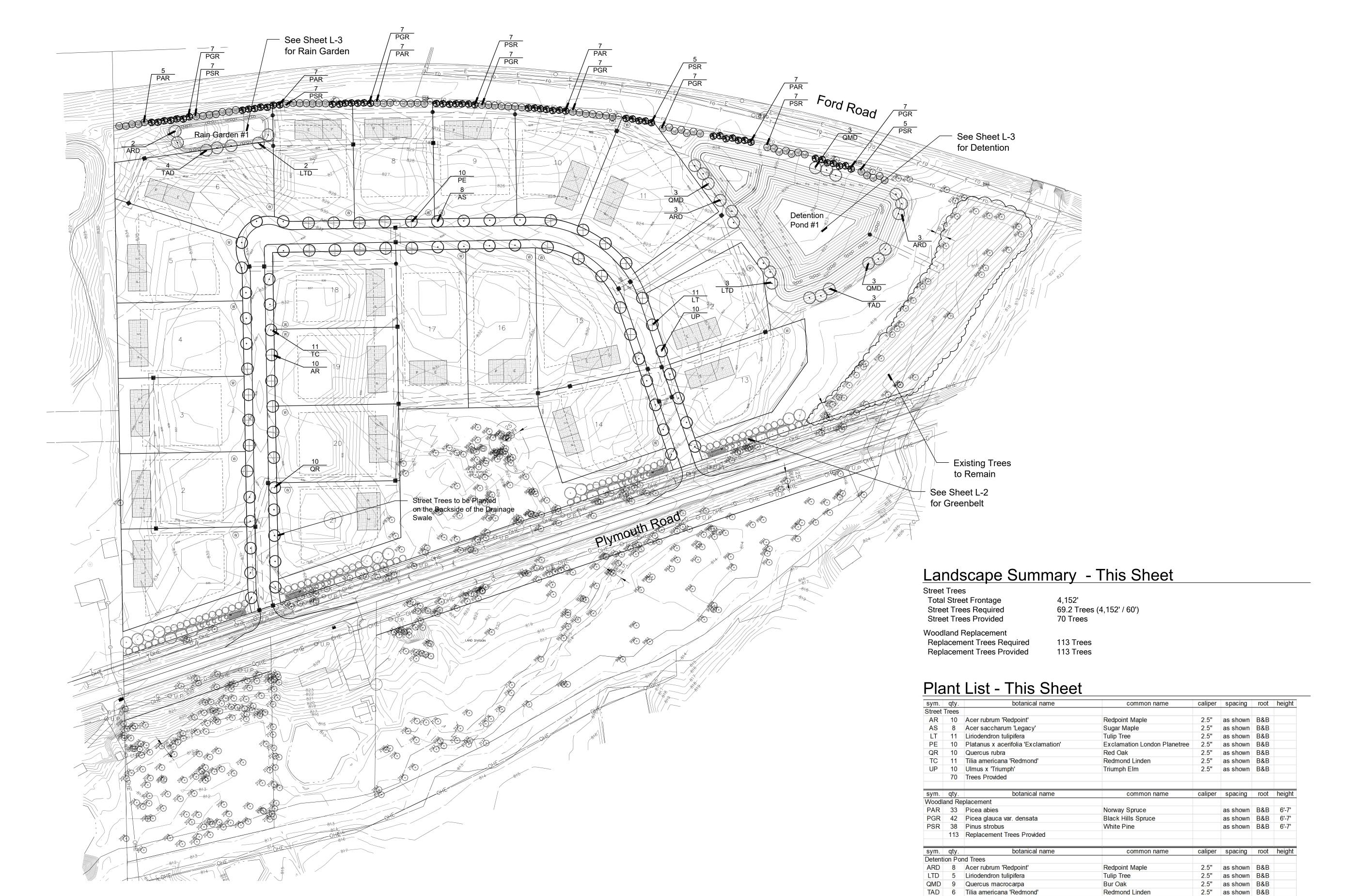


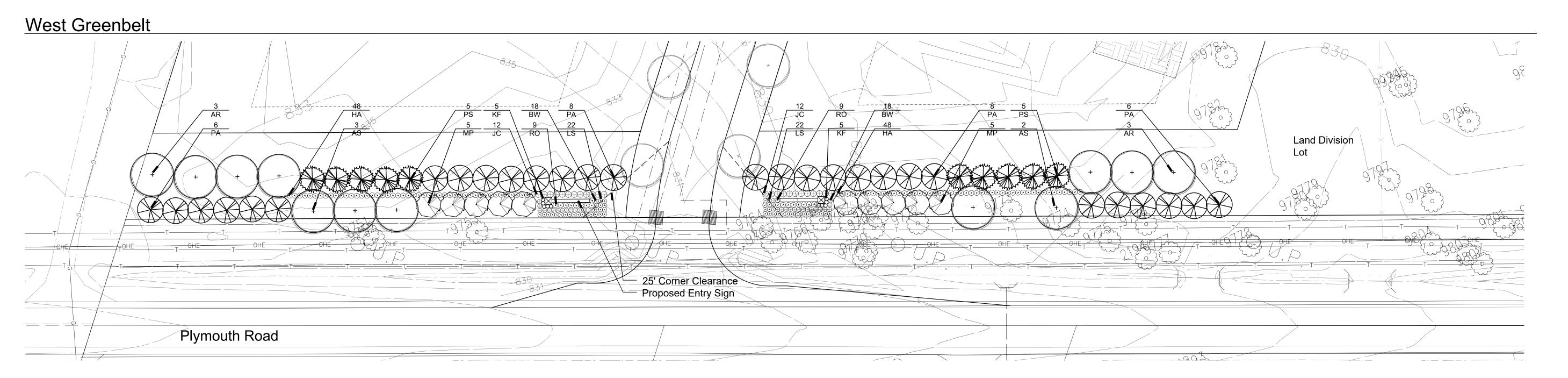


Sheet No.

now what's below.

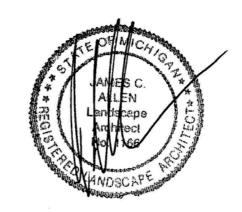
Call before you dig





LAND PLANNING / LANDSCAPE ARCHITECTURE 557 Carpenter Northville, Michigan 48167 e. jca@wideopenwest.com t. 248.467.4668

Seal:



Title:

Greenbelt Plan

Project:

Kinsley Superior Township, Michigan

Prepared for:

Diverse Real Estate, LLC 13001 23 Mile Road, Suite 200 Shelby Township, MI 48315 586.232.9141

Revision:	Issued:
Review	September 28, 202
Revised	November 1, 2022

Fast Greenbelt

<u>East Greenbeit</u>
Trees to Remain Trees to Remain Trees to Re
OHE
Proposed Entry Sign
222' Preservation Area
Plymouth Road /

Landscape Summary - This Sheet

Greenbelt
Total Street Frontage
Less Preservation Area
Net Street Frontage
Deciduous or Evergreens Require

Deciduous or Evergreens Required Deciduous or Evergreens Provided Shrubs Required Shrubs Provided 1,399' 222' 1,177'

78.5 Trees (1,177' / 15') 110 Trees 235.4 Shrubs (1,177' / 15') x 3 348 Shrubs

Plant List - This Sheet

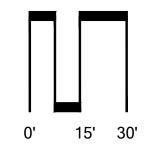
sym.	qty.	botanical name	common name	caliper	spacing	root	height	
Green	oelt							
AR	10	Acer rubrum 'Redpoint'	Redpoint Maple	2.5"	as shown	B&B		
AS	10	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B		
BW	72	Buxus m. 'Green Mountain'	Green Mountain Boxwood		as shown	cont	24"	
HA	96	Hygrangea 'Annabelle'	Annabelle Hydranbelle		as shown	cont	30"	
JC	48	Juniperus ch. keteleeri	Keteleeri Juniper		as shown	B&B	6', Hedg	ge to 5'
KF	20	Calamagrostis x. a. 'Karl Forester'	Karl Forester Grass		as shown	cont	#3	
LS	88	Leucanthemum 'Snow Lady'	Short Shasta Daisy		as shown	cont	#2	
MP	20	Malus 'Profusion'	Profusion Crab Apple	2.0"	as shown	B&B		
PA	50	Picea abies	Norway Spruce		as shown	B&B	6'-7'	
PO	96	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark		as shown	cont	30"	
PS	20	Pinus strobus	White Pine		as shown	B&B	6'-7'	
RO	36	Rosa 'Knockout'	Knockout Rose		spacing	cont	#3	
	110	Trees Proposed						
	348	Shrubs Proposed						

Job Number:

22-073

Drawn By:

y: Checked By:

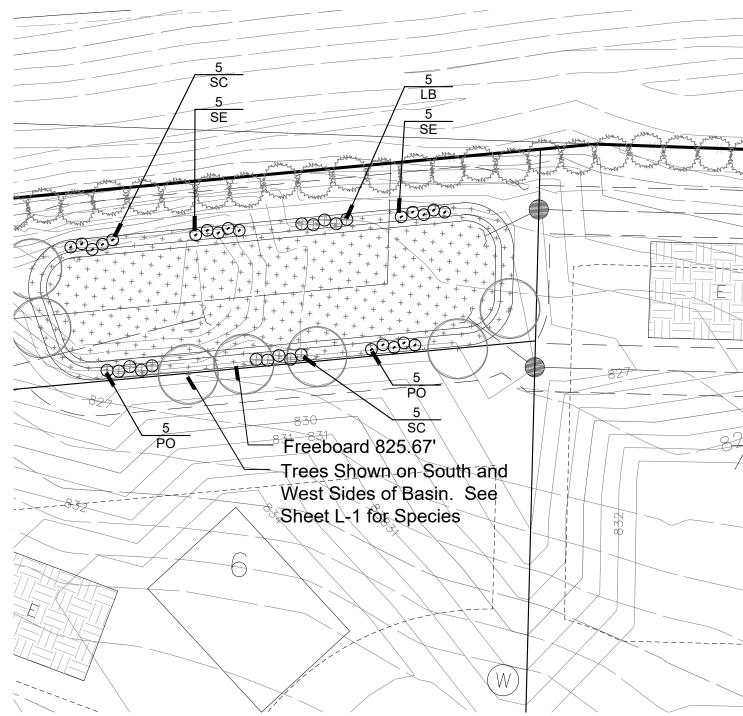






Sheet No.

Rain Garden #1



Storm Water Seed Mix

Botanical Name	Common Name	PLS Oz/Acre
Permanent Grasses/Sedges		
Bolboschoenus luviatilis	River Bulrush	0.25
Carex cristatella	Crested Oval Sedge	2.00
Carex lurida	Bottlebrush Sedge	3.00
Carex vulpinoidea	Brown Fox Sedge	6.00
Elymus virqinicus	Virginia Wild Rye	13.50
Glyceria striata	Fowl Manna Grass	1.25
Juncus effusus	Common Rush	2.00
Leersia oryzoides	Rice Cut Grass	1.00
Panicum virgatum	Switch Grass	2.00
Schoenoplectus tabernaemontani	Softstem Bulrush	3.00
Scirpus atrovirens	Dark Green Rush	2.00
Scirpus cyperinus	Wool Grass	1.00
	Te	otal 37.00
Temporary Cover		
Avena sativa	Common Oat	360.00
Lolium multilorum	Annual Rye	100.00
	Te	otal 460.00
Forbs		
Alisma spp.	Water Plantain Mix	4.25
Asclepias incarnata	Swamp Milkweed	1.50
Bidens spp.	Bidens Mix	2.00
Helenium autumnale	Sneezeweed	2.00
Iris virginica	Blue Flag	4.00
Lycopus americanus	Common Water Horehound	0.25
Mimulus ringens	Monkey Flower	1.00
Oligoneuron riddellii	Riddell's Goldenrod	0.50
Penthorum sedoides	Ditch Stonecrop	0.50
Polygonum erectum	Erect Knotweed	4.00
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	1.00
Rudbeckia triloba	Brown-Eyed Susan	1.50
Sagittaria latifolia	Common Arrowhead	1.00
Senna hebecarpa	Wild Senna	1.00
Symphyotrichum novae-angliae	New England Aster	1.50
Thalictrum dasycarpum	Purple Meadow Rue	2.00
	To To	otal 28.00

Stormwater Seed Mix by Nativescapes

23,097 s.f. Total Area

37.0 lbs. per Acre Application Rate

19.6 lbs. of Storm Water Seed Mix Required

Live Plantings Plant List

qty.	botanical name	common name	spacing	Container		
260	Agastache nepetoides	Yellow Giant Hyssop	24" o.c.	2" Pot or cells		
260	Asclepias incarnata	Swamp Milkweed	24" o.c.	2" Pot or cells		
260	Carex grayi	Gray's Sedge	24" o.c.	2" Pot or cells		
260	Doellingeria umbellata	Flat-Top White Aster	24" o.c.	2" Pot or cells		
260	Eupatorium perfoliatum	Boneset	24" o.c.	2" Pot or cells		
260	Eutrochium maculatum	Joe-Pye Weed	24" o.c.	2" Pot or cells		
260	Helenium autumnale	Sneezeweed	24" o.c.	2" Pot or cells		
260	Liatris spicata	Marsh Blazing Star	24" o.c.	2" Pot or cells		
260	Lobelia siphilitica	Big Blue Lobelia	24" o.c.	2" Pot or cells		
260	Penstemon digitalis	Smooth Penstemon	24" o.c.	2" Pot or cells		
260	Silphium terebinthinaceum	Prarie Dock	24" o.c.	2" Pot or cells		
11,460 s	.f. of Wet Meadow Area					
Live Plan	itings					
qty.	botanical name	common name	spacing	Root		
	A samus amaricanus	Sweet Flag	24" o.c.	Live Plug		
234	Acorus americanus	Owecting	24 0.0.			
	Persicaria amphibia	Longroot Smartweed	24" o.c.	Live Plug		
234	07.44.44.44.44.44.44.44.44.4					
234 234	Persicaria amphibia	Longroot Smartweed	24" o.c.	Live Plug		
234 234 234	Persicaria amphibia Pontederia cordata	Longroot Smartweed Pickeral Weed	24" o.c. 24" o.c.	Live Plug Live Plug		

Detention Pond #1

Key

Notes

of 10% Clay.

Live Plantings

Rain Garden

Mowing is Allowed Only Twice a Year.

Stormwater Seed Mix

wytychakc@ewashtenaw.org or (734) 222-6813 to coordinate.

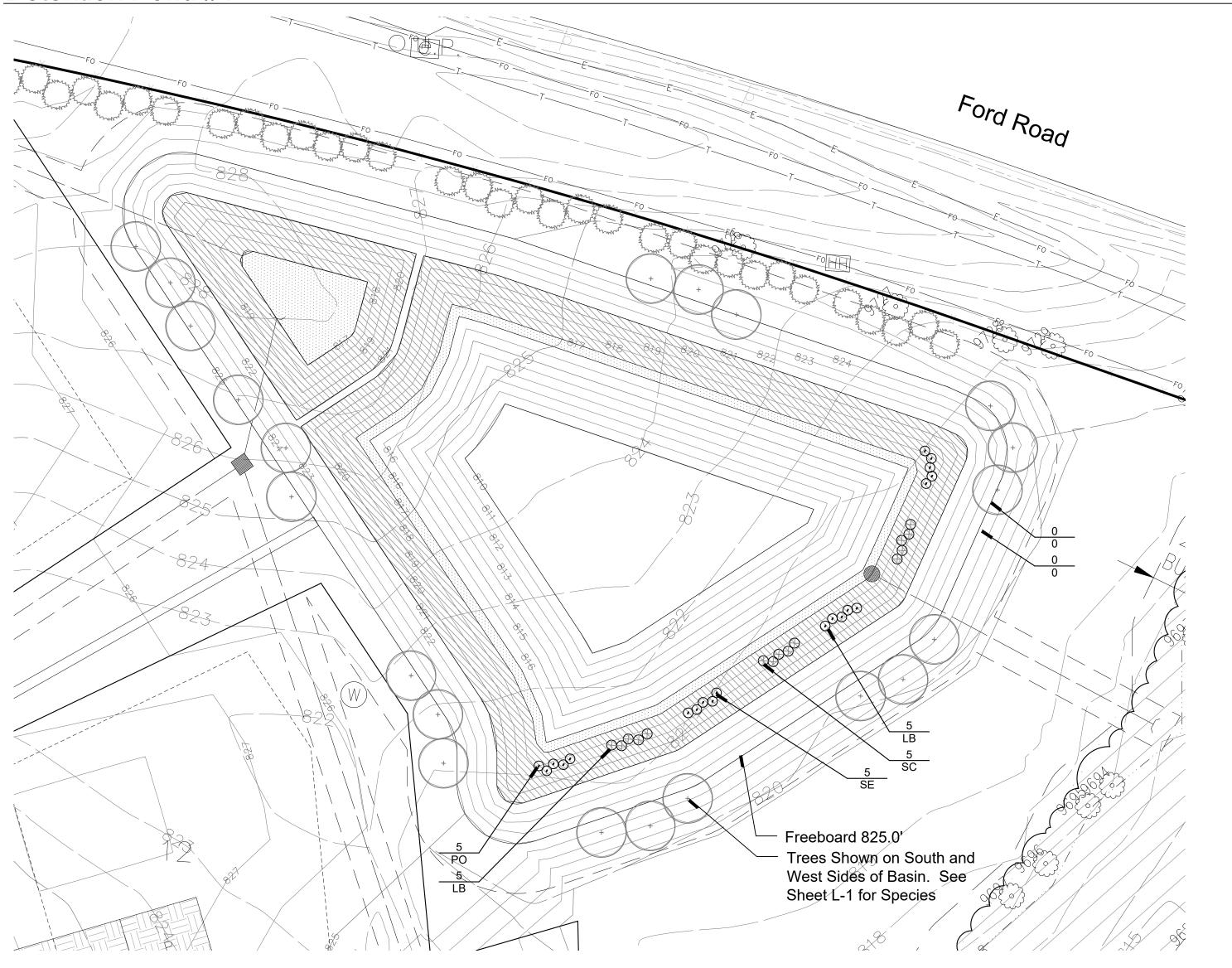
1. No Chemicals are Allowed in Stormwater Features or Buffer Zones with the Following Exception: Invasive Spacies may be Treated with Chemicals by a Certified Applicator.

2. Soils Must be Amended with a Composted Organic Material. Soils Must be Free of Construction Debris and Subsoils. Soils Must Contain 20%-30% Compost.

3. Rain Garden Soils must Contain 20%-30% Compost, 70%-80% Topsoil with a Maximum

4. At the time of plant and seed delivery, a WCWRC landscape reviewer must be present.

The quantity and species delivered will be reviewed on site. Contact Catie Wytychak at



Shrub Plantings

sym.	qty.	botanical name	common name	caliper	spacing	root	height
•	vater S	hrubs			1 0		
LB	15	Lindera benzoin	Spicebush	24"	as shown	cont	
PO	15	Physocarpus opulifolius	Exclamation London Planetree	24"	as shown	cont	
SC	15	Sambucus canadensis	American Elderberry	24"	as shown	cont	
SE	15	Salix exigua	Sandbar Willow	24"	as shown	cont	



Seal:



Detention Ponds

Project:

Kinsley Superior Township, Michigan

Prepared for:

Diverse Real Estate, LLC 13001 23 Mile Road, Suite 200 Shelby Township, MI 48315 586.232.9141

Revision:	Issued:
Review	September 28, 2022
Revised	November 1, 2022

Job Number:

22-073

Drawn By:

jca



L-3

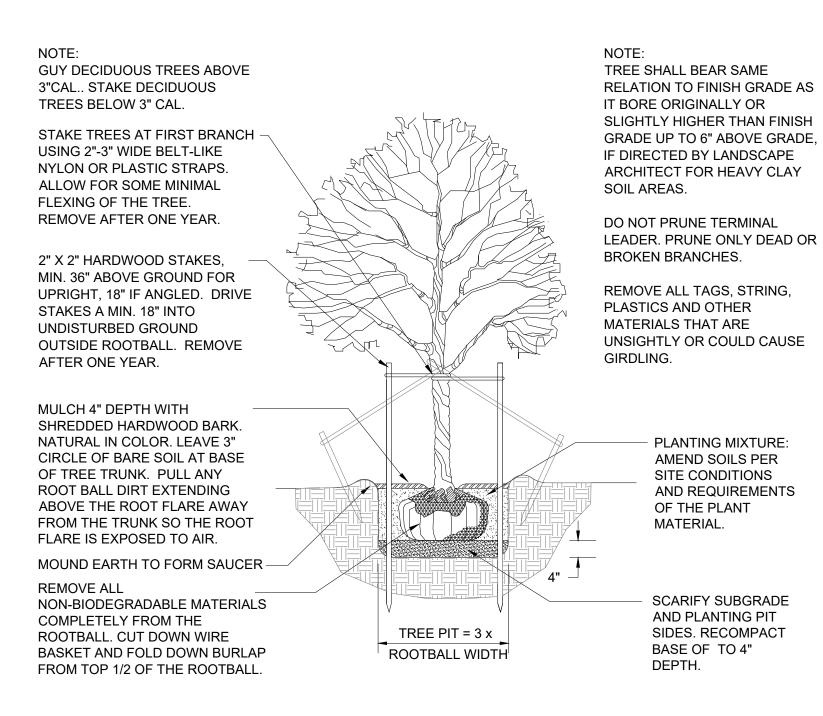
Checked By:

0' 10' 20' 40'

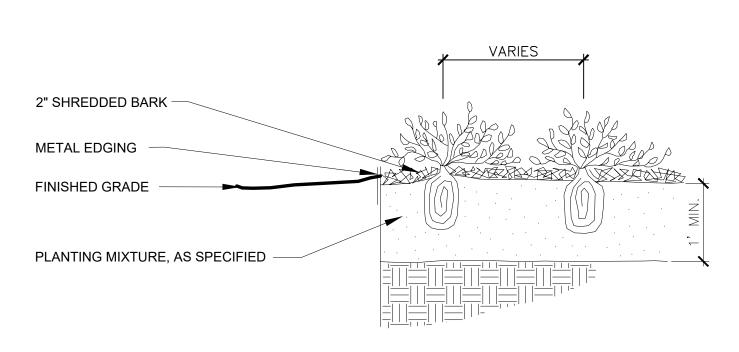


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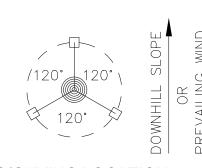
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DECIDUOUS TREE PLANTING DETAIL



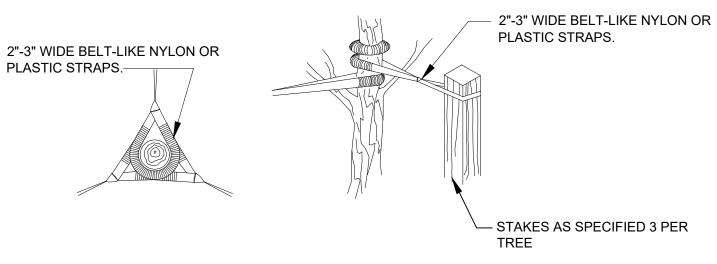
PERENNIAL PLANTING DETAIL



ORIENT STAKING/GUYING TO PREVAILING WINDS, EXCEPT ON SLOPES GREATER THAN 3:1 ORIENT TO SLOPE.

USE SAME STAKING/GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA

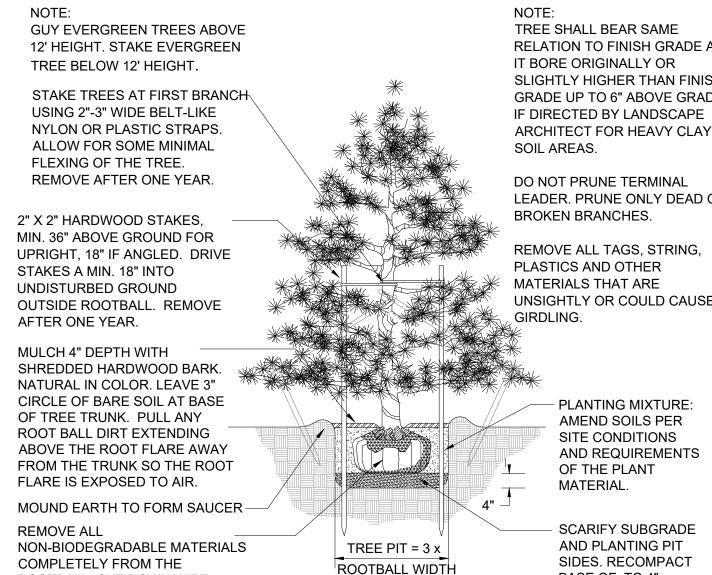
STAKING/GUYING LOCATION



GUYING DETAIL

STAKING DETAIL

TREE STAKING DETAIL



EVERGREEN TREE PLANTING DETAIL

ROOTBALL. CUT DOWN WIRE

BASKET AND FOLD DOWN BURLAP

FROM TOP 1/2 OF THE ROOTBALL

RELATION TO FINISH GRADE AS SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, ARCHITECT FOR HEAVY CLAY

LEADER. PRUNE ONLY DEAD OR

UNSIGHTLY OR COULD CAUSE

BASE OF TO 4" DEPTH.

TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE **UNSIGHTLY OR COULD CAUSE**

> SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF TO 4" DEPTH.

SHRUB PLANTING DETAIL

NOT TO SCALE

MULCH 3" DEPTH WITH

3" FROM TRUNK.

PLANTING MIXTURE:

AND REQUIREMENTS

AMEND SOILS PER

SITE CONDITIONS

OF THE PLANT

MATERIAL.

REMOVE ALL

SHREDDED HARDWOOD BARK.

NATURAL IN COLOR. PULL BACK

MOUND EARTH TO FORM SAUCER

REMOVE COLLAR OF ALL FIBER -

POTS. POTS SHALL BE CUT TO

PROVIDE FOR ROOT GROWTH.

NON-BIODEGRADABLE MATERIALS

ROOTBALL. FOLD DOWN BURLAP

FROM TOP $\frac{1}{3}$ OF THE ROOTBALL.

REMOVE ALL NONORGANIC

CONTAINERS COMPLETELY.

COMPLETELY FROM THE

LANDSCAPE NOTES

- 1. All plants shall be north Midwest American region grown, No. 1 grade plant materials,
- and shall be true to name, free from physical damage and wind burn.
- 2. Plants shall be full, well-branched, and in healthy vigorous growing
- 3. Plants shall be watered before and after planting is complete.
- 4. All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following Township approval.
- 5. All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- 6. Provide clean backfill soil, using material stockpiled on site. Soil shall be
- screened and free of any debris, foreign material, and stone.
- 7. "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- 8. Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 peat, mixed well and spread to the depth as indicated in planting details.
- 9. All plantings shall be mulched per planting details located on this sheet.
- 10. The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- 11. No substitutions or changes of location, or plant types shall be made
- without the approval of the Landscape Architect.
- 12. The Landscape Architect shall be notified in writing of any discrepancies between
- the plans and field conditions prior to installation. 13. The Landscape Contractor shall be responsible for maintaining all plant
- material in a vertical condition throughout the guaranteed period. 14. The Landscape Architect shall have the right, at any stage of the installation,
- to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- 15. Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a
- discrepancy, the quantities on the plans shall prevail. 16. The Landscape Contractor shall seed and mulch or sod (as indicated on plans)
- all areas disturbed during construction, throughout the contract limits.
- 17. A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- 18. Sod shall be two year old "Baron/Cheriadelphi" Kentucky Blue Grass grown in a sod

GIRDLING.

Landscape Details

LAND PLANNING / LANDSCAPE ARCHITECTURE

Northville, Michigan 48167

t. 248.467.4668

Project:

Seal:

Kinsley Superior Township, Michigan

Prepared for:

Diverse Real Estate, LLC 13001 23 Mile Road, Suite 200 Shelby Township, MI 48315 586.232.9141

Revision: Issued: September 28, 2022 November 1, 2022 Revised

Job Number:

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Drawn By: Checked By:

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Sheet No.

L-4

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