

# KINSLEY DEVELOPMENT

## A SINGLE FAMILY DEVELOPMENT

### SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

# PRELIMINARY SITE PLAN

#### PROJECT CONTACTS

**DEVELOPER / APPLICANT**  
 DIVERSE REAL ESTATE LLC  
 13001 23 MILE ROAD, SUITE 200  
 SHELBY TWP, MICHIGAN 48315  
 CONTACT: JOE KLEE  
 PHONE: (248) 721-2072

**CIVIL ENGINEER**  
 ATWELL, LLC  
 311 NORTH MAIN STREET  
 ANN ARBOR, MICHIGAN 48104  
 CONTACT: MATT BUSH, P.E.  
 PHONE: (810) 923-6878

#### SITE DATA

GROSS SITE AREA: 47 ACRES  
 PROPOSED ROW: 3.99 ACRES  
 EXCLUDED PARKS AREA: 7.61 ACRES  
 NET SITE AREA: 35.40 ACRES

EXISTING ZONING: R2 - SINGLE FAMILY RESIDENTIAL (APPROVED JUNE 2022)  
 PROPOSED ZONING: R2 - SINGLE FAMILY RESIDENTIAL  
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL SITE

NUMBER OF PROP. LOTS TOTAL: 21  
 PROPOSED DENSITY (GROSS): 0.45  
 PROPOSED DENSITY (NET): 0.59

LOT AREA PER DWELLING UNIT: 43,560 SF (MIN)  
 MINIMUM LOT WIDTH: 150'

LOT SETBACKS:  
 FRONT- 50'  
 SIDE- 15' MIN. (50' TOTAL)  
 REAR- 50'

PROPOSED LOT COVERAGE: MAX 25%

PROPOSED GENERAL COMMON ELEMENT (G.C.E.): 10.58 ACRES

WETLAND IMPACTS:  
 REGULATED 0.0 ACRES  
 NON-REGULATED 0.0 ACRES

\*FIRE DEPARTMENT NOTE: ROADWAYS AND BRIDGES TO BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING 80,000 POUNDS

#### LEGAL DESCRIPTION

**EXHIBIT "A" DESCRIPTION PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY STEWART TITLE GUARANTY COMPANY, ISSUING AGENT: ATA NATIONAL TITLE GROUP, LLC, ISSUING OFFICE FILE NUMBER: 81-21796648-GCM, COMMITMENT DATE: JULY 30, 2021:**

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS: TOWNSHIP OF SUPERIOR, COUNTY OF WASHTENAW, STATE OF MICHIGAN

PARCEL 1

TRACT A  
 COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE NORTH 00 DEGREES 58 MINUTES 12 SECONDS EAST ALONG THE NORTH AND SOUTH 1/4 LINE 933.09 FEET TO A POINT IN THE CENTER OF FLEMING CREEK; SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00 DEGREES 58 MINUTES 12 SECONDS ALONG SAID NORTH AND SOUTH 1/4 LINE 378.14 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD; THENCE NORTH 73 DEGREES 32 MINUTES 14 SECONDS EAST ALONG SAID CENTERLINE 332.78 FEET; THENCE SOUTH 01 DEGREES 02 MINUTES 14 SECONDS WEST 411.82 FEET TO A POINT IN THE CENTER OF FLEMING CREEK; THENCE SOUTH 79 DEGREES 12 MINUTES 25 SECONDS WEST 323.81 FEET TO THE POINT OF BEGINNING.

TRACT B  
 COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE NORTH 00 DEGREES 58 MINUTES 12 SECONDS EAST ALONG THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 1311.23 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD; SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00 DEGREES 58 MINUTES 12 SECONDS EAST ALONG SAID NORTH AND SOUTH 1/4 LINE 1252.41 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF M-14 EXPRESSWAY; THENCE SOUTH 88 DEGREES 26 MINUTES 20 SECONDS EAST ALONG SAID RIGHT OF WAY LINE 565.80 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE 789.28 FEET ALONG THE ARC OF A 3716.72 FOOT RADIUS CIRCULAR CURVE CONCAVE SOUTHWESTERLY THROUGH A CENTRAL ANGLE OF 12 DEGREES 10 MINUTES 02 SECONDS, HAVING A CHORD WHICH BEARS SOUTH 82 DEGREES 21 MINUTES 19 SECONDS EAST 787.79 FEET TO A POINT ON THE EAST LINE OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 8; THENCE SOUTH 00 DEGREES 40 MINUTES 14 SECONDS WEST ALONG SAID EAST LINE 731.45 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD; THENCE SOUTH 73 DEGREES 32 MINUTES 14 SECONDS WEST ALONG SAID CENTERLINE 1417.16 FEET TO THE POINT OF BEGINNING.

TRACT C  
 COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE NORTH 00 DEGREES 58 MINUTES 12 SECONDS EAST ALONG THE NORTH AND SOUTH 1/4 LINE 1311.23 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD; THENCE NORTH 73 DEGREES 32 MINUTES 14 SECONDS EAST ALONG SAID CENTERLINE 572.78 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 73 DEGREES 32 MINUTES 14 SECONDS EAST ALONG SAID CENTERLINE 1163.76 FEET TO A POINT ON THE CENTERLINE OF PLYMOUTH ROAD BRIDGE OVER FLEMING CREEK; THENCE ALONG THE BOUNDARY LINE BETWEEN THE LAND OF HANRY TO THE NORTH AND GALPIN TO THE SOUTH IN THE FOLLOWING COURSES: SOUTH 28 DEGREES 03 MINUTES 30 SECONDS WEST 21.00 FEET; SOUTH 16 DEGREES 26 MINUTES 00 SECONDS WEST 115.27 FEET TO A POINT ON THE NORTHWESTERLY BANK OF FLEMING CREEK; SOUTH 14 DEGREES 37 MINUTES 30 SECONDS WEST 145.29 FEET TO A POINT ON THE SOUTHERLY BANK OF SAID CREEK; SOUTH 52 DEGREES 16 MINUTES 00 SECONDS WEST 172.87 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 54 DEGREES 59 MINUTES 00 SECONDS WEST 159.72 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 63 DEGREES 32 MINUTES 00 SECONDS WEST 119.48 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 71 DEGREES 54 MINUTES 00 SECONDS WEST 127.92 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 63 DEGREES 02 MINUTES 00 SECONDS WEST 285.51 FEET TO A POINT IN THE CENTER OF SAID CREEK; SOUTH 66 DEGREES 26 MINUTES 30 SECONDS WEST 258.24 FEET TO POINT ON THE NORTHERLY BANK OF SAID CREEK; THENCE NORTH 02 DEGREES 36 MINUTES 24 SECONDS EAST 424.34 FEET TO THE POINT OF BEGINNING.

PARCEL 2

TRACT A  
 ALL THAT PART OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST LYING NORTH OF PLYMOUTH ROAD, NORTHWESTERLY OF THE CENTERLINE OF FLEMING CREEK AND WESTERLY OF A LINE BEARING SOUTH 24 DEGREES 32 MINUTES EAST FROM A POINT ON THE EAST AND WEST 1/4 LINE LOCATED 724.89 FEET WEST OF THE EAST 1/4 POST OF SAID SECTION 8; EXCEPT

TRACT B  
 THAT PART OF TRACT "A" LYING NORTH OF A LINE 103 FEET SOUTH OF, MEASURED AT RIGHT ANGLES AND PARALLEL WITH, THE REFERENCE LINE OF EASTBOUND ROADWAY OF LIMITED ACCESS HIGHWAY M-14, TOGETHER WITH ALL RIGHT OF INGRESS AND EGRESS, IF ANY THERE BE, TO, FROM AND BETWEEN THE HIGHWAY ON TRACT "B" AND THE REMAINDER OF TRACT "A"; THE REFERENCE LINE OF EASTBOUND ROADWAY IS DESCRIBED AS FOLLOWS: BEGINNING 2609.83 FEET SOUTH 2 DEGREES 37 MINUTES 29 SECONDS EAST ALONG SECTION LINE FROM NORTHWEST CORNER AND 62.82 FEET NORTHERLY FROM WEST 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST; THENCE NORTH 88 DEGREES 57 MINUTES 38 SECONDS EAST 3180.88 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 17 DEGREES 25 MINUTES 12 SECONDS AND A RADIUS OF 3819.72 FEET; THENCE SOUTHEAST ALONG THE ARC OF SAID CURVE 1161.33 FEET TO ITS POINT OF TANGENT; THENCE SOUTH 73 DEGREES 37 MINUTES 10 SECONDS EAST 808.97 FEET TO A POINT OF ENDING IN CENTERLINE OF PLYMOUTH ROAD, SAID POINT OF ENDING LYING 459.16 FEET SOUTH 02 DEGREES 07 MINUTES 17 SECONDS EAST; THENCE 151.11 FEET SOUTH 61 DEGREES 32 MINUTES 20 SECONDS WEST FROM EAST 1/4 CORNER OF SECTION 8, TOWN 2 SOUTH, RANGE 7 EAST, TOWNSHIP OF SUPERIOR, WASHTENAW COUNTY, MICHIGAN.

**SCHEDULE B, PART II EXCEPTIONS PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY STEWART TITLE GUARANTY COMPANY, ISSUING AGENT: ATA NATIONAL TITLE GROUP, LLC, ISSUING OFFICE FILE NUMBER: 81-21796648-GCM, COMMITMENT DATE: JULY 30, 2021:**

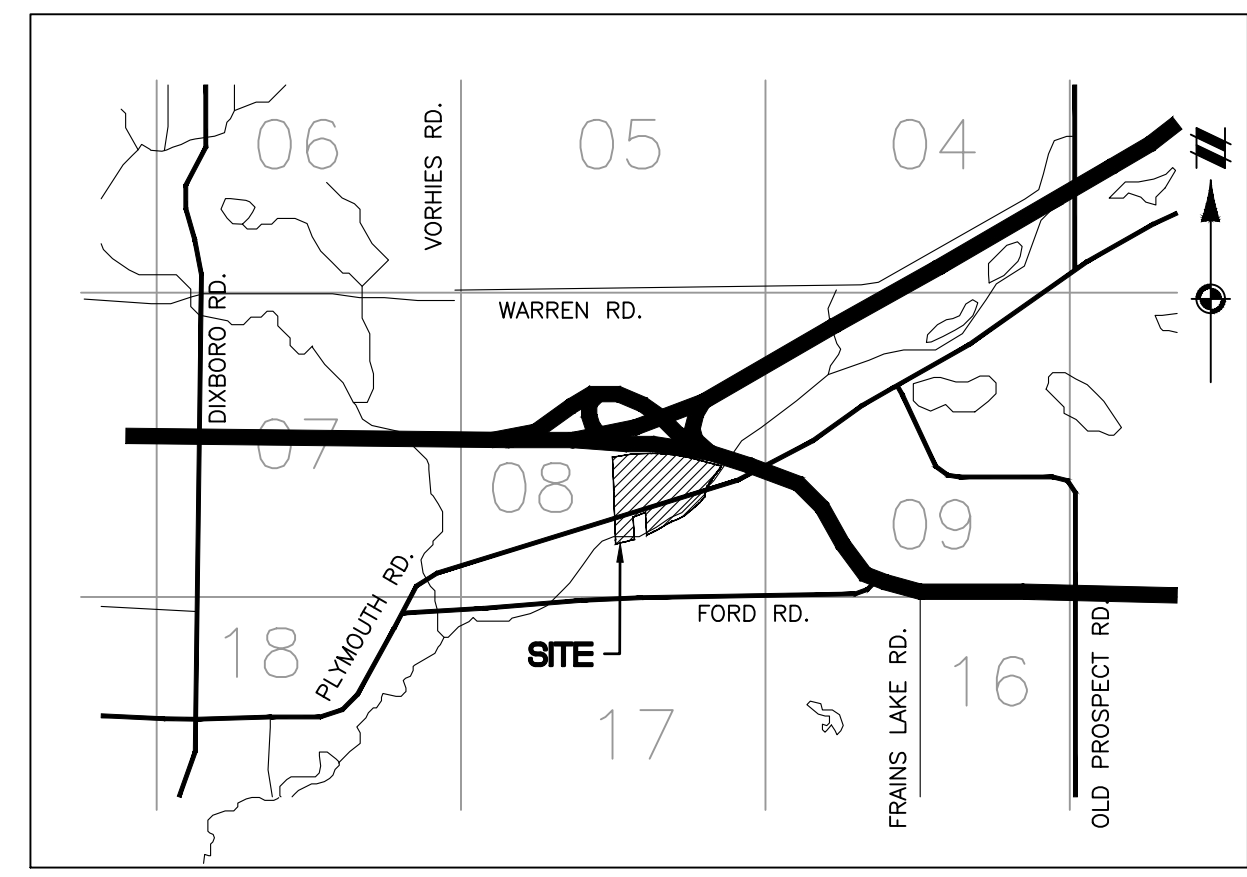
8. EASEMENT GRANTED TO THE DETROIT EDISON COMPANY FOR CONSTRUCTION, OPERATION AND MAINTENANCE OF ELECTRIC LIGHT AND POWER LINES, INCLUDING THE TRIMMING OF TREES ALONG SAID LINES, AS DISCLOSED BY AGREEMENT RECORDED IN LIBER 1 OF GRANTS, PAGE 106, WASHTENAW COUNTY RECORDS.  
 RESPONSE: COVERS A PORTION OF SUBJECT PROPERTY AND ADDITIONAL LAND, EASEMENT AS SHOWN HEREON, NO WIDTH DEFINED, APPEARS TO BE BLANKET IN NATURE.
9. RELEASE OF RIGHT OF WAY TO THE STATE OF MICHIGAN FOR HIGHWAY PURPOSES RECORDED IN LIBER 266, PAGE 574, WASHTENAW COUNTY RECORDS.  
 RESPONSE: AS SHOWN HEREON.
10. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN AGREEMENT RECORDED IN LIBER 1058, PAGE 381, WASHTENAW COUNTY RECORDS.  
 RESPONSE: AS SHOWN HEREON.
11. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN, AND EASEMENT(S) CREATED BY, DECLARATION OF TAKING RECORDED IN LIBER 1417, PAGE 840, WASHTENAW COUNTY RECORDS.  
 RESPONSE: TRACT "A" COVERS PARCEL 1 TRACT B, RIGHT OF WAY TAKING AND EASEMENT AS SHOWN HEREON.
12. TERMS, CONDITIONS AND PROVISIONS CONTAINED IN MEMORANDUM OF LICENSE RECORDED IN LIBER 5399, PAGE 760, WASHTENAW COUNTY RECORDS.  
 RESPONSE: COVERS A PORTION OF SUBJECT PROPERTY AND ADDITIONAL LAND, EASEMENT AS SHOWN HEREON.



**OVERALL DEVELOPMENT MAP**  
 SCALE: 1" = 150 FEET

#### PROJECT NARRATIVE

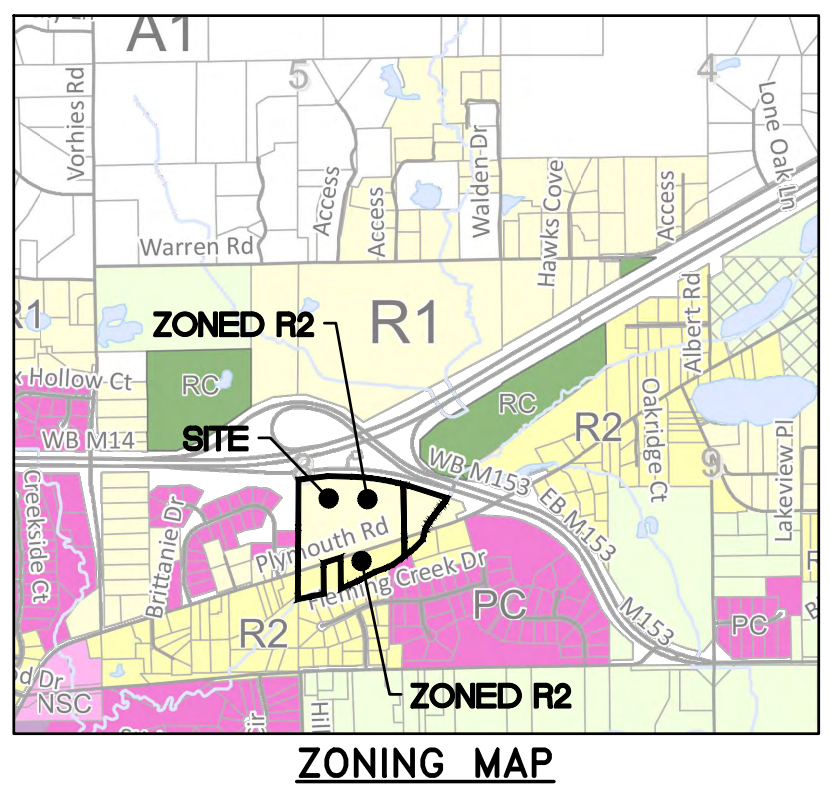
KINSLEY IS LOCATED ON THE NORTH SIDE OF PLYMOUTH ROAD, JUST WEST OF FORD ROAD AND SOUTH OF M-14 IN SUPERIOR TOWNSHIP. THE SITE IS APPROXIMATELY 47 ACRES AND IS ZONED R-2, SINGLE FAMILY RESIDENTIAL. THE APPLICANT IS PROPOSING TO DEVELOP THE PARCEL AS A 21 UNIT SITE CONDOMINIUM. PORTIONS OF THE EXISTING PARCEL ARE TO BE EXCLUDED FROM THIS SITE CONDOMINIUM AS NOTED. THE PROPOSED LOTS HAVE A MINIMUM WIDTH OF 150' AND MINIMUM LOT SIZE OF 43,560 SQUARE FEET (1.0 ACRES). THE HOMES WILL RANGE FROM 2,700 TO 6,200 SQUARE FEET WITH SALES PRICES STARTING IN THE HIGH \$600,000S. THE DEVELOPMENT WILL BE CONSTRUCTED IN A SINGLE PHASE. KINSLEY WILL CONTAIN PRIVATE ROADS AND WILL CONTAIN PRIVATE WELLS AND SEPTIC SYSTEMS. SITE DEVELOPMENT IS ANTICIPATED TO BEGIN IN 2023, WITH VERTICAL CONSTRUCTION BEGINNING IN 2024 AND CONSTRUCTION COMPLETING IN 2026.



**VICINITY MAP**  
 1" = 20,000 FEET

#### SHEET INDEX

- 01 COVER SHEET
- 02 OVERALL EXISTING CONDITIONS
- 03 EXISTING CONDITIONS AREA 1
- 04 EXISTING CONDITIONS AREA 2
- 05 EXISTING CONDITIONS AREA 3
- 06 EXISTING CONDITIONS AREA 4
- 07 NATURAL FEATURES PLAN
- 08 OVERALL LAYOUT PLAN
- 09 LAYOUT PLAN AREA 1
- 10 LAYOUT PLAN AREA 2
- 11 LAYOUT PLAN AREA 3
- 12 LAYOUT PLAN AREA 4
- 13 OVERALL UTILITY PLAN
- 14 UTILITIES PLAN AREA 1
- 15 UTILITIES PLAN AREA 2
- 16 UTILITIES PLAN AREA 3
- 17 UTILITIES PLAN AREA 4
- 18 GRADING PLAN AREA 1
- 19 GRADING PLAN AREA 2
- 20 GRADING PLAN AREA 3
- 21 GRADING PLAN AREA 4
- 22 STORM WATER PLAN & PROFILE 1
- 23 STORM WATER PLAN & PROFILE 2
- 24 STORM WATER PLAN & PROFILE 3
- 25 STORM WATER PLAN & PROFILE 4
- 26 STORM WATER PLAN & PROFILE 5
- 27 STORM WATER PLAN & PROFILE 6
- 28 STORM WATER PLAN & PROFILE 7
- 29 CONCEPTUAL DRAINAGE
- 30 STORM WATER CONVEYANCE CALCULATIONS
- 31 SOIL EROSION AND SEDIMENTATION CONTROL PLAN
- 32 SOIL EROSION AND SEDIMENTATION CONTROL DETAILS
- 33 TYPICAL DETAILS
- 34 TREE LIST
- 35 ELEVATIONS
- 36 ELEVATIONS
- L-1 LANDSCAPE PLAN
- L-2 GREENBELT PLAN
- L-3 DETENTION PONDS
- L-4 LANDSCAPE DETAILS



**ZONING MAP**

**Know what's below.**  
 Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	SUPERIOR TOWNSHIP						
CLIENT	LOMBARDO HOMES KINSLEY DEVELOPMENT SITE PLAN	WASHTENAW COUNTY, MICHIGAN						
DATE	SEPTEMBER 28, 2022							
REVISIONS	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">NO.</td> <td style="width: 80%;">DESCRIPTION</td> <td style="width: 10%;">DATE</td> </tr> <tr> <td>1</td> <td>11/01/22: PER TWP.</td> <td></td> </tr> </table>		NO.	DESCRIPTION	DATE	1	11/01/22: PER TWP.	
NO.	DESCRIPTION	DATE						
1	11/01/22: PER TWP.							
SCALE	AS NOTED							
DR.	SK	CH. MC						
P.M.	MC							
BOOK	---							
JOB	21002863							
SHEET NO.	01							



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SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
OVERALL EXISTING CONDITIONS

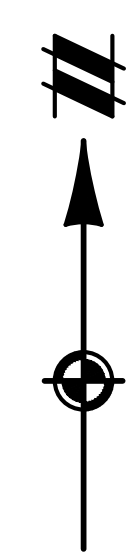
CLIENT

DATE: SEPTEMBER 28, 2022

11/01/22: PER TWP.

Table with 2 columns: REVISIONS, SCALE. Includes a graphic scale of 1" = 100 FEET.

DR. SK CH. MC  
BOOK --  
JOB 21002863  
SHEET NO. 02



SOIL INFORMATION

- BnB Boyer loamy sand, 1 to 6 percent slopes
BnC Boyer loamy sand, 6 to 12 percent slopes
BnD Boyer loamy sand, 12 to 18 percent slopes
Gp Gravel pit 47.0 6.6%
Hn Houghton muck, disintegration moraine, 0 to 2 percent slopes
Pc Pella silt loam 2.2 0.3%
So Sloe silt loam, 0 to 1 percent slopes, frequently flooded

TEST PIT LOG

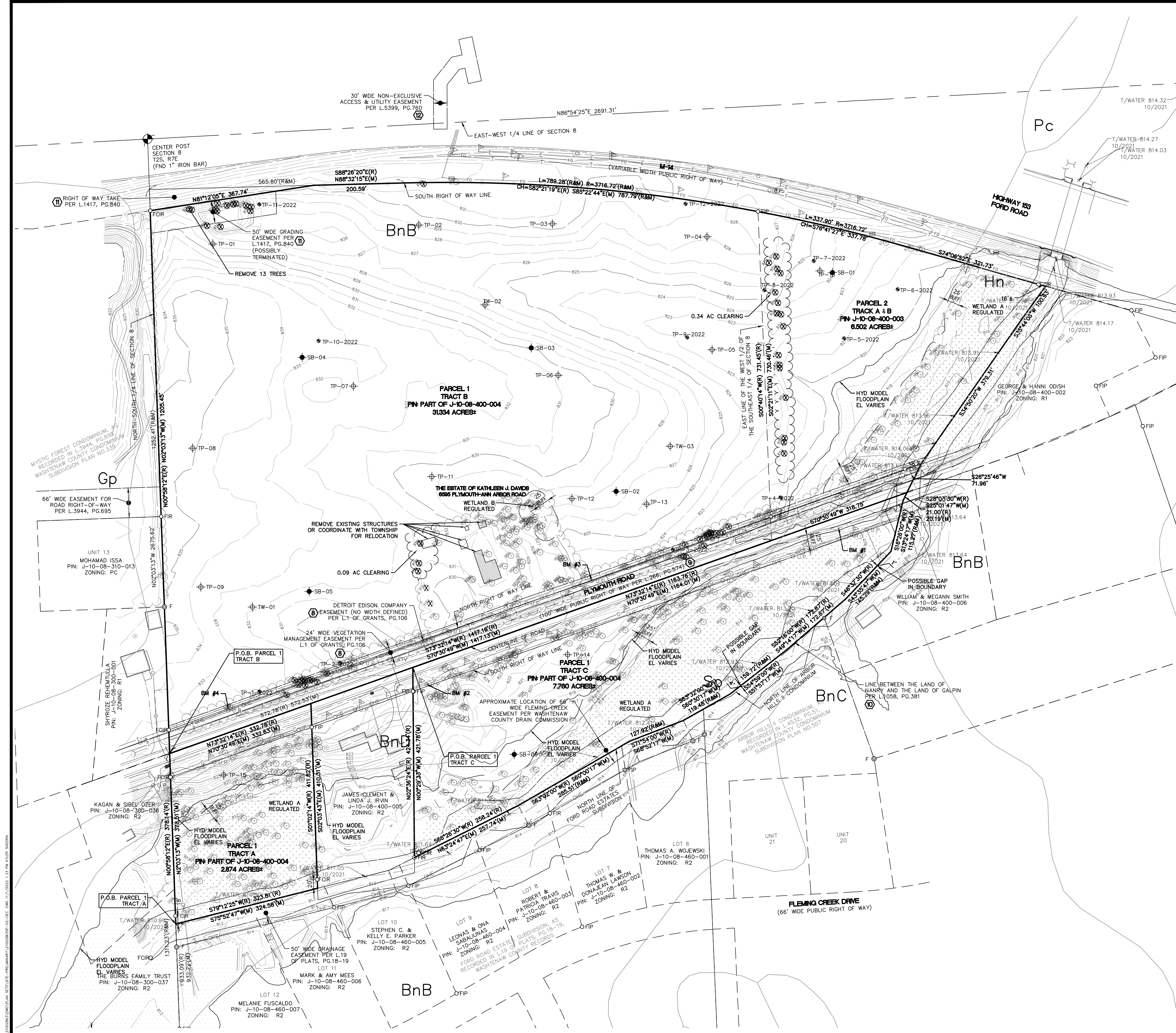
Table with 4 columns: TEST PIT ID, NORTHING (NAV83-MSP-S), EASTING (NAV83-MSP-S), ELEVATION (NAV83), GROUNDWATER ELEVATION (NAV83). Lists test pits TP-01 through TP-16 and TP-1-2022 through TP-12-2022.

SOIL BORING LOG

Table with 4 columns: SOIL BORE ID, NORTHING (NAV83-MSP-S), EASTING (NAV83-MSP-S), ELEVATION (NAV83). Lists soil borings SB-01 through SB-06.

LEGEND

- BOUNDARY LINE
EXISTING EASEMENT
SECTION LINE
BOUNDARY/PROPERTY LINE
EXISTING CONTOUR
EXISTING TREE LINE
EXISTING CURB AND GUTTER
EXISTING FENCE
EXISTING BUILDING
EXISTING STRUCTURE
EXISTING WALL
EXISTING WATER MAIN
EXISTING SANITARY
EXISTING GAS
EXISTING STORM
EXISTING OVERHEAD ELECTRICAL LINE
EXISTING OVERHEAD TELEPHONE LINE
EXIST. CULVERT
EXIST. CATCH BASIN/INLET
EXIST. HYDRANT
EXIST. VALVE
EXIST. SANITARY SEWER
EXIST. UNSPECIFIED UTILITY
EXISTING WETLAND
EXISTING WETLAND BUFFER
EXISTING SOILS LIMIT
EXISTING SOILS TYPE
EXISTING SOIL BORING
TEST PIT LOCATION (SEPTEMBER 2022)
EXISTING TEST WELL





Know what's below.  
Call before you dig.

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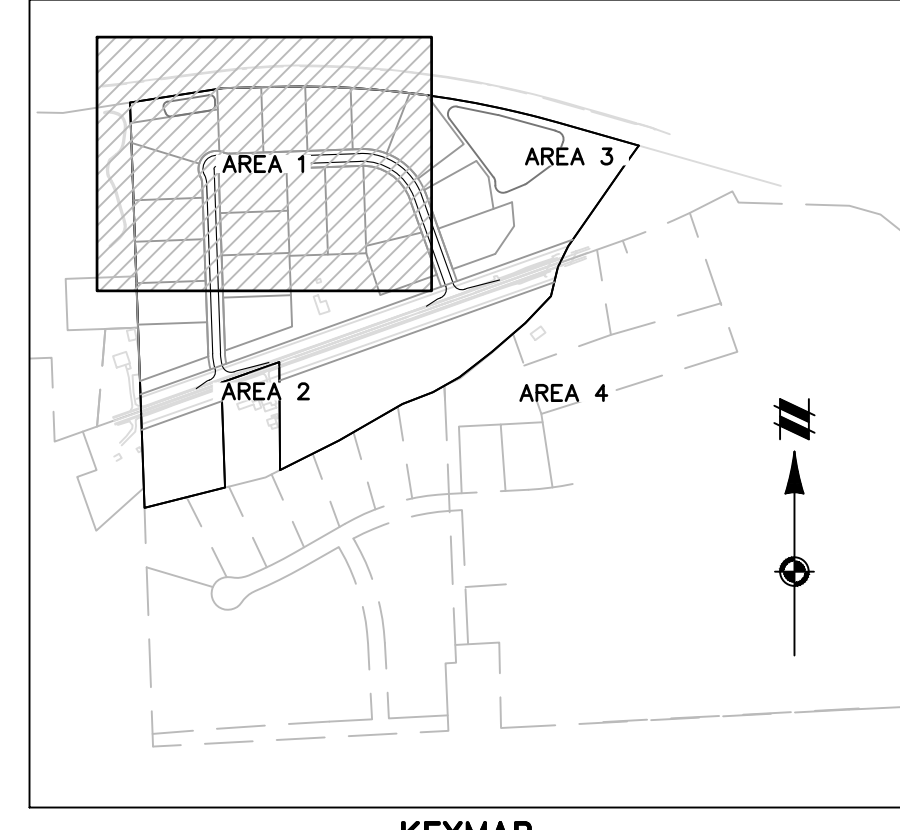
SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
EXISTING CONDITIONS AREA 1

DATE  
SEPTEMBER 28, 2022

Table with 2 columns: REVISIONS, and rows for 11/01/22: PER TWP.

Table with 2 columns: REVISIONS, and rows for SCALE 0 25 50, 1" = 50 FEET, DR. SK CH. MC, P.M. MC, BOOK --, JOB 21002863, SHEET NO. 03



KEYMAP  
SCALE: 1" = 750 FEET

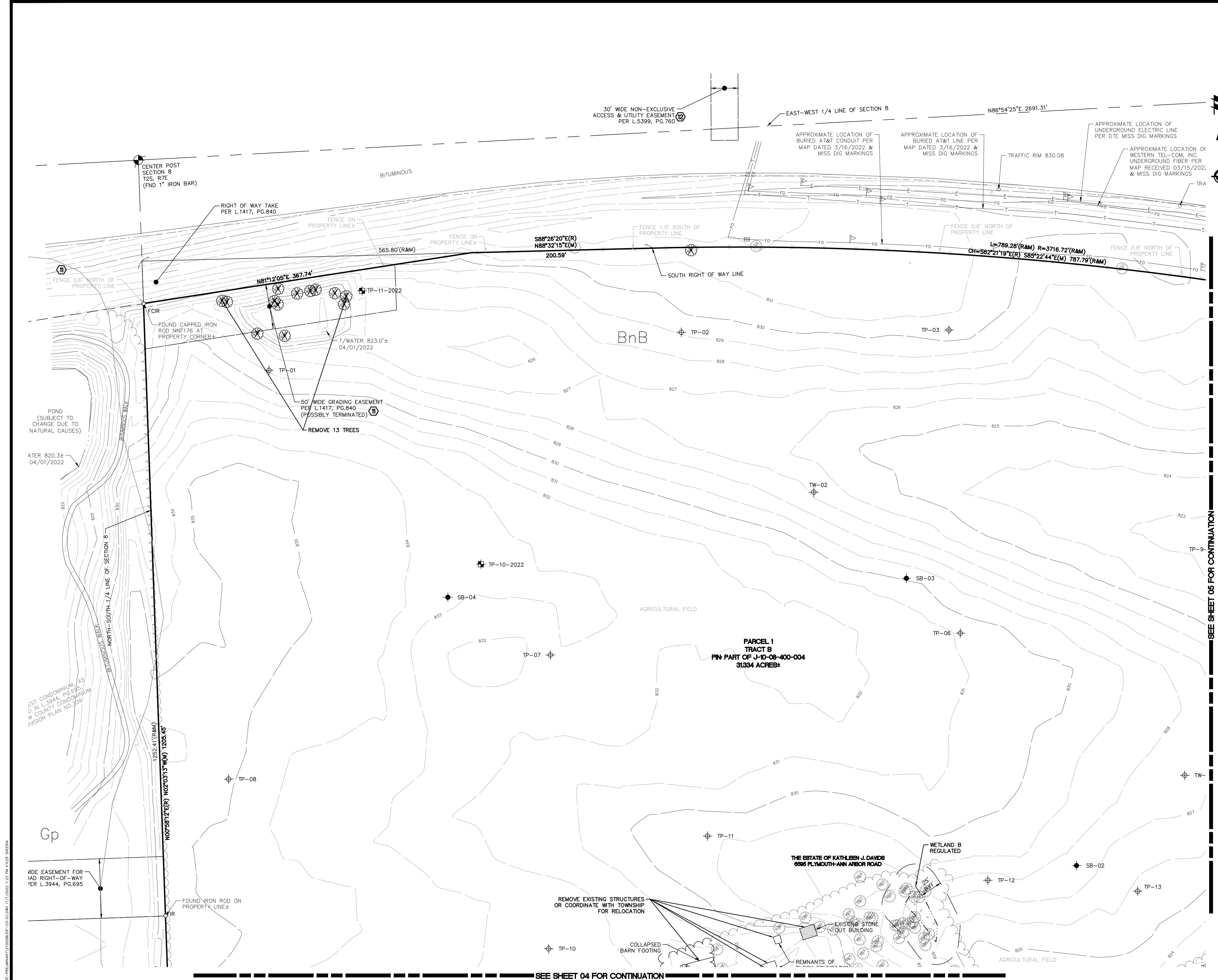
**BENCHMARK NOTES:**

- BM #1: SET MAG NAIL ON TOP OF WESTERLY MOST GUARDRAIL POST ON SOUTH SIDE OF PLYMOUTH ROAD ELEVATION: 821.64 (NAVD88)
- BM #2: FOUND BENCHITE IN NORTH FACE OF UTILITY POLE IN SOUTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 827.67 (NAVD88)
- BM #3: SET MAG NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 825.47 (NAVD88)
- BM #4: SET PK NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 833.44 (NAVD88)

**SURVEY NOTES:**

- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATES (NAD83), SOUTH ZONE, GROUND DISTANCES, INTERNATIONAL FEET. MEASURED BEARINGS DIFFER FROM TITLE. VERTICAL DATUM IS BASED ON NAVD88.
  - THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND ZONE A (NO BASE FLOOD ELEVATIONS DETERMINED) ACCORDING TO MAP NUMBER 26161C0260E OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE APRIL 3, 2012.
  - WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.
- NOTE: THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.
- NOTE TO THE CLIENT, INSURER, AND LENDER - SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION S.E.I.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.

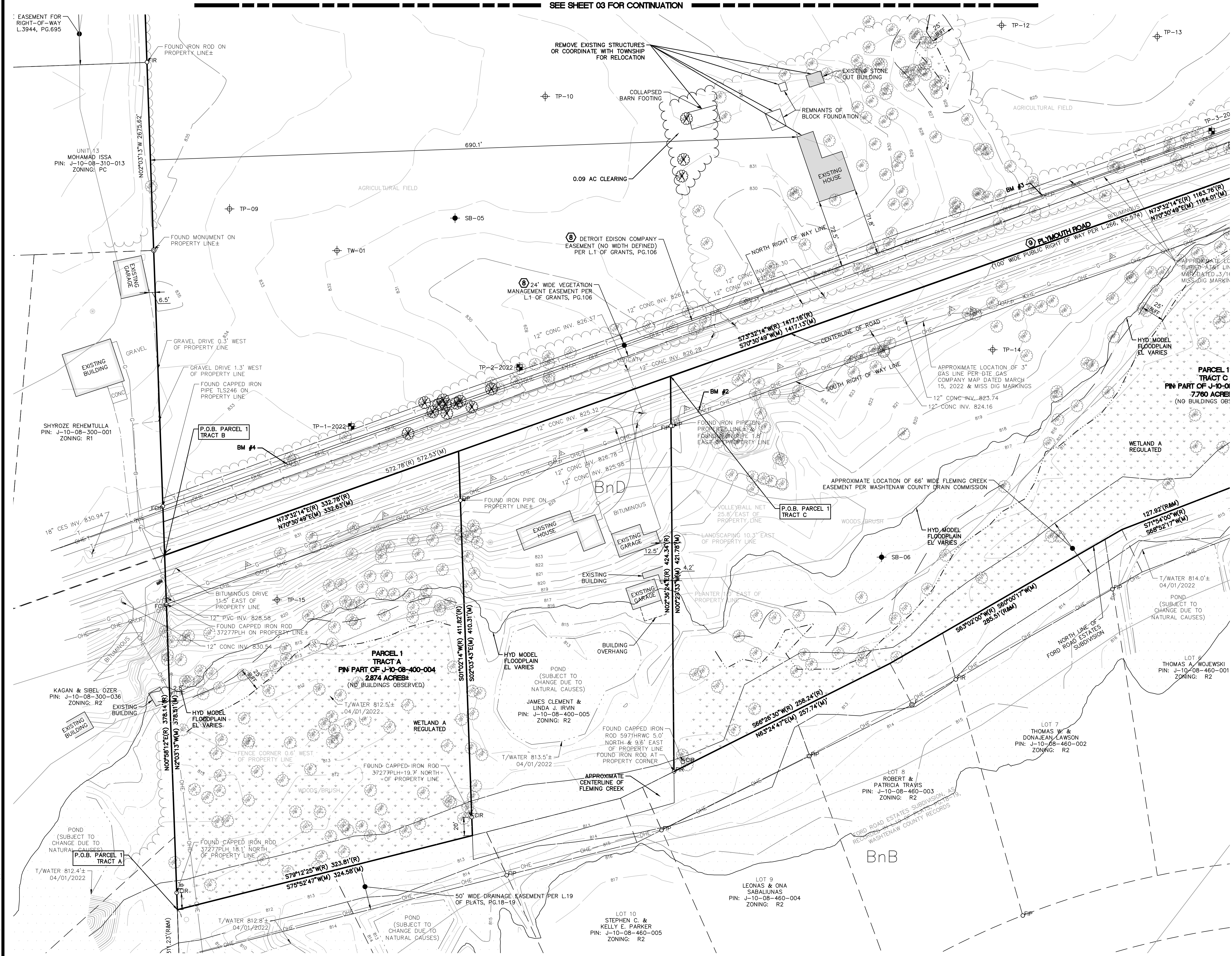
SEE SHEET 08 FOR CONTINUATION



SEE SHEET 04 FOR CONTINUATION

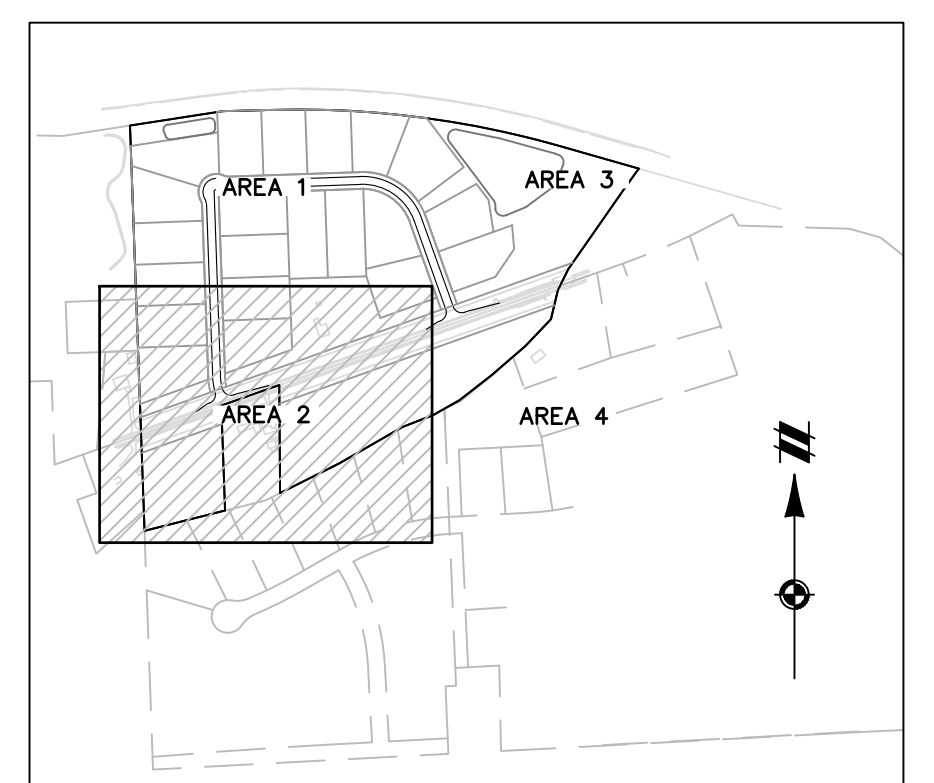
**LEGEND**

Legend table listing symbols for Boundary Line, Existing Easement, Section Line, Boundary/Property Line, Existing Setback, Existing Contour, Existing Tree Line, Existing Curb and Gutter, Existing Fence, Existing Building, Existing Wetland, Exist. Wetland Buffer, Existing Water Main, Existing Sanitary, Existing Gas, Existing Storm, Existing Overhead Electrical Line, Existing Overhead Telephone Line, Exist. Culvert, Exist. Catch Basin/Inlet, Exist. Hydrant, Exist. Valve, Exist. Sanitary Sewer, Exist. Unspecified Utility, Exist. Sign, Exist. Light Pole, Existing Edge of Water, Existing Test Pit Location, Test Pit Location (September 2022), Soils Boundary, Soils Text.



SEE SHEET 03 FOR CONTINUATION

SEE SHEET 06 FOR CONTINUATION



KEYMAP  
SCALE: 1" = 750 FEET

**BENCHMARK NOTES:**

- BM #1: SET MAG NAIL ON TOP OF WESTERLY MOST GUARDRAIL POST ON SOUTH SIDE OF PLYMOUTH ROAD  
ELEVATION: 821.64 (NAVD88)
- BM #2: FOUND BENCHITE IN NORTH FACE OF UTILITY POLE IN SOUTH RIGHT OF WAY OF PLYMOUTH ROAD  
ELEVATION: 827.67 (NAVD88)
- BM #3: SET MAG NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD  
ELEVATION: 825.47 (NAVD88)
- BM #4: SET PK NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD  
ELEVATION: 833.44 (NAVD88)

**SURVEY NOTES:**

1. BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATES (NAD83), SOUTH ZONE, GROUND DISTANCES, INTERNATIONAL FEET. MEASURED BEARINGS DIFFER FROM TITLE. VERTICAL DATUM IS BASED ON NAVD88.
2. THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND ZONE A (NO BASE FLOOD ELEVATIONS DETERMINED) ACCORDING TO MAP NUMBER 26161C0260E OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE APRIL 3, 2012.
3. WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.

NOTE: THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.

NOTE TO THE CLIENT, INSURER, AND LENDER - SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.6.I.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.

**LEGEND**

	BOUNDARY LINE
	EXISTING EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXISTING SETBACK
	EXISTING CONTOUR
	EXISTING TREE LINE
	EXISTING CURB AND GUTTER
	EXISTING FENCE
	EXISTING BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	EXISTING WATER MAIN
	EXISTING SANITARY
	EXISTING GAS
	EXISTING STORM
	EXISTING OVERHEAD ELECTRICAL LINE
	EXISTING OVERHEAD TELEPHONE LINE
	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	EXIST. UNSPECIFIED UTILITY
	EXIST. SIGN
	EXIST. LIGHT POLE
	EXISTING EDGE OF WATER
	EXISTING TEST PIT LOCATION
	SOILS BOUNDARY
	SOILS TEXT

**Know what's below.  
Call before you dig.**

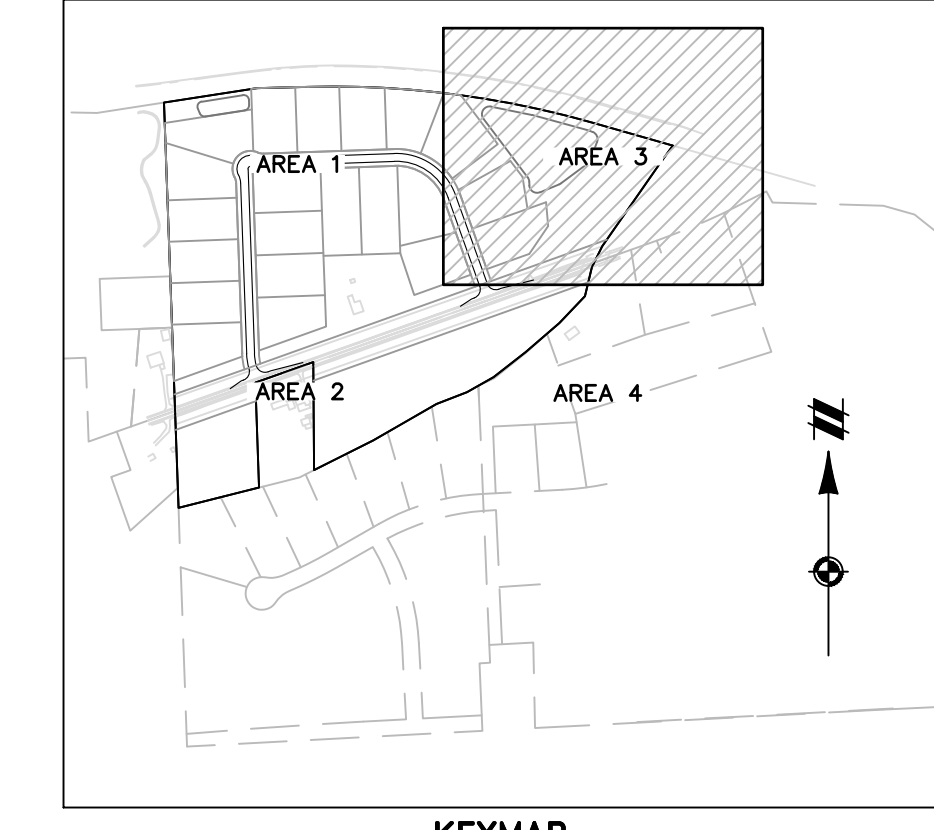
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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN
CLIENT	LOMBARDO HOMES	KINSLEY DEVELOPMENT	SITE PLAN
DATE	SEPTEMBER 28, 2022		
REVISIONS	11/01/22: PER TWP.		
SCALE	0 25 50 1" = 50 FEET		
DR.	SK	GH.	MC
BOOK	---		
JOB	21002863		
SHEET NO.	04		



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**BENCHMARK NOTES:**

- BM #1: SET MAG NAIL ON TOP OF WESTERLY MOST GUARDRAIL POST ON SOUTH SIDE OF PLYMOUTH ROAD ELEVATION: 821.64 (NAVDB8)
- BM #2: FOUND BENCHITE IN NORTH FACE OF UTILITY POLE IN SOUTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 827.67 (NAVDB8)
- BM #3: SET MAG NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 825.47 (NAVDB8)
- BM #4: SET PK NAIL IN EAST FACE OF UTILITY POLE IN NORTH RIGHT OF WAY OF PLYMOUTH ROAD ELEVATION: 833.44 (NAVDB8)

**SURVEY NOTES:**

- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATES (NAD83), SOUTH ZONE, GROUND DISTANCES, INTERNATIONAL FEET. MEASURED BEARINGS DIFFER FROM TITLE. VERTICAL DATUM IS BASED ON NAVD88.
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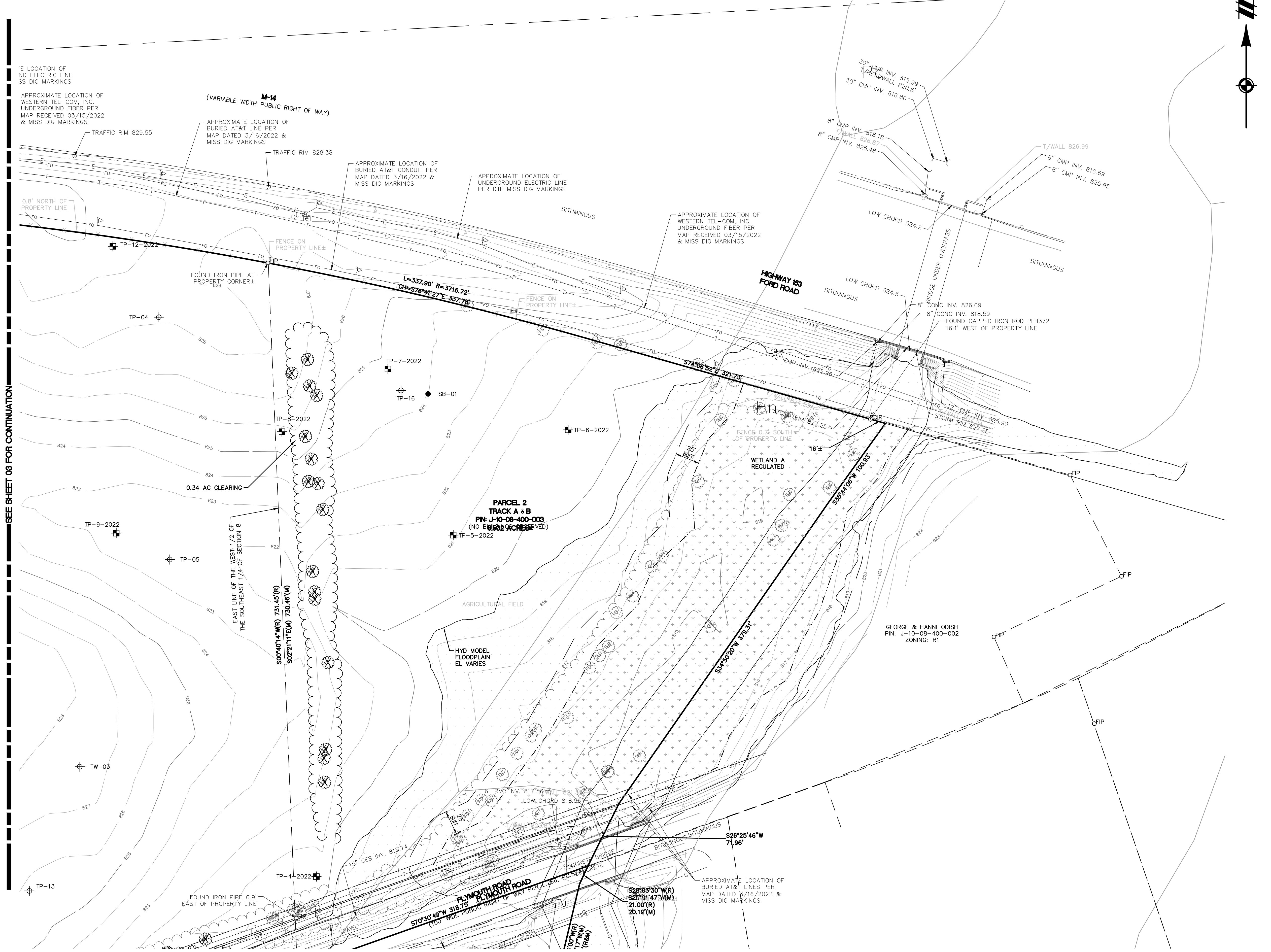
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**LEGEND**

	BOUNDARY LINE
	EXISTING EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXISTING SETBACK
	EXISTING CONTOUR
	EXISTING TREE LINE
	EXISTING CURB AND GUTTER
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	EXIST. SIGN
	EXIST. LIGHT POLE
	EXISTING EDGE OF WATER
	EXISTING TEST PIT LOCATION
	TEST PIT LOCATION (SEPTEMBER 2022)
	SOILS BOUNDARY
	SOILS TEXT

**REVISIONS**

SCALE	0	25	50
	1" = 50 FEET		
DR.	SK	CH.	MC
P.M.	MC		
BOOK	---		
JOB	21002863		
SHEET NO.	05		



SEE SHEET 03 FOR CONTINUATION

SEE SHEET 06 FOR CONTINUATION

W:\2022\21002863\PLAN SET\TITLE-FRONTMOUNTAIN.DWG: 11/27/2022 1:24 PM KEVIN SPERDIN

CLIENT: LOMBARDO HOMES

TOWN: 02 NORTH, RANGE 07 EAST

SECTION: 08

TOWNSHIP: SUPERIOR

COUNTY: WASHENAW

EXISTING CONDITIONS AREA 3

DATE: SEPTEMBER 28, 2022

11/01/22: PER TWP.

PRELIMINARY - NOT FOR CONSTRUCTION



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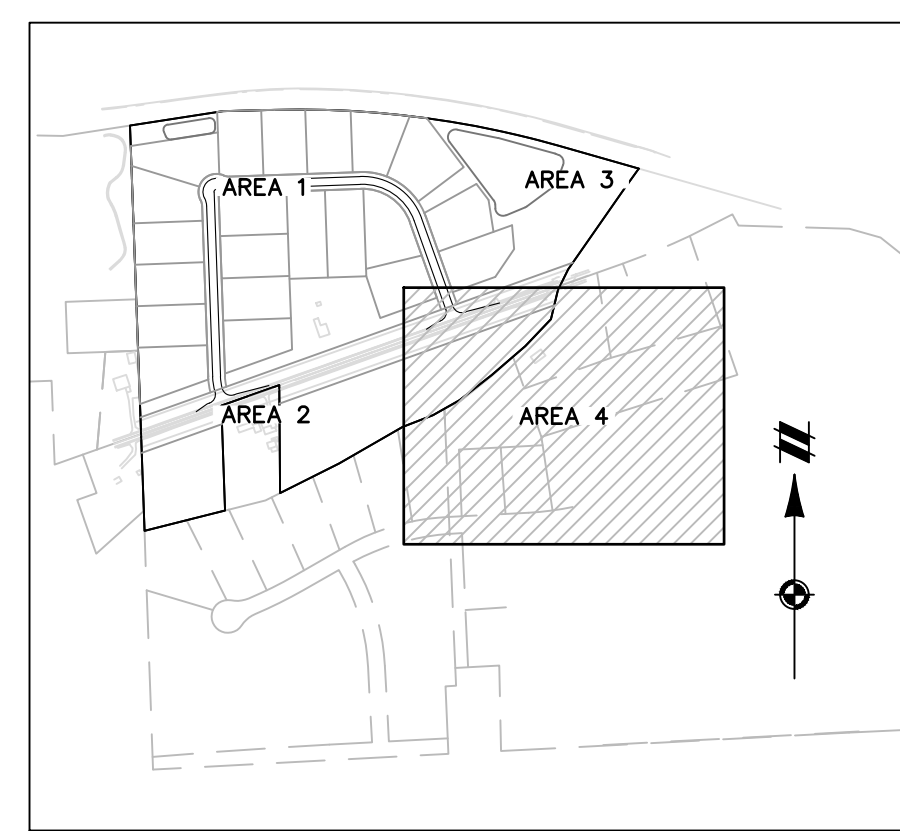
SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
EXISTING CONDITIONS AREA 4

DATE  
SEPTEMBER 28, 2022

Table with 2 columns: Date, Description. Row 1: 11/01/22: PER TWP.

Table with 2 columns: Revisions, Description. Row 1: 0, SCALE 0 25 50. Row 2: 1, 1" = 50 FEET. Row 3: DR. SK, CH. MC. Row 4: P.M. MC. Row 5: BOOK --. Row 6: JOB 21002863. Row 7: SHEET NO. 06.



KEYMAP  
SCALE: 1" = 750 FEET

**BENCHMARK NOTES:**

- BM #1: SET MAG NAIL ON TOP OF WESTERLY MOST GUARDRAIL POST ON SOUTH SIDE OF PLYMOUTH ROAD. ELEVATION: 821.64 (NAVD88)
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**SURVEY NOTES:**

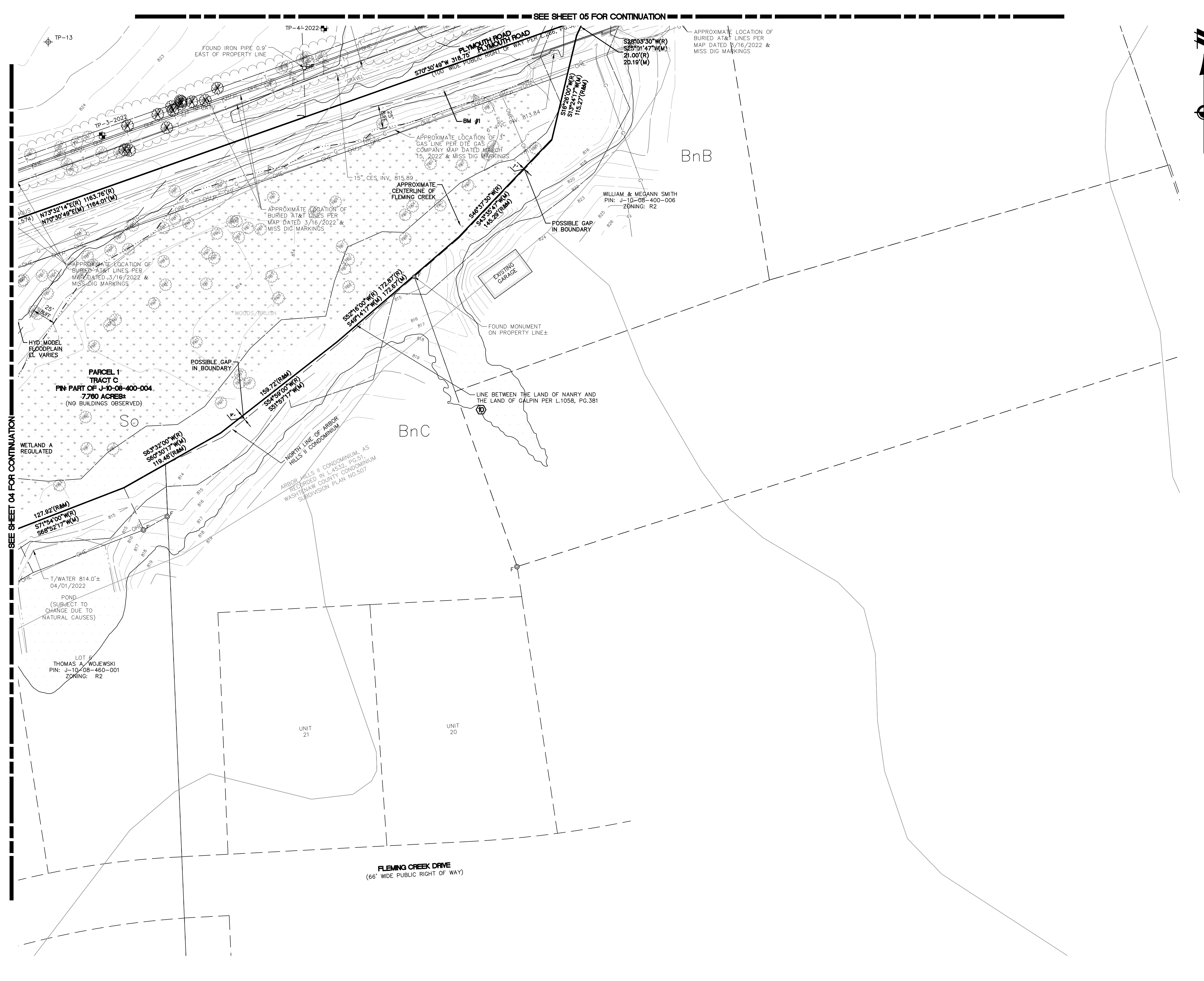
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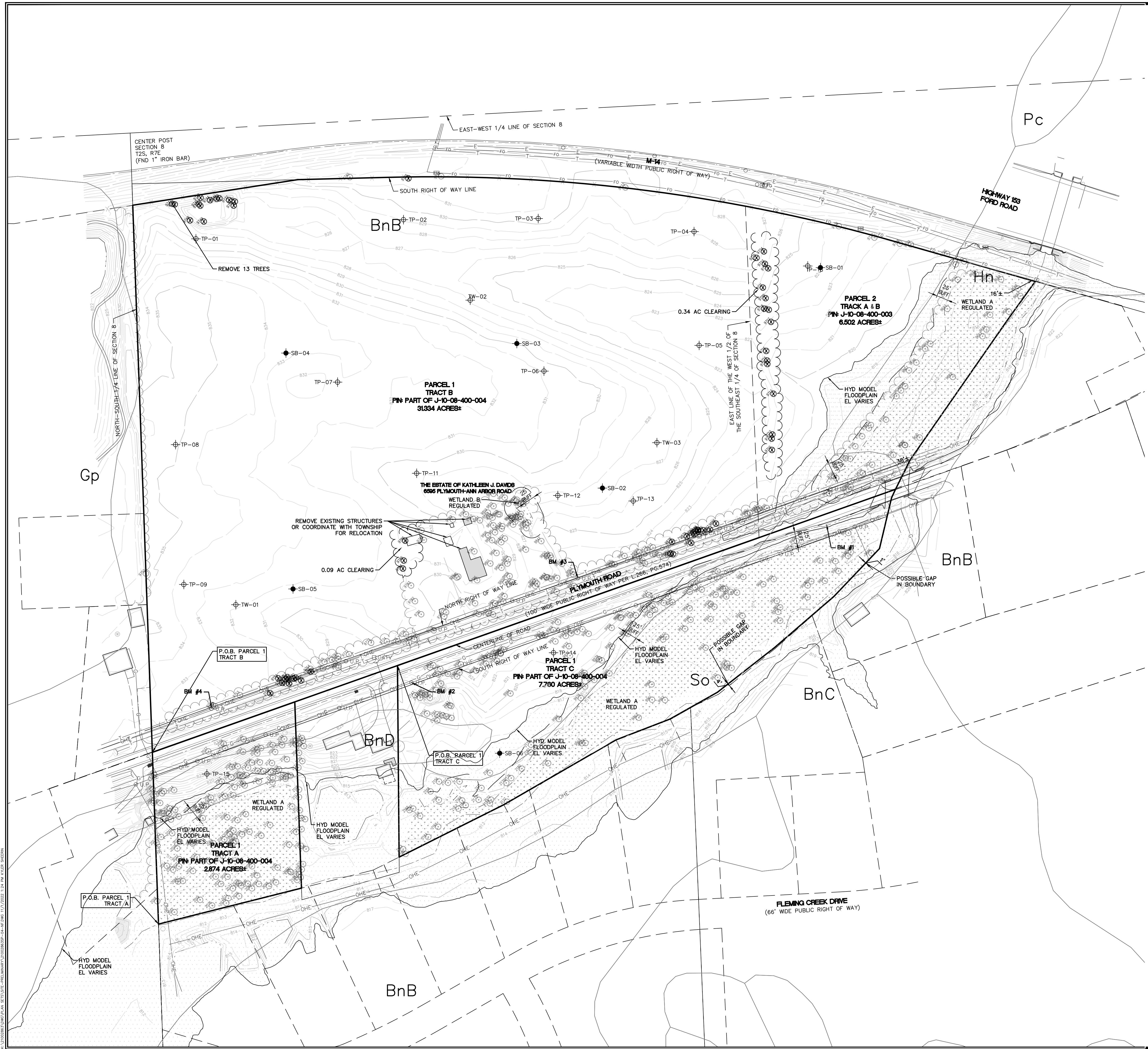
**LEGEND**

Legend table with symbols and descriptions: BOUNDARY LINE, EXISTING EASEMENT, SECTION LINE, BOUNDARY/PROPERTY LINE, EXISTING SETBACK, EXISTING CONTOUR, EXISTING TREE LINE, EXISTING CURB AND GUTTER, EXISTING FENCE, EXISTING BUILDING, EXISTING WETLAND, EXIST. WETLAND BUFFER, EXIST. WATER MAIN, EXISTING SANITARY, EXISTING GAS, EXISTING STORM, EXISTING OVERHEAD ELECTRICAL LINE, EXISTING OVERHEAD TELEPHONE LINE, EXIST. CULVERT, EXIST. CATCH BASIN/INLET, EXIST. HYDRANT, EXIST. VALVE, EXIST. SANITARY SEWER, EXIST. UNSPECIFIED UTILITY, EXIST. SIGN, EXIST. LIGHT POLE, EXISTING EDGE OF WATER, EXISTING TEST PIT LOCATION, SOILS BOUNDARY, SOILS TEXT.



SEE SHEET 04 FOR CONTINUATION

SEE SHEET 05 FOR CONTINUATION



**NATURAL FEATURES NOTE**  
 NATURAL FEATURES ON THE SITE CONSIST OF WETLAND, TREES, SLOPES AND AGRICULTURAL FIELD. WITH TWO MAIN HIGH POINTS ON THE SITE, ONE IN THE NORTHWEST PORTION AND THE SECOND SOUTHWEST, THE TOPOGRAPHY GENERALLY SLOPES NORTHEAST TO SOUTHWEST TOWARD THE FLEMING CREEK IN THE LOWER THIRD OF THE PROPERTY. THERE IS APPROXIMATELY 20 FEET OF TOPOGRAPHIC RELIEF ACROSS THE SITE. THE SITE IS RELATIVELY FLAT WITH THE STEEPEST SLOPE AT ROUGHLY 8%.

THERE ARE 2 WETLANDS ON THE SITE. THE LARGE CONTIGUOUS RIVERINE WETLAND (A) RUNNING WEST TO EAST ALONG FLEMING CREEK ALONG THE SOUTH (IN THE WEST) AND NORTH (IN THE EAST) SIDES OF PLYMOUTH ROAD, CROSSING AT THE APPROXIMATE SPLIT OF PARCELS 1 AND 2. WETLAND B IS A FORESTED SCRUB SHRUB WETLAND AND IS LOCATED IN THE SOUTH CENTER OF PARCEL 1 ON THE EXISTING HOME SITE THAT IS TO REMAIN. THE ON SITE DETENTION BASIN IS PROPOSED TO OUTLET UPSTREAM OF WETLAND A.

TREES ON THE SITE ALTHOUGH IN GOOD CONDITION, ARE NOT NECESSARILY HIGH QUALITY WITH RESPECT TO SPECIES. THE TREES EXIST LARGELY IN HEDGE ROWS AND SCATTERED CLUSTERS. THE PREDOMINANT SPECIES ARE ELM AND BOXELDER RANGING FROM 6"-57" WITH THE VAST MAJORITY IN THE 7"-17" RANGE.

**SOIL INFORMATION**

BnB	Boyer loamy sand, 1 to 6 percent slopes
BnC	Boyer loamy sand, 6 to 12 percent slopes
BnD	Boyer loamy sand, 12 to 18 percent slopes
Gp	Gravel pit 47.0 6.6%
Hn	Houghton muck, disintegration moraine, 0 to 2 percent slopes
Pc	Pella silt loam 2.2 0.3%
So	So Sloan silt loam, 0 to 1 percent slopes, frequently flooded

**LEGEND**

[Symbol]	BOUNDARY LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	SECTION LINE
[Symbol]	BOUNDARY/PROPERTY LINE
[Symbol]	EXISTING SETBACK
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING TREE LINE
[Symbol]	EXISTING CURB AND GUTTER
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING WETLAND
[Symbol]	EXIST. WETLAND BUFFER
[Symbol]	EXISTING WATER MAIN
[Symbol]	EXISTING SANITARY
[Symbol]	EXISTING GAS
[Symbol]	EXISTING STORM
[Symbol]	EXISTING OVERHEAD ELECTRICAL LINE
[Symbol]	EXISTING OVERHEAD TELEPHONE LINE
[Symbol]	EXIST. CULVERT
[Symbol]	EXIST. HYDRANT
[Symbol]	EXIST. VALVE
[Symbol]	EXIST. SANITARY SEWER
[Symbol]	EXIST. UNSPECIFIED UTILITY
[Symbol]	EXIST. SIGN
[Symbol]	EXIST. LIGHT POLE
[Symbol]	EXISTING EDGE OF WATER
[Symbol]	EXISTING TEST PIT LOCATION
[Symbol]	SOILS BOUNDARY
[Symbol]	Gp
[Symbol]	12%-18% SLOPES
[Symbol]	18%+ SLOPES
[Symbol]	FLOOD PLAIN
[Symbol]	EXISTING WETLAND
[Symbol]	WETLAND IMPACTS

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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN
CLIENT	LOMBARDO HOMES	KINSLEY DEVELOPMENT	
		SITE PLAN	
		NATURAL FEATURES PLAN	
DATE	SEPTEMBER 28, 2022		
	11/01/22: PER TWP.		
REVISIONS			
SCALE	0 50 100		
	1" = 100 FEET		
DR.	SK	GH	MC
P.M.	MC		
BOOK	---		
JOB	21002863		
SHEET NO.	07		



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SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

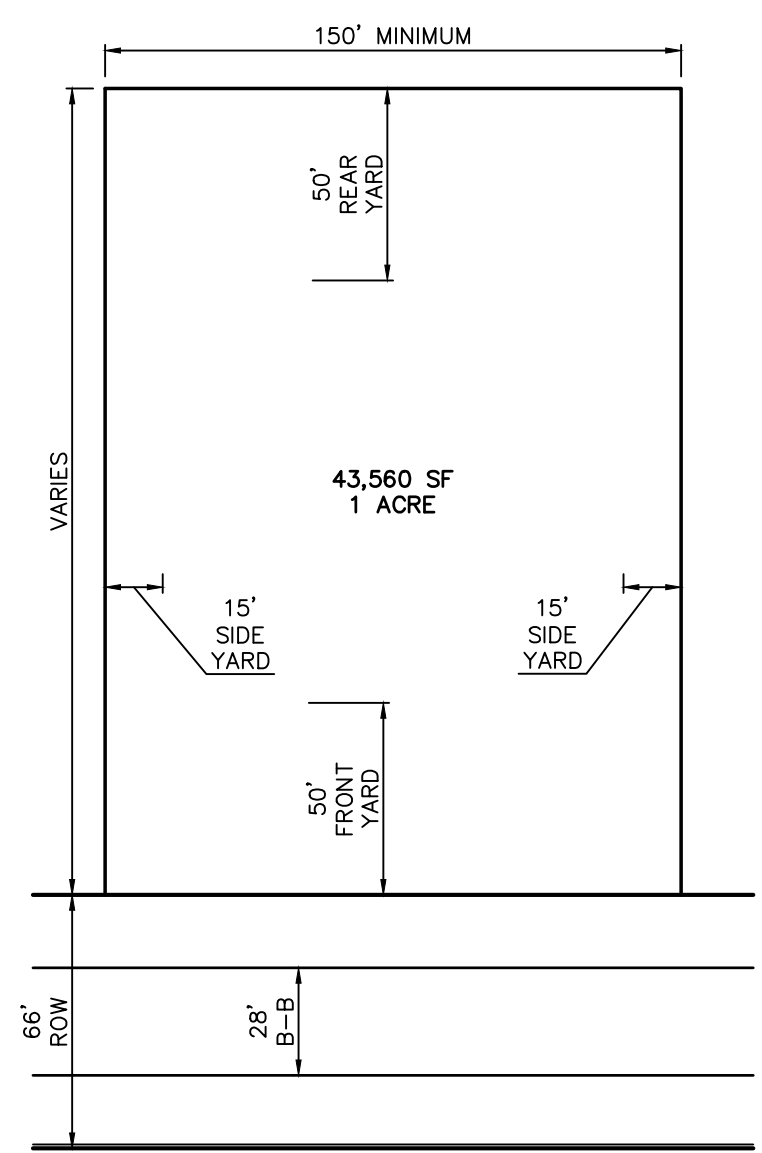
CLIENT  
**LOMBARDO HOMES**  
KINSLEY DEVELOPMENT  
SITE PLAN  
OVERALL LAYOUT PLAN

DATE  
SEPTEMBER 28, 2022

11/01/22: PER TWP.

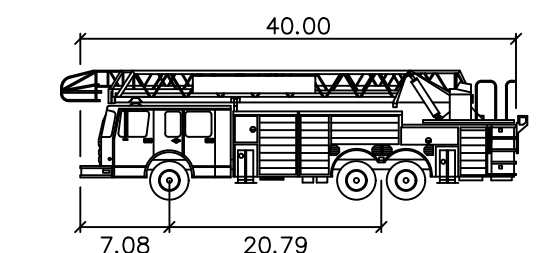
Table with 2 columns: REVISIONS, SCALE. Includes a graphic scale from 0 to 100 feet and the text '1" = 100 FEET'.

DR. SK CH. MC  
P.M. MC  
BOOK --  
JOB 21002863  
SHEET NO. **08**



UNIT DETAIL  
SCALE: 1" = 50 FEET

Parcel #	Area
1	47959.13
2	43795.98
3	43808.00
4	43820.03
5	47485.38
6	49769.54
7	43837.13
8	43678.30
9	43620.12
10	43579.06
11	55514.66
12	43596.12
13	44224.87
14	43598.38
15	48406.47
16	51220.43
17	51208.03
18	43742.07
19	43724.90
20	43725.64
21	43654.75



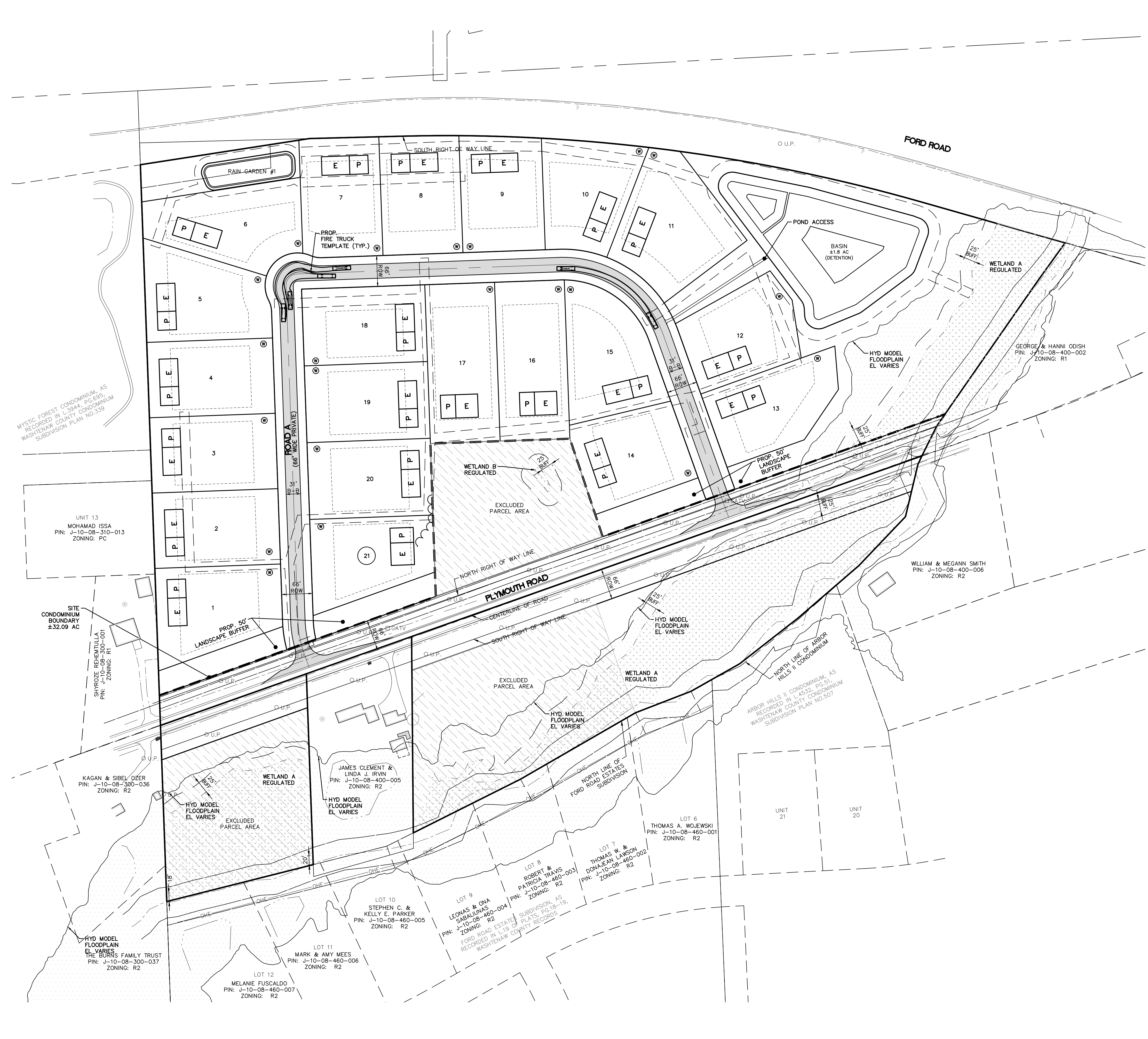
T-2 FIRETRUCK DETAIL  
NOT TO SCALE

LAYOUT NOTES

- 1. THE DEVELOPMENT WILL CONTAIN PRIVATE ROADS. THE PROPOSED CONNECTION WILL BE COORDINATED WITH THE WASHTENAW COUNTY ROAD COMMISSION.
- 2. NO ON-STREET PARKING IS PROPOSED. UNIT GARAGE AND DRIVEWAY PARKING EXCEEDS CITY PARKING REQUIREMENTS. NO PARKING SIGNAGE TO BE PLACED IN AREAS OF ROAD CURVE RADI LESS THAN 230'.
- 3. ALL ON-SITE SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE MMUTCD.
- 4. BUILDING SIZE TO BE FINALIZED AND SHOWN IN FUTURE PLANS. BUILDING LOCATION AND DISTANCES BETWEEN ARE SUBJECT TO CHANGE.
- 5. SEE SHEET 33 FOR OPEN SPACE EXHIBIT.

LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	PROP. SETBACK
	PROP. LOT LINE
	PROP. ROAD CENTERLINE
	PROP. BACK OF CURB
	PROP. ASPH.
	PROP. DETENTION
	PROP. EASEMENT
	PROP. WELL
	PROP. SEPTIC FIELD
	PROP. CONDOMINIUM BOUNDARY



MYSTIC FOREST CONDOMINIUM, AS RECORDED IN L-2944, PG. 695, WASHTENAW COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 539

UNIT 13 MOHAMAD ISSA PIN: J-10-08-310-013 ZONING: PC

SITE CONDOMINIUM BOUNDARY ±32.09 AC

SHAYROZE BEHENULLA PIN: J-10-08-300-001 ZONING: R1

KAGAN & SIBEL OZER PIN: J-10-08-300-036 ZONING: R2

HYD MODEL FLOODPLAIN EL VARIES THE BURNS FAMILY TRUST PIN: J-10-08-300-037 ZONING: R2

LOT 12 MELANIE FUSCALDO PIN: J-10-08-460-007 ZONING: R2

LOT 11 MARK & AMY MEES PIN: J-10-08-460-006 ZONING: R2

JAMES CLEMENT & LINDA J. IRVIN PIN: J-10-08-400-005 ZONING: R2

HYD MODEL FLOODPLAIN EL VARIES

LOT 10 STEPHEN C. & KELLY E. PARKER PIN: J-10-08-460-005 ZONING: R2

LOT 9 LEONAS & ONA SABALLINAS PIN: J-10-08-460-004 ZONING: R2

LOT 8 ROBERT & PATRICIA TRAVIS PIN: J-10-08-460-003 ZONING: R2

LOT 7 THOMAS W. & DONAJAN LAWSON PIN: J-10-08-460-002 ZONING: R2

LOT 6 THOMAS A. WOJEWSKI PIN: J-10-08-460-001 ZONING: R2

WILLIAM & MEGANN SMITH PIN: J-10-08-400-006 ZONING: R2

ARBOR HILLS I CONDOMINIUM, AS RECORDED IN L-4532, PG. 57, WASHTENAW COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 507

HYD MODEL FLOODPLAIN EL VARIES

WETLAND A REGULATED

EXCLUDED PARCEL AREA

HYD MODEL FLOODPLAIN EL VARIES

WETLAND B REGULATED

EXCLUDED PARCEL AREA

HYD MODEL FLOODPLAIN EL VARIES

WETLAND A REGULATED

EXCLUDED PARCEL AREA

HYD MODEL FLOODPLAIN EL VARIES

WETLAND B REGULATED

EXCLUDED PARCEL AREA





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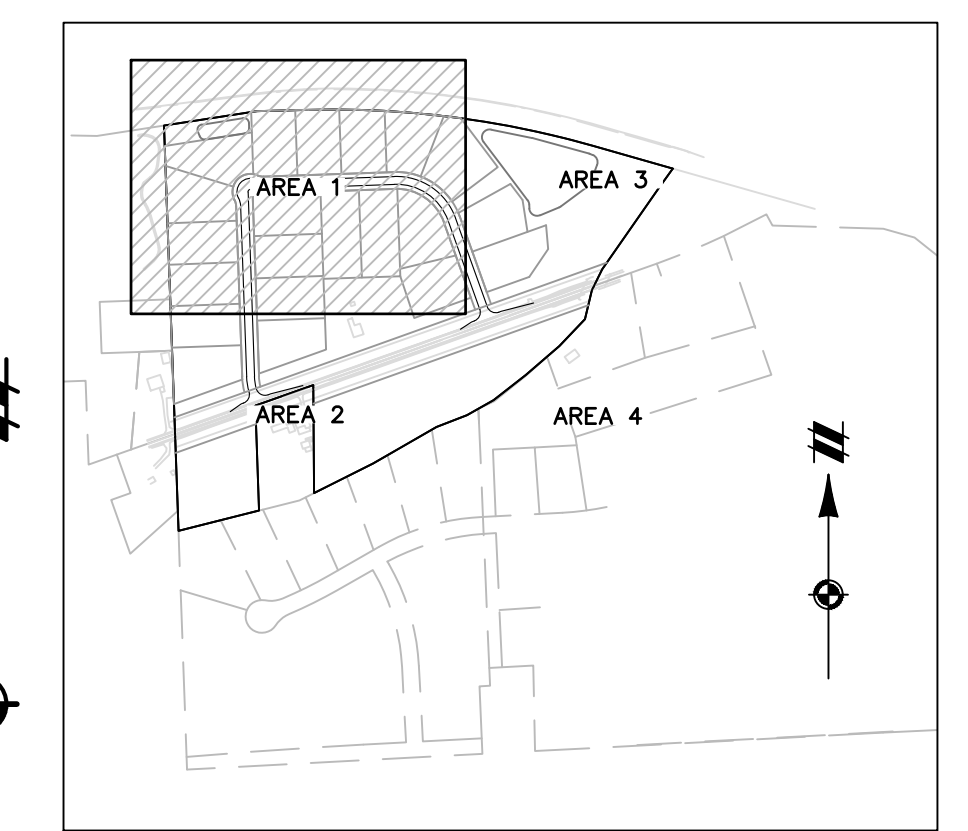
SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
**LOMBARDO HOMES**  
KINSLEY DEVELOPMENT  
SITE PLAN  
LAYOUT PLAN AREA 1

DATE  
SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS  
SCALE 0 25 50  
1" = 50 FEET  
DR. SK CH. MC  
P.M. MC  
BOOK --  
JOB 21002863  
SHEET NO. **09**



KEYMAP  
SCALE: 1" = 750 FEET

Parcel #	Area
1	47959.13
2	43795.96
3	43808.00
4	43820.03
5	47485.38
6	49769.54
7	43837.13
8	43678.30
9	43620.12
10	43579.06
11	55514.66
12	43596.12
13	44224.87
14	43598.38
15	48406.47
16	51220.43
17	51208.03
18	43742.07
19	43724.90
20	43725.64
21	43654.75

LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	PROP. SETBACK
	PROP. LOT LINE
	PROP. ROAD CENTERLINE
	PROP. BACK OF CURB
	PROP. ASPH.
	PROP. DETENTION
	PROP. EASEMENT
	PROP. WELL
	PROP. SEPTIC FIELD
	PROP. CONDOMINIUM BOUNDARY



SEE SHEET 11 FOR CONTINUATION

SEE SHEET 10 FOR CONTINUATION



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SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHENAW COUNTY, MICHIGAN

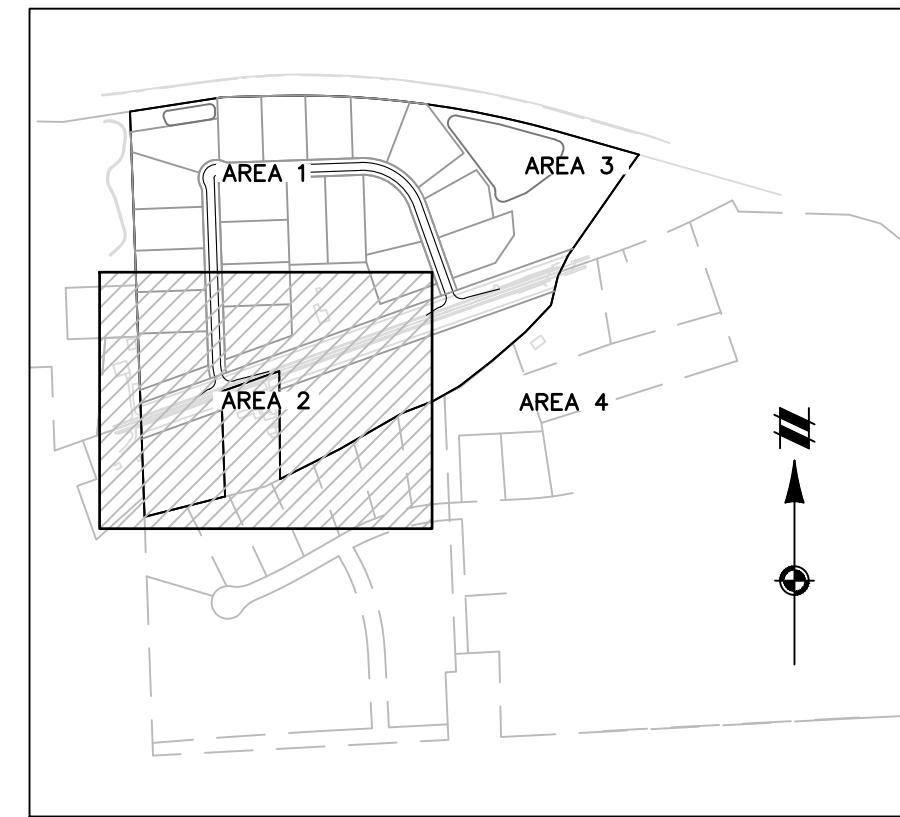
CLIENT  
LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
LAYOUT PLAN AREA 2

DATE  
SEPTEMBER 28, 2022

11/01/22: PER TWP.

Table with 2 columns: REVISIONS, SCALE. Includes a graphic scale from 0 to 50 feet.

Table with 2 columns: REVISIONS, SCALE. Includes a graphic scale from 0 to 50 feet.



KEYMAP  
SCALE: 1" = 750 FEET

Parcel Table with 2 columns: Parcel #, Area. Lists parcels 1 through 21 with their respective areas.

LEGEND defining symbols for: BOUNDARY LINE, EXIST. EASEMENT, SECTION LINE, BOUNDARY/PROPERTY LINE, EXIST. SETBACK, EXIST. TREE LINE, EXIST. CURB AND GUTTER, EXIST. BUILDING, EXISTING WETLAND, EXIST. WETLAND BUFFER, PROP. SETBACK, PROP. LOT LINE, PROP. ROAD CENTERLINE, PROP. BACK OF CURB, PROP. ASPH., PROP. DETENTION, PROP. EASEMENT, PROP. WELL, PROP. SEPTIC FIELD, PROP. CONDOMINIUM BOUNDARY.

SEE SHEET 12 FOR CONTINUATION

SEE SHEET 09 FOR CONTINUATION





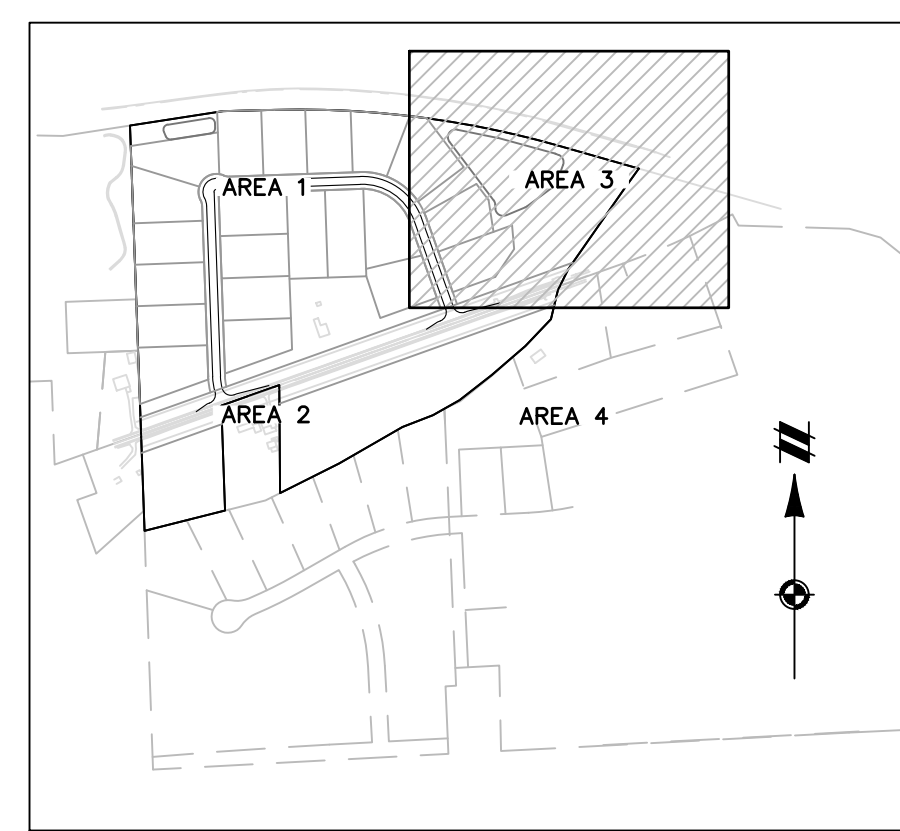
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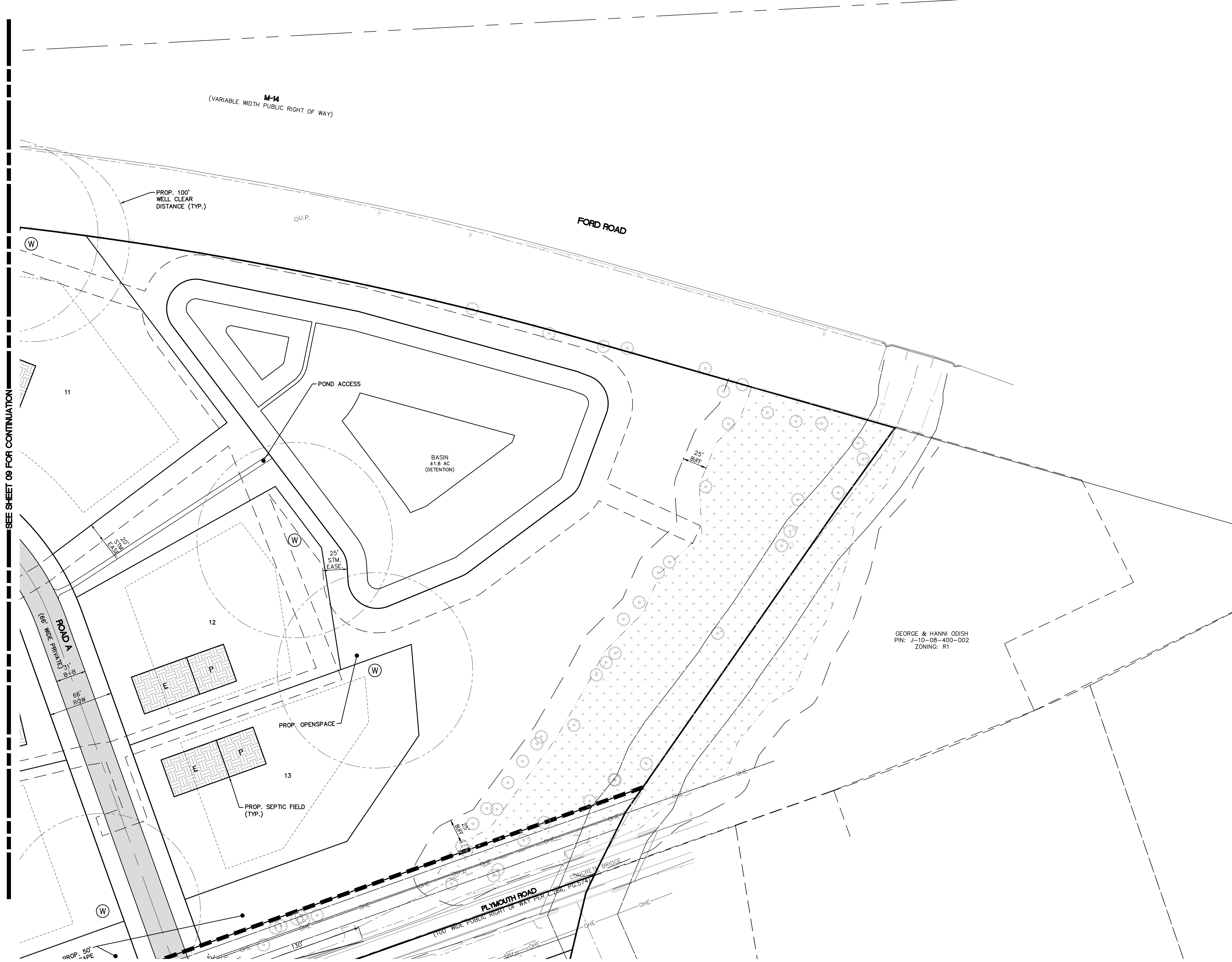
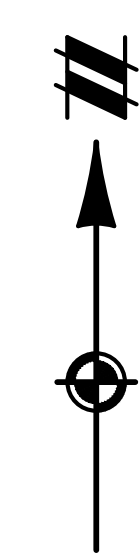
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KEYMAP  
SCALE: 1" = 750 FEET



Parcel #	Area
1	47959.13
2	43795.96
3	43808.00
4	43820.03
5	47485.38
6	49769.54
7	43837.13
8	43678.30
9	43620.12
10	43579.06
11	55514.66
12	43596.12
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14	43598.38
15	48406.47
16	51220.43
17	51208.03
18	43742.07
19	43724.90
20	43725.64
21	43654.75

LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	PROP. SETBACK
	PROP. LOT LINE
	PROP. ROAD CENTERLINE
	PROP. BACK OF CURB
	PROP. ASPH.
	PROP. DETENTION
	PROP. EASEMENT
	PROP. WELL
	PROP. SEPTIC FIELD
	PROP. CONDOMINIUM BOUNDARY

SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTEENAW COUNTY, MICHIGAN

CLIENT  
**LOMBARDO HOMES**  
KINSLEY DEVELOPMENT  
SITE PLAN  
LAYOUT PLAN AREA 3

DATE  
SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS	

SCALE 0 25 50  
1" = 50 FEET  
DR. SK CH. MC  
P.M. MC  
BOOK --  
JOB 21002863  
SHEET NO. 11

SEE SHEET 09 FOR CONTINUATION

SEE SHEET 12 FOR CONTINUATION



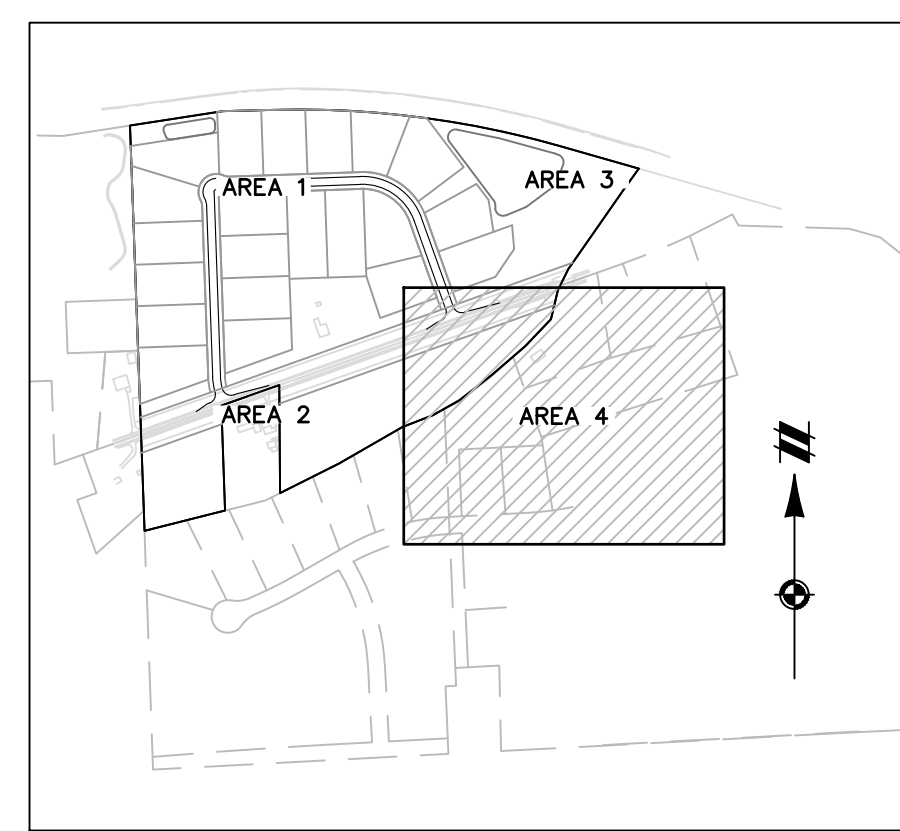
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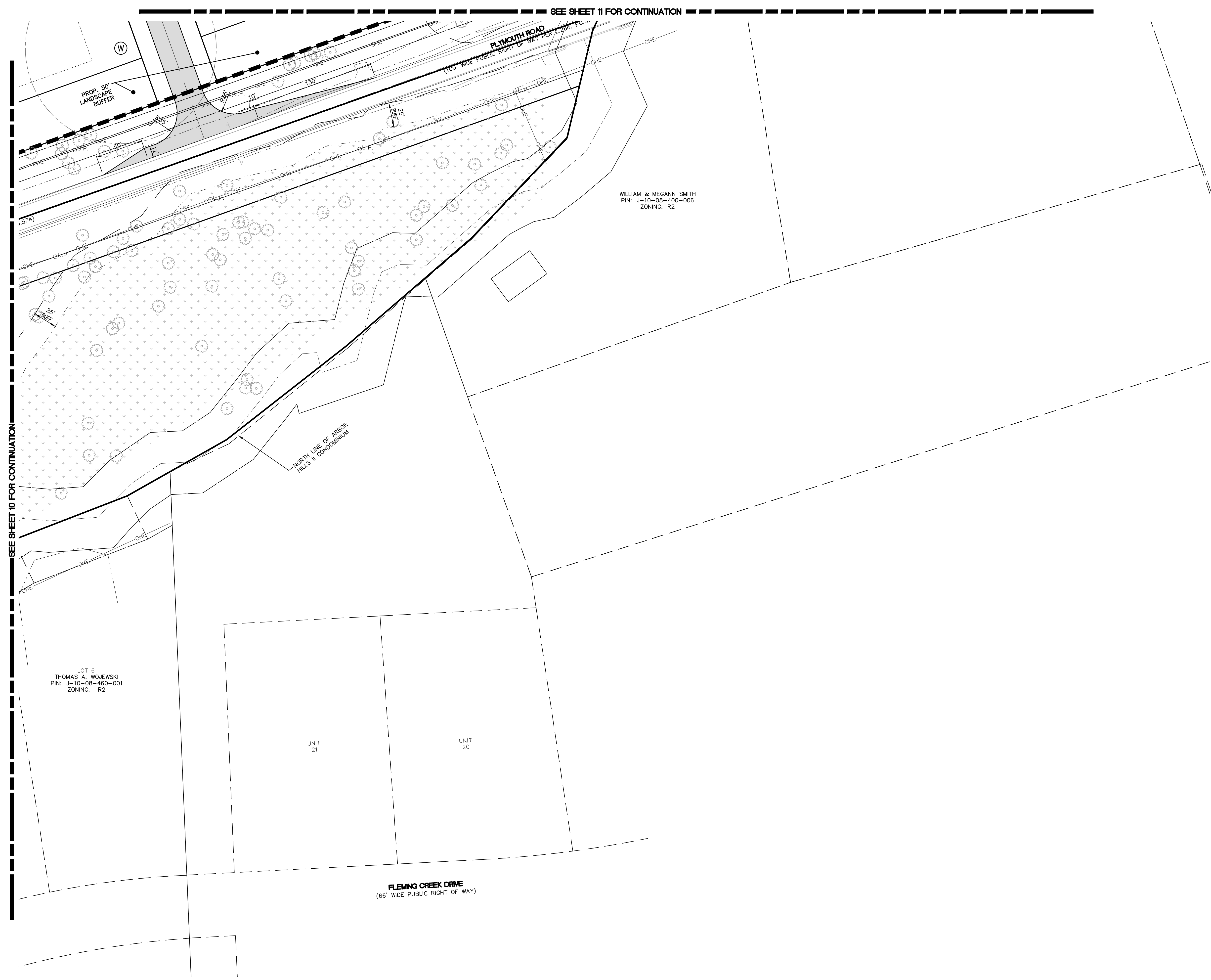
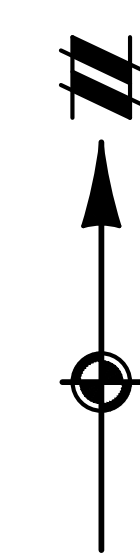
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KEYMAP  
SCALE: 1" = 750 FEET



SEE SHEET 10 FOR CONTINUATION

SEE SHEET 11 FOR CONTINUATION

Parcel #	Area
1	47959.13
2	43795.96
3	43808.00
4	43820.03
5	47485.38
6	49769.54
7	43837.13
8	43678.30
9	43620.12
10	43579.06
11	55514.66
12	43596.12
13	44224.87
14	43598.38
15	48406.47
16	51220.43
17	51208.03
18	43742.07
19	43724.90
20	43725.64
21	43654.75

**LEGEND**

- BOUNDARY LINE
- EXIST. EASEMENT
- SECTION LINE
- BOUNDARY/PROPERTY LINE
- EXIST. SETBACK
- EXIST. TREE LINE
- EXIST. CURB AND GUTTER
- EXIST. BUILDING
- EXISTING WETLAND
- EXIST. WETLAND BUFFER
- PROP. SETBACK
- PROP. LOT LINE
- PROP. ROAD CENTERLINE
- PROP. BACK OF CURB
- PROP. ASPH.
- PROP. DETENTION
- PROP. EASEMENT
- PROP. WELL
- PROP. SEPTIC FIELD
- PROP. CONDOMINIUM BOUNDARY

SECTION 08  
 TOWN 02 NORTH, RANGE 07 EAST  
 SUPERIOR TOWNSHIP  
 WASHTEENAW COUNTY, MICHIGAN

CLIENT  
 LOMBARDO HOMES  
 KINSLEY DEVELOPMENT  
 SITE PLAN  
 LAYOUT PLAN AREA 4

DATE  
SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS

SCALE	0	25	50
	1" = 50 FEET		
DR.	SK	CH.	MC
P.M.	MC		
BOOK			
JOB	21002863		
SHEET NO.	12		





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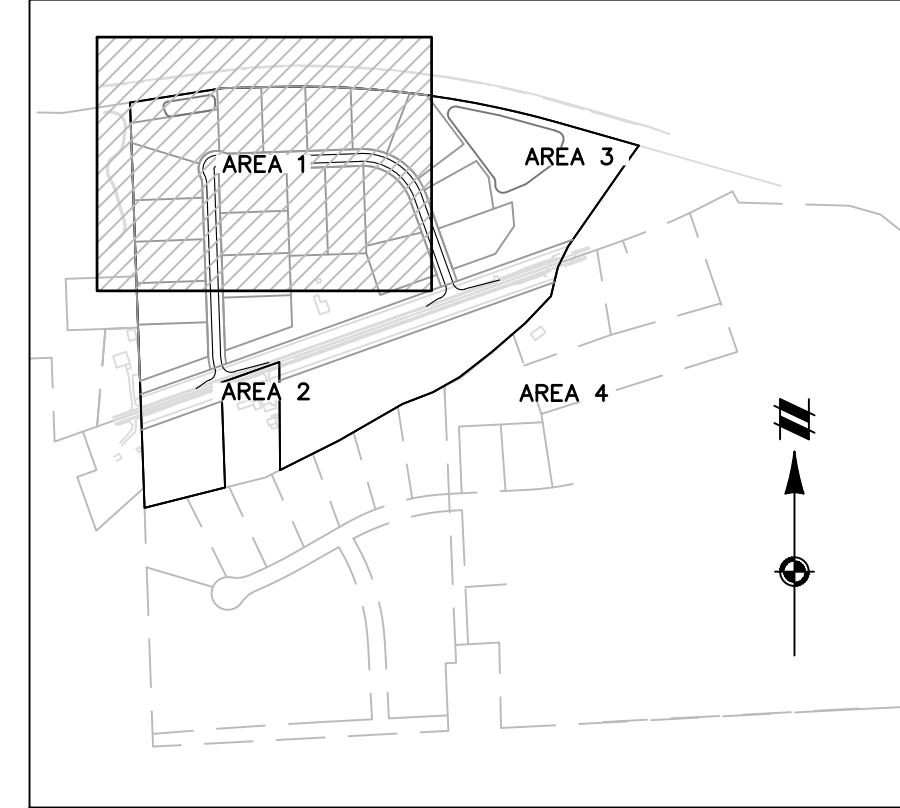
SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
UTILITIES PLAN AREA 1

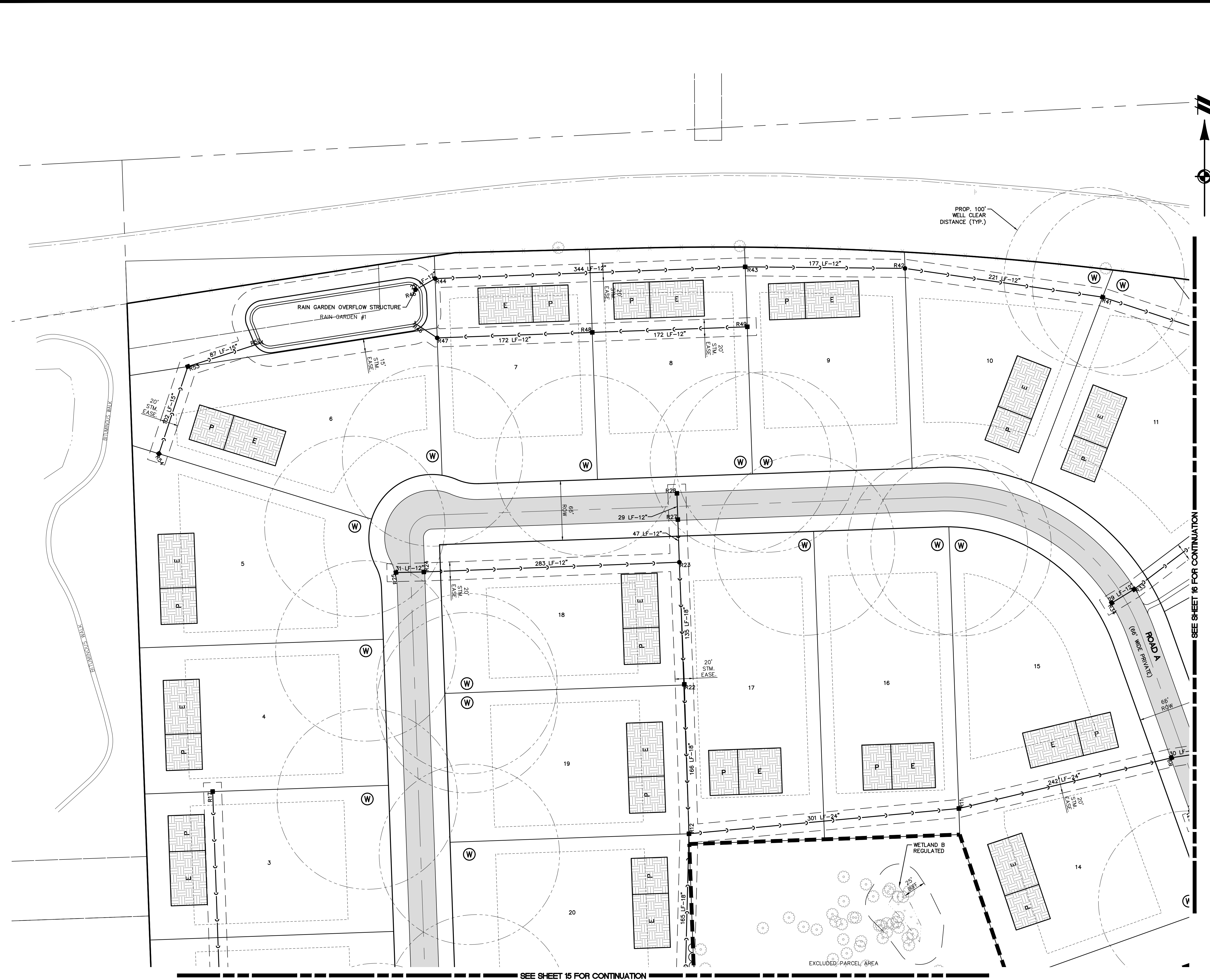
DATE  
SEPTEMBER 28, 2022

Table with 2 columns: REVISIONS, and rows for revision tracking.

SCALE 0 25 50  
1" = 50 FEET  
DR. SK CH. MC  
P.M. MC  
BOOK --  
JOB 21002863  
SHEET NO. 14



KEYMAP  
SCALE: 1" = 750 FEET

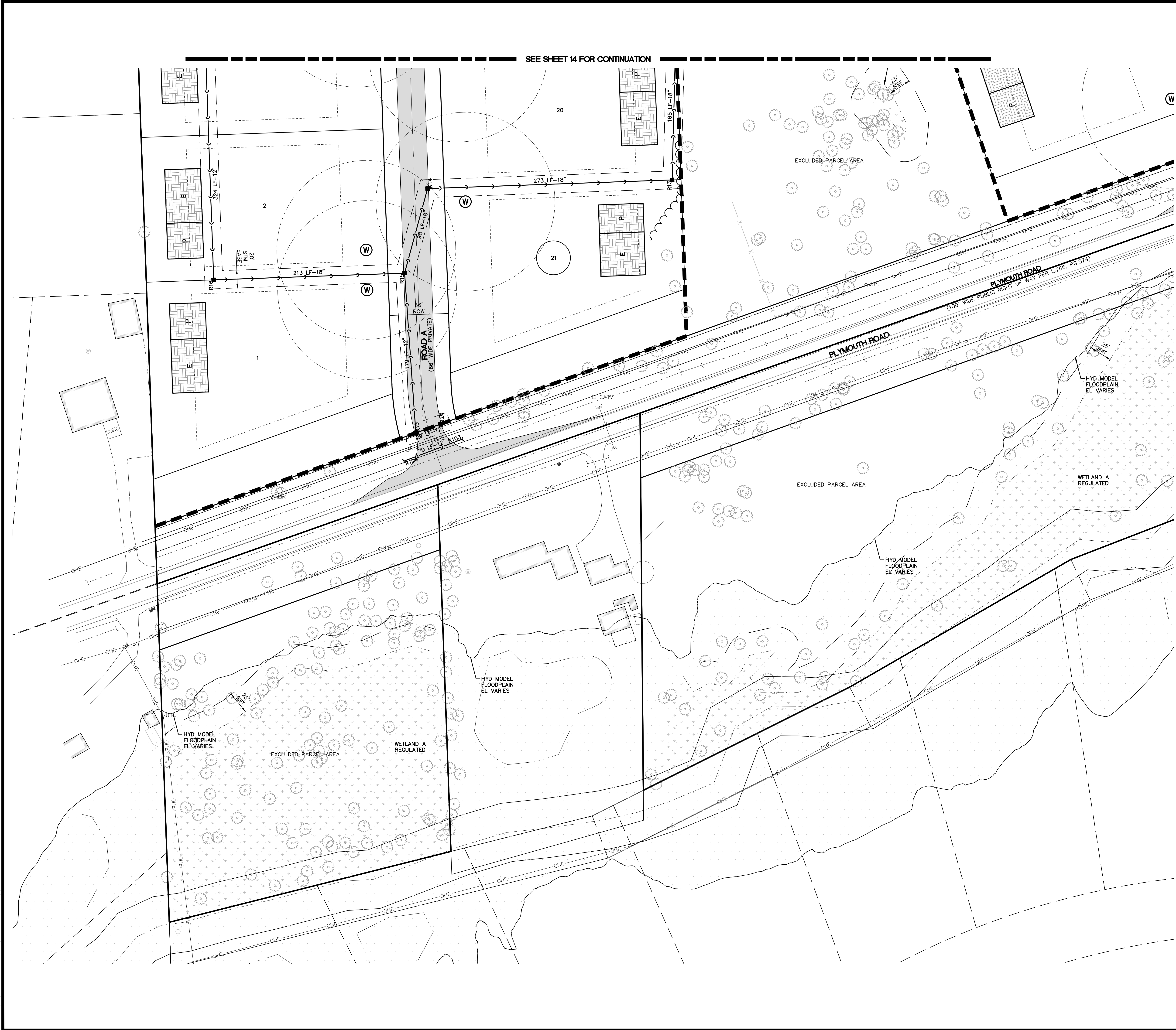


SEE SHEET 15 FOR CONTINUATION

SEE SHEET 16 FOR CONTINUATION

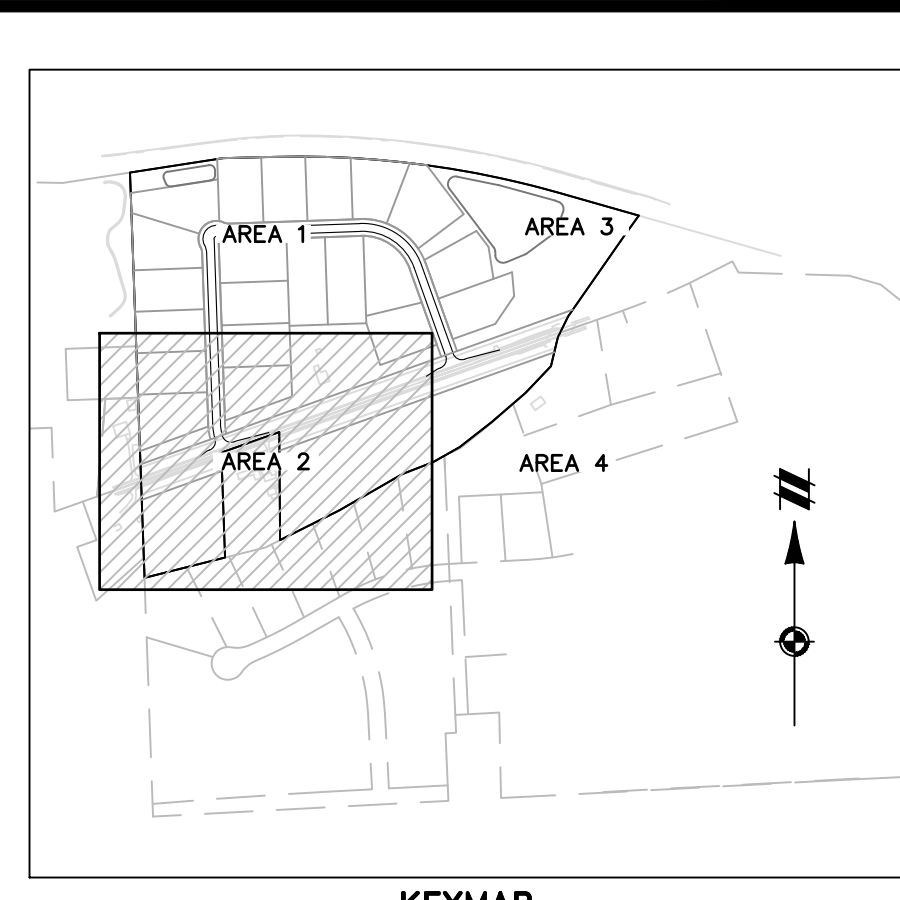
LEGEND table with symbols and descriptions for various utility and site features.

K:\UTILITY\UTILITY PLAN\REVISIONS\11/2022\11/2022 - 12:30 PM - WJL\SHIFEN



SEE SHEET 14 FOR CONTINUATION

SEE SHEET 17 FOR CONTINUATION



KEYMAP  
SCALE: 1" = 750 FEET

LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
	EXIST. GAS
	EXIST. STORM
	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	PROP. SETBACK
	PROP. EDGE OF ASPHALT
	PROP. LOT LINE
	PROP. DETENTION
	PROP. EASEMENT
	PROP. STORM SEWER
	PROP. CULVERT
	PROP. CATCH BASIN/INLET
	PROP. SEPTIC
	PROP. WELL
	PROP. CONDOMINIUM BOUNDARY

**811**  
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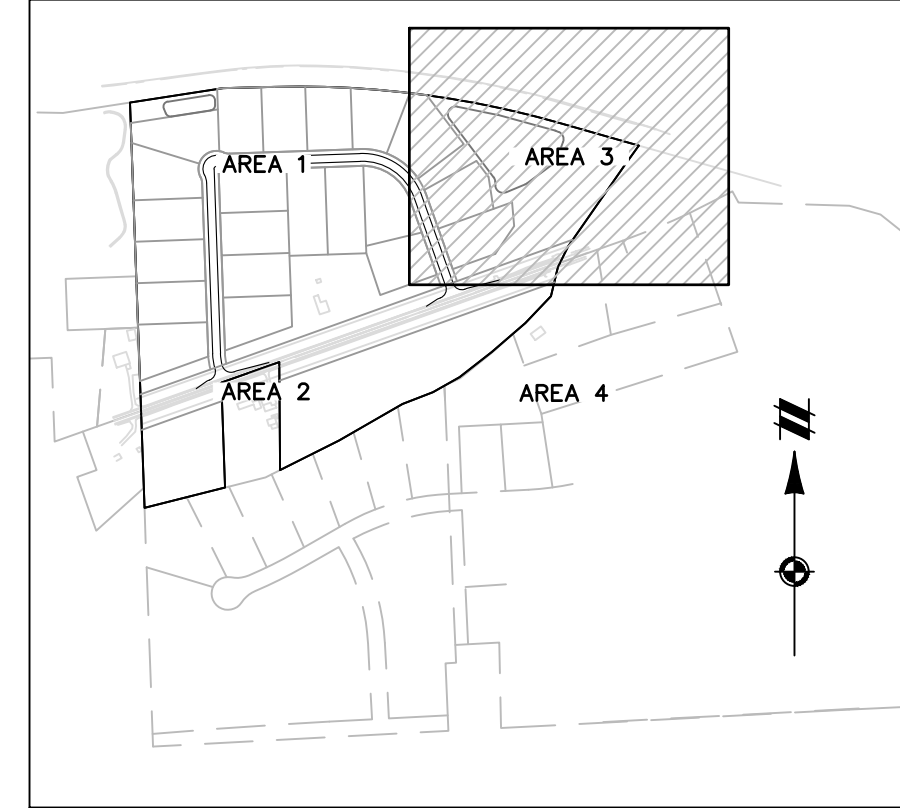
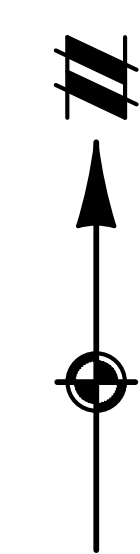
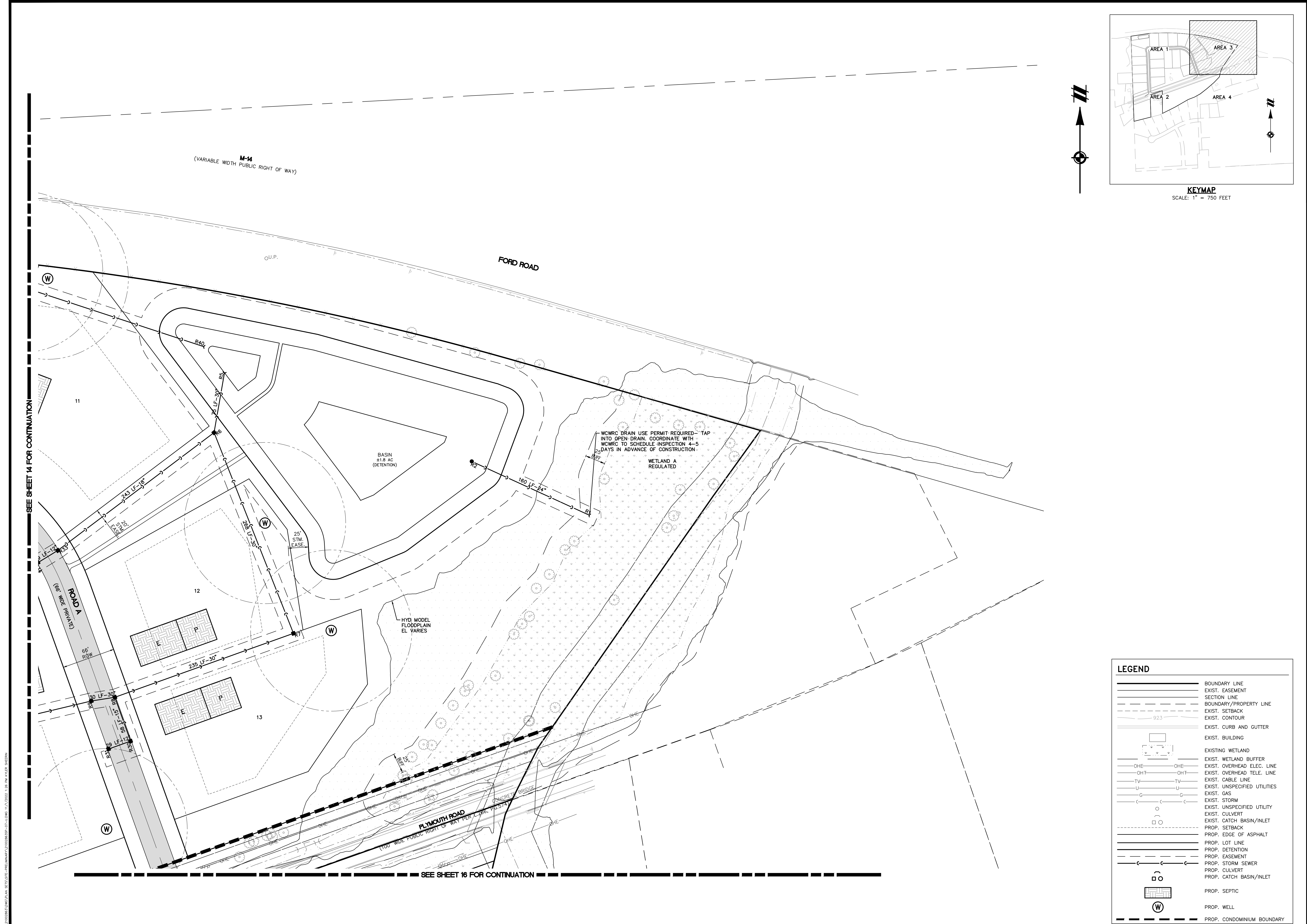
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SECTION 08	CLIENT
TOWN 02 NORTH, RANGE 07 EAST	LOMBARDO HOMES
SUPERIOR TOWNSHIP	KINSLEY DEVELOPMENT
WASHTENAW COUNTY, MICHIGAN	SITE PLAN
	UTILITIES PLAN AREA 2

DATE: SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS	
SCALE	0 25 50
	1" = 50 FEET
DR.	SK CH. MC
P.M.	MC
BOOK	--
JOB	21002863
SHEET NO.	15



**KEYMAP**  
SCALE: 1" = 750 FEET

LEGEND	
[Symbol]	BOUNDARY LINE
[Symbol]	EXIST. EASEMENT
[Symbol]	SECTION LINE
[Symbol]	BOUNDARY/PROPERTY LINE
[Symbol]	EXIST. SETBACK
[Symbol]	EXIST. CONTOUR
[Symbol]	EXIST. CURB AND GUTTER
[Symbol]	EXIST. BUILDING
[Symbol]	EXISTING WETLAND
[Symbol]	EXIST. WETLAND BUFFER
[Symbol]	EXIST. OVERHEAD ELEC. LINE
[Symbol]	EXIST. OVERHEAD TELE. LINE
[Symbol]	EXIST. CABLE LINE
[Symbol]	EXIST. UNSPECIFIED UTILITIES
[Symbol]	EXIST. GAS
[Symbol]	EXIST. STORM
[Symbol]	EXIST. UNSPECIFIED UTILITY
[Symbol]	EXIST. CULVERT
[Symbol]	EXIST. CATCH BASIN/INLET
[Symbol]	PROP. SETBACK
[Symbol]	PROP. EDGE OF ASPHALT
[Symbol]	PROP. LOT LINE
[Symbol]	PROP. DETENTION
[Symbol]	PROP. EASEMENT
[Symbol]	PROP. STORM SEWER
[Symbol]	PROP. CULVERT
[Symbol]	PROP. CATCH BASIN/INLET
[Symbol]	PROP. SEPTIC
[Symbol]	PROP. WELL
[Symbol]	PROP. CONDOMINIUM BOUNDARY

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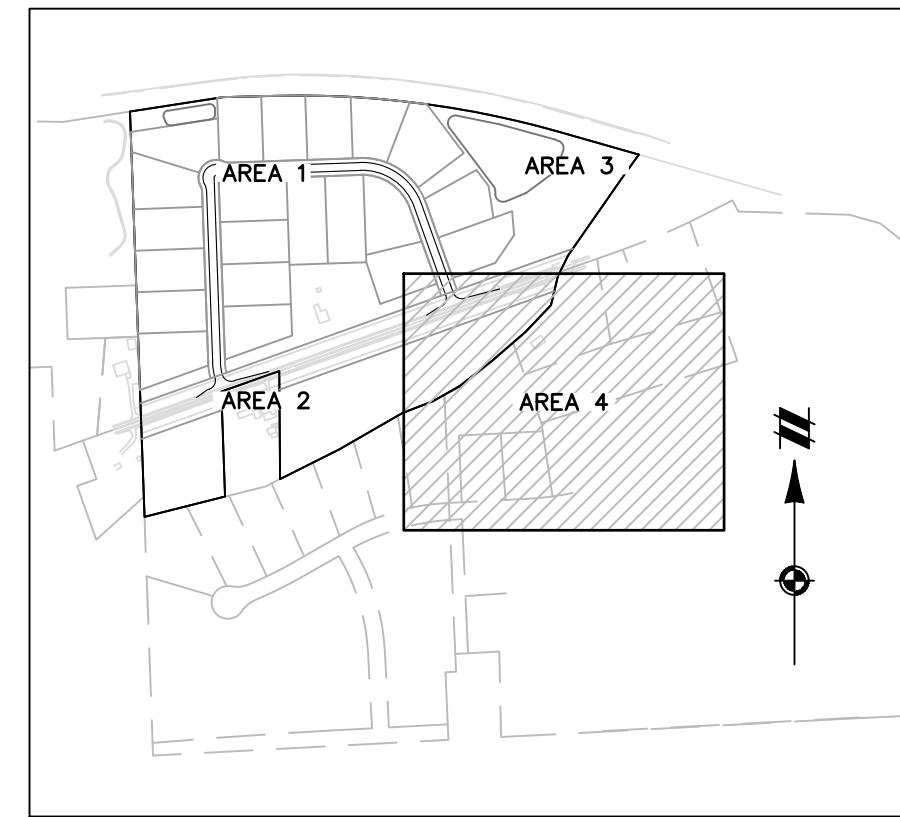
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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN
CLIENT	LOMBARDO HOMES KINSLEY DEVELOPMENT SITE PLAN		
DATE	SEPTEMBER 28, 2022		
11/01/22:	PER TWP.		
REVISIONS			
SCALE	0 25 50 1" = 50 FEET		
DR.	SK	CH.	MC
P.M.	MC		
BOOK	--		
JOB	21002863		
SHEET NO.	16		





KEYMAP  
SCALE: 1" = 750 FEET

LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
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	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
	EXIST. GAS
	EXIST. STORM
	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	PROP. SETBACK
	PROP. EDGE OF ASPHALT
	PROP. LOT LINE
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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	CLIENT
SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN	LOMBARDO HOMES
KINSLEY DEVELOPMENT	SITE PLAN	DATE
UTILITIES PLAN AREA 4	SEPTEMBER 28, 2022	11/01/22: PER TWP.
REVISIONS		
SCALE	0 25 50	P.M. MC
1" = 50 FEET	DR. SK	CH. MC
BOOK	JOB 21002863	SHEET NO.
17		



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SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

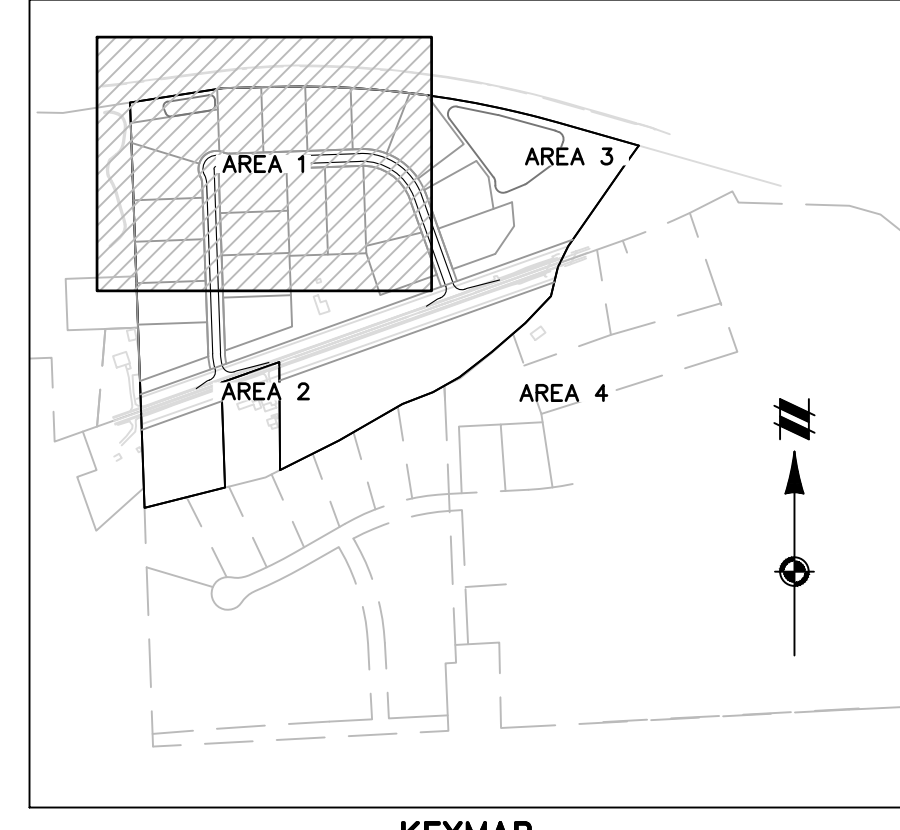
CLIENT  
**LOMBARDO HOMES**  
KINSLEY DEVELOPMENT  
**SITE PLAN**  
GRADING PLAN AREA 1

DATE  
SEPTEMBER 28, 2022

11/01/22: PER TWP.

NO.	REVISIONS

SCALE 0 25 50  
1" = 50 FEET  
DR. SK CH. MC  
P.M. MC  
BOOK --  
JOB 21002863  
SHEET NO.  
18



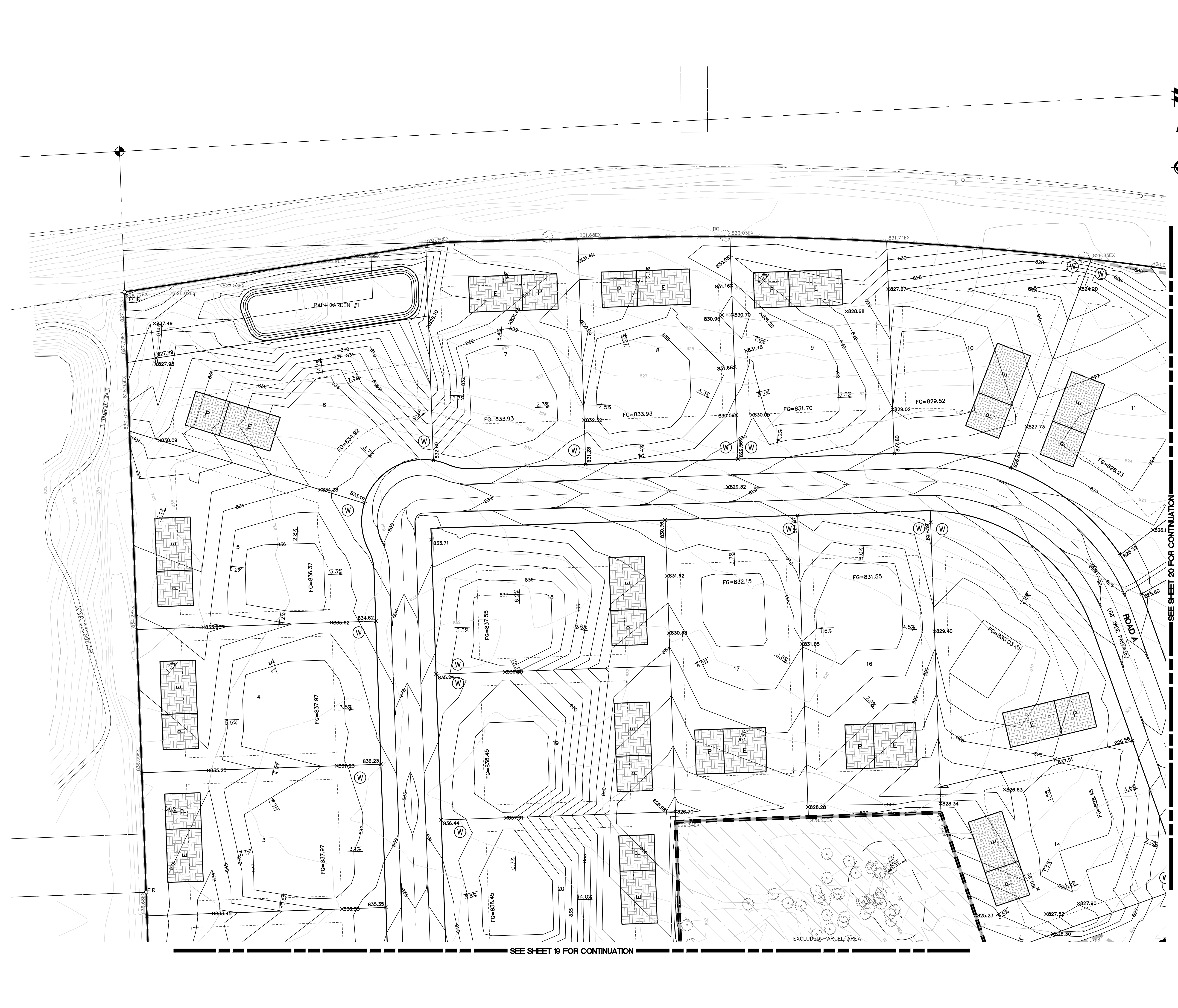
KEYMAP  
SCALE: 1" = 750 FEET

SPOT GRADE DESIGNATIONS

FG = FINISH GRADE  
DBL = DROP BRICK LEDGE  
GV = GARDEN VIEW  
DLV = DAYLIGHT VIEW  
WO = WALKOUT  
RIM = RIM GRADE/FLOW LINE  
HP = HIGH POINT  
TC = TOP OF CURB  
TW = TOP OF WALK  
T/WALL = TOP OF WALL  
B/WALL = BOTTOM OF WALL

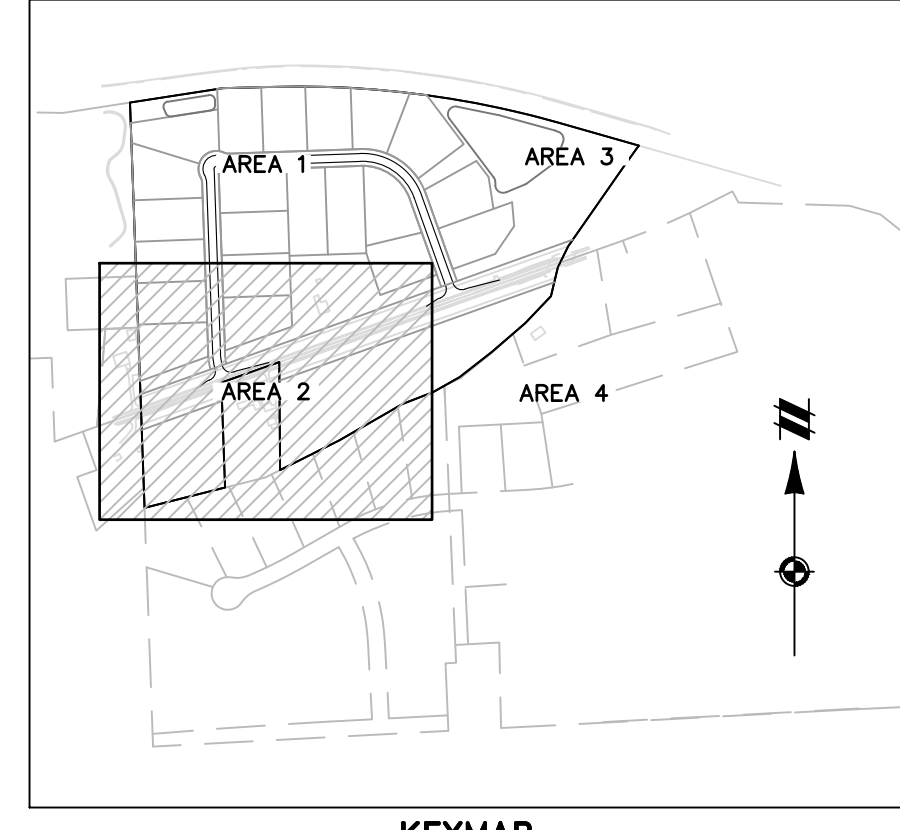
**LEGEND**

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
	EXIST. GAS
	EXIST. STORM
	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	PROP. SETBACK
	PROP. EDGE OF ASPHALT
	PROP. LOT LINE
	PROP. DETENTION
	PROP. EASEMENT
	EXIST. CONTOUR
	GRADING LIMITS
	PROP. STORM SEWER
	PROP. CULVERT
	PROP. CATCH BASIN/INLET
	PROP. SEPTIC
	PROP. WELL



SEE SHEET 20 FOR CONTINUATION

SEE SHEET 19 FOR CONTINUATION



KEYMAP  
SCALE: 1" = 750 FEET

- SPOT GRADE DESIGNATIONS**
- FG = FINISH GRADE
  - DBL = DROP BRICK LEDGE
  - GV = GARDEN VIEW
  - DLV = DAYLIGHT VIEW
  - WO = WALKOUT
  - RIM = RIM GRADE/FLOW LINE
  - HP = HIGH POINT
  - TC = TOP OF CURB
  - TW = TOP OF WALK
  - T/WALL = TOP OF WALL
  - B/WALL = BOTTOM OF WALL

LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
	EXIST. GAS
	EXIST. STORM
	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	PROP. SETBACK
	PROP. EDGE OF ASPHALT
	PROP. LOT LINE
	PROP. DETENTION
	PROP. EASEMENT
	EXIST. CONTOUR
	GRADING LIMITS
	PROP. STORM SEWER
	PROP. CULVERT
	PROP. CATCH BASIN/INLET
	PROP. SEPTIC
	PROP. WELL

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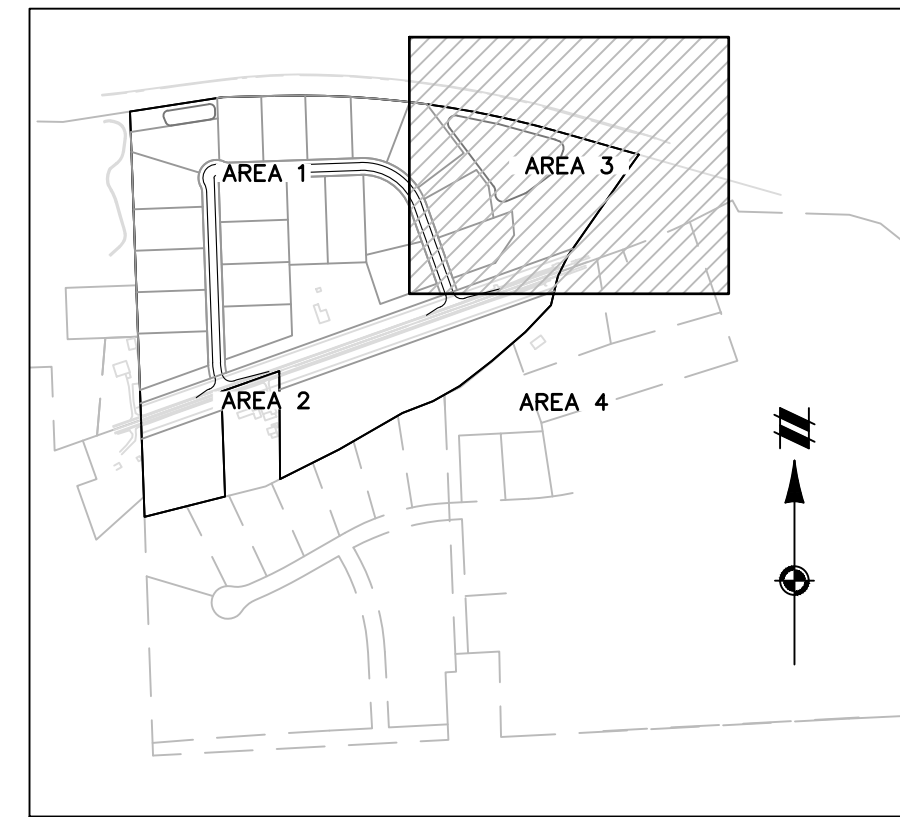
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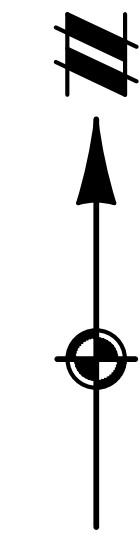
SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	CLIENT	LOMBARDO HOMES
		DATE	KINSLEY DEVELOPMENT
		11/01/22: PER TWP.	SITE PLAN
			GRADING PLAN AREA 2

REVISIONS

SCALE	0	25	50
	1" = 50 FEET		
DR.	SK	GH	MC
BOOK	---		
JOB	21002863		
SHEET NO.	19		



**KEYMAP**  
SCALE: 1" = 750 FEET



**811**  
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SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
**LOMBARDO HOMES**  
KINSLEY DEVELOPMENT  
SITE PLAN  
GRADING PLAN AREA 3

DATE  
SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS

SCALE	0	25	50
1" = 50 FEET			
DR.	SK	CH.	MC
BOOK	---		
JOB	21002863		
SHEET NO.	20		

M-14  
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

FORD ROAD

HYD MODEL FLOODPLAIN EL. VARIES

PLYMOUTH ROAD

SEE SHEET 18 FOR CONTINUATION

SEE SHEET 20 FOR CONTINUATION

**SPOT GRADE DESIGNATIONS**  
FG = FINISH GRADE  
DBL = DROP BRICK LEDGE  
GV = GARDEN VIEW  
DLV = DAYLIGHT VIEW  
WO = WALKOUT  
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T/WALL = TOP OF WALL  
B/WALL = BOTTOM OF WALL

LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
	EXIST. GAS
	EXIST. STORM
	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	PROP. SETBACK
	PROP. EDGE OF ASPHALT
	PROP. LOT LINE
	PROP. DETENTION
	PROP. EASEMENT
	EXIST. CONTOUR
	GRADING LIMITS
	PROP. STORM SEWER
	PROP. CULVERT
	PROP. CATCH BASIN/INLET
	PROP. SEPTIC
	PROP. WELL



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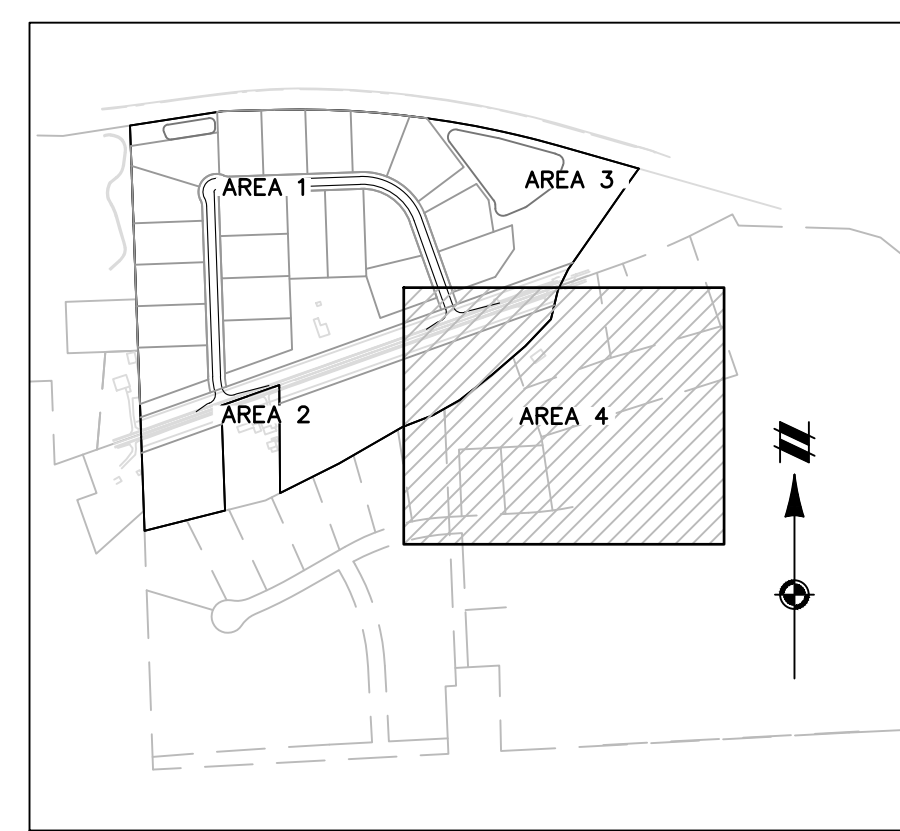
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TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
GRADING PLAN AREA 4

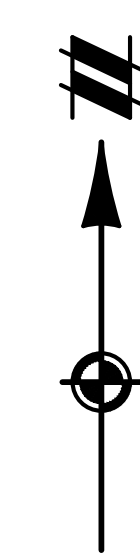
DATE  
SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS  
SCALE 0 25 50  
1" = 50 FEET  
DR. SK | CH. MC  
P.M. MC  
BOOK --  
JOB 21002863  
SHEET NO.  
**21**



KEYMAP  
SCALE: 1" = 750 FEET



**SPOT GRADE DESIGNATIONS**  
FG = FINISH GRADE  
DBL = DROP BRICK LEDGE  
GV = GARDEN VIEW  
DLV = DAYLIGHT VIEW  
WO = WALKOUT  
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TC = TOP OF CURB  
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**LEGEND**

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
	EXIST. GAS
	EXIST. STORM
	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	PROP. SETBACK
	PROP. EDGE OF ASPHALT
	PROP. LOT LINE
	PROP. DETENTION
	PROP. EASEMENT
	EXIST. CONTOUR
	GRADING LIMITS
	PROP. STORM SEWER
	PROP. CULVERT
	PROP. CATCH BASIN/INLET
	PROP. SEPTIC
	PROP. WELL

SEE SHEET 19 FOR CONTINUATION

SEE SHEET 20 FOR CONTINUATION

K:\21002863\PLAN SET\UTILS\PRELIM\21002863-00-2506-11\11/2022-1.08-PM-AJLER-DIGREN

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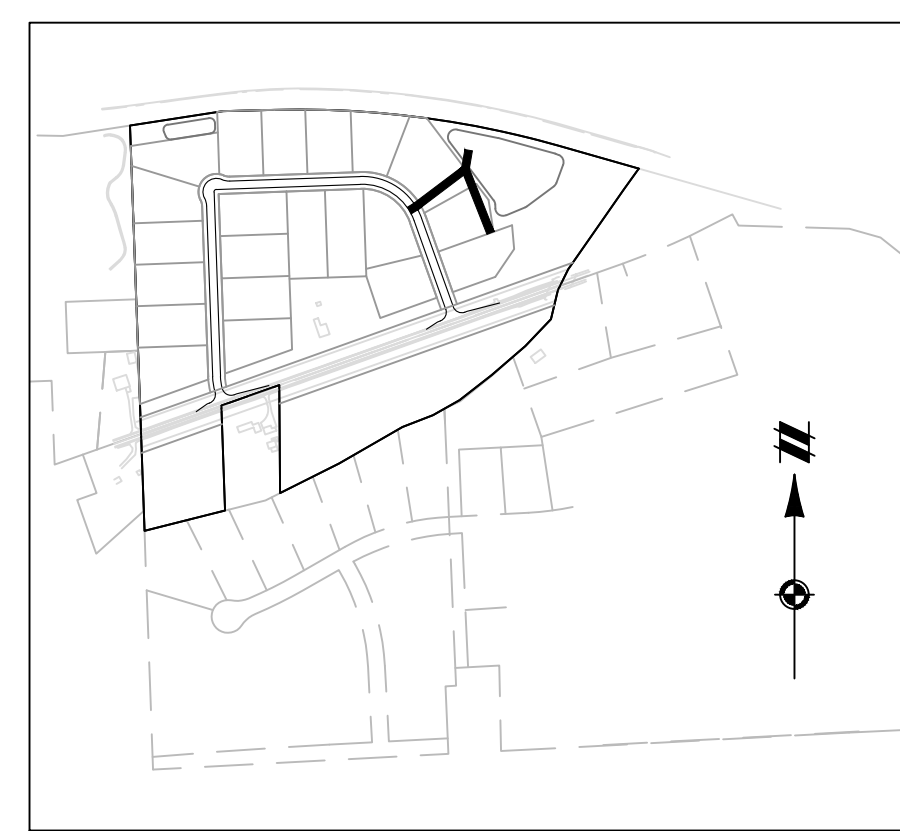
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TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
STORM WATER PLAN & PROFILE 1

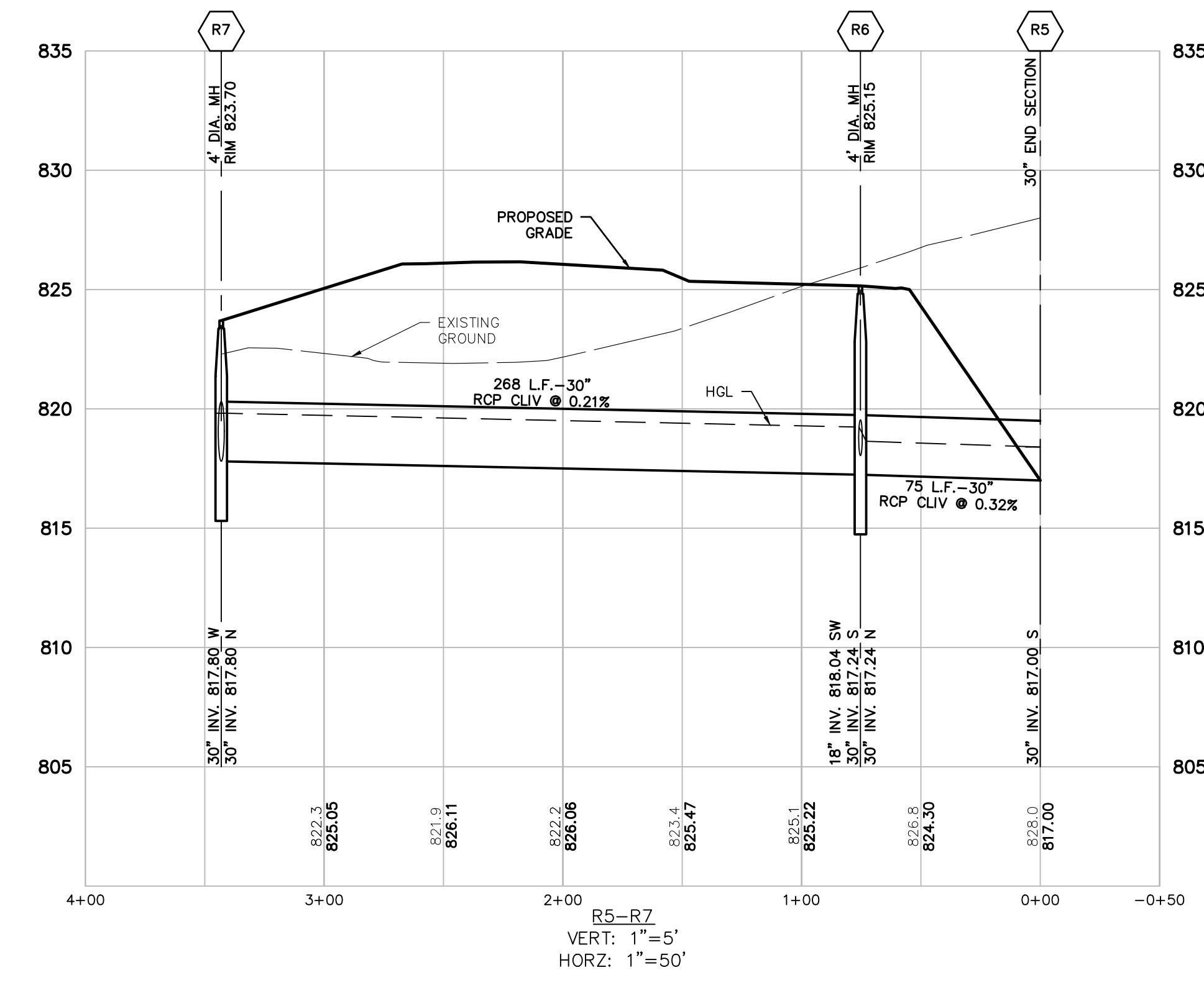
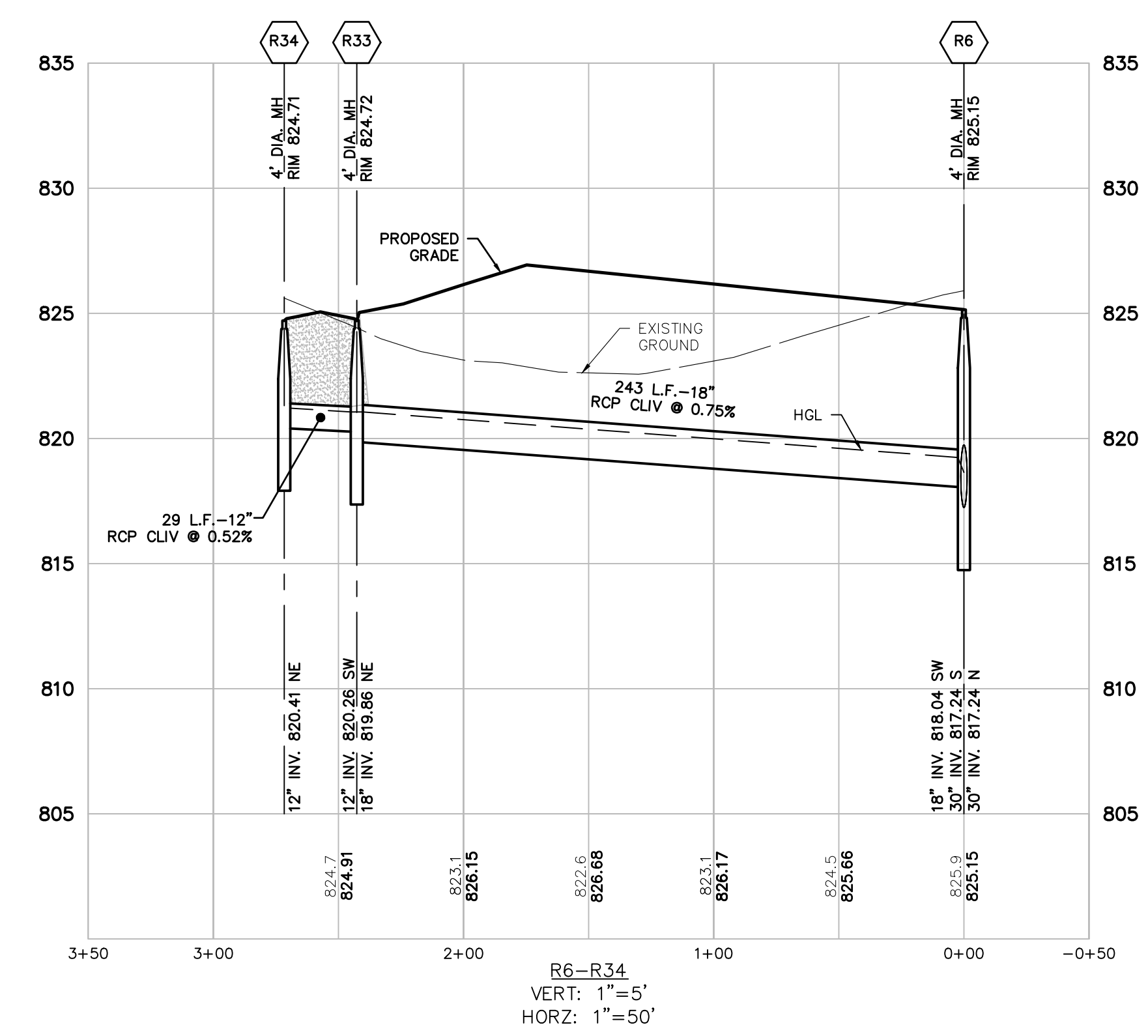
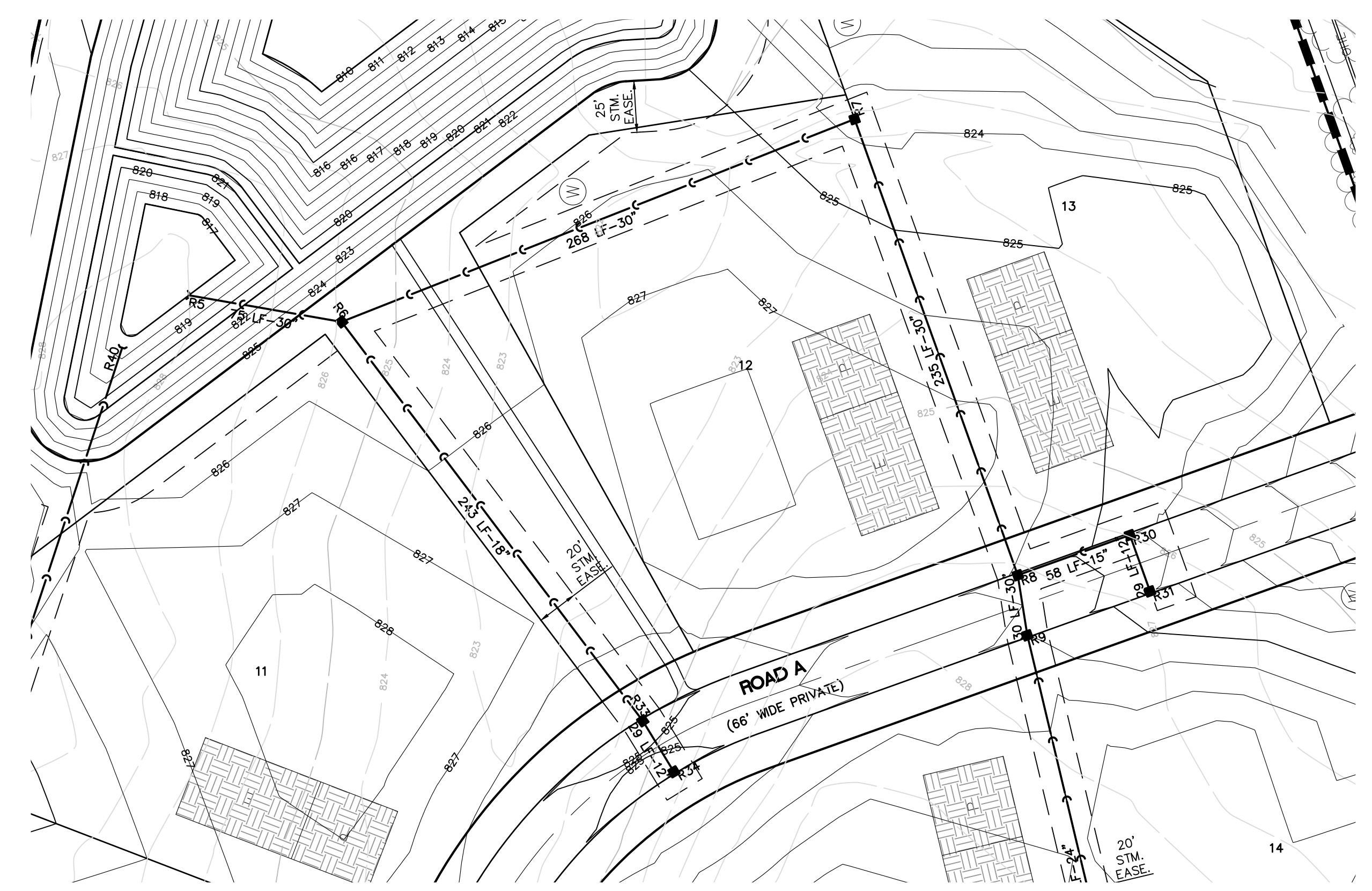
DATE  
SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS	
SCALE	0 25 50
	1" = 50 FEET
DR.	SK CH MC
BOOK	--
JOB	21002863
SHEET NO.	22



KEYMAP  
SCALE: 1" = 750 FEET



NOTE:  
ALL PIPES WITHIN A 1:1 INFLUENCE OF PAVEMENT WILL REQUIRE COMPACTED SAND BACKFILL.

LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. FENCE
	EXIST. GRAVEL
	EXIST. BUILDING
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
	EXIST. GAS
	EXIST. STORM
	EXIST. WATER MAIN
	EXIST. SANITARY
	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	PROP. SETBACK
	PROP. BUILDING
	PROP. BUILDING INTERIOR
	PROP. WALL
	PROP. PARKING STRIPE
	PROP. BACK OF CURB
	PROP. ASPHALT
	PROP. LOT LINE
	PROP. PARKING STRIPE
	PROP. CONTOUR
	PROP. SILT FENCE
	PROP. STORM SEWER
	PROP. END SECTION
	PROP. CATCH BASIN/INLET
	PROP. MANHOLE
	PROP. SEPTIC
	PROP. WELL



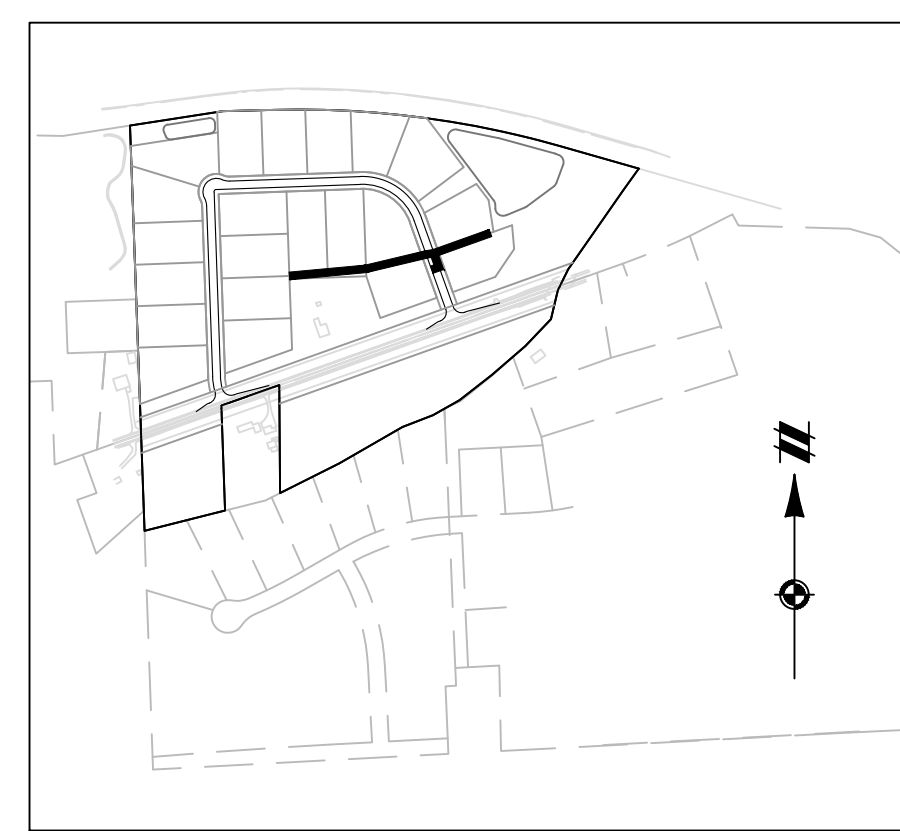
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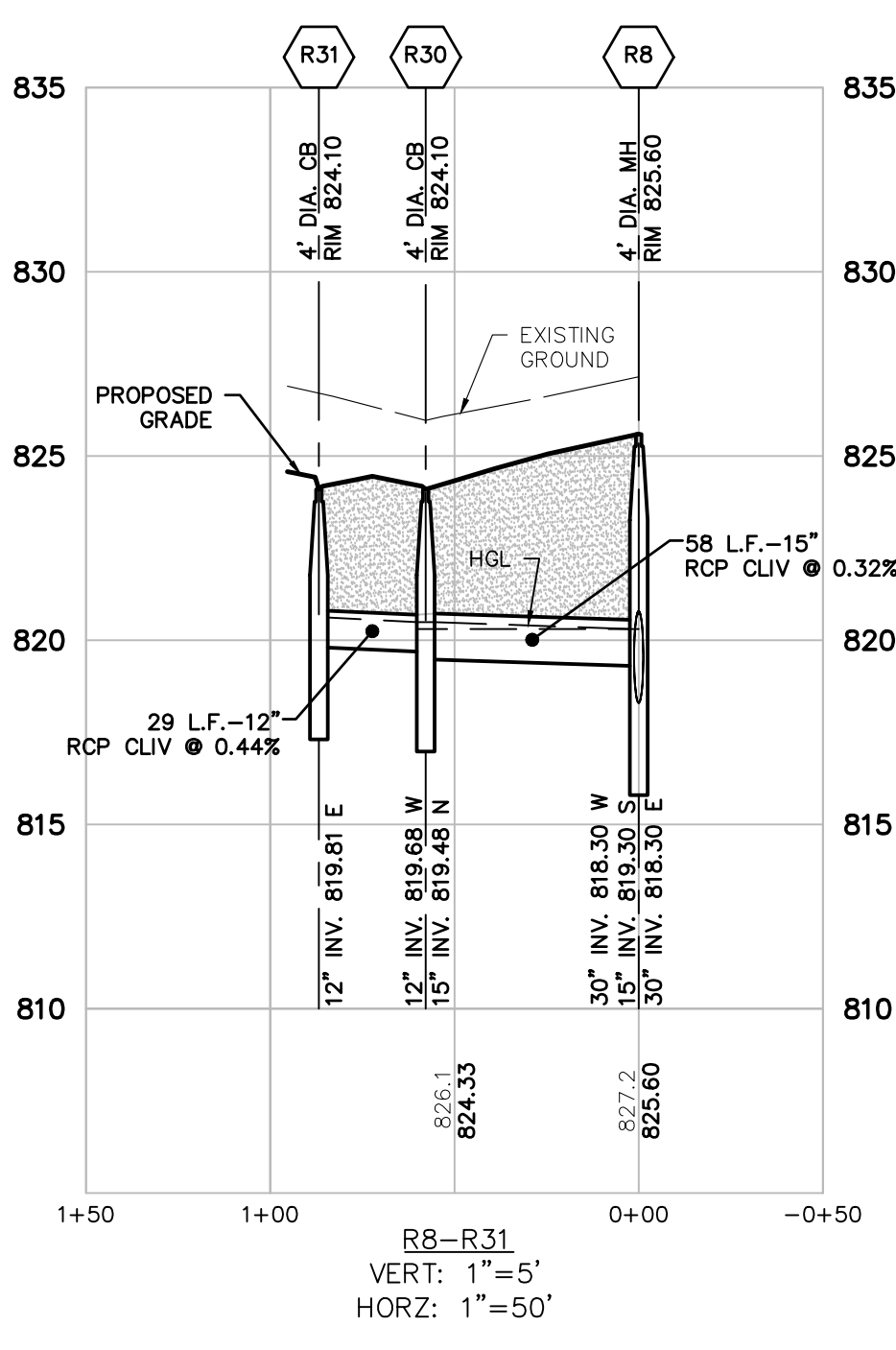
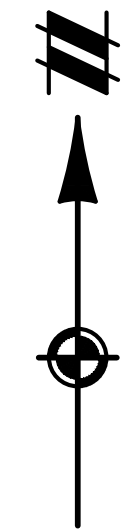
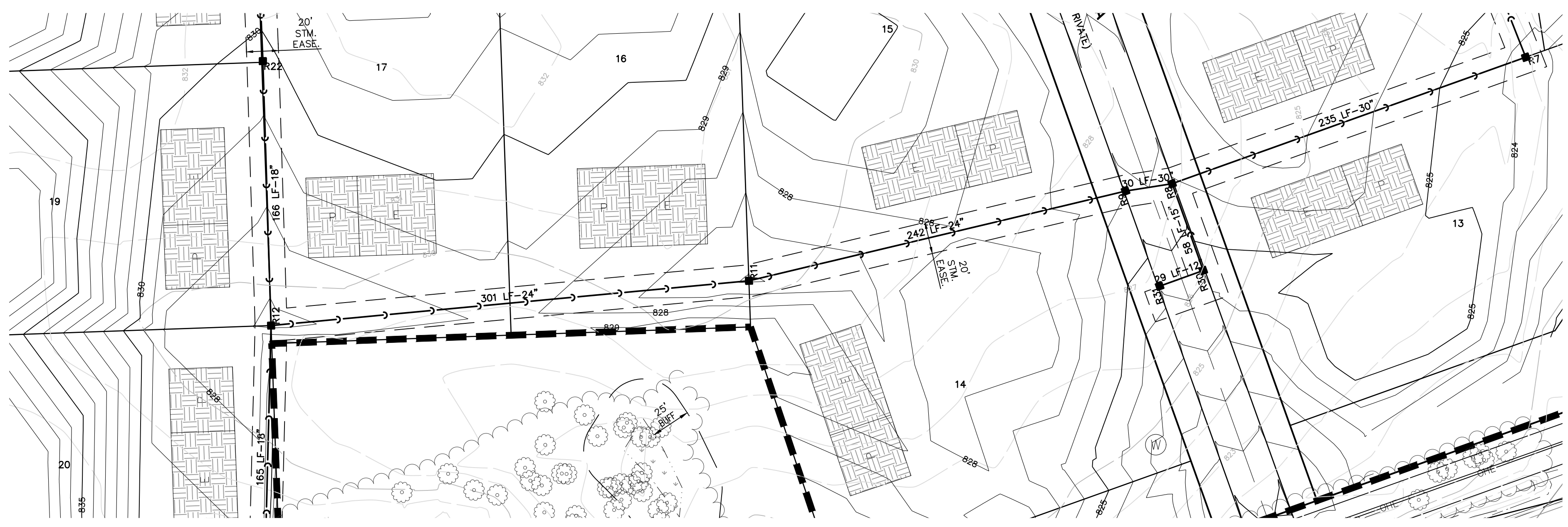
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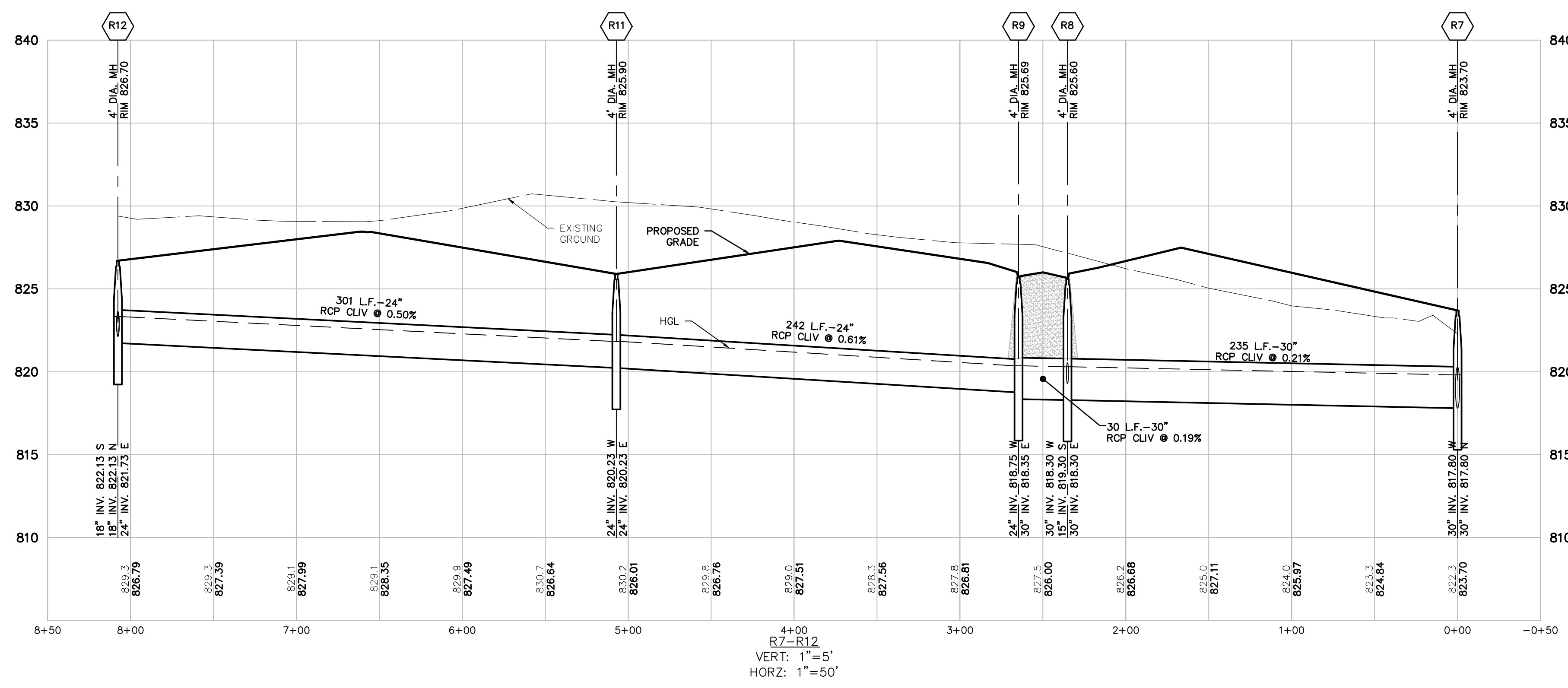
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KEYMAP  
SCALE: 1" = 750 FEET



R8-R31  
VERT: 1"=5'  
HORIZ: 1"=50'



R7-R12  
VERT: 1"=5'  
HORIZ: 1"=50'

**NOTE:**  
ALL PIPES WITHIN A 1:1 INFLUENCE OF PAVEMENT WILL REQUIRE COMPACTED SAND BACKFILL.

LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. FENCE
	EXIST. GRAVEL
	EXIST. BUILDING
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
	EXIST. GAS
	EXIST. STORM
	EXIST. WATER MAIN
	EXIST. SANITARY
	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	PROP. SETBACK
	PROP. BUILDING INTERIOR
	PROP. WALL
	PROP. PARKING STRIPE
	PROP. BACK OF CURB
	PROP. ASPHALT
	PROP. LOT LINE
	PROP. PARKING STRIPE
	PROP. CONTOUR
	PROP. SILT FENCE
	PROP. STORM SEWER
	PROP. END SECTION
	PROP. CATCH BASIN/INLET
	PROP. MANHOLE
	PROP. SEPTIC
	PROP. WELL

SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT: LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
STORM WATER PLAN & PROFILE 2

DATE: SEPTEMBER 28, 2022

REVISIONS	
0	11/01/22: PER TWP.
1	
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9	

SCALE: 0 25 50  
1" = 50 FEET  
DR. SK CH. MC  
BOOK --  
JOB 21002863  
SHEET NO. 23



Call before you dig.

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SECTION 08  
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SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

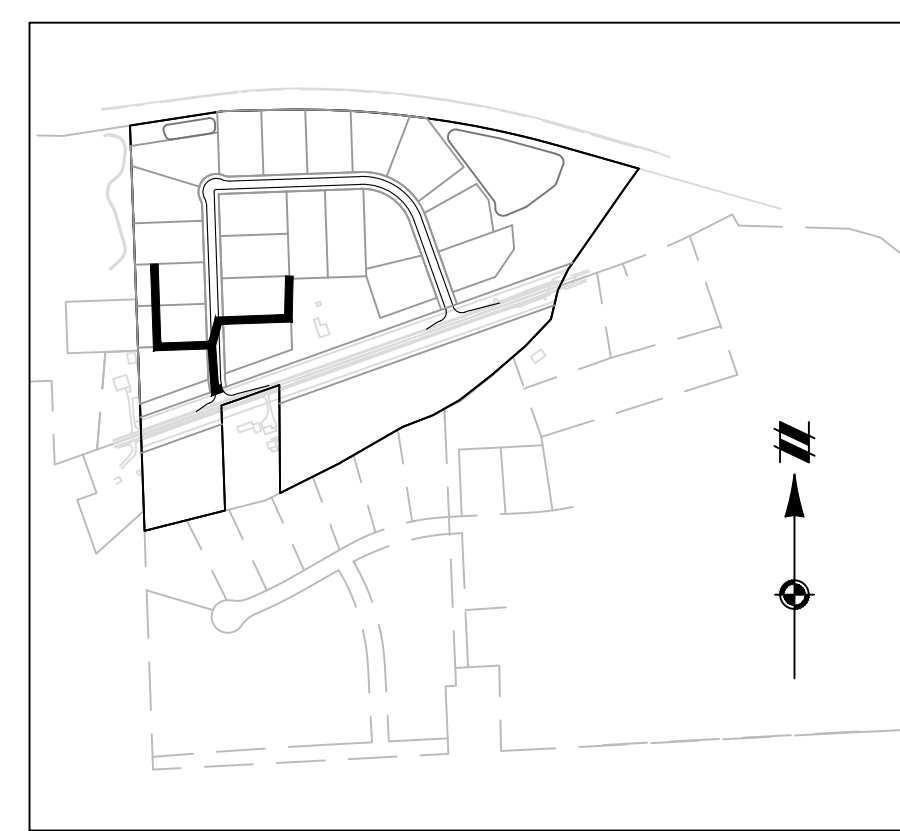
CLIENT  
**LOMBARDO HOMES**  
KINSLEY DEVELOPMENT  
**SITE PLAN**  
STORM WATER PLAN & PROFILE 3

DATE  
SEPTEMBER 28, 2022

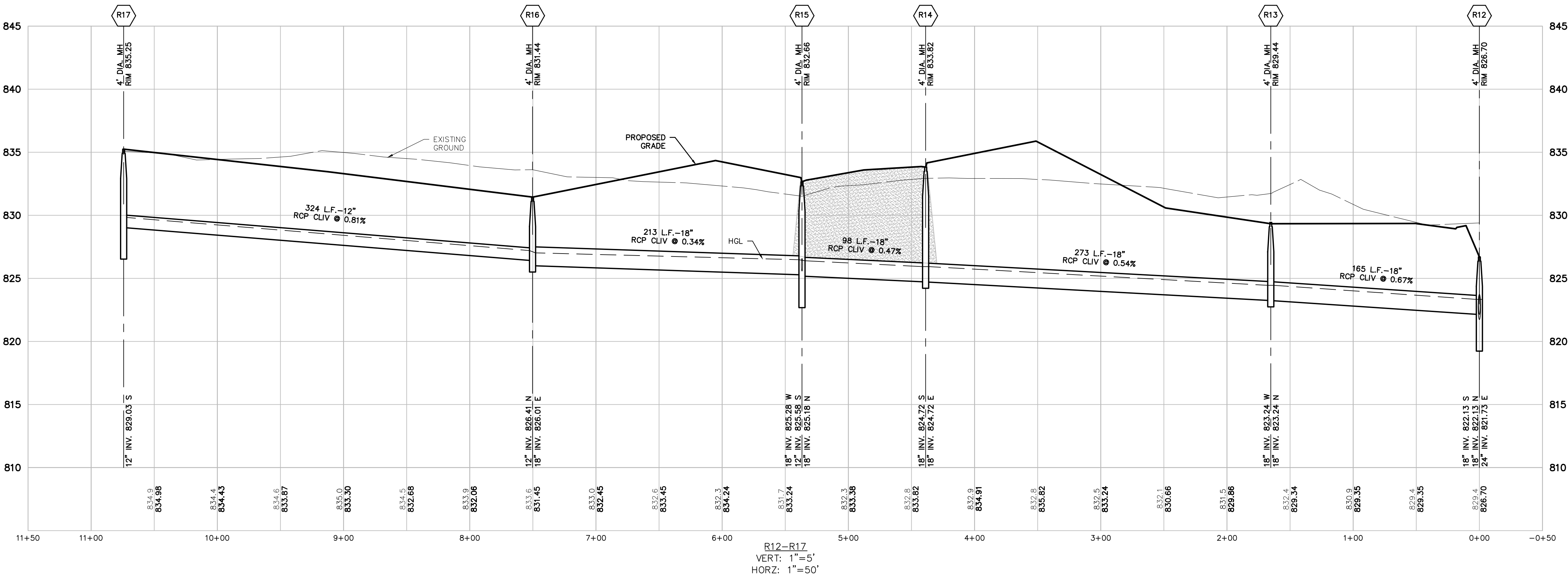
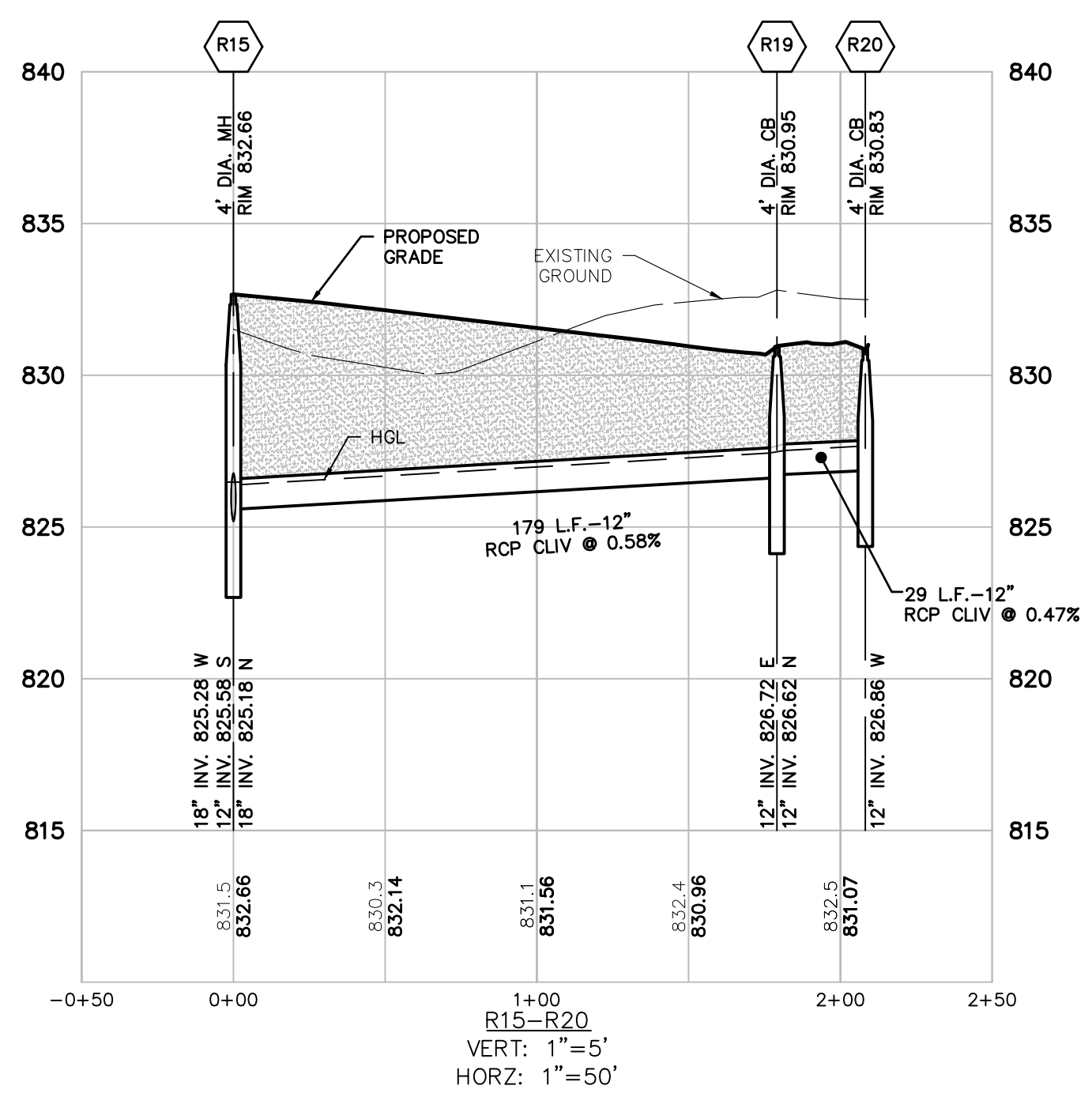
11/01/22: PER TWP.

Table with 2 columns: REVISIONS, SCALE. Includes a graphic scale bar from 0 to 50 feet.

DR. SK CH. MC  
BOOK --  
JOB 21002863  
SHEET NO. 24



KEYMAP  
SCALE: 1" = 750 FEET

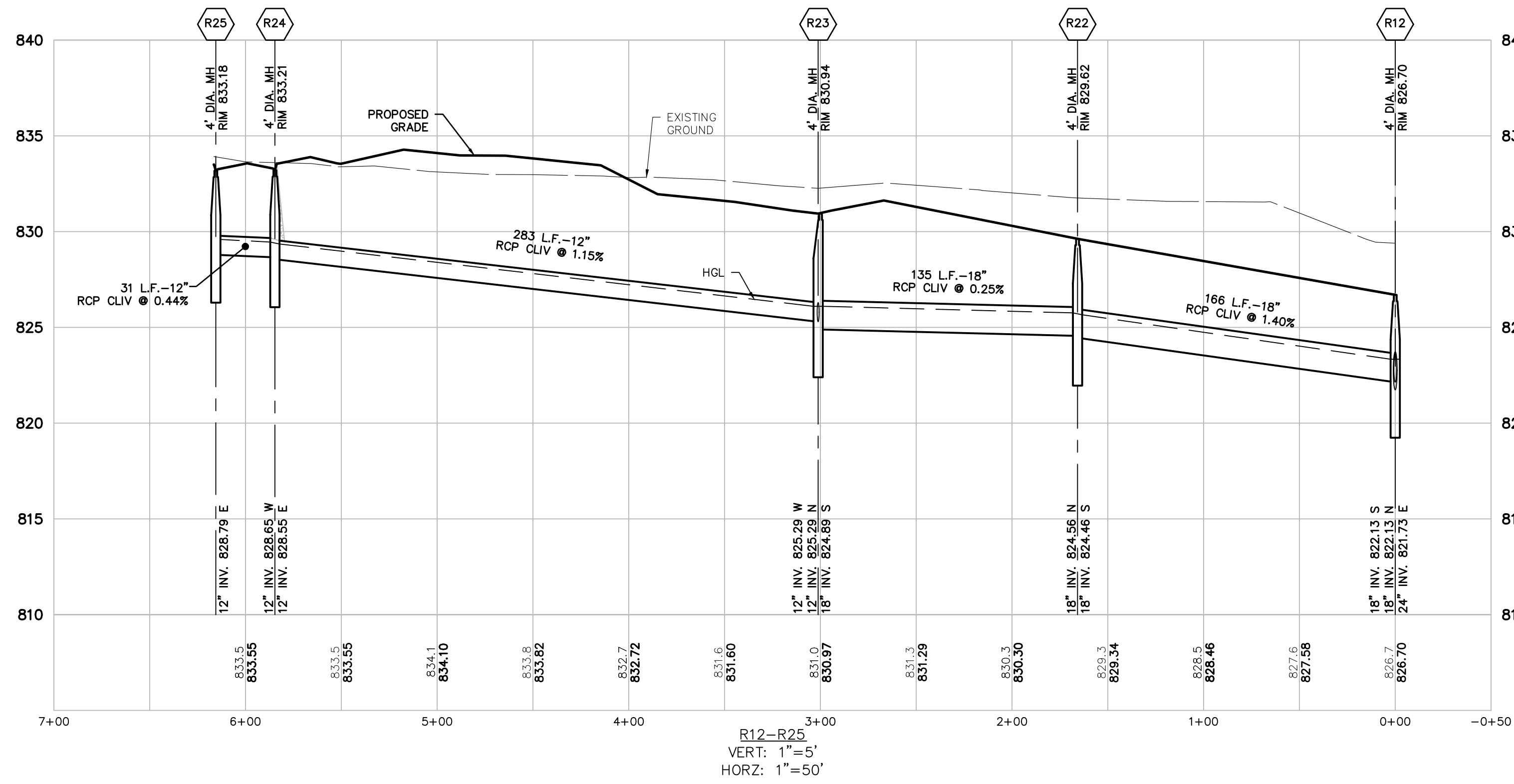
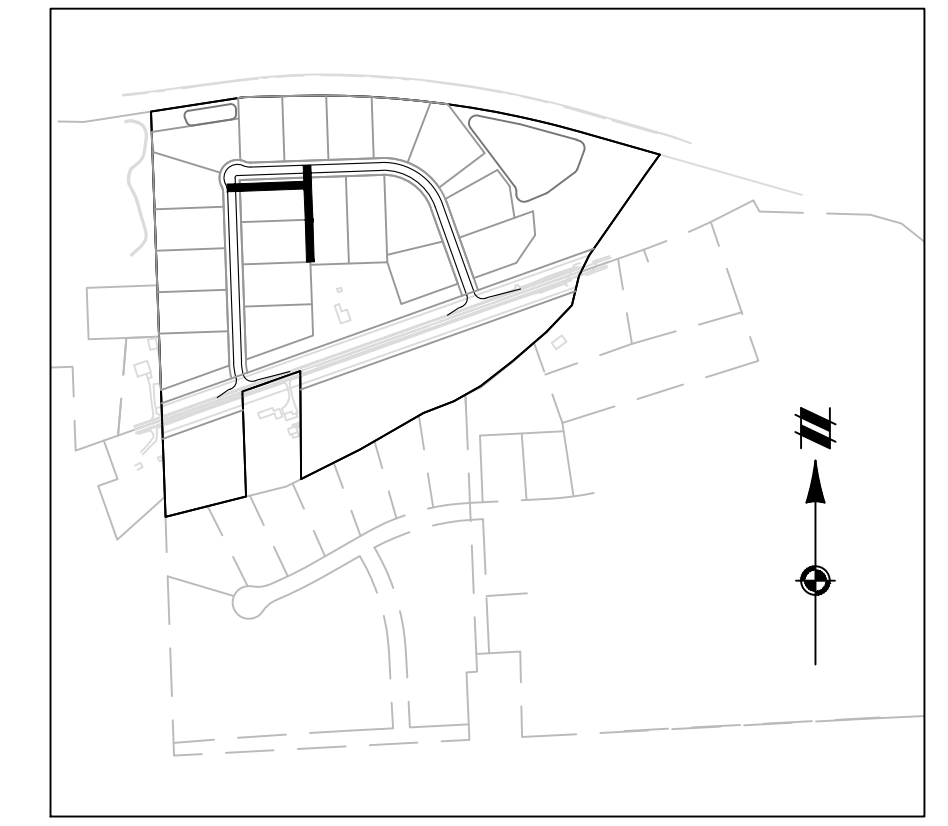
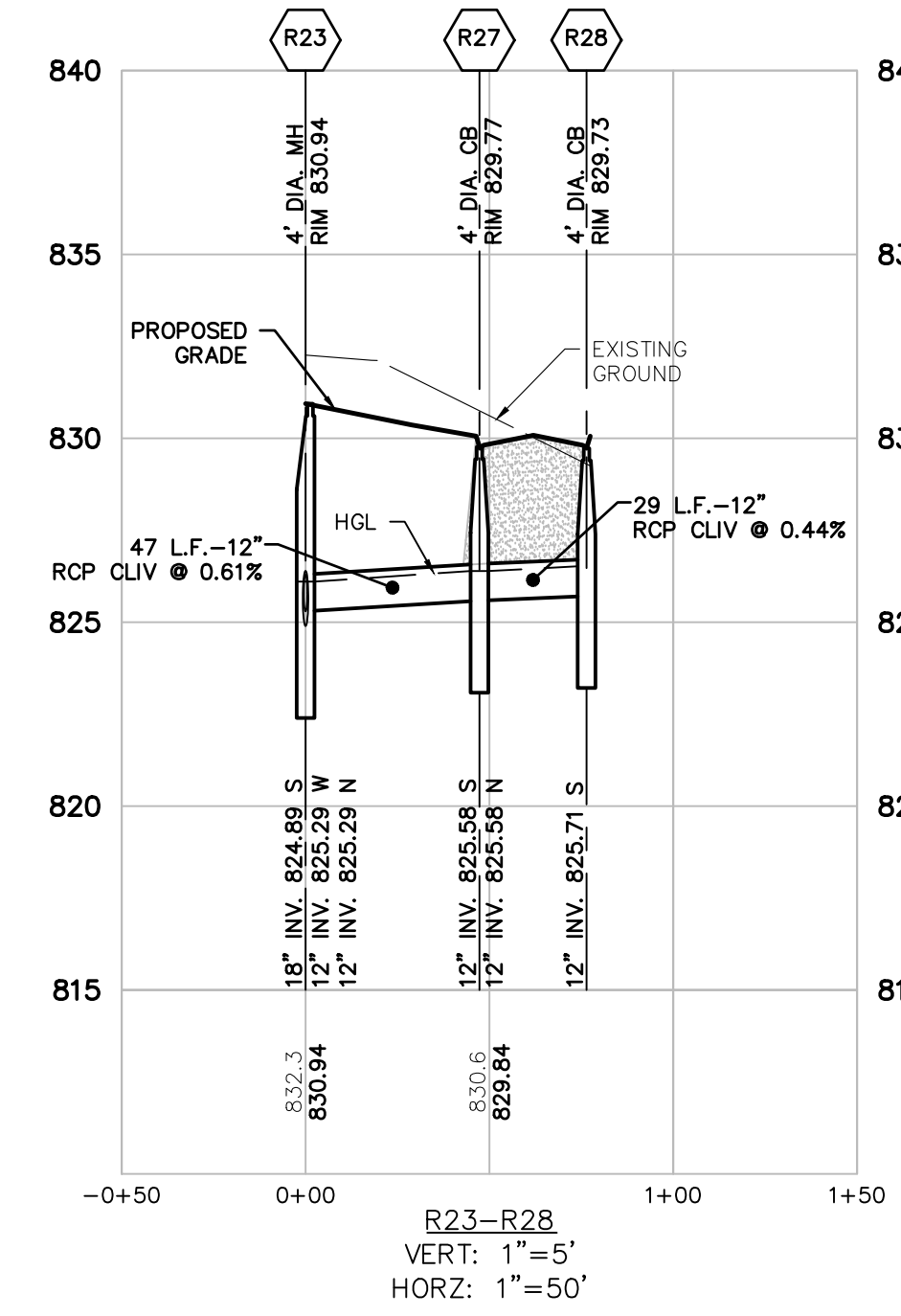
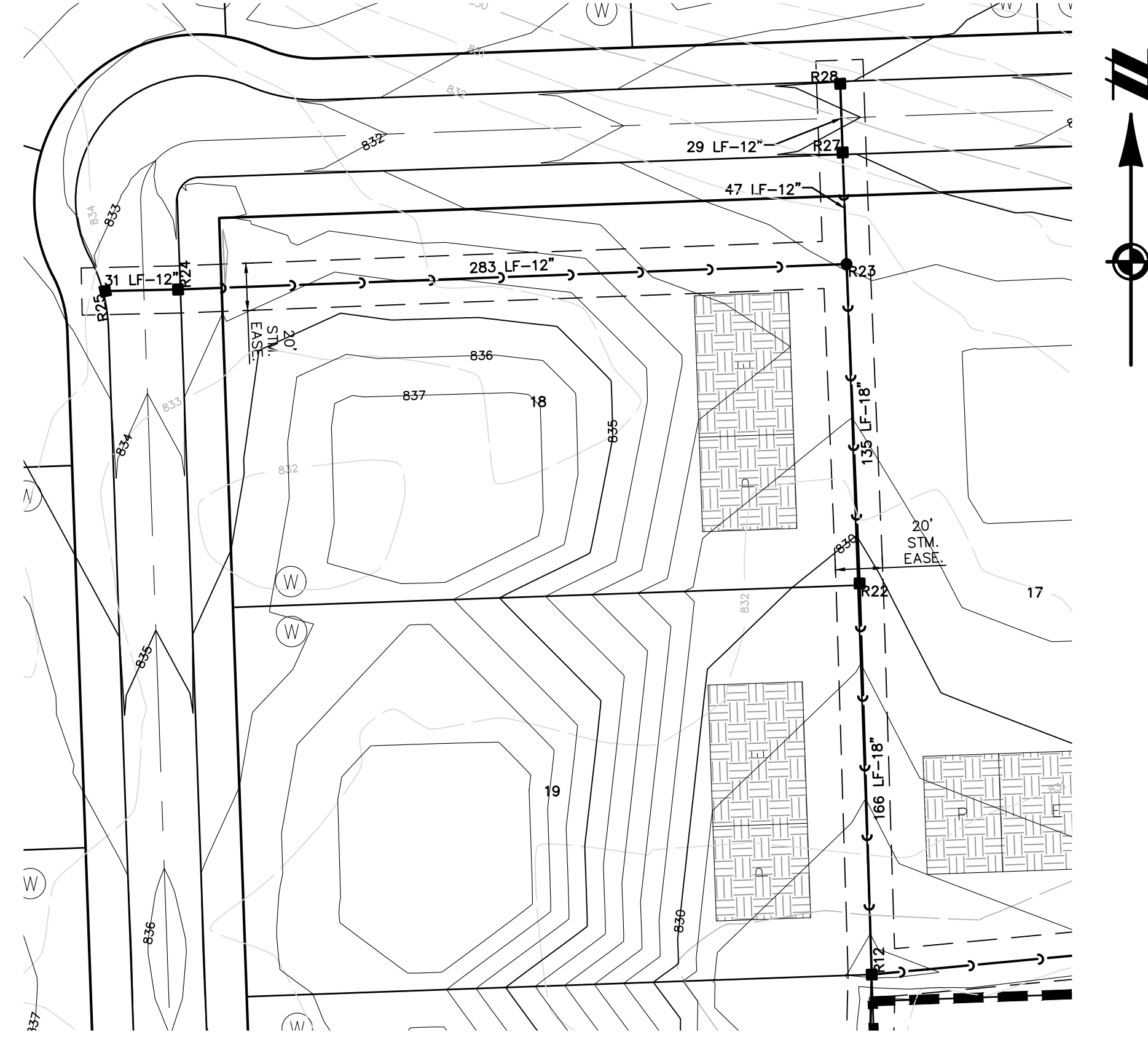


NOTE:  
ALL PIPES WITHIN A 1:1 INFLUENCE OF PAVEMENT WILL REQUIRE COMPACTED SAND BACKFILL.

LEGEND table with symbols and descriptions for various site features like boundary lines, easements, utilities, and proposed structures.



K:\V\2022\21002863\PLAN SET\UTILITY-PRO\21002863-13.dwg, 11/01/2022 1:51 PM, ARLER, BENTON



**NOTE:**  
ALL PIPES WITHIN A 1:1 INFLUENCE OF PAVEMENT WILL REQUIRE COMPACTED SAND BACKFILL

LEGEND	
[Symbol]	BOUNDARY LINE
[Symbol]	EXIST. EASEMENT
[Symbol]	SECTION LINE
[Symbol]	BOUNDARY/PROPERTY LINE
[Symbol]	EXIST. SETBACK
[Symbol]	EXIST. CONTOUR
[Symbol]	EXIST. TREE LINE
[Symbol]	EXIST. CURB AND GUTTER
[Symbol]	EXIST. FENCE
[Symbol]	EXIST. GRAVEL
[Symbol]	EXIST. BUILDING
[Symbol]	EXIST. WETLAND
[Symbol]	EXIST. WETLAND BUFFER
[Symbol]	EXIST. OVERHEAD ELEC. LINE
[Symbol]	EXIST. OVERHEAD TELE. LINE
[Symbol]	EXIST. CABLE LINE
[Symbol]	EXIST. UNSPECIFIED UTILITIES
[Symbol]	EXIST. GAS
[Symbol]	EXIST. STORM
[Symbol]	EXIST. WATER MAIN
[Symbol]	EXIST. SANITARY
[Symbol]	EXIST. UNSPECIFIED UTILITY
[Symbol]	EXIST. CULVERT
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[Symbol]	EXIST. VALVE
[Symbol]	EXIST. SANITARY SEWER
[Symbol]	PROP. SETBACK
[Symbol]	PROP. BUILDING
[Symbol]	PROP. BUILDING INTERIOR
[Symbol]	PROP. WALL
[Symbol]	PROP. PARKING STRIPE
[Symbol]	PROP. BACK OF CURB
[Symbol]	PROP. ASPHALT
[Symbol]	PROP. LOT LINE
[Symbol]	PROP. PARKING STRIPE
[Symbol]	PROP. CONTOUR
[Symbol]	PROP. SILT FENCE
[Symbol]	PROP. STORM SEWER
[Symbol]	PROP. END SECTION
[Symbol]	PROP. CATCH BASIN/INLET
[Symbol]	PROP. MANHOLE
[Symbol]	PROP. SEPTIC
[Symbol]	PROP. WELL

**811**  
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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP	
WASHTENAW COUNTY, MICHIGAN	
<b>CLIENT</b>	LOMBARDO HOMES
	KINLSLEY DEVELOPMENT
	<b>SITE PLAN</b>
	STORM WATER PLAN & PROFILE 4

<b>DATE</b>	SEPTEMBER 28, 2022
<b>REVISIONS</b>	11/01/22: PER TWP.
<b>SCALE</b>	0 25 50
	1" = 50 FEET
<b>DR.</b>	SK CH MC
<b>BOOK</b>	--
<b>JOB</b>	21002863
<b>SHEET NO.</b>	25



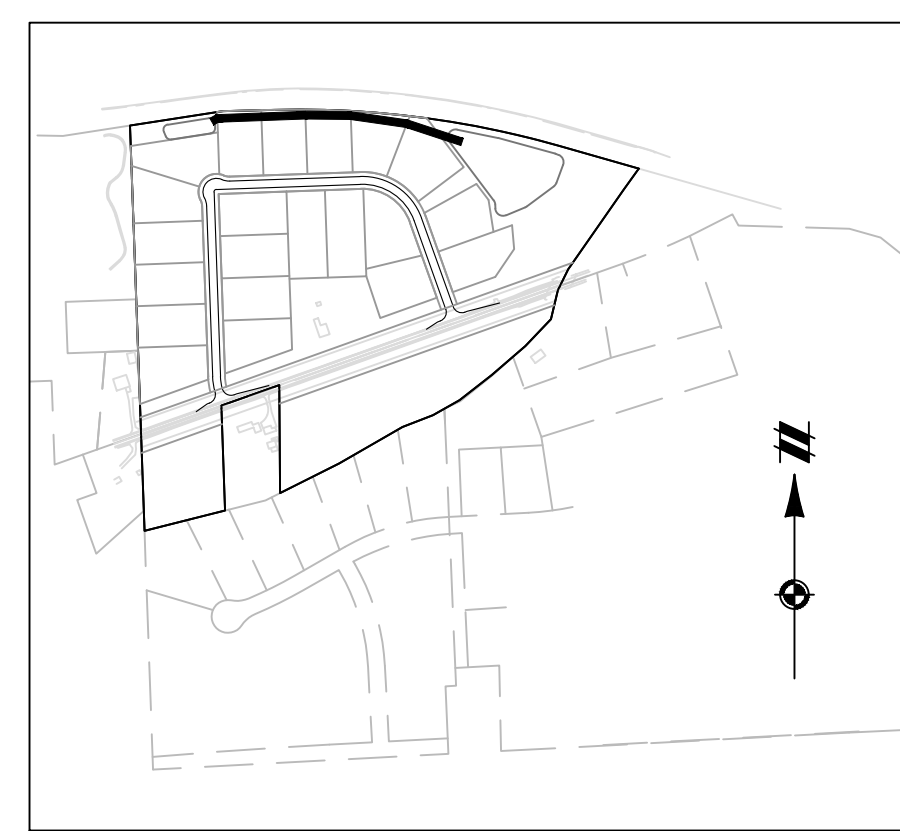
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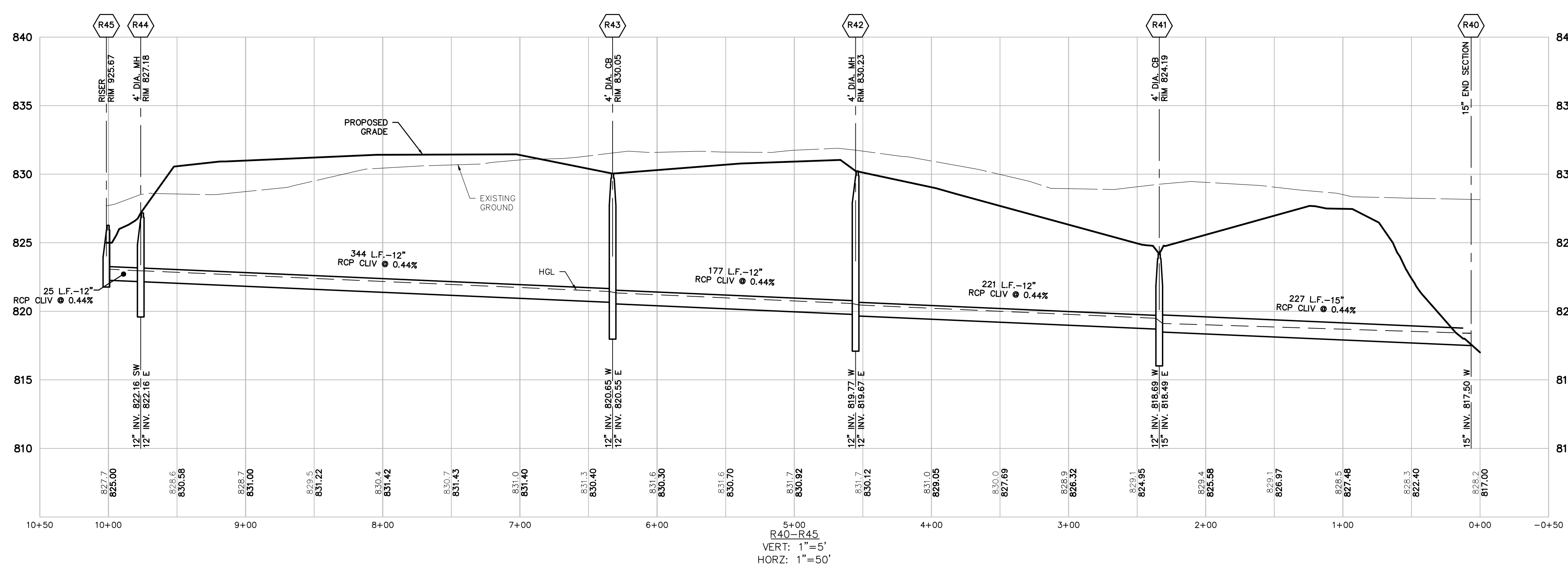
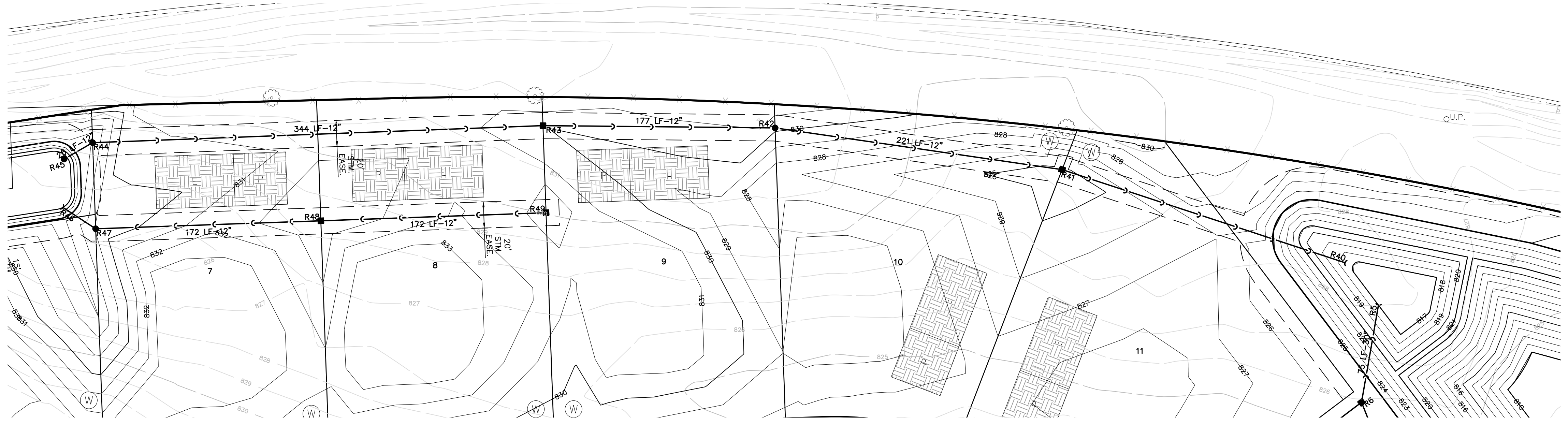
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KEYMAP  
SCALE: 1" = 750 FEET



NOTE:  
ALL PIPES WITHIN A 1:1 INFLUENCE OF PAVEMENT WILL REQUIRE COMPACTED SAND BACKFILL.

**LEGEND**

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. FENCE
	EXIST. GRAVEL
	EXIST. BUILDING
	EXIST. WETLAND
	EXIST. WETLAND BUFFER
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	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
	EXIST. GAS
	EXIST. STORM
	EXIST. WATER MAIN
	EXIST. SANITARY
	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	PROP. SETBACK
	PROP. BUILDING
	PROP. BUILDING INTERIOR
	PROP. WALL
	PROP. PARKING STRIPE
	PROP. BACK OF CURB
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	PROP. LOT LINE
	PROP. PARKING STRIPE
	PROP. CONTOUR
	PROP. SILT FENCE
	PROP. STORM SEWER
	PROP. END SECTION
	PROP. CATCH BASIN/INLET
	PROP. MANHOLE
	PROP. SEPTIC
	PROP. WELL

SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT: LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
STORM WATER PLAN & PROFILE 5

DATE: SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS

SCALE	0	25	50
	1" = 50 FEET		
DR.	SK	CH.	MC
BOOK	---		
JOB	21002863		
SHEET NO.	26		



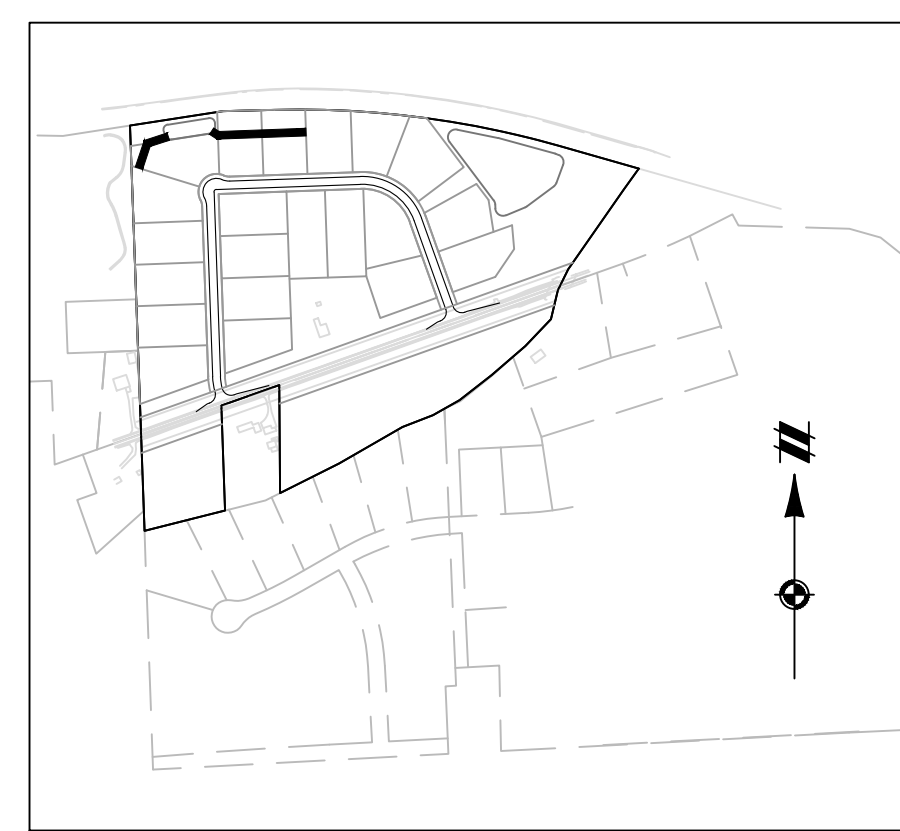
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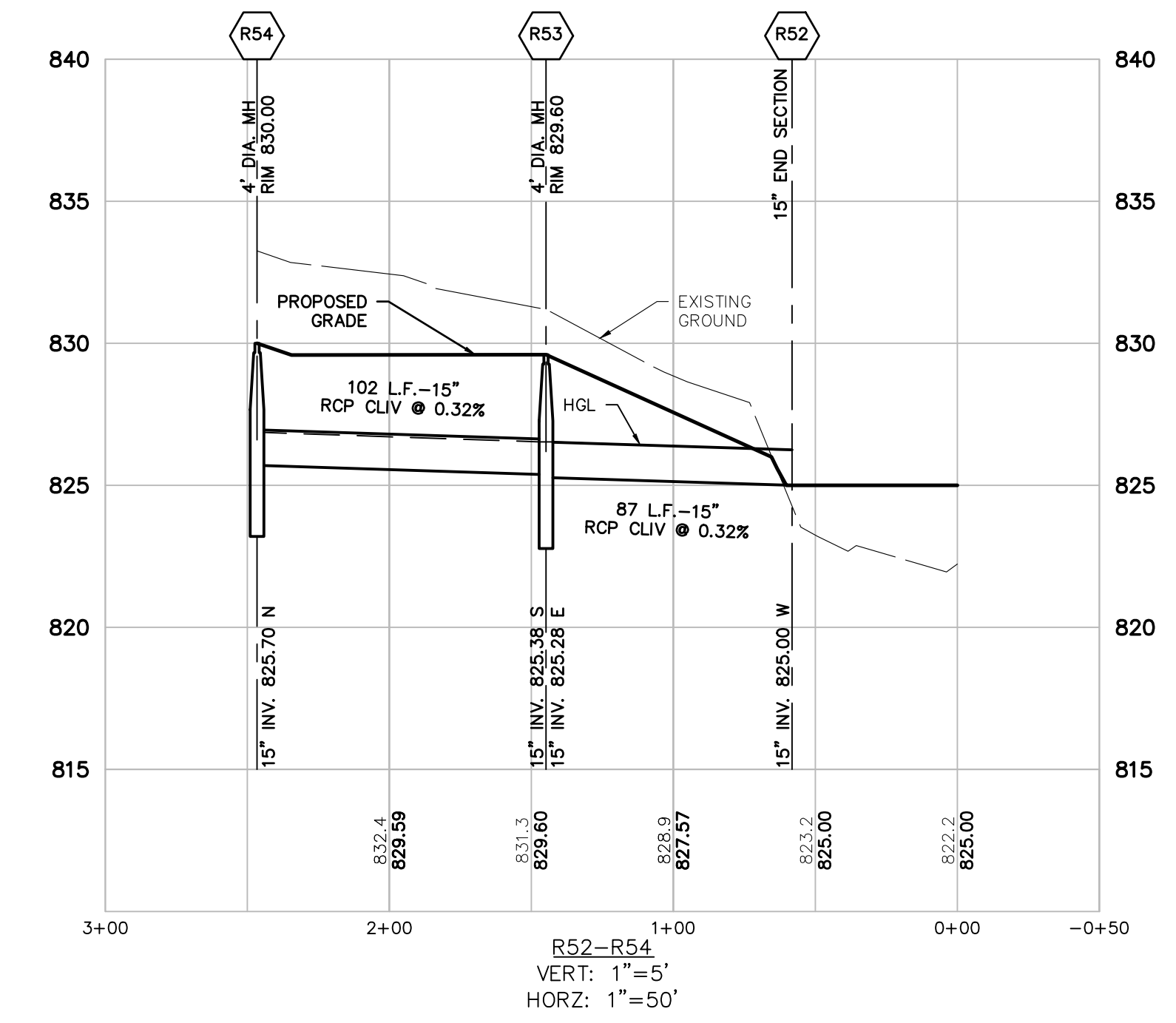
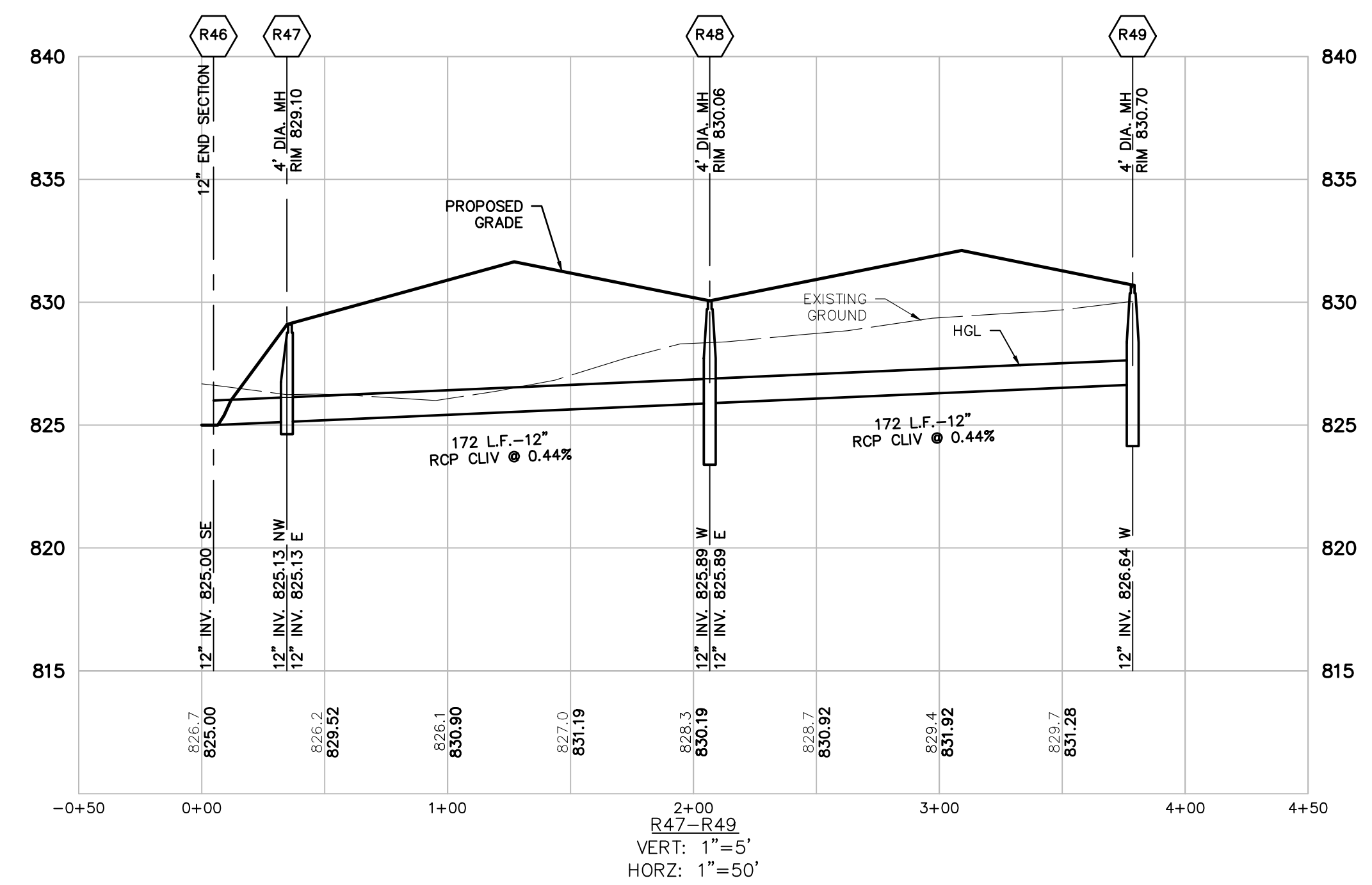
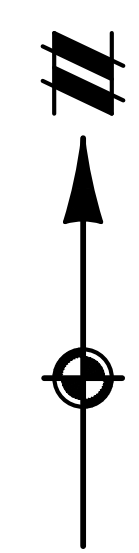
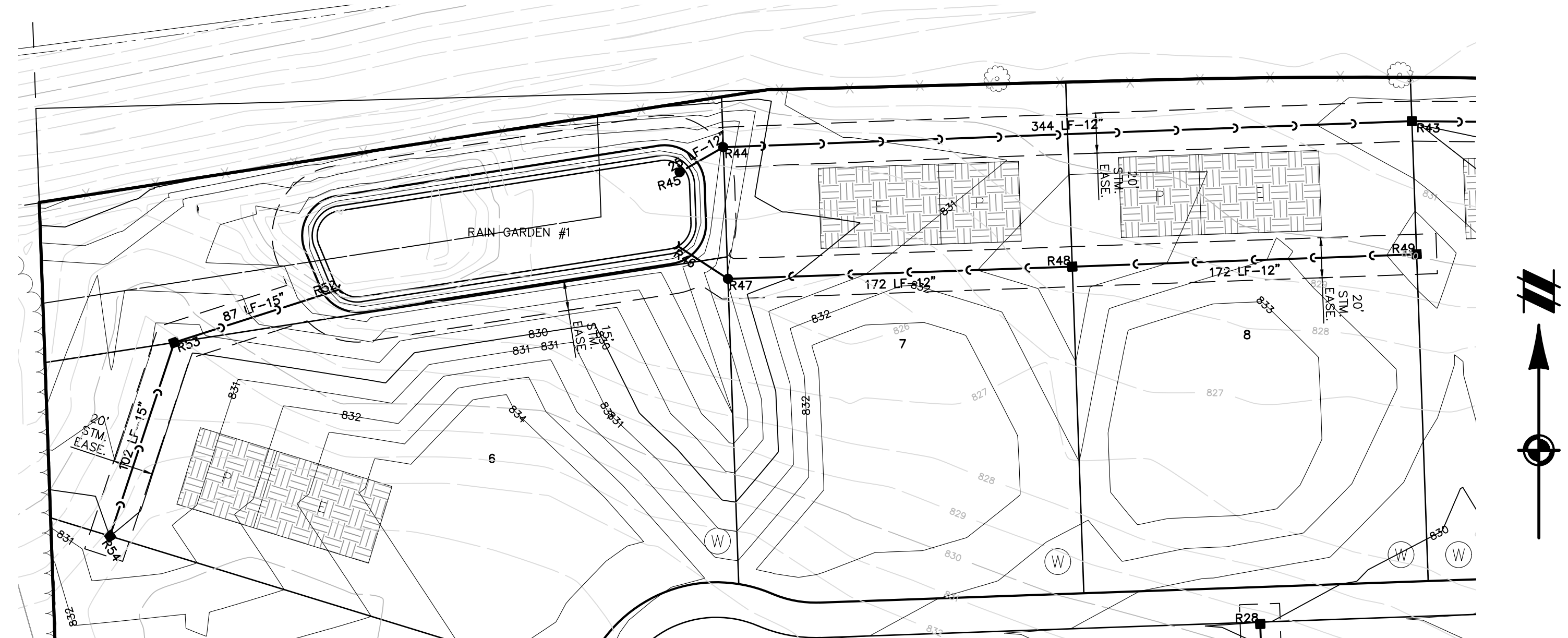
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KEYMAP  
SCALE: 1" = 750 FEET



**NOTE:**  
ALL PIPES WITHIN A 1:1 INFLUENCE OF PAVEMENT WILL REQUIRE COMPACTED SAND BACKFILL.

**LEGEND**

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
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	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
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	EXIST. HYDRANT
	EXIST. VALVE
	EXIST. SANITARY SEWER
	PROP. SETBACK
	PROP. BUILDING
	PROP. BUILDING INTERIOR
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	PROP. SILT FENCE
	PROP. STORM SEWER
	PROP. END SECTION
	PROP. CATCH BASIN/INLET
	PROP. MANHOLE
	PROP. SEPTIC
	PROP. WELL

SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT: LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
STORM WATER PLAN & PROFILE 6

DATE: SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS

NO.	DATE	DESCRIPTION

SCALE: 0 25 50  
1" = 50 FEET  
DR. SK | CH. MC  
P.M. MC  
BOOK --  
JOB 21002863  
SHEET NO. 27



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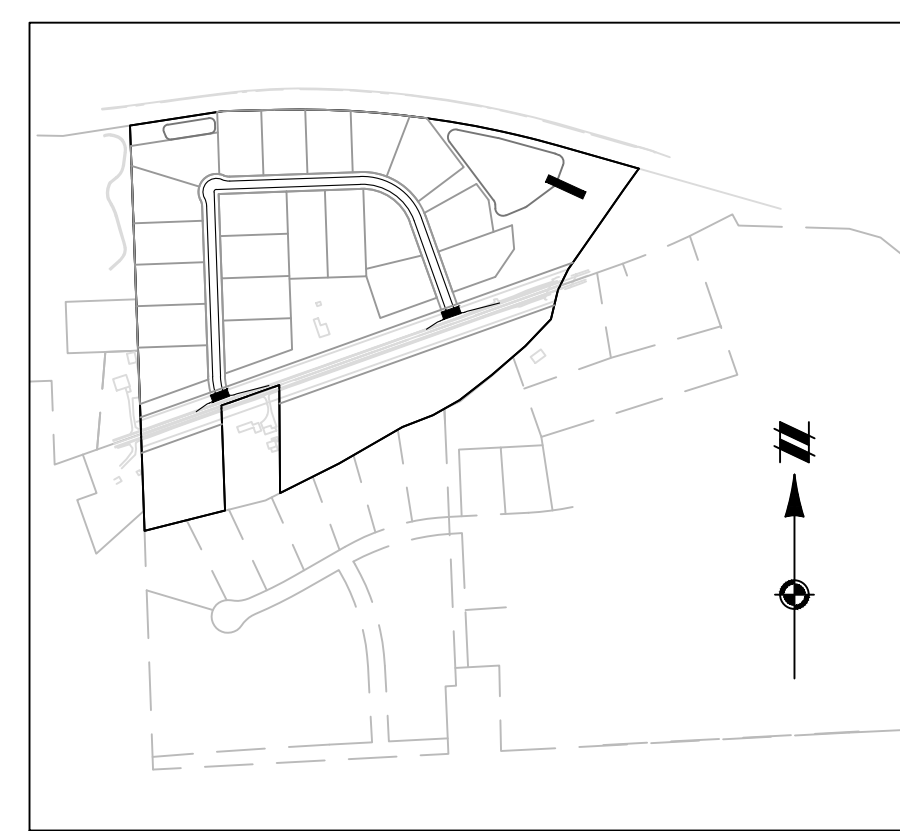
SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT: LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
STORM WATER PLAN & PROFILE 7

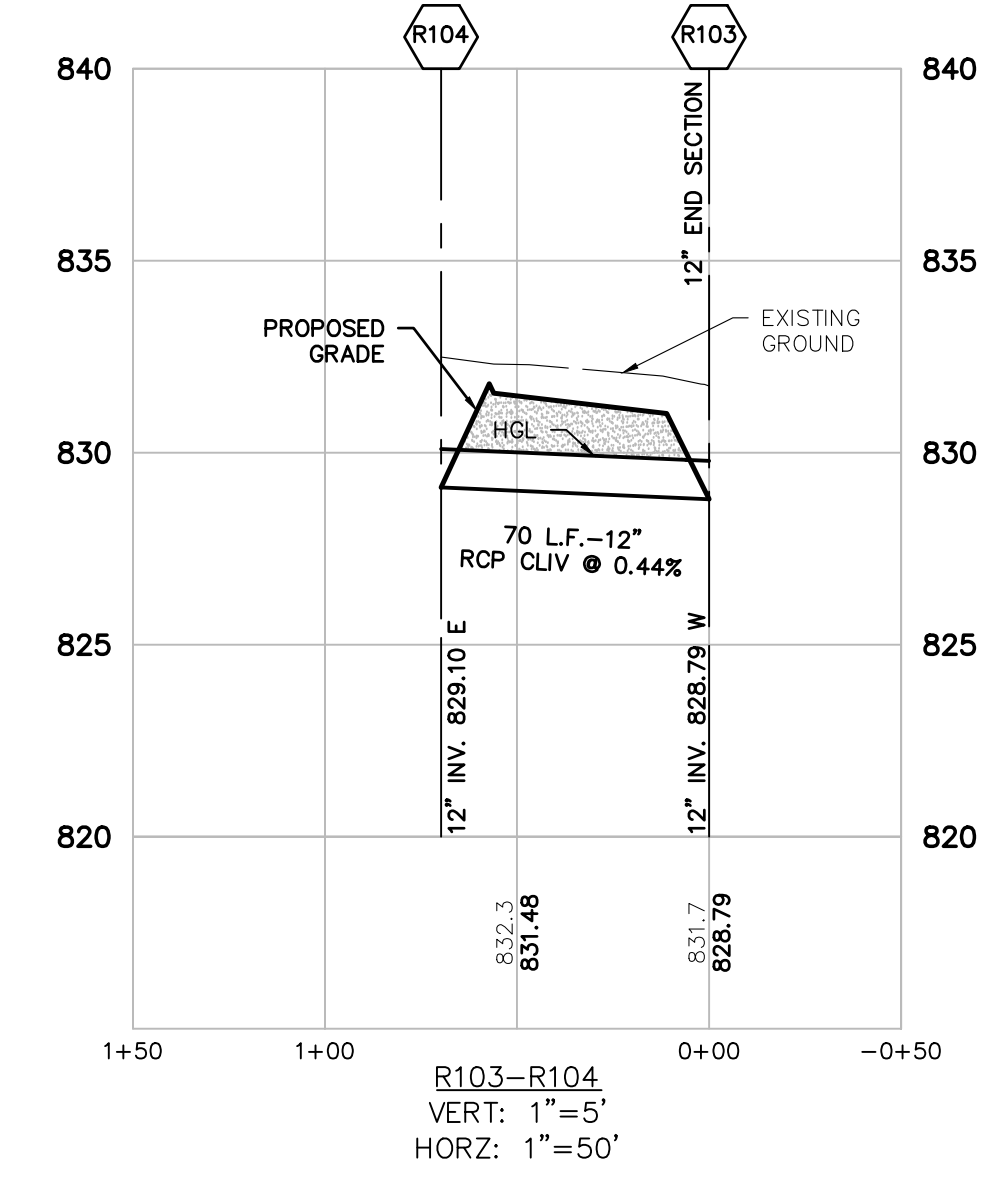
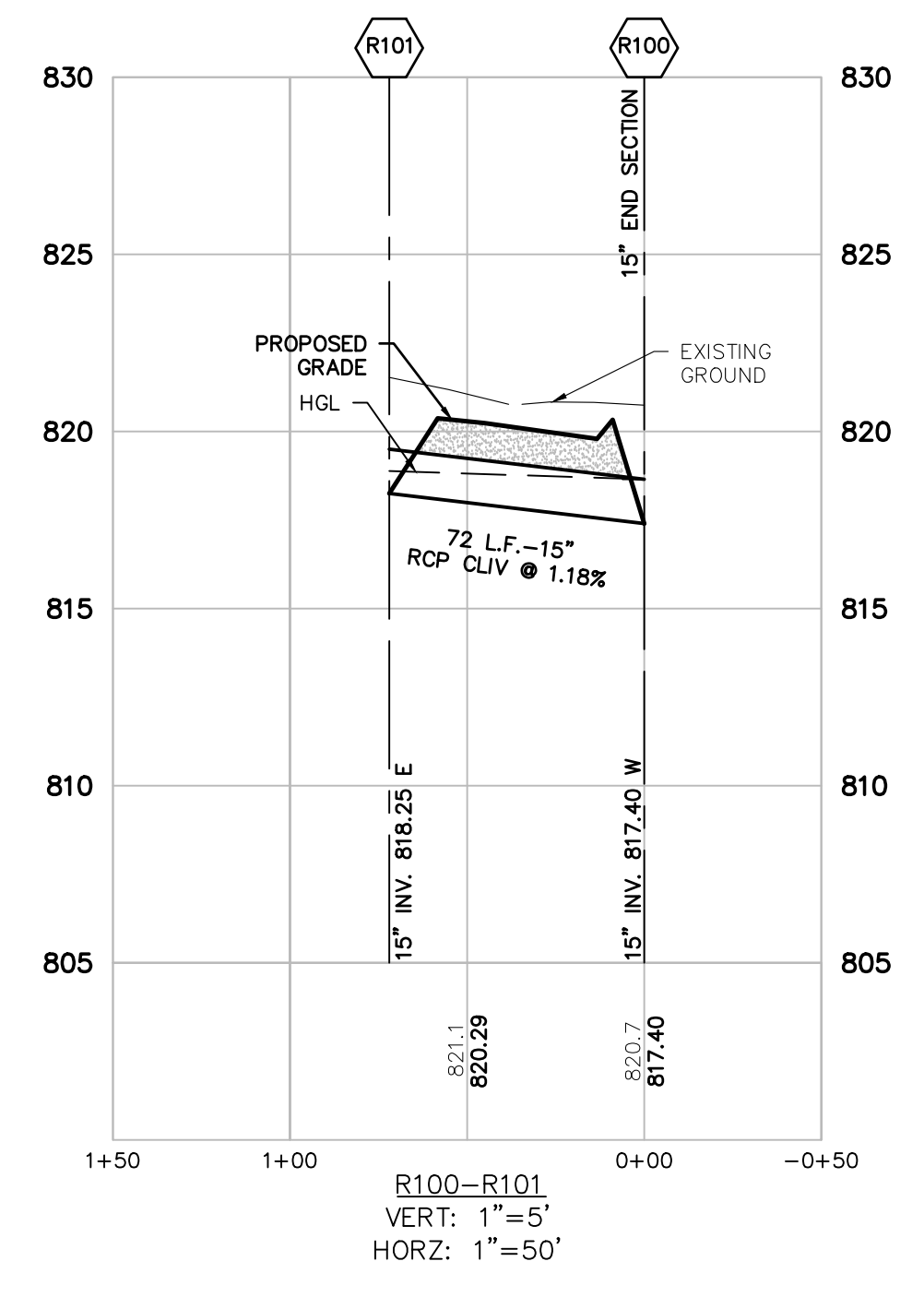
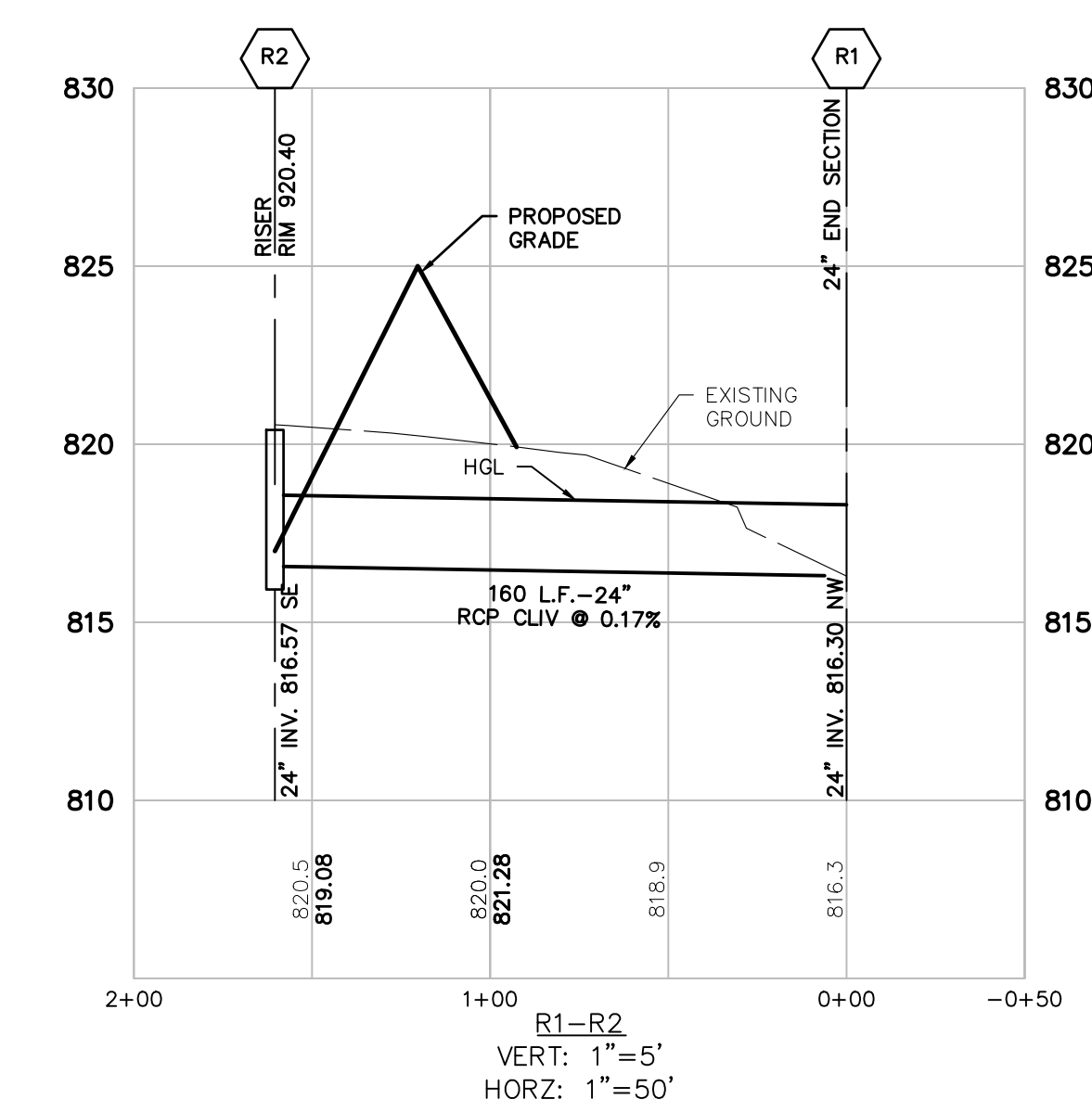
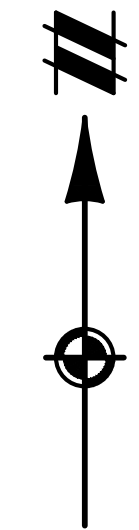
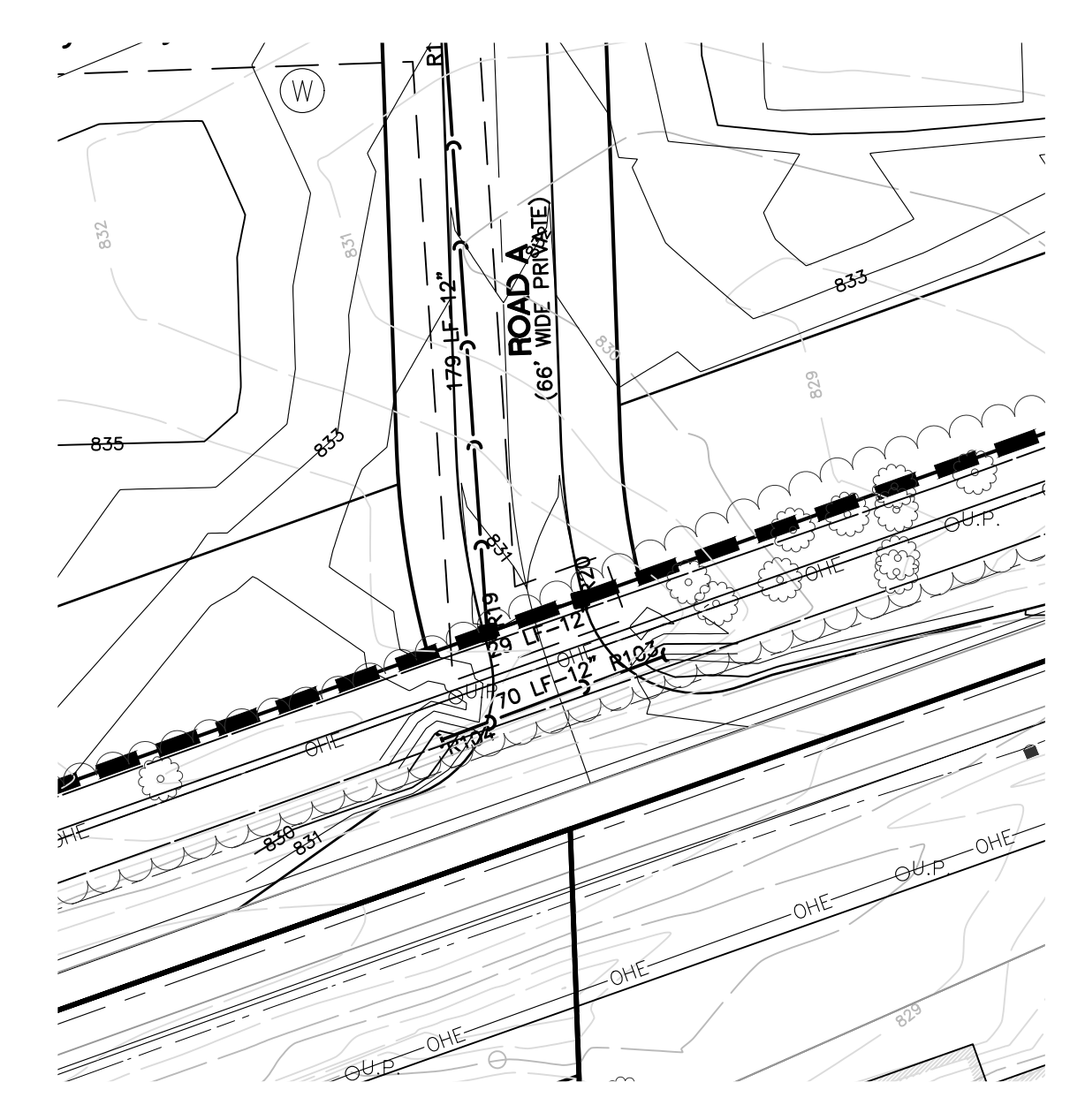
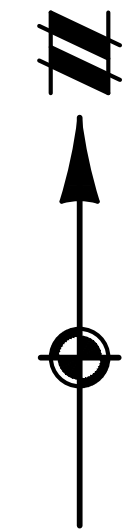
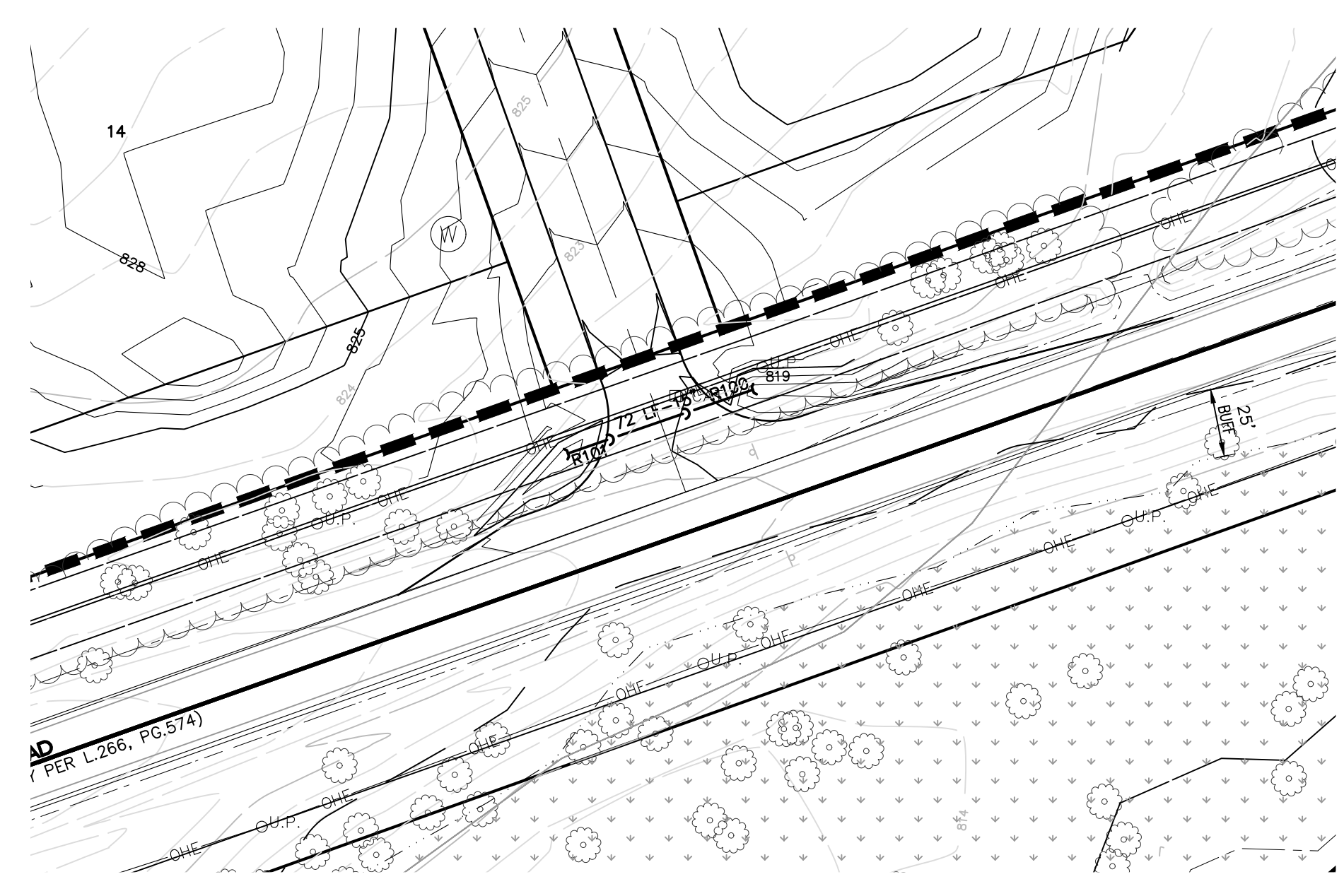
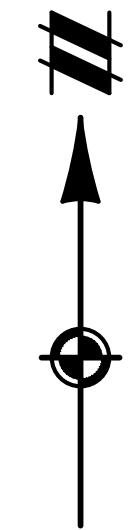
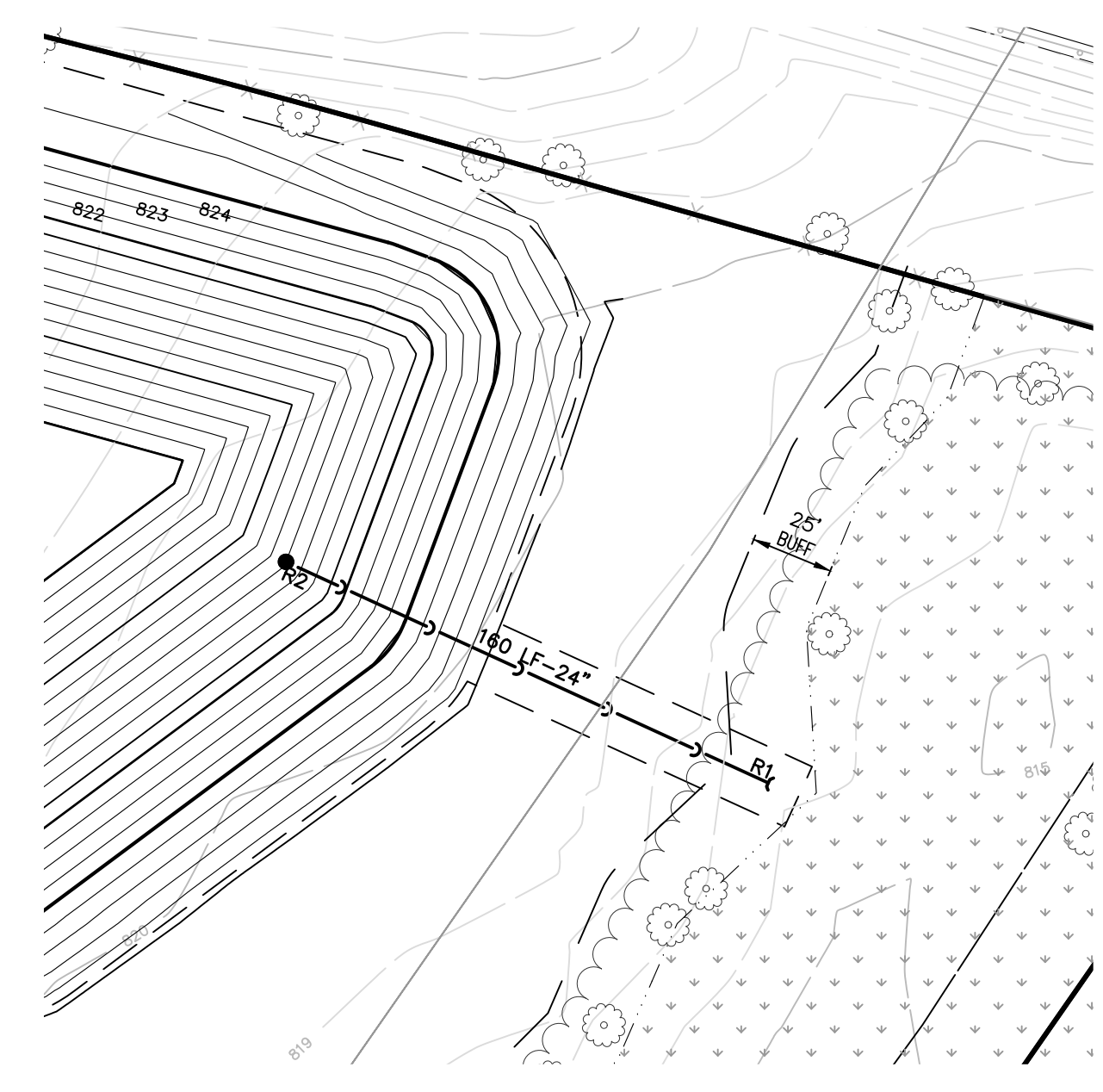
DATE: SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS	
SCALE	0 25 50
1" = 50 FEET	
DR.	SK CH. MC
P.M.	MC
BOOK	--
JOB	21002863
SHEET NO.	28



KEYMAP  
SCALE: 1" = 750 FEET



NOTE:  
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LEGEND	
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	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
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	PROP. SEPTIC
	PROP. WELL



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SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
CONCEPTUAL DRAINAGE

DATE  
SEPTEMBER 28, 2022  
11/01/22: PER TWP.

REVISIONS

SCALE	0 50 100
1" =	100 FEET
DR. SK	CH. MC
BOOK	
JOB	21002863
SHEET NO.	29

## PRELIMINARY DETENTION CALCULATIONS

W1 Determine Peak Development Rates, Areas, Curve Numbers and runoff coefficients

Area (Acres)	Curve Number	Runoff Coefficient		Area (Acres)	Runoff Coefficient	Area (Acres)	Runoff Coefficient
		Area (Acres)	Runoff Coefficient				
923	0.05	0.05	0.05	923	0.05	923	0.05

W2 Hydrologic Peak Runoff Calculations (V) (5)

Area (Acres)	Curve Number	Runoff Depth (in)	Peak Runoff (cfs)
46,218	0.05	0.05	46,218

W3 Perforated Basin Runoff Calculations (S) (6)

Area (Acres)	Curve Number	Runoff Depth (in)	Peak Runoff (cfs)
46,218	0.05	0.05	46,218

W4 Perforated Basin Runoff Calculations (S) (6) (per foot)

Area (Acres)	Curve Number	Runoff Depth (in)	Peak Runoff (cfs)
46,218	0.05	0.05	46,218

W5 Impervious Cover Post-Development Runoff Calculations (V) (per foot)

Area (Acres)	Curve Number	Runoff Depth (in)	Peak Runoff (cfs)
46,218	0.05	0.05	46,218

W6 Impervious Cover Post-Development Runoff Calculations (V) (per foot)

Area (Acres)	Curve Number	Runoff Depth (in)	Peak Runoff (cfs)
46,218	0.05	0.05	46,218

W7 Impervious Cover Post-Development Runoff Calculations (V) (per foot)

Area (Acres)	Curve Number	Runoff Depth (in)	Peak Runoff (cfs)
46,218	0.05	0.05	46,218

W8 Determine Time of Concentration (Tc) (hr)

W9 Runoff Summary & Detention Infiltration Requirement

Area (Acres)	Curve Number	Runoff Depth (in)	Peak Runoff (cfs)
46,218	0.05	0.05	46,218

W10 Detention/Retention Requirement

W11 Determine Applicable BMPs and Associated Volume Credits, % (Based on Infiltration)

DET Detention Basin Summary

Elevation	Surface Area (SI)	Depth (FT)	Detention Volume (CV)	Cumulative Volume (CV)	First Flush	Bank Full	100-Year
810	10,825	0.0	0	0	-	-	-
811	13,250	1.0	13,250	13,250	-	-	-
812	13,250	1.0	13,250	26,500	-	-	-
813	14,425	1.0	14,425	40,925	-	-	-
814	27,450	1.0	27,450	68,375	-	-	-
815	24,525	1.0	24,525	92,900	-	-	-
816	37,850	1.0	37,850	130,750	-	-	-
817	31,500	0.0	0	130,750	-	-	-
818	32,500	0.0	0	130,750	-	-	-
819	43,400	1.0	43,400	174,150	-	-	-
820	47,850	1.0	47,850	222,000	-	-	-
821	32,400	1.0	32,400	254,400	-	-	-
822	62,225	1.0	62,225	316,625	-	-	-
823	71,825	1.0	71,825	388,450	-	-	-
824	77,450	1.0	77,450	465,900	-	-	-
825	83,825	1.0	83,825	549,725	-	-	-

FOREBAY Forebay Summary

Elevation	Surface Area (SI)	Depth (FT)	Incremental Volume (CV)	Cumulative Volume (CV)	% Forebay
817	3,950	0	0	0	7.97
818	3,950	1.0	3,950	3,950	7.97
819	4,450	1.0	4,450	8,400	17.97
820	6,275	1.0	6,275	14,675	31.97
821	7,825	1.0	7,825	22,500	49.97

## EXISTING CN CALCULATION

Soil Class	Acres	CN	CNxA
A	29.61	58	1717
C	0.00	71	0
D	0.00	78	0
Total	29.61	58	1717

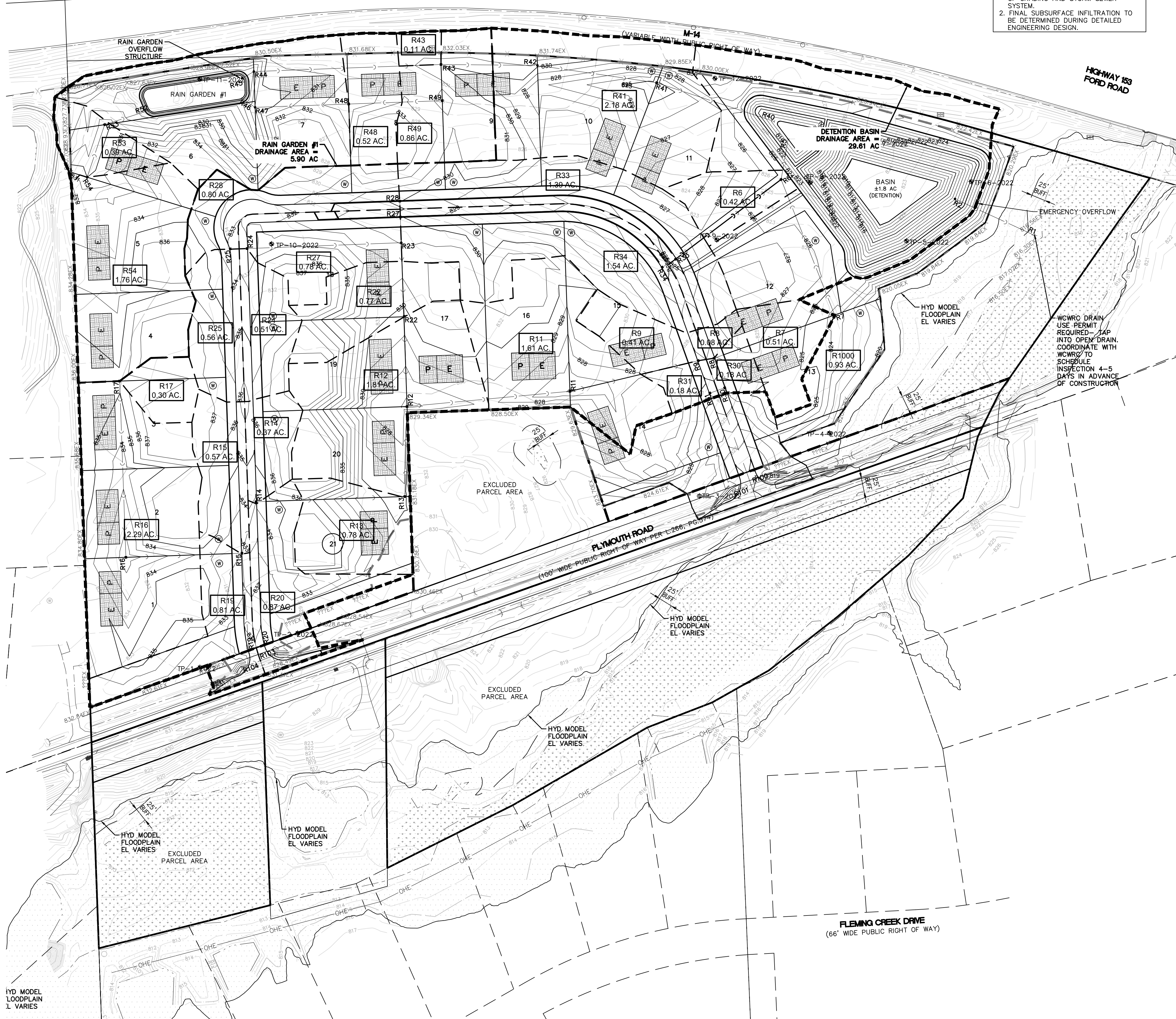
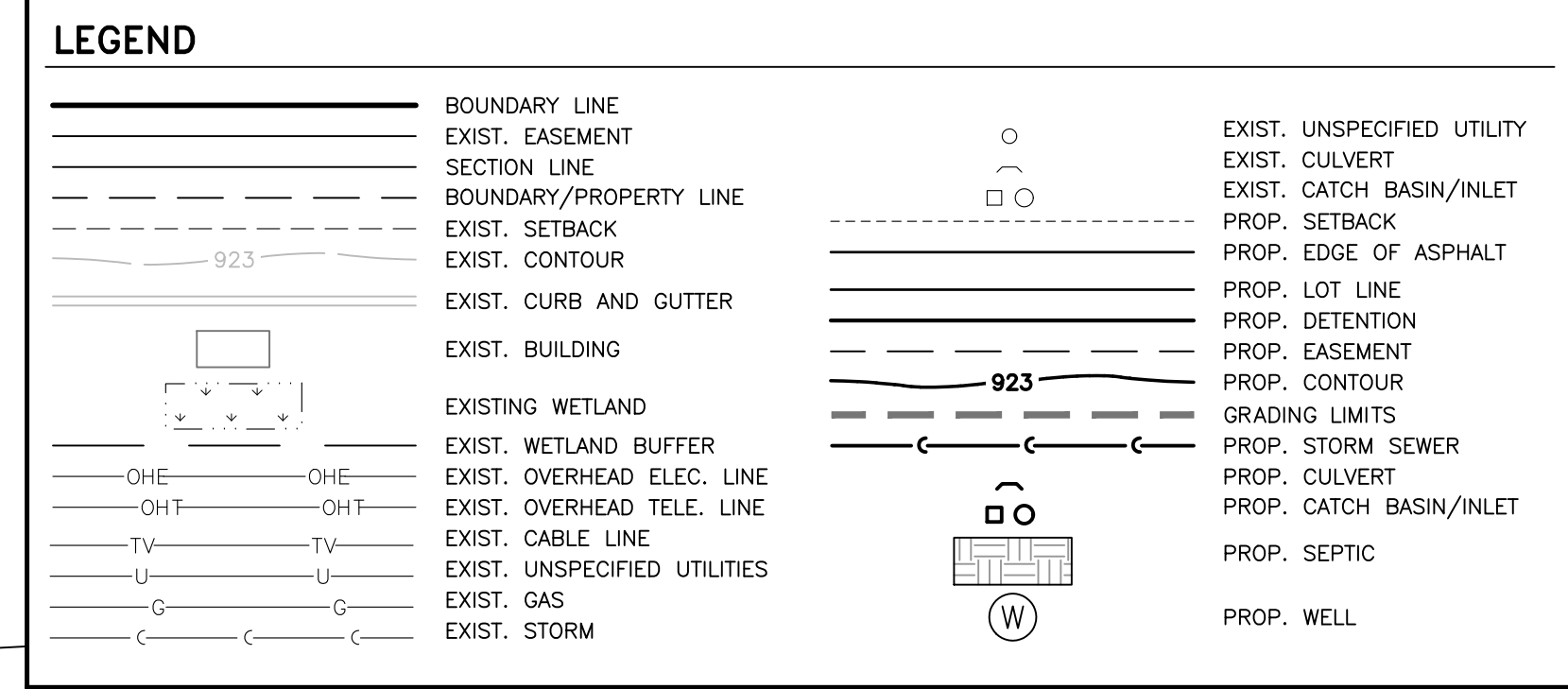
## SOIL INFILTRATION TEST RESULTS

Test Pit I.D.	Soil Description	Sand/Layer Depth	Test Depth	Measured Infiltration Rate (in/hr)	Design Infiltration Rate (in/hr)	Groundwater elevation
10-2021	Moist brown gravelly fine to coarse sand with trace of silt and occasional clay lenses	3"9"-17"6"	4"	67.69	10	815.9
11-2021	Moist brown fine sand with traces of silt and gravel	37"4"	4"	30.71	10	821.7

## DRAINAGE/STORMWATER NOTES

1. THE TOTAL REQUIRED DETENTION HAS BEEN DETERMINED IN ACCORDANCE WITH THE WASHTENAW COUNTY WATER RESOURCES COMMISSIONER RULES AND GUIDELINES.
2. BASED ON THE SOIL INVESTIGATION PARTS OF THE SITE ARE SUITABLE FOR INFILTRATION, INFILTRATION BMP'S WILL BE UTILIZED TO MEET THE REQUIRED INFILTRATION VOLUME.
3. THE REMAINING REQUIRED DETENTION SHALL BE PROVIDED WITHIN A DETENTION BASIN ON-SITE.
4. THE PROPOSED DETENTION BASIN OUTLET TO BE PROVIDED ON-SITE WETLAND.
5. ROOF DRAINAGE SHALL BE DIRECTED TO THE STORM SEWER WATER MANAGEMENT SYSTEM.
6. PROPOSED INFILTRATION TRENCH SHALL NOT BE LOCATED WITHIN 15 FEET OF A BUILDING FOUNDATION.

NOTE:  
1. EXACT LOCATION AND GEOMETRY OF FOREBAY FOR EACH BASIN WILL BE DETERMINED DURING DETAILED DESIGN OF GRADING AND STORM SEWER SYSTEM.  
2. FINAL SUBSURFACE INFILTRATION TO BE DETERMINED DURING DETAILED ENGINEERING DESIGN.



K:\VOLUME\PROJECTS\21002863\21002863-DSP-08-2022\11/27/2022 1:31 PM K.C.S. SHEPHERD

RAIN GARDEN 1

W1 Determining Post-Development Cover Types, Areas, Curve Numbers and runoff coefficients

Total Contributing Drainage Area = 5.90 Acres

W6 pervious cover Post-development 100 year Storm Runoff Calculations (V100-imp-post)

A 100 year storm event P = 5.11 in
B Pervious Cover CN = 74
C S = 1.000(CN+10)
D Q = (P-0.25)/S(P+0.85)
E Pervious Cover Area = 229,922 sf
F Volume = Q(1/2)Area
Vaccum = 46,967 cf

W7 Impervious cover Post-development 100 year Storm Runoff Calculations (V100-imp-post)

A 100 year storm event P = 5.11 in
B Impervious Cover CN = 98
C S = 1.000(CN+10)
D Q = (P-0.25)/S(P+0.85)
E Impervious Cover Area = 27,213 sf
F Volume = Q(1/2)Area
Vaccum = 11,881 cf

W8 Determine Time of Concentration (Tc-hrs)

User specified: assume 20 minutes
Total Time of Concentration (hrs) = 0.33

W9 Runoff Summary & On-site Infiltration Requirement

Vaccum = 46,967 cf
Vaccum = 11,881 cf
Total 100 year Volume (V100) = 58,037 cf

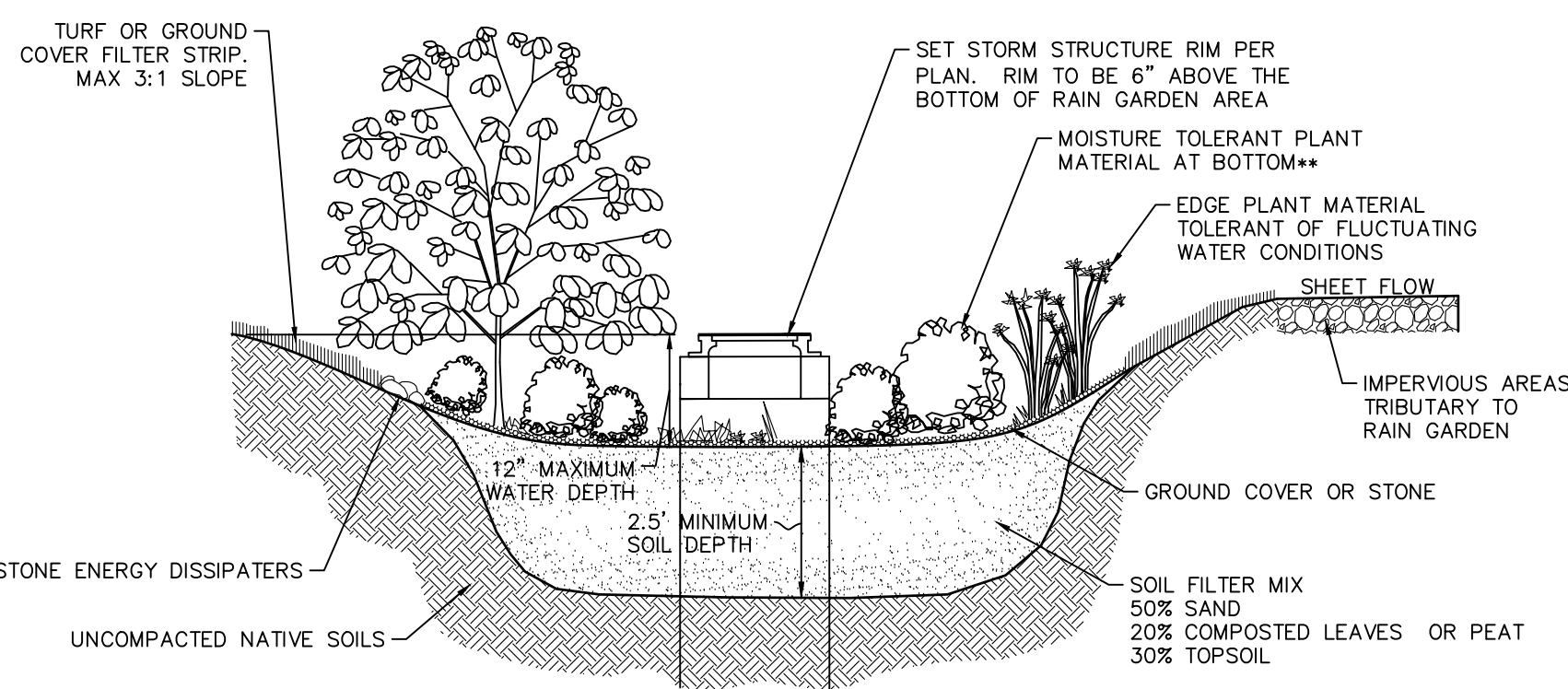
W11 Determine Applicable BMPs and Associated Volume Credits

Table with 8 columns: Proposed BMP, Area (sf), Storage Depth (ft), Storage Volume (ft^3), Ave. Design Infiltration Rate (in/hr), Hill Slope (ft/ft), Potential Volume Reduction (ft^3), Actual Volume Reduction (ft^3)

\* Per Geotechnical Investigation by McDowell & Associates. Includes a factor of safety of 2
\*\* Minimum of the calculated potential reduction and the 100 year storm volume over the tributary area. See W11A

W11A Infiltration Loading Rates and Storage Volume Drawdown Times

Table with 7 columns: Proposed BMP, 300-yr Contributing Runoff (cf), Tributary Area (sf), Overall Loading Rate, Infiltration Area (sf), Infiltration Loading Rate, Drawdown Time (hrs)



\*\* SWALE SEED MIX, PER JF NEW NURSERY - WALKERTON, ID (574) 586-3400, OR EQUAL. THE SEED MIX CONTAINS NATIVE PLANTS THAT WILL HELP FILTER POLLUTANTS FROM YARD AND ROAD RUNOFF.

RAIN GARDEN TYPICAL DETAIL
NO SCALE

PRELIMINARY CONVEYANCE CALCULATIONS

I = B/(T+D)^E
C = varies
B = 175.0
D = 25.0
E = 1
Tmin = 20
n = 0.013
Vmin = 3.0

Main conveyance calculation table with columns: FROM STRUCT INPUT, TO STRUCT, A TRIB AREA, C RUNOFF COEFF, Ax C EQUIV AREA, CA DESIGN SUM Ax C, T TIME CONC, I INTENSITY, Q FLOW CAXI, Qc PIPE CAPAC, D PIPE DIAM, L PIPE LENGTH, S PIPE SLOPE, HGq MIN HG for Q, HGv MIN HG for Vmin, HGL SLOPE, V1 FUL FULL, T1 TIME OF FLOW, H.G.L. ELEV. UPPER END, LOWER END, RIM/GROUND ELEV. UPPER END, LOWER END, INVERT ELEV. UPPER END, LOWER END

OUTLETS
R2 R1 0.00 0.00 0.00 0.00 20.0 3.89 0.00 9.33 24 160 0.17 0.00 0.17 0.17 3.0 0.9 818.58 818.30 821.45 816.37 816.57 816.30

CULVERTS
R104 R103 0.00 0.00 0.00 0.00 20.0 3.89 0.00 2.36 12 70 0.44 0.00 0.44 0.44 3.0 0.4 830.10 829.79 826.18 825.98 829.10 828.79
R101 R100 0.00 0.00 0.00 0.00 20.0 3.89 0.00 7.02 15 72 1.18 0.00 0.32 0.32 5.7 0.2 818.88 818.65 815.33 814.48 818.25 817.40



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SECTION 08
TOWN 02 NORTH, RANGE 07 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
LOMBARDO HOMES
KINSLEY DEVELOPMENT
SITE PLAN
STORM WATER CONVEYANCE CALCULATIONS

DATE
SEPTEMBER 28, 2022

Table for REVISIONS with columns for revision number and description.

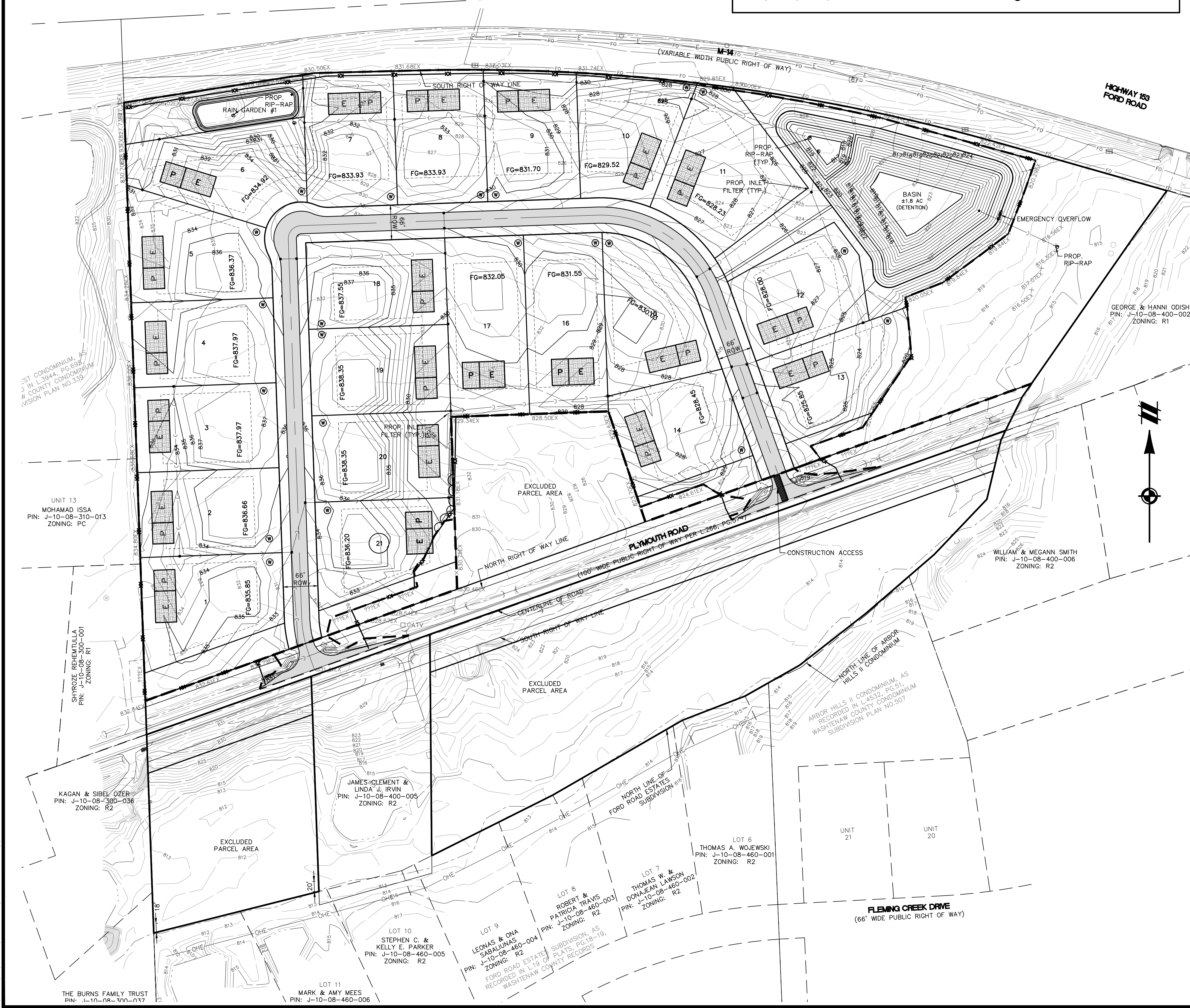
SCALE
0 50 100
1" = 100 FEET

DR. SK CH. MC
BOOK --
JOB 21002863
SHEET NO. 30

LEGEND	
	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. CONTOUR
	EXIST. CURB AND GUTTER
	EXIST. BUILDING
	EXISTING WETLAND
	EXIST. WETLAND BUFFER
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD TELE. LINE
	EXIST. CABLE LINE
	EXIST. UNSPECIFIED UTILITIES
	EXIST. GAS
	EXIST. STORM
	EXIST. UNSPECIFIED UTILITY
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	PROP. SETBACK
	PROP. EDGE OF ASPHALT
	PROP. LOT LINE
	PROP. DETENTION
	PROP. EASEMENT
	EXIST. CONTOUR
	GRADING LIMITS
	PROP. STORM SEWER
	PROP. CULVERT
	PROP. CATCH BASIN/INLET
	PROP. SEPTIC
	PROP. WELL
	PROP. WELL

**SOIL EROSION AND SEDIMENTATION CONTROL NOTES:**

1. THE CONDOMINIUM ASSOCIATION SHALL BE FIRST IN LINE OF RESPONSIBILITY FOR MAINTAINING ALL OF ROAD STORM SEWERS AND DETENTION BASINS.
2. A CHAPTER 18 DRAINAGE DISTRICT WILL BE ESTABLISHED FOR THE ENTIRE PROJECT GIVING THE WCRC STATUTORY AUTHORITY FOR ULTIMATE RESPONSIBILITY.
3. SILT SACKS TO BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS. BEAVER DAMS ARE TO BE USED IN ADDITION TO SILT SACKS FOR ALL CURB-STYLE CATCH BASINS. STORM SEWER CATCH BASINS ARE TO BE PROTECTED WITH THE FOLLOWING PRODUCT OR APPROVED EQUAL:
  - 3.1. REGULAR FLOW SILTSACK (FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF).
  - 3.2. HI-FLOW SILTSACK (FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF).
  - 3.3. OIL-ABSORBANT SILTSACK (FOR AREAS WHERE THERE IS A CONCERN FOR OIL RUN-OFF OR SPILLS).
4. DETENTION BASINS SHALL BE SEEDED AND STABILIZED IMMEDIATELY UPON ACHIEVING FINAL GRADE AND FOLLOWING WCRC APPROVED SPECIFICATIONS.
5. RESTORATION AND STABILIZATION OF ALL DISTURBED AREAS, INCLUDING PLACEMENT OF TOPSOIL, SOIL, SEED, FERTILIZER AND MULCH AND/OR SOD SHALL BE COMPLETED WITHIN FIVE (5) DAYS OF THE COMPLETION OF FINAL GRADE.
6. IF SOIL STOCKPILING IS NECESSARY AND/OR CREATED, SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE PERIMETER OF THE STOCKPILE IF THE STOCKPILE WILL BE ON-SITE FOR AN EXTENDED PERIOD OF TIME.
7. EROSION CONTROL BLANKET TO BE UTILIZED ON ALL DISTURBED SLOPES WITH A FINISHED GRADE STEEPER THAN 4:1.
8. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.
9. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHALL BE KEPT TO THE SHORTEST PERIOD OF TIME.
10. TEMPORARY VEGETATION AND/OR MULCHING SHALL BE USED TO PROTECT CRITICAL AREAS EXPOSED DURING DEVELOPMENT.
11. THE PERMANENT FINAL VEGETATION AND STRUCTURES SHALL BE INSTALLED AS SOON AS PRACTICAL IN DEVELOPMENT.
12. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP AND THE WASHTENAW COUNTY DRAIN COMMISSIONER.
13. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR. PERIODIC INSPECTIONS MAY BE MADE BY THE OWNER/PROJECT ENGINEER/TOWNSHIP TO DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES. ANY NECESSARY CORRECTIONS SHALL BE MADE WITHOUT DELAY BY THE ONSITE RESPONSIBLE INDIVIDUAL.
14. EROSION AND ANY SEDIMENTATION CONTROL WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
15. EROSION AND ANY SEDIMENTATION CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
16. A WATER TRUCK SHALL BE AVAILABLE TO WATER DOWN THE SITE ON A DAILY BASIS FOR DUST CONTROL.
17. ALL MUD/DIRT TRACKED ONTO EXISTING COUNTY ROADS FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR/BUILDER, AS DIRECTED BY THE TOWNSHIP. MUD MAT DAILY MAINTENANCE WILL INCLUDE THE ADDITION OF EXTRA LAYERS OF STONE AS NECESSARY.
18. DURING CONSTRUCTION OF THE STORM SEWER SYSTEM, STRAW BALES, STONE FILTERS OR OTHER APPROVED MEANS, WILL PROTECT THE ENDS OF ALL OPEN PIPES.
19. PROMPTLY UPON THE BACKFILLING OF STORM STRUCTURES, INLET FILTERS WILL BE PLACED AROUND THE STRUCTURE PER DETAILS.
20. ANY REMAINING DENUDED AREA SHALL BE SEEDED AND MULCHED WITHIN 5 DAYS AFTER COMPLETION OF FINAL GRADING. SEED MIX AND APPLICATION RATES SHALL BE PER MDT CLASS A SEED.
21. SHOULD DEWATERING BE NECESSARY, DISCHARGE SHALL BE ROUTED THROUGH A SEDIMENT FOREBAY, FILTER BAG OVER A WELL VEGETATED AREA OR OTHER APPROVED FILTERING MECHANISM PRIOR TO BEING DISCHARGED FROM THE SITE. DISCHARGE MUST BE LIMITED TO A NON-EROSIVE VELOCITY.
22. SOIL EROSION WILL BE CONTROLLED DURING AND AFTER CONSTRUCTION TO PROTECT ADJACENT PROPERTIES OR FACILITIES.
23. ALL EXISTING AND PROPOSED CULVERTS AND STORM PIPES ALONG ANN ARBOR-SALINE ROAD MUST BE KEPT FREE OF SEDIMENT.
24. SEED AND STABILIZE DETENTION BASINS IMMEDIATELY UPON ACHIEVING FINAL GRADE, AND FOLLOW WASHTENAW COUNTY WATER RESOURCE COMMISSION (WCRC) APPROVED SPECIFICATIONS.
25. STEEP SLOPES THAT DO NOT TAKE UPON INITIAL SEEDING MUST BE RE-SEEDED AND STABILIZED WITH EROSION CONTROL BLANKET.
26. WHERE EXCAVATION HAS BEEN THROUGH LAWN AREAS, THE CONTRACTOR SHALL RESTORE THE DISTURBED AREA BY PLACING TOPSOIL AND SEEDING OR SODDING OVER THE FINAL BACKFILL MATERIAL.
27. IF DEWATERING IS NECESSARY, A DEWATERING PLAN MUST BE SUBMITTED PRIOR TO CONSTRUCTION.
28. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN THE SOIL EROSION CONTROL MEASURES AS SHOWN ON THE SESC PLANS AT ALL TIMES DURING CONSTRUCTION ON THIS PROJECT. ANY MODIFICATIONS OR ADDITIONS TO THE SOIL EROSION CONTROL MEASURE DUE TO CONSTRUCTION OR CHANGED CONDITIONS, SHALL BE COMPLIED WITH AS REQUIRED OR DIRECTED BY THE OWNER, PROJECT ENGINEER, OR SUPERIOR TOWNSHIP.
29. ALL SOIL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE PERMIT REQUIREMENTS OF SUPERIOR TOWNSHIP AND THE LAWS OF THE STATE OF MICHIGAN.
30. AN NPDES CONSTRUCTION ACTIVITY PERMIT IS REQUIRED FOR ALL SITES GREATER THAN FIVE (5) ACRES.
31. CONSTRUCTION OPERATIONS SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE SOIL EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION IN CRITICAL AREAS, AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING OPERATIONS.
32. SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND REMOVAL OF SOME UPON AUTHORIZED COMPLETION OF PROJECT. COMPLETION OF PROJECT WILL NOT BE AUTHORIZED UNTIL ALL SITE WORK, HOME BUILDING, ROAD WORK, AND UTILITY CONSTRUCTION IS COMPLETE AND ALL SOILS ARE STABILIZED.
34. THE CONTRACTOR SHALL NOT GRADE IN EXISTING WETLAND OR CONSERVATION AREAS TO BE PROTECTED. SILT FENCE SHALL BE INSTALLED AND MAINTAINED ADJACENT TO EXISTING WETLAND AND CONSERVATION AREAS TO PREVENT GRADING, EROSION, AND SEDIMENTATION INTO THEM.
35. TREE PROTECTION FENCING MUST REMAIN INTACT UNTIL RESTORATION OF THE SITE IS COMPLETE.
36. SEED OR SOD IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
37. ALL AREAS OF DISTURBED EARTH THAT ARE NOT TO BE PAVED OR SODDED SHALL HAVE 4 INCHES OF TOPSOIL, SEED, FERTILIZER AND MULCH.
38. IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH UNWEATHERED SMALL GRAIN STRAW (PREFERABLY WHEAT) OR HAY SPREAD, SPREAD UNIFORMLY AT THE RATE OF 1-1/2 TO 2 TONS OR 100 POUNDS (2 TO 3 BALES) PER 1,000 SQUARE FOOT. THIS MULCH SHOULD BE ANCHORED WITH A DISC-TYPE MULCH-ANCHORING TOOL.
39. ANY DISTURBED AREA NOT PAVED, SEEDED OR MULCHED, SODDED OR BUILT UPON ON OR AFTER NOVEMBER 15TH, IS TO BE MULCHED IN THE MANNER AS SPECIFIED ABOVE, IN ORDER TO PROVIDE SOIL EROSION PROTECTION DURING THE WINTER AND EARLY SPRING.
40. ALL EROSION AND SEDIMENTATION CONTROL PREVENTION PROCEDURES AND STRUCTURES ARE TO COMPLY WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR THE WASHTENAW COUNTY SOIL CONSERVATION DISTRICT.
41. DURING CONSTRUCTION, ALL ROADS SHALL BE PROTECTED FROM UNVEGETATED AREAS WASHING ONTO ROAD SURFACES BY PLACEMENT OF SILT FENCE BEHIND CURB OR A 10-FOOT WIDE STRAW MULCH BANK BEHIND THE CURB OR OTHER APPROVED METHOD AND/OR AS SHOWN ON THE PLANS.
42. DURING CONSTRUCTION OF ANY PORTION OF THE PROJECT, ROADS SHALL BE MAINTAINED FREE OF DIRT, SILT, AND CONSTRUCTION.
43. AT THE TIME OF PLANT AND SEED DELIVERY, A WCRC LANDSCAPE REVIEWER MUST BE PRESENT. THE QUANTITY AND SPECIES DELIVERED WILL BE REVIEWED ON SITE. CONTACT CATIE WYTYCHAK AT WYTYCHAK@WASHTENAW.ORG OR (734) 222-6813 TO COORDINATE.



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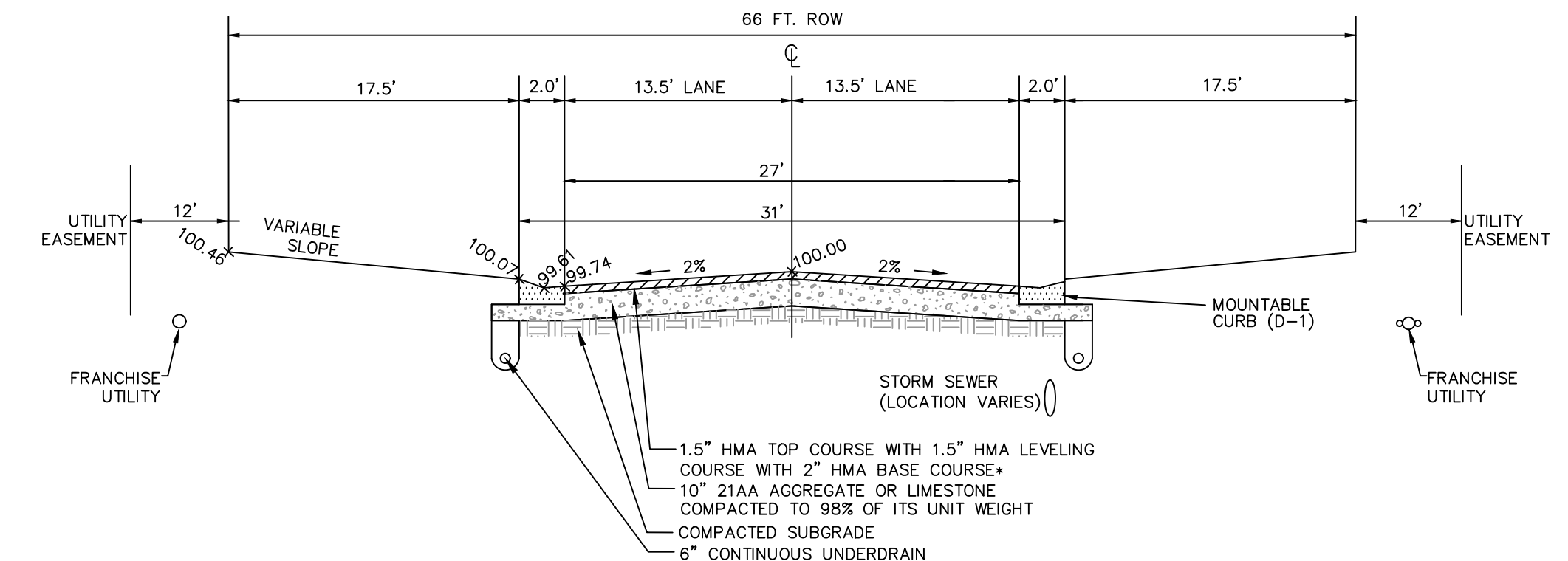
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SECTION 08	TOWN 02 NORTH, RANGE 07 EAST	SUPERIOR TOWNSHIP	WASHTENAW COUNTY, MICHIGAN
LOMBARDO HOMES	KINSLEY DEVELOPMENT	SITE PLAN	SOIL EROSION AND SEDIMENTATION CONTROL PLAN
CLIENT			
DATE: SEPTEMBER 28, 2022			
11/01/22: PER TWP.			
REVISIONS			
SCALE 0 50 100			
1" = 100 FEET			
DR. SK CH. MC			
P.M. MC			
BOOK --			
JOB 21002863			
SHEET NO.			
<b>31</b>			



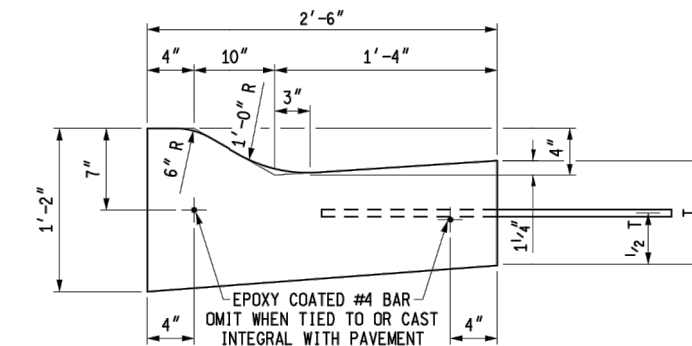


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DR.	SK CH. MC
P.M.	MC
BOOK	--
JOB	21002863
SHEET NO.	33



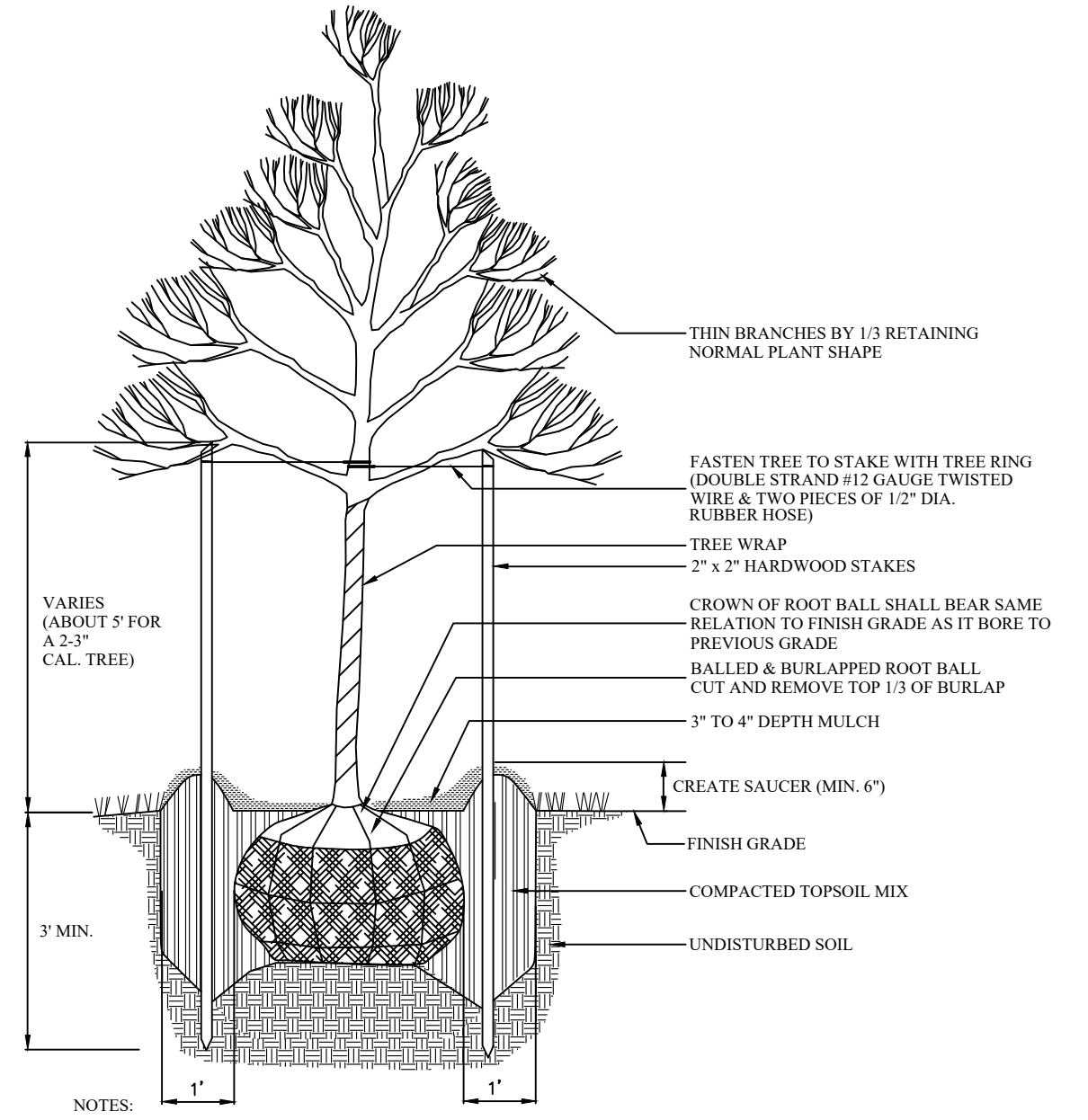
**RESIDENTIAL ROADWAYS (PRIVATE)**  
NOT TO SCALE

- \* NOTES:  
1. REFER TO CURRENTLY APPROVED WCRC HMA MIX DESIGNS AND BINDER REQUIREMENTS PRIOR TO CONSTRUCTION.  
2. ALL PROPOSED UTILITIES SHALL BE WITHIN THE RIGHT-OF-WAY OR WITHIN AN EASEMENT OUTSIDE OF THE RIGHT-OF-WAY.
- ASSUMED SECTION:  
1.5" LVSP WEARING COURSE WITH 3% MAX AIR VOIDS  
1.5" LVSP LEVELING COURSE  
2" 4E1 BASE COURSE  
ALL HMA SHALL LIMIT RAP TO 25%

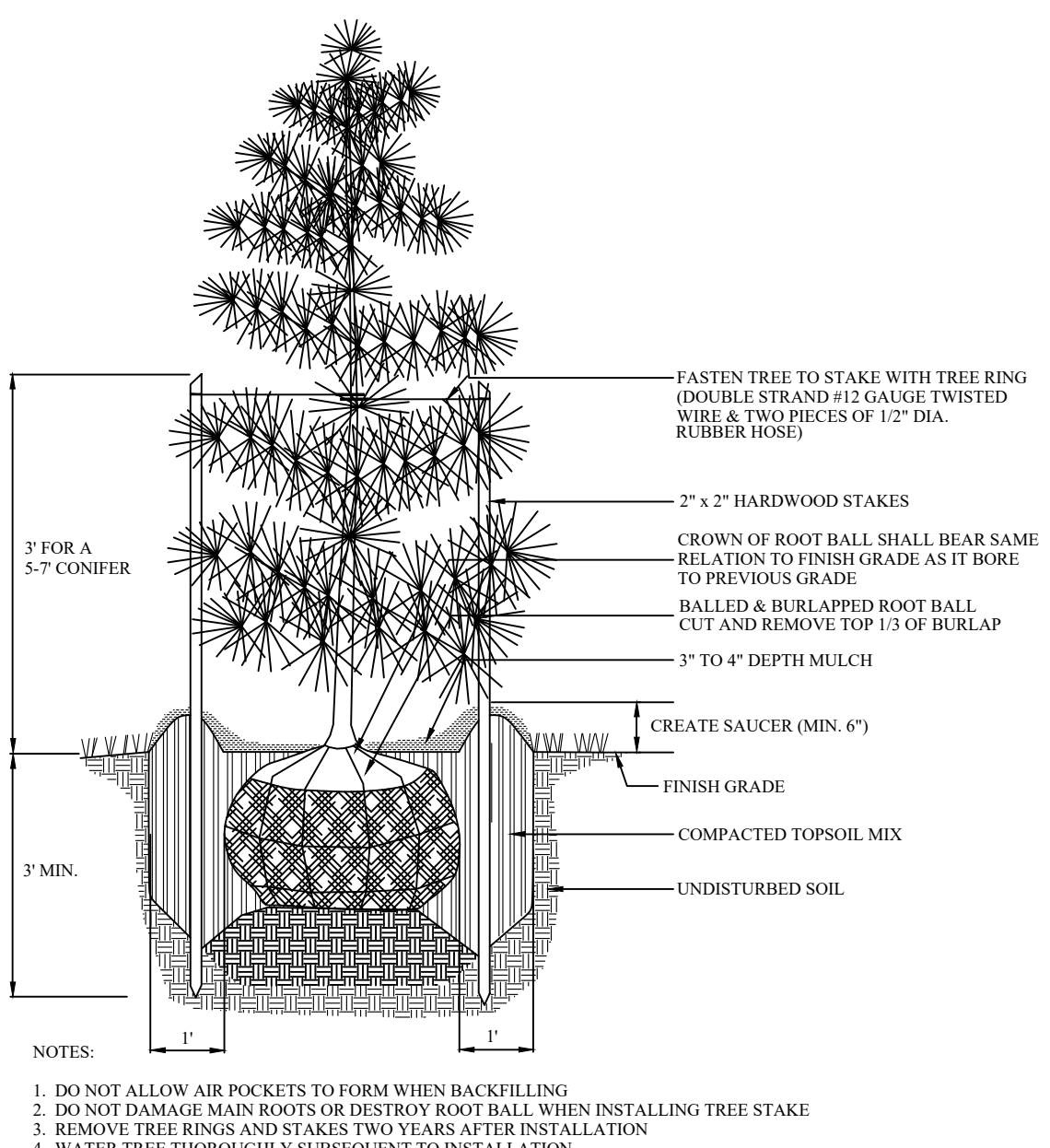


DETAIL	DIMENSION	LANE TIES	CONCRETE CYD / LFT
D1	9"	AS SHOWN	0.0788
D2	9"	OMITTED	0.0788
D3	10"	AS SHOWN	0.0826

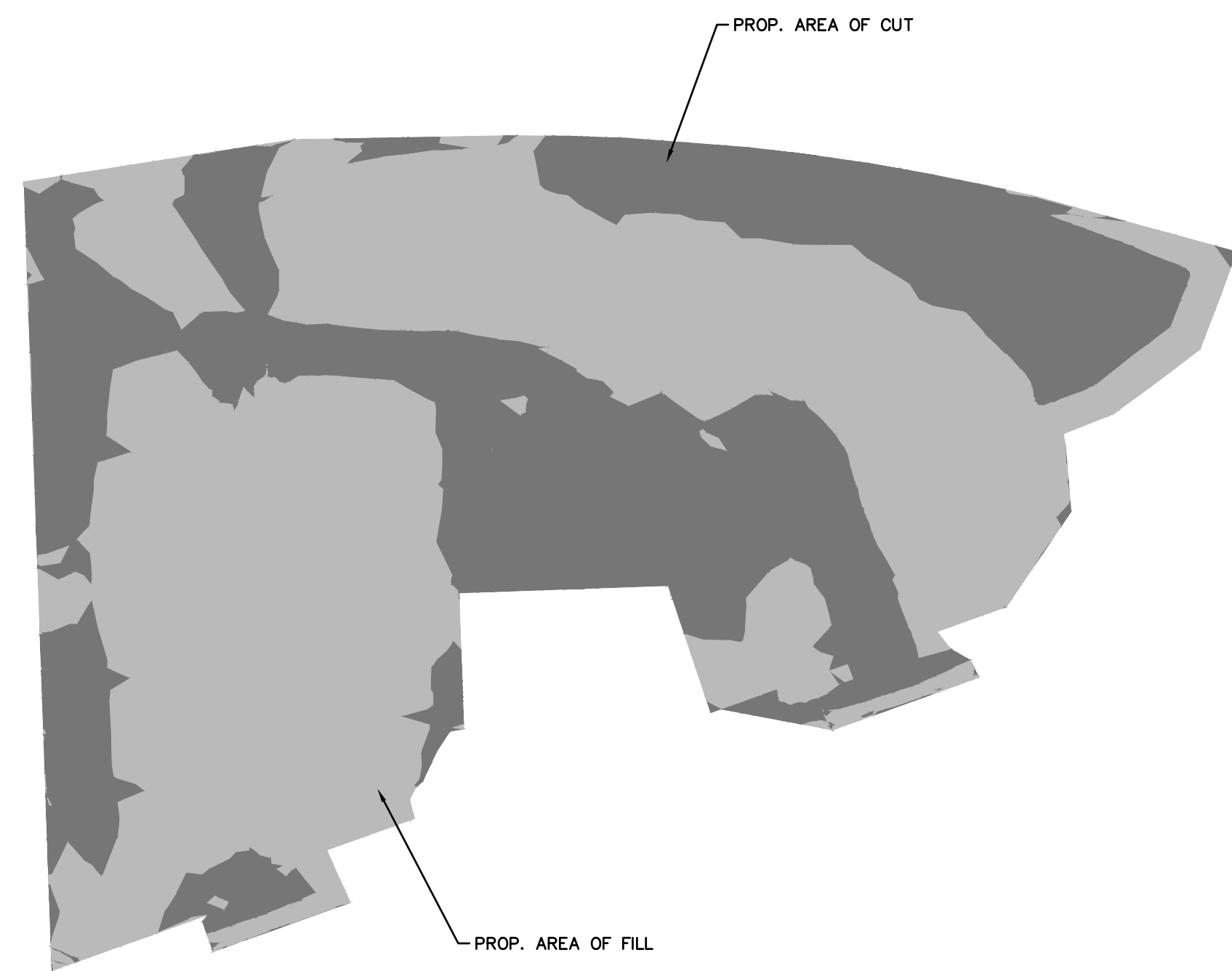
**MOUNTABLE CURB & GUTTER**  
NOT TO SCALE



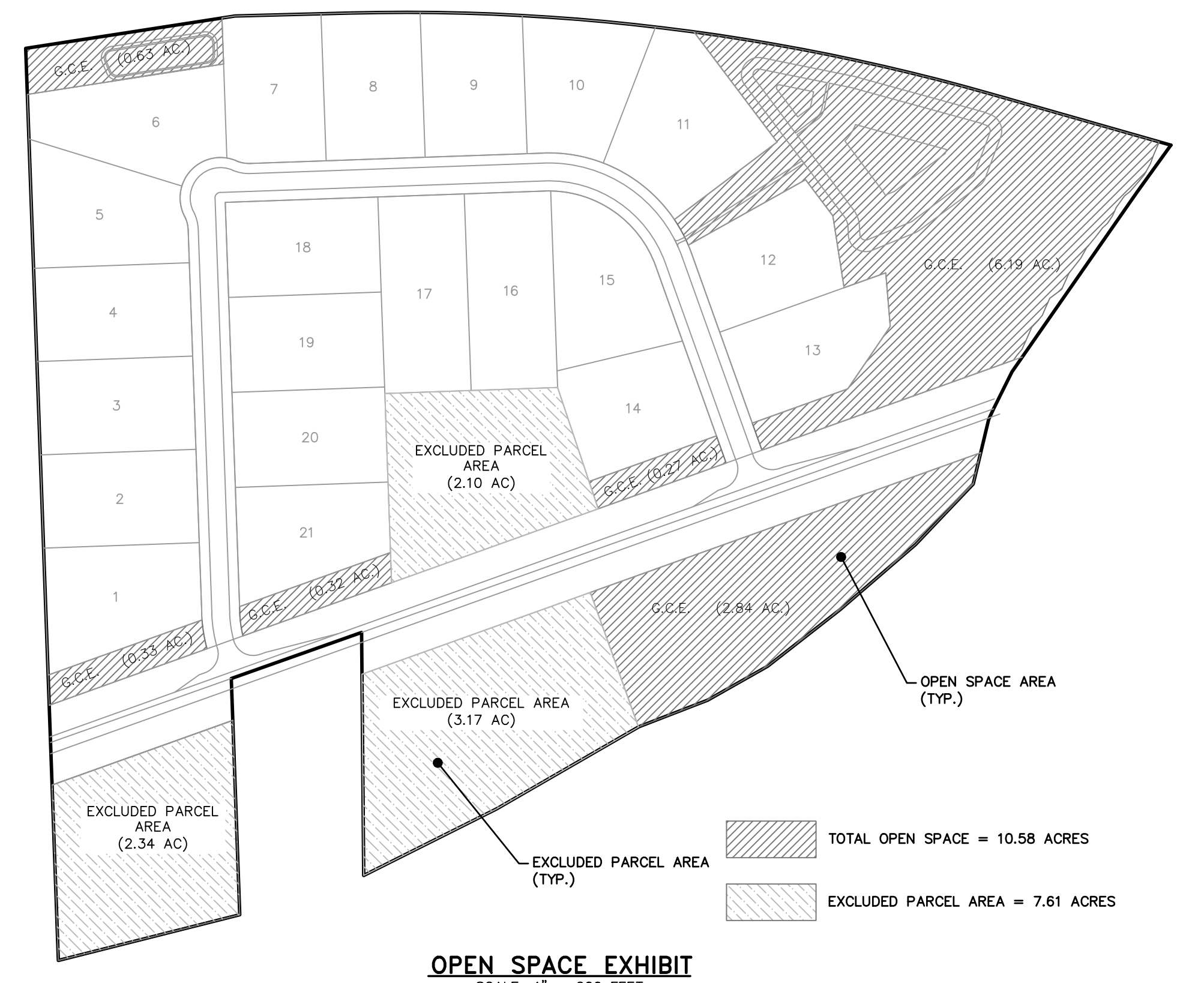
**DECIDUOUS TREE PLANTING DETAIL**  
NO SCALE



**CONIFEROUS TREE PLANTING DETAIL**  
NO SCALE



**CUT AND FILL AREAS**  
SCALE: 1" = 200 FEET



**OPEN SPACE EXHIBIT**  
SCALE: 1" = 200 FEET



Kinsley  
**THE SHENANDOAH**  
3,933-4,550 Sq. Ft. | 4 Bedrooms | 3.5-4.5 Baths

Lombardo  
H • O • M • E • S



Craftsman



European



Farmhouse



Prairie

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Kinsley  
**THE FULLERTON**  
2,719-2,857 Sq. Ft. | 2-3 Bedrooms | 2.5 Baths

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Kinsley  
**THE LIBERTY**  
4,534-5,158 sq. ft. | 4-5 Bedrooms | 3.5-4.5 Baths

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Farmhouse



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European

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Kinsley  
**THE MERIELLE**  
3,642-4,471 Sq. Ft. | 4 Bedrooms | 3.5 Baths

CRANBROOK  
CUSTOM HOMES



French Chateau



Tuscan



French Manor

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Kinsley  
**THE HUNTINGTON**  
4,384-4,600 Sq. Ft. | 4-6 Bedrooms | 4.5-5.5 Baths

Lombardo  
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Craftsman



European



Farmhouse



Prairie

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Kinsley  
**THE LOYÈRE**  
4,095-4,487 Sq. Ft. | 4 Bedrooms | 4 Baths

CRANBROOK  
CUSTOM HOMES



Tuscan



Contemporary



French Colonial



Nouveau Traditional

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SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
ELEVATIONS

DATE  
SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS	
SCALE	0 -- --
NO SCALE	
DR.	SK CH. MC
P.M.	MC
BOOK	--
JOB	21002863
SHEET NO.	35

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Kinsley  
**THE CASTELLA**



4,646-4,691 Sq. Ft. | 4 Bedrooms | 3.5 Baths



European Eclectic



French Colonial



French Classic

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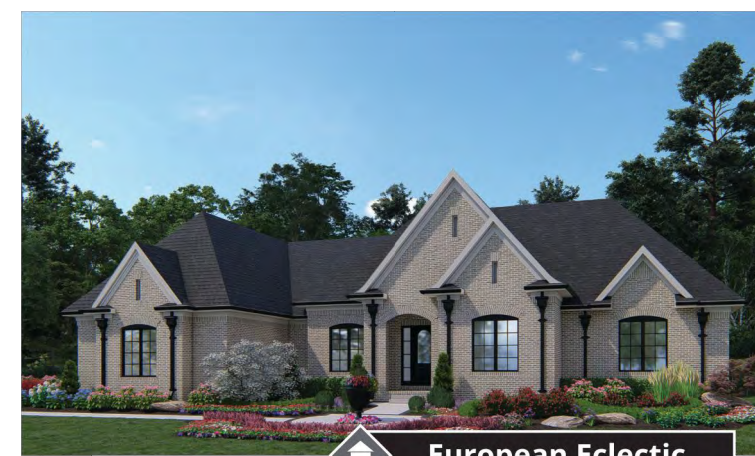
Kinsley  
**THE CHARDONNAY**



3,418-4,100 Sq. Ft. | 4 Bedrooms | 3.5 Baths



European Romantic



European Eclectic



Shingle Style

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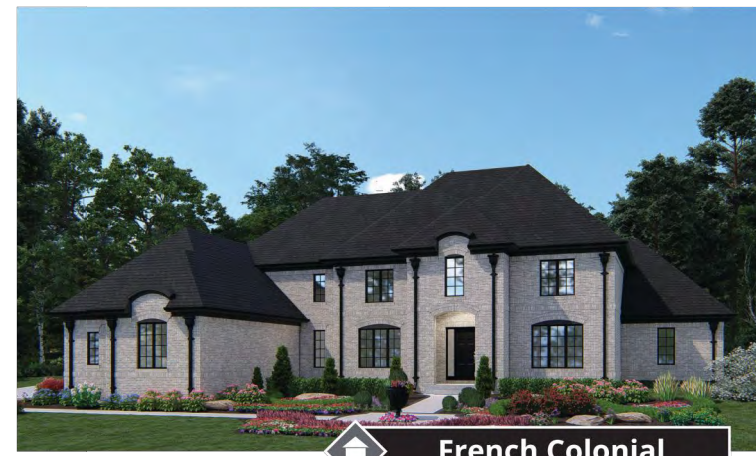
Kinsley  
**THE BEAUCAIRE**



4,330-5,084 Sq. Ft. | 4 Bedrooms | 3.5 Baths



French Country



French Colonial



European Eclectic

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Kinsley  
**THE MONET**



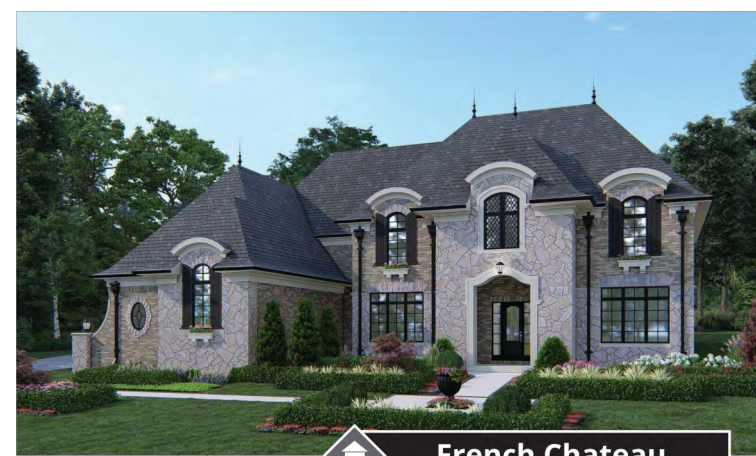
5,821-6,108 Sq. Ft. | 4 Bedrooms | 4 Baths



English Manor



French Colonial



French Chateau

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Kinsley  
**THE LORIENT**



3,336-3,867 Sq. Ft. | 4 Bedrooms | 3.5 Baths



French Chateau



French Manor



Tuscan



Craftsman

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734-994-4000



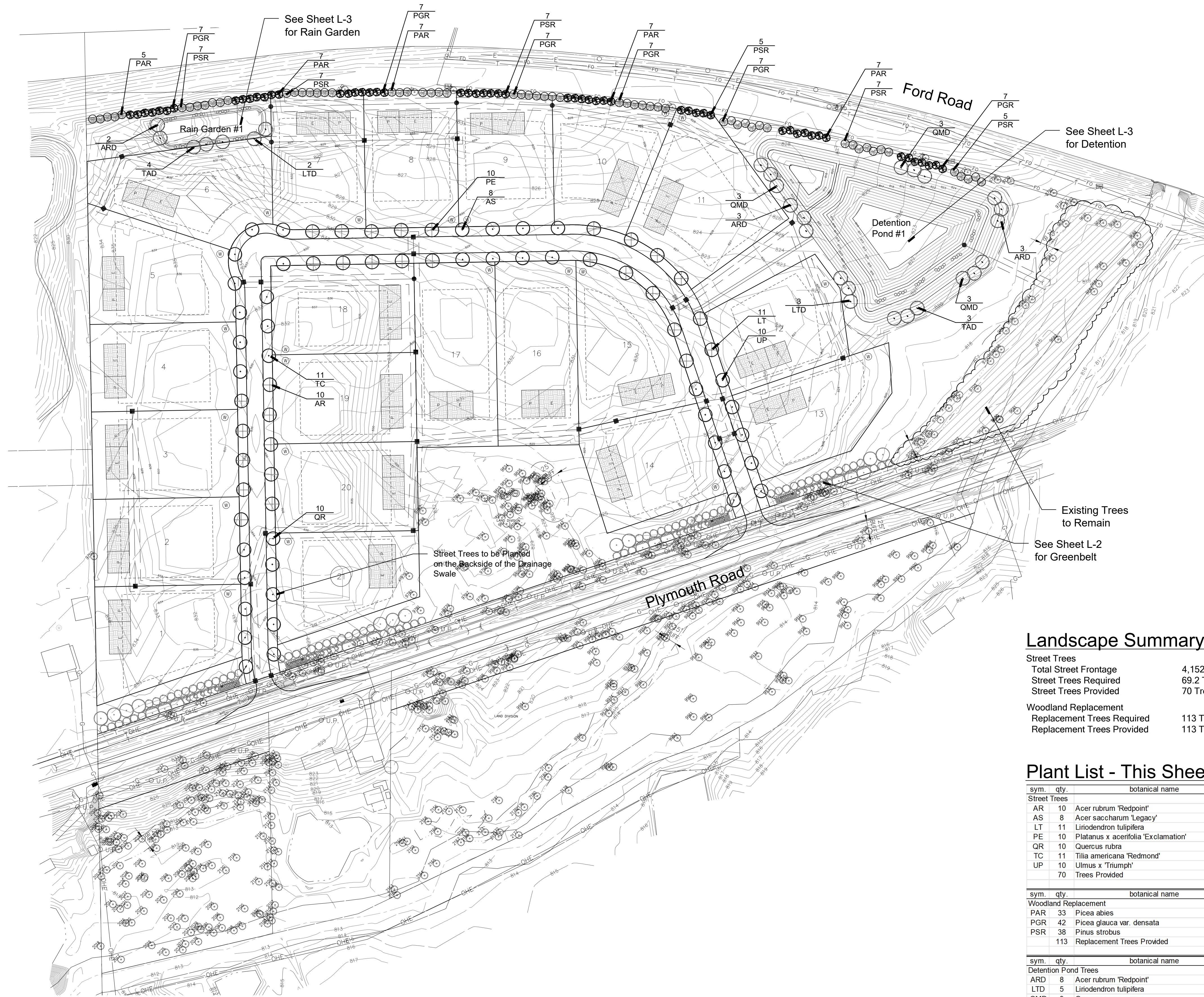
SECTION 08  
TOWN 02 NORTH, RANGE 07 EAST  
SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

CLIENT  
LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
SITE PLAN  
ELEVATIONS

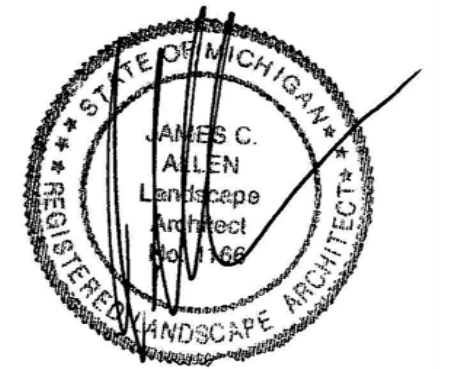
DATE  
SEPTEMBER 28, 2022

11/01/22: PER TWP.

REVISIONS	
SCALE	0
NO SCALE	
DR.	SK   CH. MC
P.M.	MC
BOOK	--
JOB	21002863
SHEET NO.	36



Seal: \_\_\_\_\_



Title: \_\_\_\_\_  
**Landscape Plan**

Project: \_\_\_\_\_  
**Kinsley**  
 Superior Township, Michigan

Prepared for: \_\_\_\_\_  
 Diverse Real Estate, LLC  
 13001 23 Mile Road, Suite 200  
 Shelby Township, MI 48315  
 586.232.9141

Revision: \_\_\_\_\_ Issued: \_\_\_\_\_  
 Review Revised September 28, 2022  
 November 1, 2022

**Landscape Summary - This Sheet**

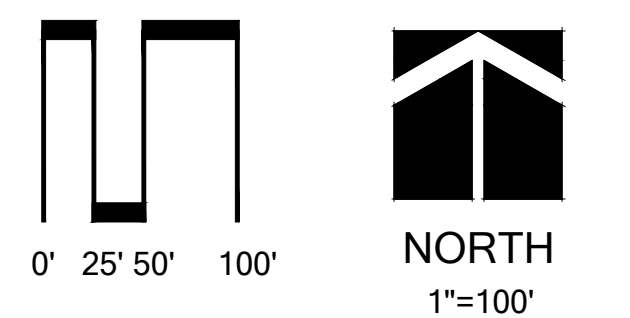
<b>Street Trees</b>	
Total Street Frontage	4,152'
Street Trees Required	69.2 Trees (4,152' / 60')
Street Trees Provided	70 Trees
<b>Woodland Replacement</b>	
Replacement Trees Required	113 Trees
Replacement Trees Provided	113 Trees

**Plant List - This Sheet**

sym.	qty.	botanical name	common name	caliper	spacing	root	height
<b>Street Trees</b>							
AR	10	Acer rubrum 'Redpoint'	Redpoint Maple	2.5"	as shown	B&B	
AS	8	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B	
LT	11	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
PE	10	Platanus x acerifolia 'Exclamation'	Exclamation London Planetree	2.5"	as shown	B&B	
QR	10	Quercus rubra	Red Oak	2.5"	as shown	B&B	
TC	11	Tilia americana 'Redmond'	Redmond Linden	2.5"	as shown	B&B	
UP	10	Ulmus x 'Triumph'	Triumph Elm	2.5"	as shown	B&B	
	70	Trees Provided					
<b>Woodland Replacement</b>							
PAR	33	Picea abies	Norway Spruce		as shown	B&B	6'-7'
PGR	42	Picea glauca var. densata	Black Hills Spruce		as shown	B&B	6'-7'
PSR	38	Pinus strobus	White Pine		as shown	B&B	6'-7'
	113	Replacement Trees Provided					
<b>Detention Pond Trees</b>							
ARD	8	Acer rubrum 'Redpoint'	Redpoint Maple	2.5"	as shown	B&B	
LTD	5	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
QMD	9	Quercus macrocarpa	Bur Oak	2.5"	as shown	B&B	
TAD	6	Tilia americana 'Redmond'	Redmond Linden	2.5"	as shown	B&B	

Job Number: \_\_\_\_\_  
 22-073

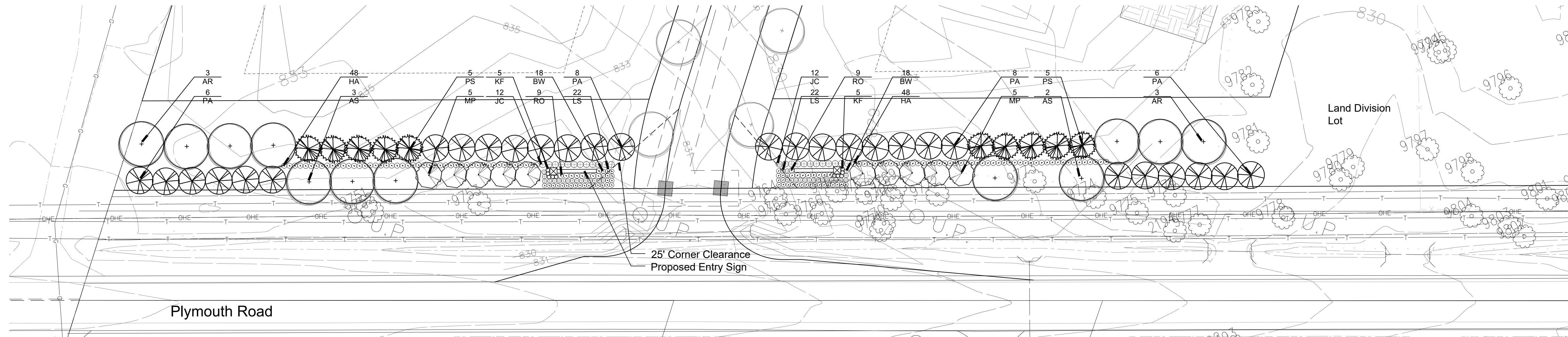
Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_  
 jca jca



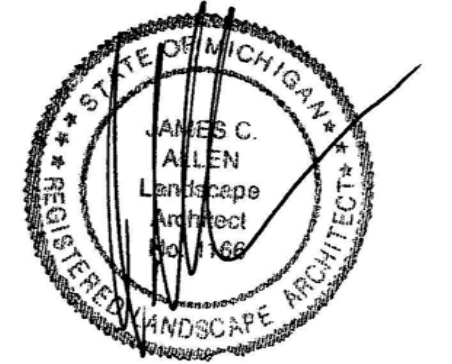
Sheet No. \_\_\_\_\_



West Greenbelt



Seal:



Title:

Greenbelt Plan

Project:

Kinsley  
 Superior Township, Michigan

Prepared for:

Diverse Real Estate, LLC  
 13001 23 Mile Road, Suite 200  
 Shelby Township, MI 48315  
 586.232.9141

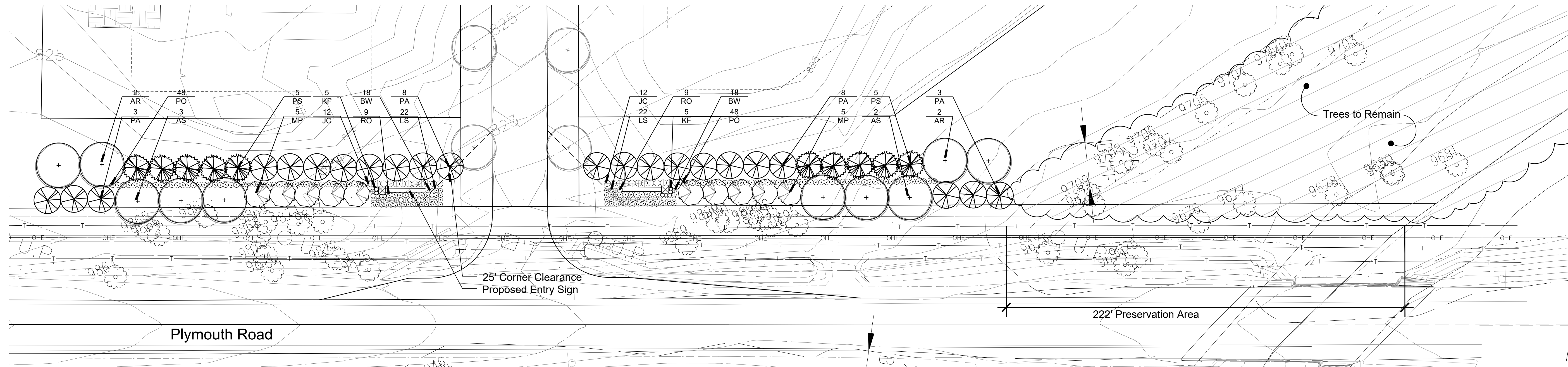
Revision:

Review  
 Revised

Issued:

September 28, 2022  
 November 1, 2022

East Greenbelt



Landscape Summary - This Sheet

Greenbelt	
Total Street Frontage	1,399'
Less Preservation Area	222'
Net Street Frontage	1,177'
Deciduous or Evergreens Required	78.5 Trees (1,177' / 15')
Deciduous or Evergreens Provided	110 Trees
Shrubs Required	235.4 Shrubs (1,177' / 15') x 3
Shrubs Provided	348 Shrubs

Plant List - This Sheet

sym.	qty.	botanical name	common name	caliper	spacing	root	height
AR	10	Acer rubrum 'Redpoint'	Redpoint Maple	2.5"	as shown	B&B	
AS	10	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B	
BW	72	Buxus m. 'Green Mountain'	Green Mountain Boxwood		as shown	cont	24"
HA	96	Hydrangea 'Annabelle'	Annabelle Hydranbelle		as shown	cont	30"
JC	48	Juniperus ch. keteleeri	Keteleeri Juniper		as shown	B&B	6', Hedge to 5'
KF	20	Calamagrostis x. a. 'Karl Forester'	Karl Forester Grass		as shown	cont	#3
LS	88	Leucanthemum 'Snow Lady'	Short Shasta Daisy		as shown	cont	#2
MP	20	Malus 'Profusion'	Profusion Crab Apple	2.0"	as shown	B&B	6'-7'
PA	50	Picea abies	Norway Spruce		as shown	B&B	6'-7'
PO	96	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark		as shown	cont	30"
PS	20	Pinus strobus	White Pine		as shown	B&B	6'-7'
RO	36	Rosa 'Knockout'	Knockout Rose		spacing	cont	#3
	110	Trees Proposed					
	348	Shrubs Proposed					

Job Number:

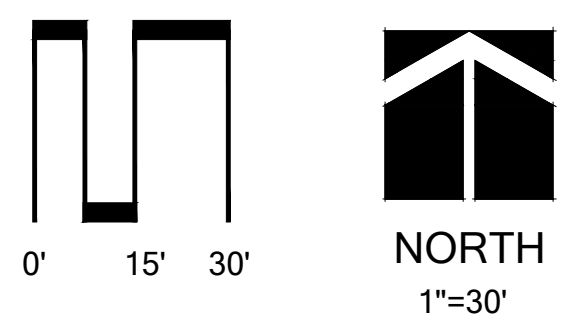
22-073

Drawn By:

jca

Checked By:

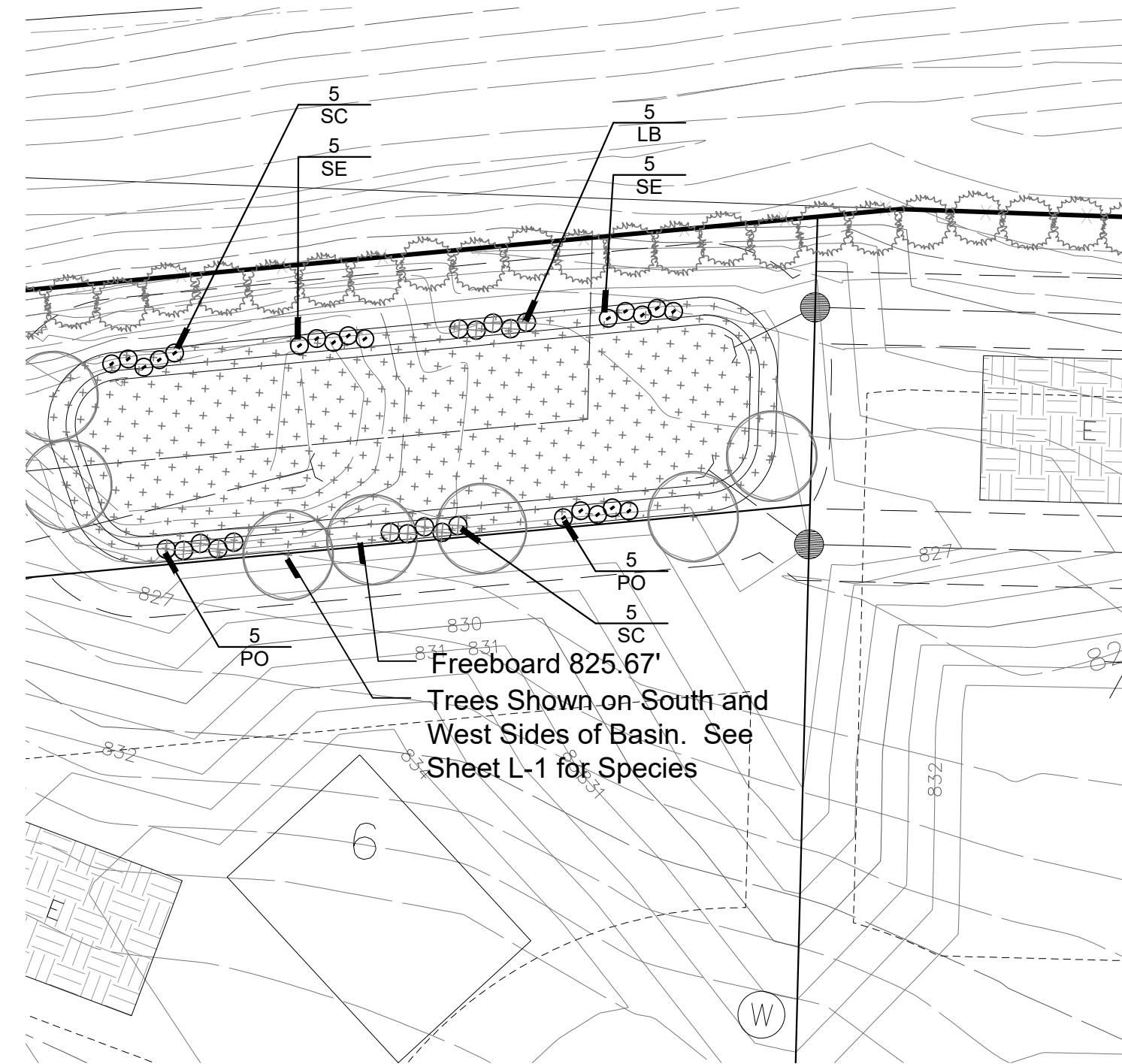
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Sheet No.



# Rain Garden #1



## Storm Water Seed Mix

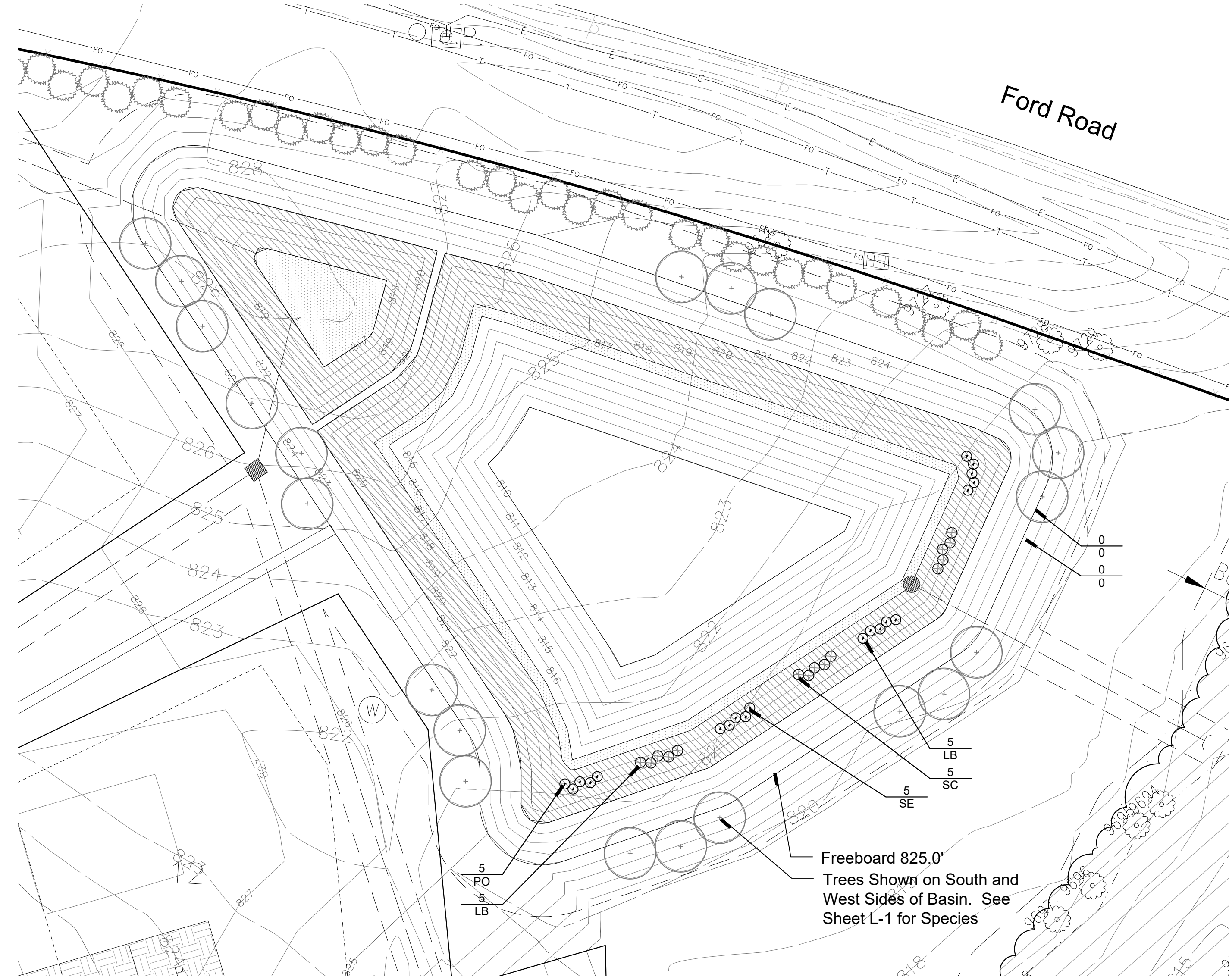
Botanical Name	Common Name	PLS Oz/Acre
<i>Permanant Grasses/Sedges</i>		
<i>Botriochloa luvialis</i>	River Bulrush	0.25
<i>Carex cristatella</i>	Crested Oval Sedge	2.00
<i>Carex lurida</i>	Bottlebrush Sedge	3.00
<i>Carex vulpinoidea</i>	Brown Fox Sedge	6.00
<i>Bymus virginicus</i>	Virginia Wild Rye	13.50
<i>Glyceria striata</i>	Fowl Manna Grass	1.25
<i>Juncus effusus</i>	Common Rush	2.00
<i>Leersia oryzoides</i>	Rice Cut Grass	1.00
<i>Panicum virgatum</i>	Switch Grass	2.00
<i>Schoenoplectus tabernaemontani</i>	Softstem Bulrush	3.00
<i>Scirpus atrovirens</i>	Dark Green Rush	2.00
<i>Scirpus cypripus</i>	Wool Grass	1.00
	<b>Total</b>	<b>37.00</b>
<b>Temporary Cover</b>		
<i>Avena sativa</i>	Common Oat	360.00
<i>Lolium multilatum</i>	Annual Rye	100.00
	<b>Total</b>	<b>460.00</b>
<b>Forbs</b>		
<i>Alisma sp.</i>	Water Plantain Mix	4.25
<i>Asclepias incarnata</i>	Swamp Milkweed	1.50
<i>Bidens sp.</i>	Bidens Mix	2.00
<i>Helenium autumnale</i>	Sneezeweed	2.00
<i>Iris virginica</i>	Blue Flag	4.00
<i>Lythrum americanus</i>	Common Water Horehound	0.25
<i>Mimulus ringens</i>	Monkey Flower	1.00
<i>Oligoneuron rigidum</i>	Wild's Goldenrod	6.50
<i>Pentstemon sedoides</i>	Ditch Stonecrop	6.50
<i>Polygonum erectum</i>	Erect Knotweed	4.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	1.00
<i>Rudbeckia triloba</i>	Brown-Eyed Susan	1.50
<i>Sagittaria latifolia</i>	Common Arrowhead	1.00
<i>Senna hebecarpa</i>	Wild Senna	1.00
<i>Symphoricarum novae-angliae</i>	New England Aster	1.50
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue	2.00
	<b>Total</b>	<b>28.00</b>

Stormwater Seed Mix by Nativescapes  
 23,097 s.f. Total Area  
 37.0 lbs. per Acre Application Rate  
 19.6 lbs. of Storm Water Seed Mix Required

## Live Plantings Plant List

qty	botanical name	common name	spacing	Container
260	<i>Agastache nepetoides</i>	Yellow Giant Hyssop	24" o.c.	2" Pot or cells
260	<i>Asclepias incarnata</i>	Swamp Milkweed	24" o.c.	2" Pot or cells
260	<i>Carex grayi</i>	Gray's Sedge	24" o.c.	2" Pot or cells
260	<i>Doellingeria umbellata</i>	Flat-Top White Aster	24" o.c.	2" Pot or cells
260	<i>Eupatorium perfoliatum</i>	Boneset	24" o.c.	2" Pot or cells
260	<i>Eutrochium maculatum</i>	Joe-Pye Weed	24" o.c.	2" Pot or cells
260	<i>Helenium autumnale</i>	Sneezeweed	24" o.c.	2" Pot or cells
260	<i>Liatris spicata</i>	Marsh Blazing Star	24" o.c.	2" Pot or cells
260	<i>Lobelia siphilitica</i>	Big Blue Lobelia	24" o.c.	2" Pot or cells
260	<i>Penstemon digitalis</i>	Smooth Penstemon	24" o.c.	2" Pot or cells
260	<i>Siphium terebinthaceum</i>	Prairie Dock	24" o.c.	2" Pot or cells
11,460 s.f. of Wet Meadow Area				
qty	botanical name	common name	spacing	Root
234	<i>Acorus americanus</i>	Sweet Flag	24" o.c.	Live Plug
234	<i>Persicaria amphibia</i>	Longroot Smartweed	24" o.c.	Live Plug
234	<i>Pontederia cordata</i>	Pickeral Weed	24" o.c.	Live Plug
234	<i>Potamogeton pectinatus</i>	Sago Pondweed	24" o.c.	Live Plug
234	<i>Sagittaria latifolia</i>	Common Arrowhead	24" o.c.	Live Plug
234	<i>Peltandra virginica</i>	Arrow Arum	24" o.c.	Live Plug
5,663 s.f. of Live Plantings Area				

# Detention Pond #1



## Key



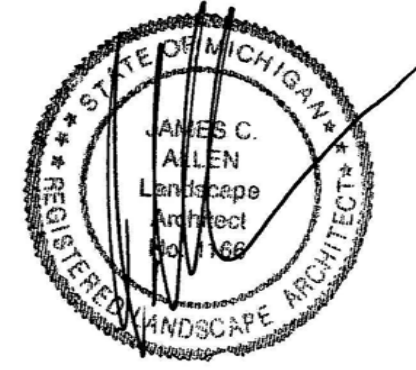
## Notes

- No Chemicals are Allowed in Stormwater Features or Buffer Zones with the Following Exception: Invasive Species may be Treated with Chemicals by a Certified Applicator. Mowing is Allowed Only Twice a Year.
- Soils Must be Amended with a Composted Organic Material. Soils Must be Free of Construction Debris and Subsoils. Soils Must Contain 20%-30% Compost.
- Rain Garden Soils must Contain 20%-30% Compost, 70%-80% Topsoil with a Maximum of 10% Clay.
- At the time of plant and seed delivery, a WCWRC landscape reviewer must be present. The quantity and species delivered will be reviewed on site. Contact Catie Wytchak at wytychack@ewashtenaw.org or (734) 222-6813 to coordinate.

## Shrub Plantings

sym	qty	botanical name	common name	caliper	spacing	root	height
<b>Stormwater Shrubs</b>							
LB	15	<i>Lindera benzoin</i>	Spicebush	24"	as shown	cont	
PO	15	<i>Physocarpus opulifolius</i>	Exclamation London Planetree	24"	as shown	cont	
SC	15	<i>Sambucus canadensis</i>	American Elderberry	24"	as shown	cont	
SE	15	<i>Salix exigua</i>	Sandbar Willow	24"	as shown	cont	

Seal:



Title:  
**Detention Ponds**

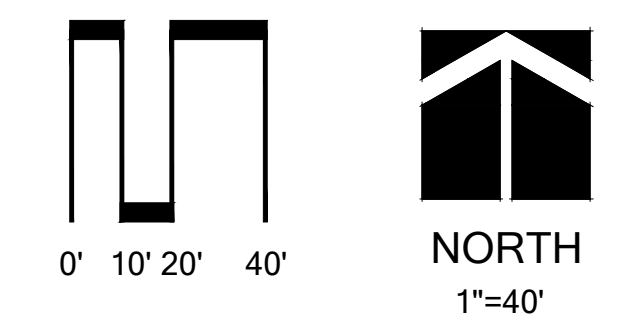
Project:  
**Kinsley  
 Superior Township, Michigan**

Prepared for:  
 Diverse Real Estate, LLC  
 13001 23 Mile Road, Suite 200  
 Shelby Township, MI 48315  
 586.232.9141

Revision: Issued:  
 Revised September 28, 2022  
 Revised November 1, 2022

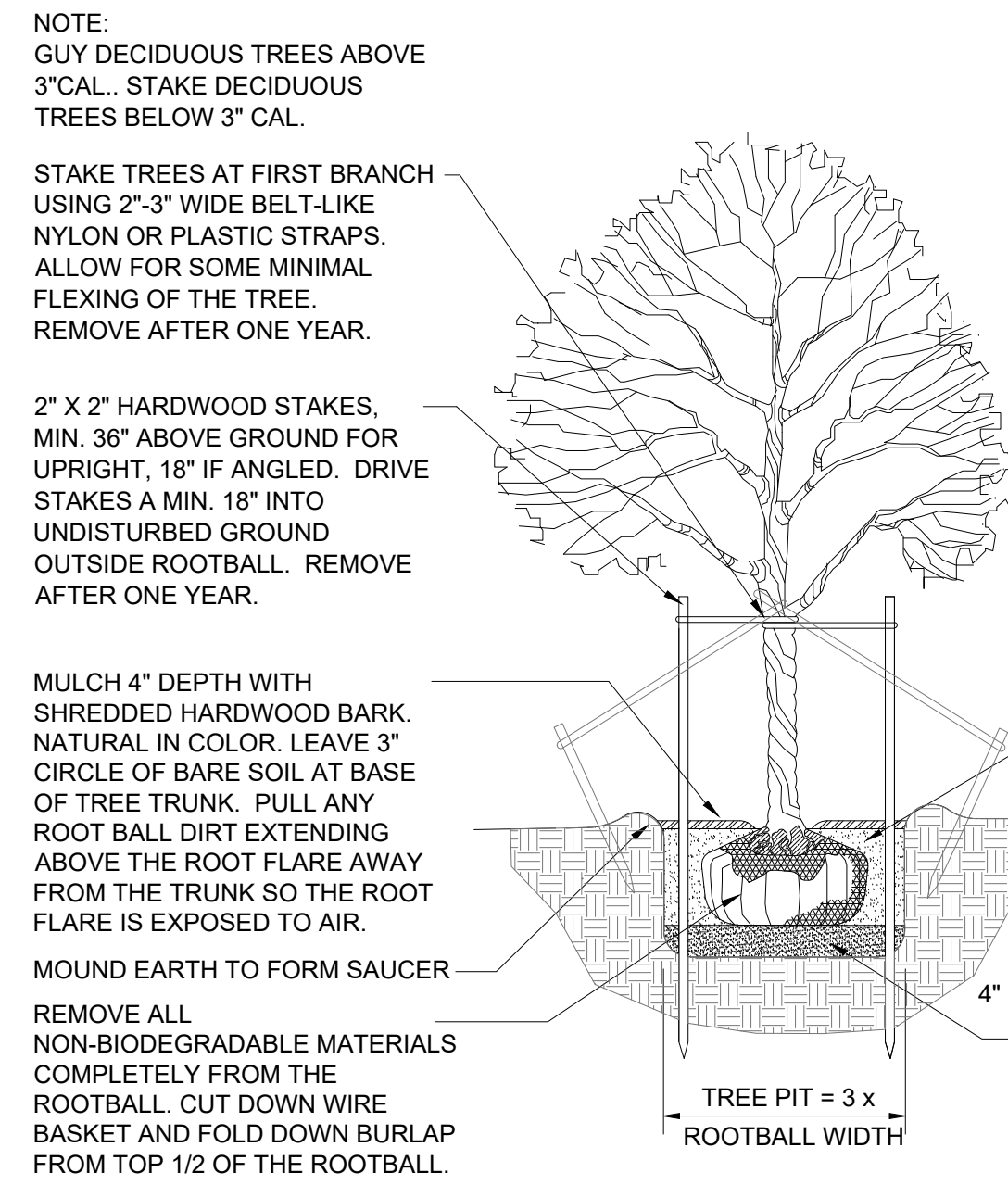
Job Number:  
 22-073

Drawn By: Checked By:  
 jca jca



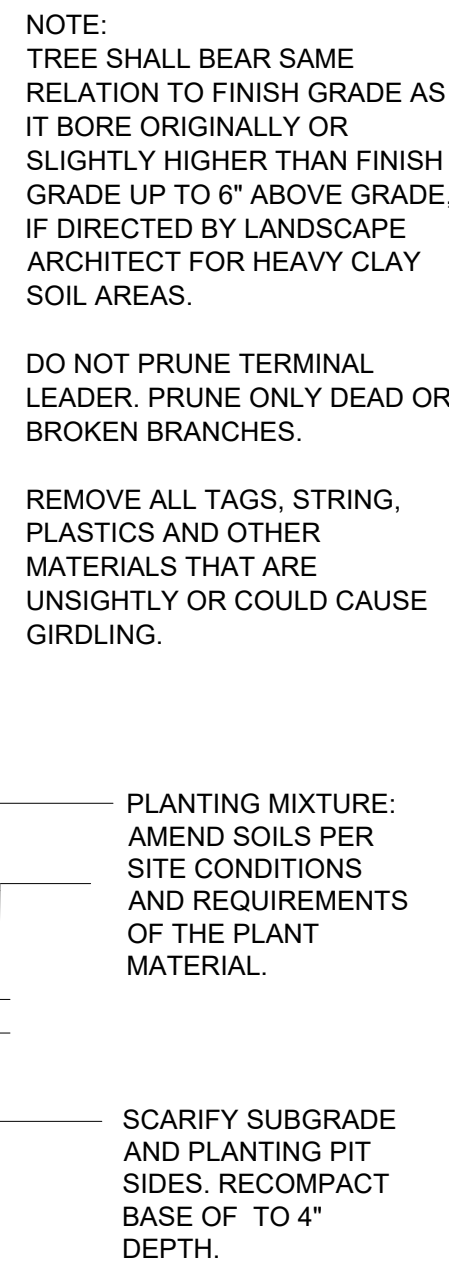
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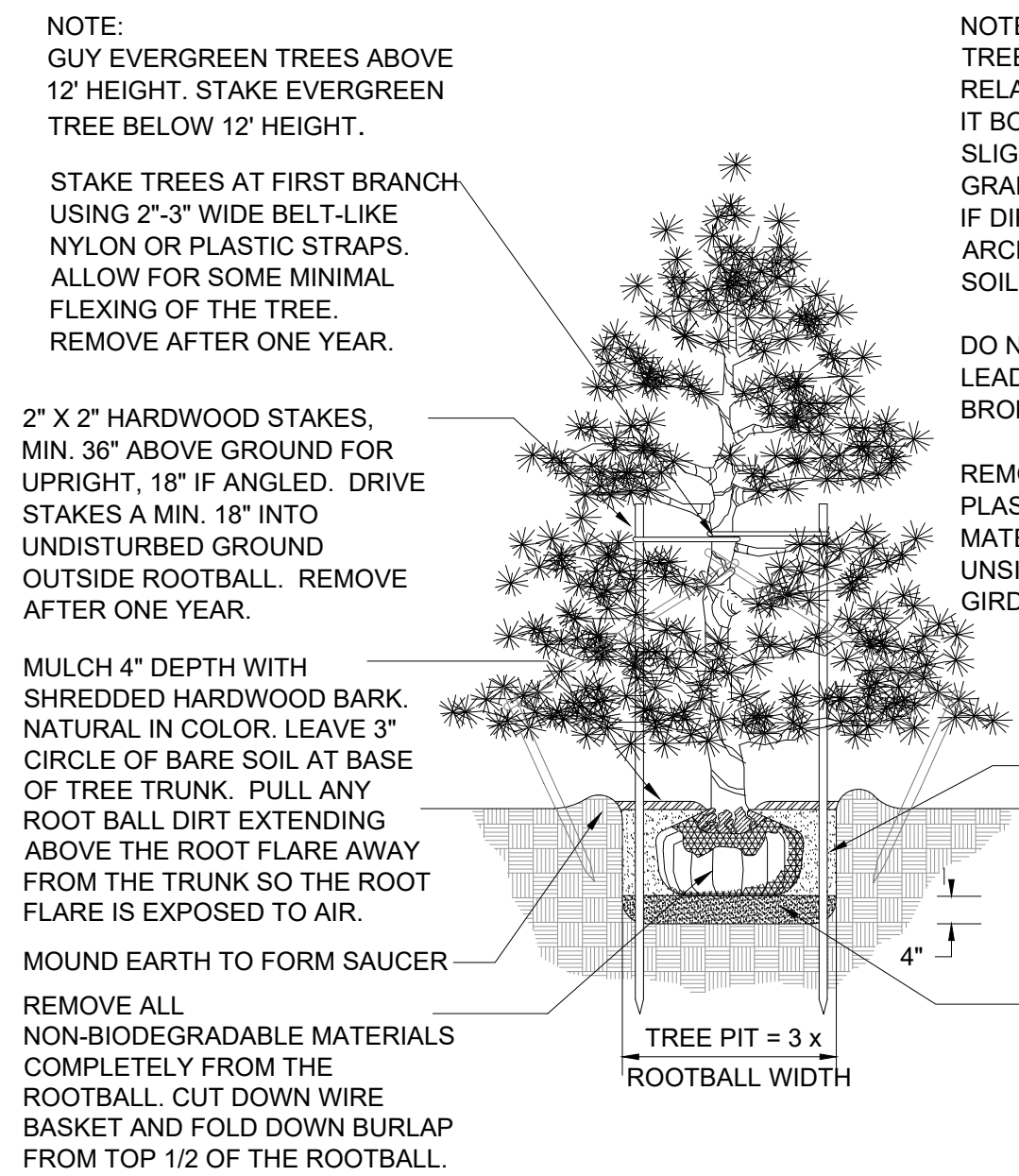
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Not to scale



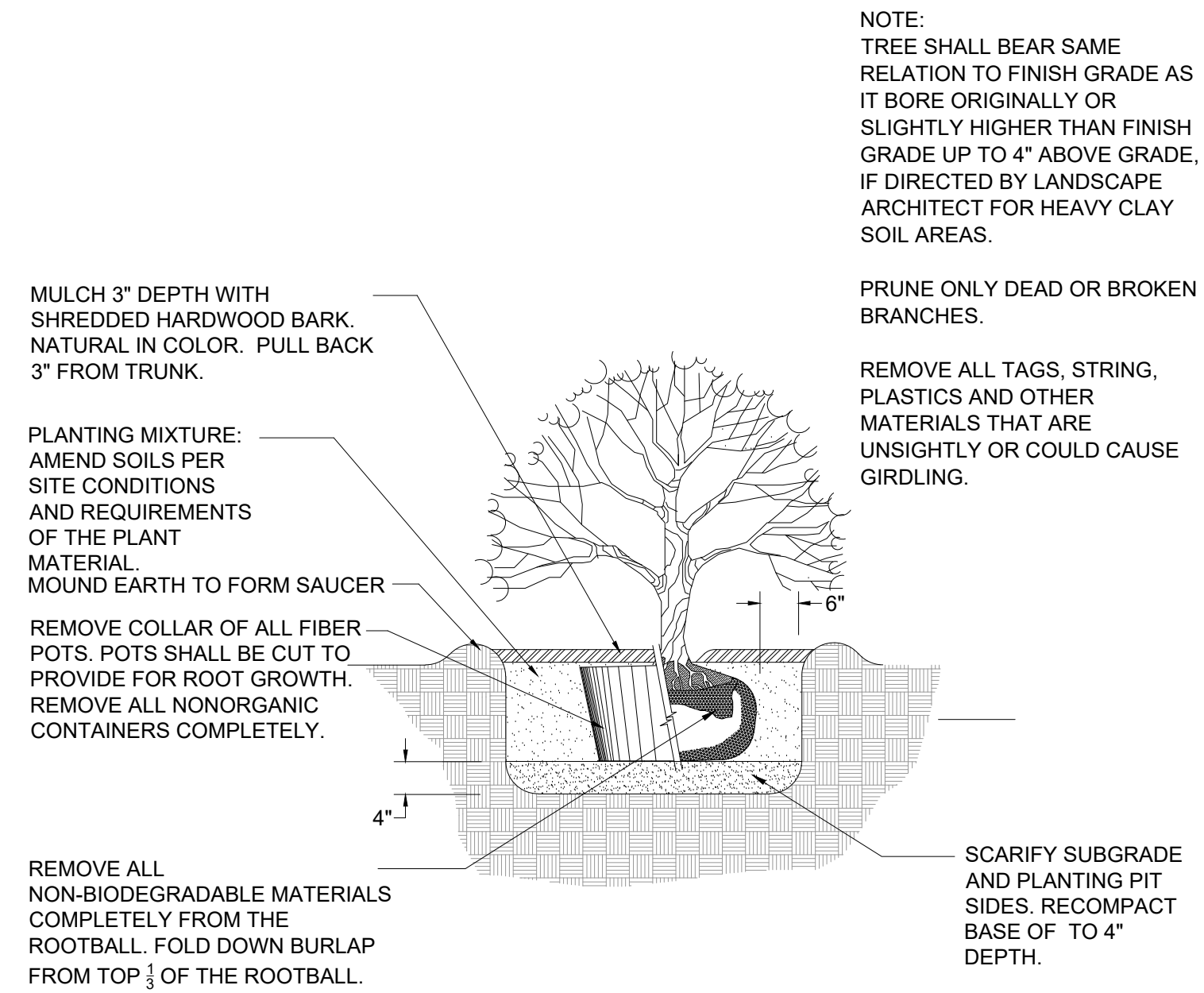
**EVERGREEN TREE PLANTING DETAIL**

Not to scale

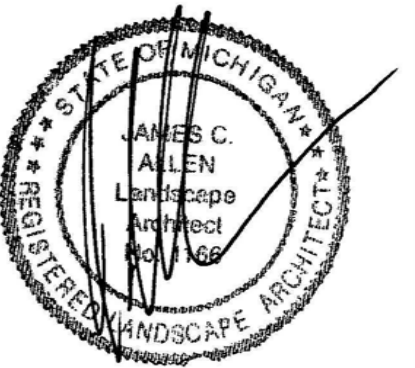


**SHRUB PLANTING DETAIL**

NOT TO SCALE



Seal:



Title:

Landscape Details

Project:

Kinsley  
 Superior Township, Michigan

Prepared for:

Diverse Real Estate, LLC  
 13001 23 Mile Road, Suite 200  
 Shelby Township, MI 48315  
 586.232.9141

Revision:

Review  
 Revised

Issued:

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Drawn By:

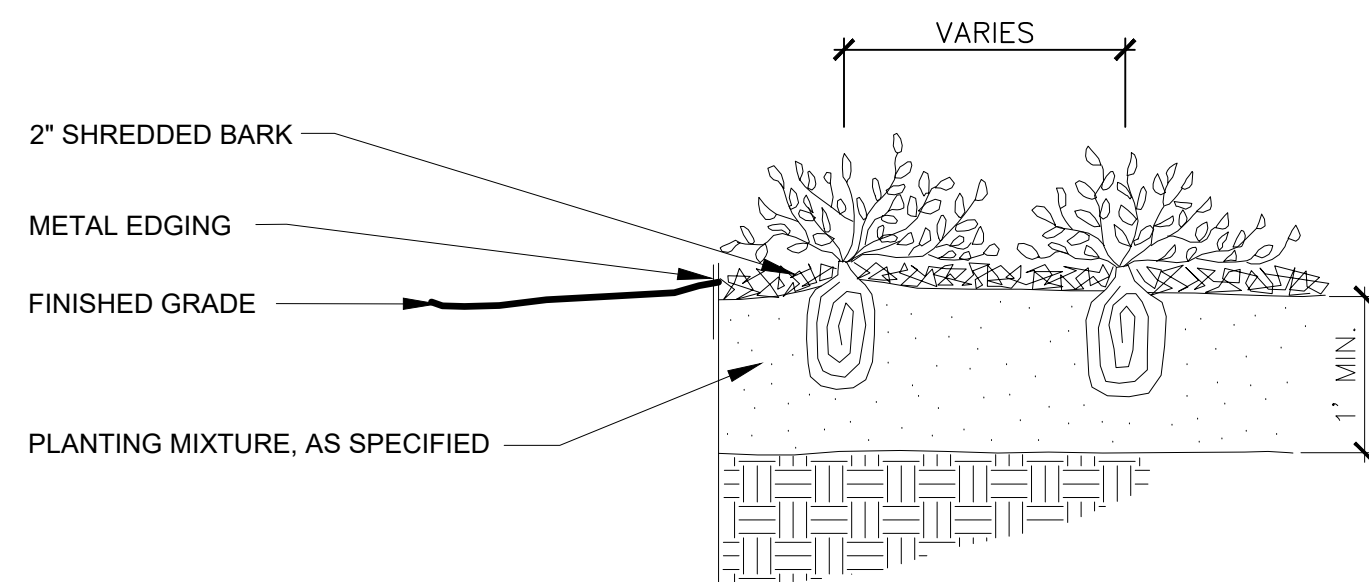
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Checked By:

jca

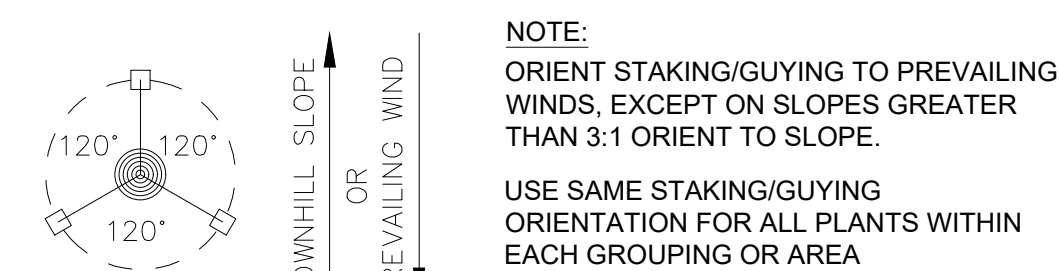
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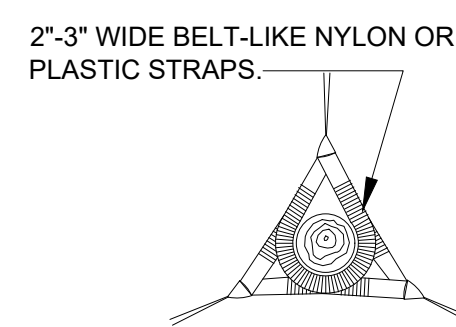


**PERENNIAL PLANTING DETAIL**

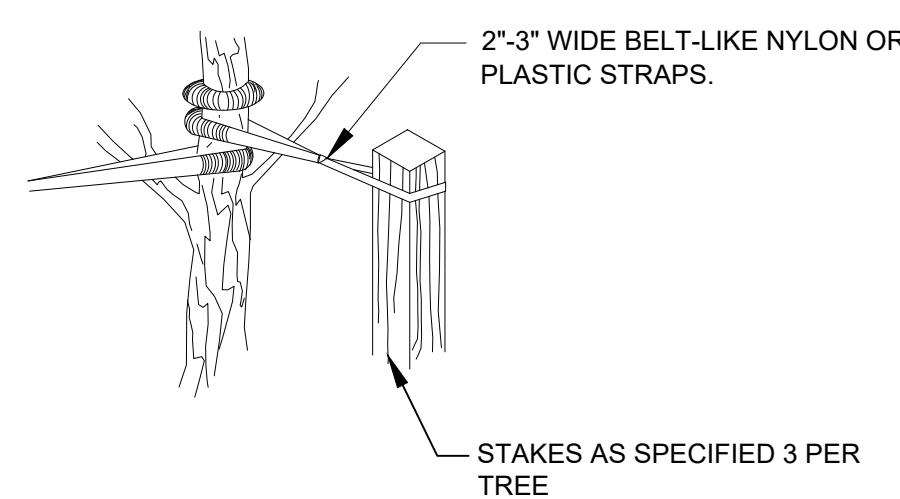
Not to scale



**STAKING/GUYING LOCATION**



**GUYING DETAIL**



**STAKING DETAIL**

**TREE STAKING DETAIL**

Not to scale





Know what's below.  
Call before you dig.

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SUPERIOR TOWNSHIP  
WASHTENAW COUNTY, MICHIGAN

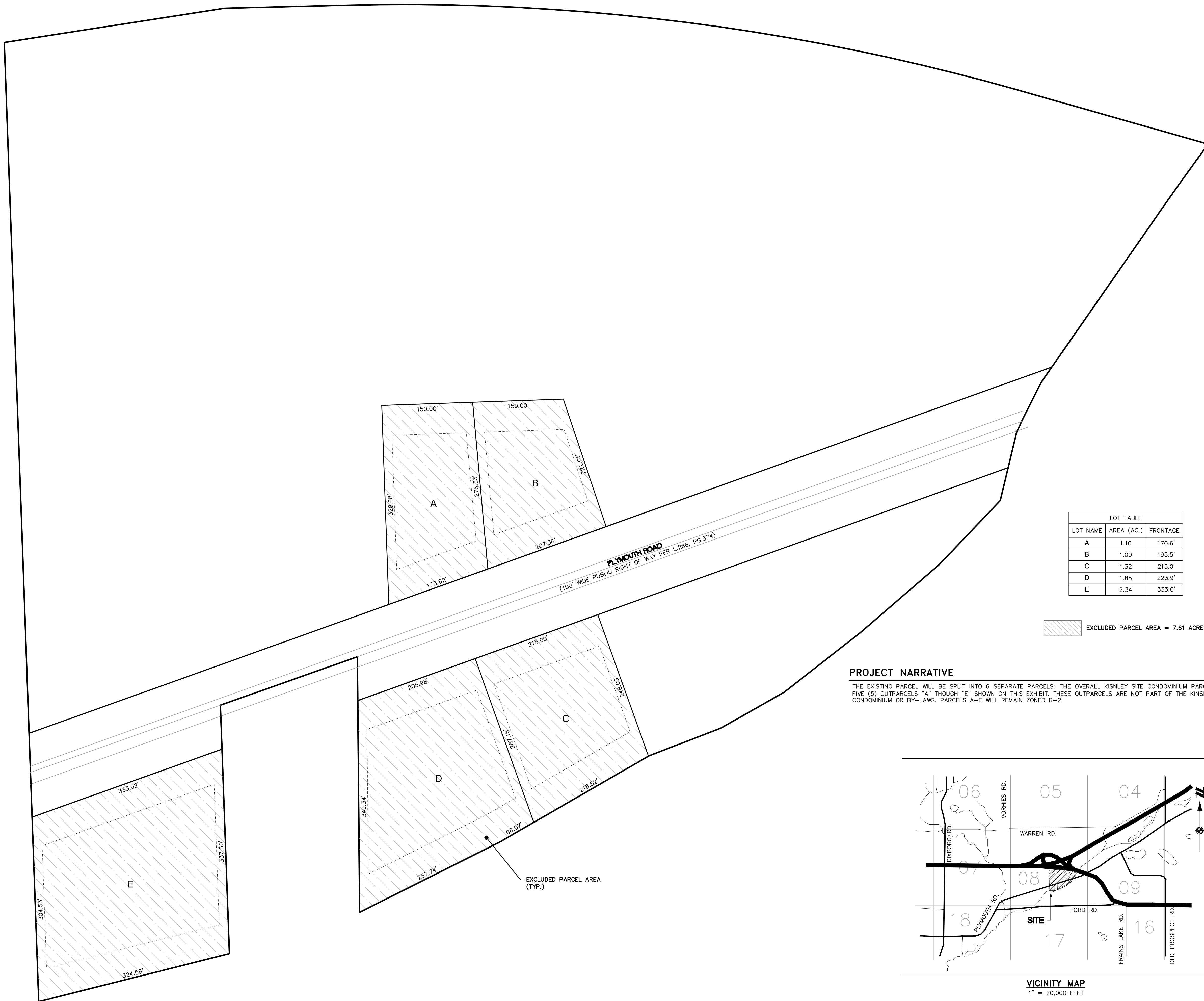
CLIENT  
LOMBARDO HOMES  
KINSLEY DEVELOPMENT  
EXCLUDED AREA  
INTENDED USE PLAN

DATE  
NOVEMBER 1, 2022

Table with 2 columns: REVISIONS, SCALE. Includes a scale bar showing 0, 40, 80 feet and the text '1" = 80 FEET'.

Table with 2 columns: DR., P.M., BOOK, JOB, SHEET NO. Includes the text '1" = 80 FEET' and '1" = 20,000 FEET'.

PRELIMINARY - NOT FOR CONSTRUCTION



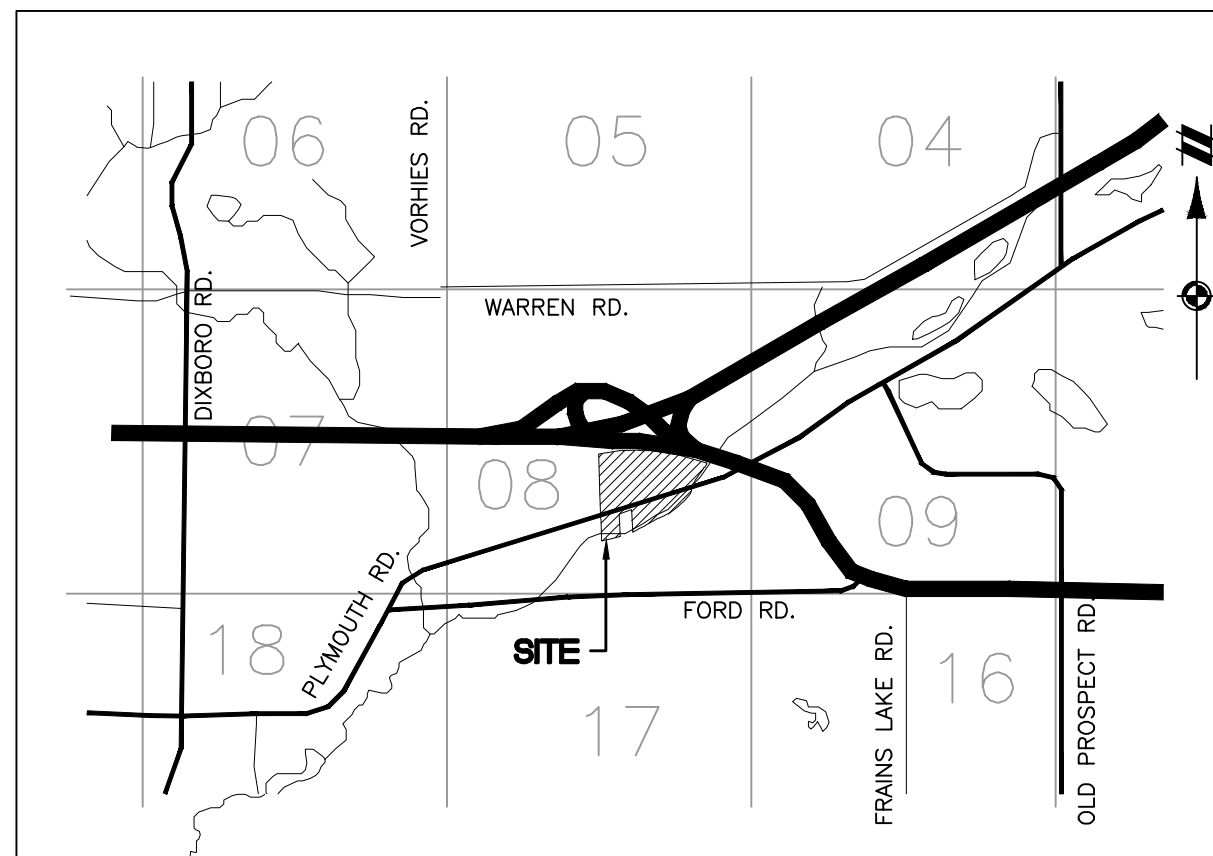
LOT TABLE

LOT NAME	AREA (AC.)	FRONTAGE
A	1.10	170.6'
B	1.00	195.5'
C	1.32	215.0'
D	1.85	223.9'
E	2.34	333.0'

EXCLUDED PARCEL AREA = 7.61 ACRES

PROJECT NARRATIVE

THE EXISTING PARCEL WILL BE SPLIT INTO 6 SEPARATE PARCELS. THE OVERALL KINSLEY SITE CONDOMINIUM PARCEL AND FIVE (5) OUTPARCELS "A" THROUGH "E" SHOWN ON THIS EXHIBIT. THESE OUTPARCELS ARE NOT PART OF THE KINSLEY SITE CONDOMINIUM OR BY-LAWS. PARCELS A-E WILL REMAIN ZONED R-2



VICINITY MAP  
1" = 20,000 FEET

K:\21002863\21002863\DWG\21002863\_01.dwg 11/1/2022 2:11 PM STEPHEN MESSER