

**SUPERIOR CHARTER TOWNSHIP PLANNING COMMISSION
SUPERIOR TOWNSHIP HALL
3040 N. PROSPECT, SUPERIOR TOWNSHIP, MI 48198
AGENDA
OCTOBER 27, 2021
7:00 p.m.**

1. CALL TO ORDER
2. ROLL CALL
3. DETERMINATION OF QUORUM
4. ADOPTION OF AGENDA
5. APPROVAL OF MINUTES
 - A. Approval of the September 22, 2021 regular meeting minutes
6. CITIZEN PARTICIPATION
7. CORRESPONDENCE
 - A. Dixboro Design Review Board 2022 Meeting Dates
 - B. Additional Submittal Information for STPC 21-04 Arbor Hills Animal Clinic Combined Preliminary/Final Site Plan Dated October 20, 2021
8. PUBLIC HEARINGS, DELIBERATIONS AND ACTIONS
9. REPORTS
 - A. Building Department Report
 - B. Ordinance Officer Report
10. OLD BUSINESS
 - A. STPC 21-03 Arbor Hills Animal Clinic Conditional Use Permit
11. NEW BUSINESS
 - A. STPC 21-04 Arbor Hills Animal Clinic Combined Preliminary/Final Site Plan
12. POLICY DISCUSSION
13. ADJOURNMENT

Thomas Brennan III, Commission Secretary
3040 N. Prospect, Ypsilanti, MI 48198

Laura Bennett, Planning Clerk
734-482-6099

**SUPERIOR CHARTER TOWNSHIP
PLANNING COMMISSION
SEPTEMBER 22, 2021
DRAFT MINUTES
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1. CALL TO ORDER

Chairman Gardner called the regular meeting to order at 7:00 p.m.

2. ROLL CALL

The following members were present: Brennan, Gardner, McGill, Sani-Yahyai, Steele. Dabish-Yahkind and Findley were absent. Also present were Paul Montagno, Carlisle Wortman and Rick Mayernik, Building/Zoning Administrator.

3. DETERMINATION OF QUORUM

A quorum was present.

4. ADOPTION OF AGENDA

A motion was made by Commissioner Steele and supported by Commissioner McGill to add Pre-Application Conference for Hyundai Automotive Testing Facility Expansion located at J -10-32-100-007 as item B under New Business and remove STPC 20-04 The Meadows at Hawthorne Mill Preliminary Site Plan Extension from old business to adopt the agenda as presented. The motion carried.

5. APPROVAL OF MINUTES

A. Minutes of the August 25, 2021 Meeting

A motion was made by Commissioner Brennan and supported by Commissioner McGill to approve the minutes as presented. The motion carried.

6. CITIZEN PARTICIPATION

None.

7. CORRESPONDENCE

A. Memo from Alan Greene at Dykema Gossett, PLLC Regarding Hawthorne Mill Area Plan Withdrawal

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A motion was made by Commissioner Steele and supported by Commissioner Sanii-Yahyai to receive the correspondence. The motion carried.

8. PUBLIC HEARINGS, DELIBERATIONS AND ACTIONS

A. STPC 21-03 Arbor Hills Animal Clinic Conditional Use Permit

1. Public Hearing

Motion by Commissioner Steele and supported by Commissioner Sanii-Yahyai to open the public hearing. The motion carried.

Linda Holloway, 3086 Frains Lake Road, inquired about the location of the property.

Mr. Montagno clarified the location of the proposed veterinary office.

The resident at 3451 Autumn Lane shared concerns about the potential of barking dogs, noting that the neighborhood is very quiet.

The resident also questioned the access of the property and whether there would be added traffic on Church Street. Also noted were concerns about lighting at the site and if it would be lit all night.

Kathleen Dumas, 3444 Autumn Lane stated that she is not in favor of the veterinary clinic. She believes the corner to be dangerous and added that the area is quiet. She would rather not see a professional building that will add more noise.

Ben Colmery, 5740 Plymouth Road, Dixboro Veterinary, noted that he respects the comments about noise, however, he would strongly expect there not to be outdoor runs. He added that the animals coming to the practice are sick and it is not a boarding facility.

Linda Holloway, 3086 Frains Lake Road stated that she has dogs and they have been to vets all over and can say firsthand that there are no dog runs at veterinary clinics. Dogs are taken out on leash, but she does not see a problem with noise.

Resident at 3390 Autumn Lane stated that it is a quiet area. She added that they have not heard of any vet that takes care of small animals and

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some farm animals. She stated that they don't need the small farm animals and it is disturbing to the residents of Autumn Lane.

Larry Randolph, 3362 Autumn Lane, noted concerns with access to the site and reiterated the previous comment that it is a quiet area. He questioned hours of operation.

Sava Farah, 6445 Warren Road, stated that she is not for or against the project but feels there is overload with the Dixboro Veterinary and the Humane Society and wonders if the proposed veterinary clinic will get the demand. She feels that animal care is already handled within the Village and does not feel that the proposed clinic is needed. She added that she is excited to get the property in the right hands.

The resident at 5345 Church Street reiterated the concerns that other neighbors have mentioned. He noted major concerns with the location of access and how the value of his property will be affected. He added that he does not feel this project adds to the community.

Paula Webber, 5347 Plymouth Road, stated that commercial access cannot be on Church Street. She added that there was never a problem with traffic coming in and out of the property. It was noted by Ms. Webber that the veterinary clinic was the only potential buyer that looked at the site and didn't want to develop something similar to The Boro, Moonwinks, or the Dixboro General Store. She added that the property has never had the interest of a residential buyer; it's all been commercial interest with heavier uses than the veterinary office.

Venetia Sims, 3458 Autumn Lane, stated that she doesn't see a need because the Humane Society provides these services. She is worried that more businesses in the area will bring property values down and this is detrimental to the area.

Annette Nouhan, 2565 Prospect Road, explained that she cannot get into the Humane Society with her pets and must drive outside of the Township to see a vet. She stated that she can understand the resident's concerns.

Ms. Webber stated that Arbor Hills Animal Clinic is currently in business on Plymouth Road further west. The Humane Society is not easy to get into and is not always an option, and Dr. Colmery is a specialist. She

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feels that this would be a welcome addition and they already have a customer base.

Motion by Commissioner Brennan and supported by Commissioner McGill to close the public hearing. The motion carried.

2. Deliberation

Mr. Montagno stated that a Pre-Application Conference for this project was held at the August 25, 2021 Planning Commission meeting.

Mark Wilson, applicant, stated that the site plan would be ready for consideration at the October Planning Commission meeting.

Commissioner Sanii-Yahyai inquired about the keeping of farm animals since the clinic is not staffed 24 hours.

Commissioner Gardner noted that the applicant sent letters to the Dixboro community offering a Zoom call and a get together at Moonwinks so neighbors could ask questions about the project. He inquired about the response that Mr. Wilson received.

Mr. Wilson replied that four members of the community joined the applicant for breakfast at Moonwinks and asked many of the same questions that are being asked this evening. There were other questions about driveway lighting and exterior modifications. He added that no one attended the Zoom call nor called his cell phone to ask questions.

Mr. Montagno stated that the site is zoned VC, Village Commercial, and a veterinary office is a conditional use in that district.

Commissioner Gardner asked the applicant to address the questions that the residents had during public comment.

Mr. Wilson stated that the Humane Society provides a different service than a vet hospital. When competitive interest and customer base is looked at, the Humane Society is a different entity and cannot provide the services that a local animal hospital can. Additionally, Dr. Colmery, whose practice is further down on Plymouth Road, is a specialist and handles complex work.

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Mr. Wilson went on to explain that his business cannot use Church Street for access to the property and all business pursuits will be kept to the front of the property. He added that it is not an animal boarding facility and if animals are kept overnight, it is because they are sick. The hours of operation are currently weekdays from 9am - 6pm and Saturday from 8am – 1pm with no plans of expanding those hours.

There will be no outdoor runs on the property and no animals running loose. Any animals in the outdoor bathroom area are supervised and cleaned up after. He added that the original idea of having farm animals living on site was planned as a bonus for the community, but it does not “make or break” the proposed plan to not have them.

Mr. Wilson stated that there will be unidirectional lighting at the site. When the clinic closes and staff leaves the lights the applicant would like to dim or shut off the lights, depending on requirements from the Township.

Mr. Montagno stated that the keeping of farm animals is not permitted in the VC district. He added that there are lighting requirements that will have to be looked at as well.

3. Action

Motion by Commissioner Brennan and supported by Commissioner Steele to postpone action on STPC 21-03 Arbor Hills Animal Clinic Conditional Use Permit until such time as the applicant has provided a site plan that meets the requirements of Article 10 in the Zoning Ordinance.

Roll Call:

Yes: Brennan, Gardner, McGill, Sanii-Yahyai, Steele.
No: None.
Absent: Dabish-Yahkind, Findley.
Abstain: None.

Motion Carried.

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9. REPORTS

A. Building Inspector

A motion was made by Commissioner Sanii-Yahyai and supported by Commissioner Brennan to receive the report. The motion carried.

10. OLD BUSINESS

None.

11. NEW BUSINESS

A. Pre-Application Conference for Hyundai Automotive Test Facility Expansion

Jin Han Rim explained that the project is a good addition to the campus. Hyundai is not proposing a new entrance and will use the existing entrance on LeForge Road. The expansion will be approximately 60,000 square feet in two stories, but the second story will be left for future expansion. The expansion will be made up of 60% workspace and 40% lab analysis. Hyundai will hire about 50 new employees to make up approximately 120 employees employed at the expansion.

It was explained that at the south end there will be a 500-meter straight track along with a VDA at the end. He added that any crash testing will occur indoors.

Commissioner Gardner inquired about the construction timeframe.

David Kassab replied that the applicant hopes to have an Area Plan ready in October to attend the November meeting. They then expect to submit for engineering in February and break ground in March. If groundbreaking occurs in March, they estimate a twelve-month construction and are looking for full occupancy in 2023.

It was noted that some employees will be relocated from the existing facility to the expansion.

Mr. Montagno inquired about the screening at the south end of the site and questioned if they had considered different options for

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different layouts. He also brought up sound attenuation with the VDA pad, crash testing and maneuvering.

Commissioner Steele verified that the same entrance on LeForge will be used.

12. POLICY DISCUSSION

None.

13. ADJOURNMENT

Motion by Commissioner Brennan, supported by Commissioner Sanii-Yahyai to adjourn.

Motion Carried.

The meeting was adjourned at 8:10pm.

Respectfully submitted,
Thomas Brennan III, Planning Commission Secretary

Laura Bennett, Recording Secretary
Superior Charter Township
3040 N. Prospect Rd.
Ypsilanti, MI 48198 (734) 482-6099

CHARTER TOWNSHIP OF SUPERIOR
WASHTENAW COUNTY, MICHIGAN

MEMORANDUM

TO: Jay Gardner, Chair
Superior Charter Township Planning Commission

FROM: Tom Freeman, Chair

DATE: October 12, 2021

RE: 2022 Meeting Dates for Dixboro Design Review Board

As you are aware, the Dixboro Design Review Board is required by Ordinance to hold meetings during April and October of each year:

“...the Design Review Board shall meet in April and October of each year, and at other times as required by applicants or the Planning Commission...”

In compliance with the above requirement, the Dixboro Design Review Board has scheduled the following meeting dates during 2022:

April 7, 2022
October 6, 2022

Of course, the Dixboro Design Review Board will schedule any additional meetings needed to review projects submitted for our consideration.

I hope the above information is of assistance. If you have any questions, please feel free to contact me.

cc: Members, Dixboro Design Review Board.
Township Clerk



Arbor Hills Animal Clinic

Arbor Hills Animal Clinic
2717 Plymouth Road
Ann Arbor MI 48105
(734) 668-1466

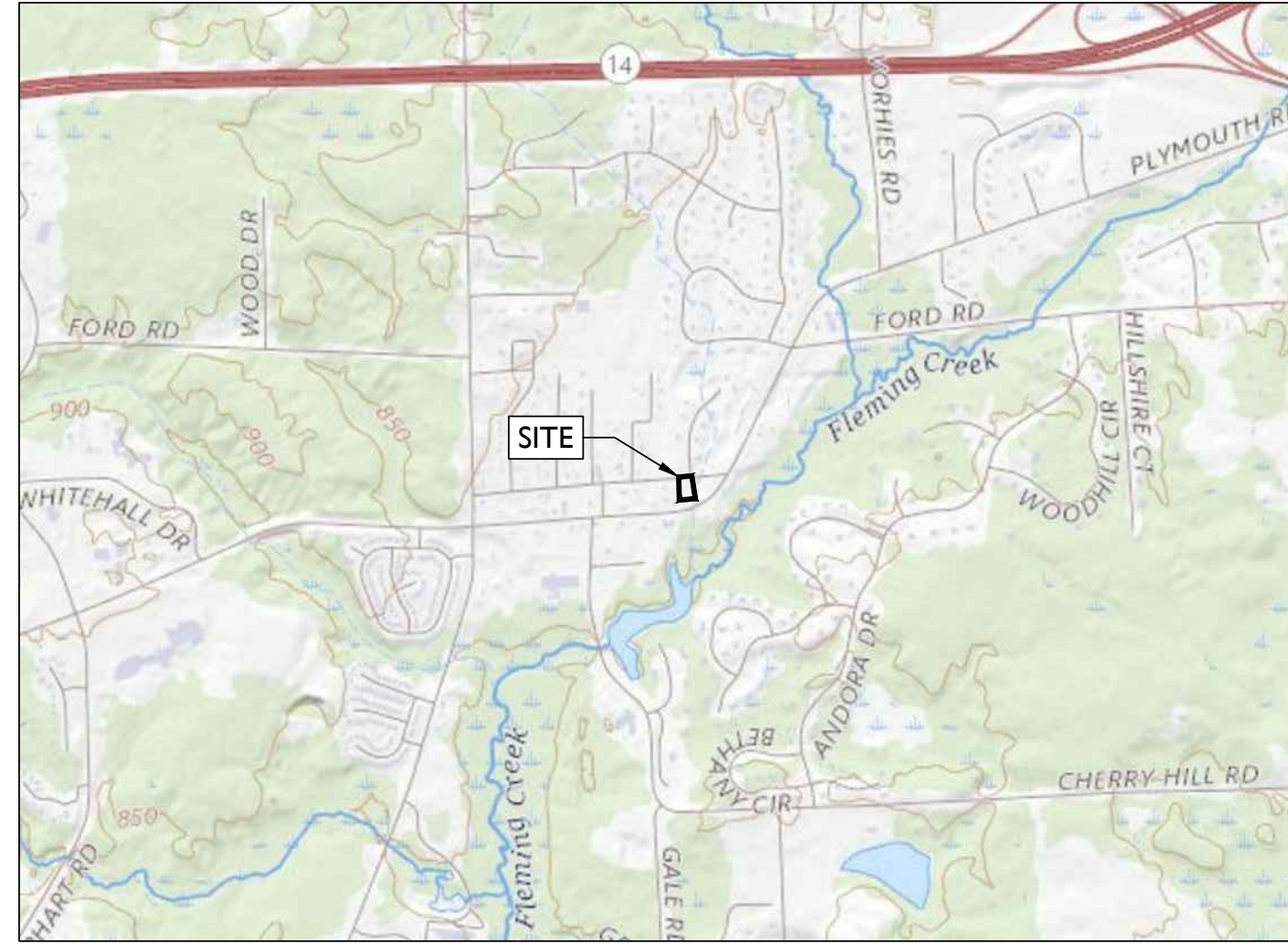
To: Superior Township Board and Planning Department Staff
From: Mark Wilson, Arbor Hills Animal Clinic
Date: October 20, 2021
RE: Additional Submissions for 5347 Plymouth Road

Attached is some additional information requested as part of the letter submitted to the planning department and the Board in the letters from CWA and OHM:

- Revised Site Plan which now includes all of the following
 - Demolition Plan
 - Site Plan
 - Grading & Drainage Plan
 - Landscape Plan
 - Lighting Plan
 - Construction Details Plan
 - Alta Survey
- Architectural Elevation Drawings of the exterior
- Most recent floor plans for first and second floor
- Approval letter for the Well & Septic from the Washtenaw County Health Department
- Anticipated construction timelines for the project
- Requirements of the WCRC (Email from Mr. Straight)

Kem-Tec Engineering is in the process of determining the appropriate placement of 2-3 pits, per the request of the WCRC, and will be submitting that plan, for their approval, within the next few days. Once approved, a date will be set and Jack Sattelmeyer (PEA Group) has been contacted to complete the Geotechnical testing of the site. The preliminary meeting with the WCRC was conducted on October 13, 2021.

Kristin Wilson, Owner & DVM,
Audrey Lownsbery DVM Associate Veterinarian



SOURCE: USGS ONLINE MAPS

LOCATION MAP

SCALE: 1" = 2,000'±

SITE IMPROVEMENT PLANS FOR 5347 PLYMOUTH ROAD PROPOSED VETERINARY CLINIC

PARCEL ID: 10-18-155-013

5347 PLYMOUTH ROAD

SUPERIOR CHARTER TOWNSHIP, WASHTENAW COUNTY, MICHIGAN 48105

APPLICANT

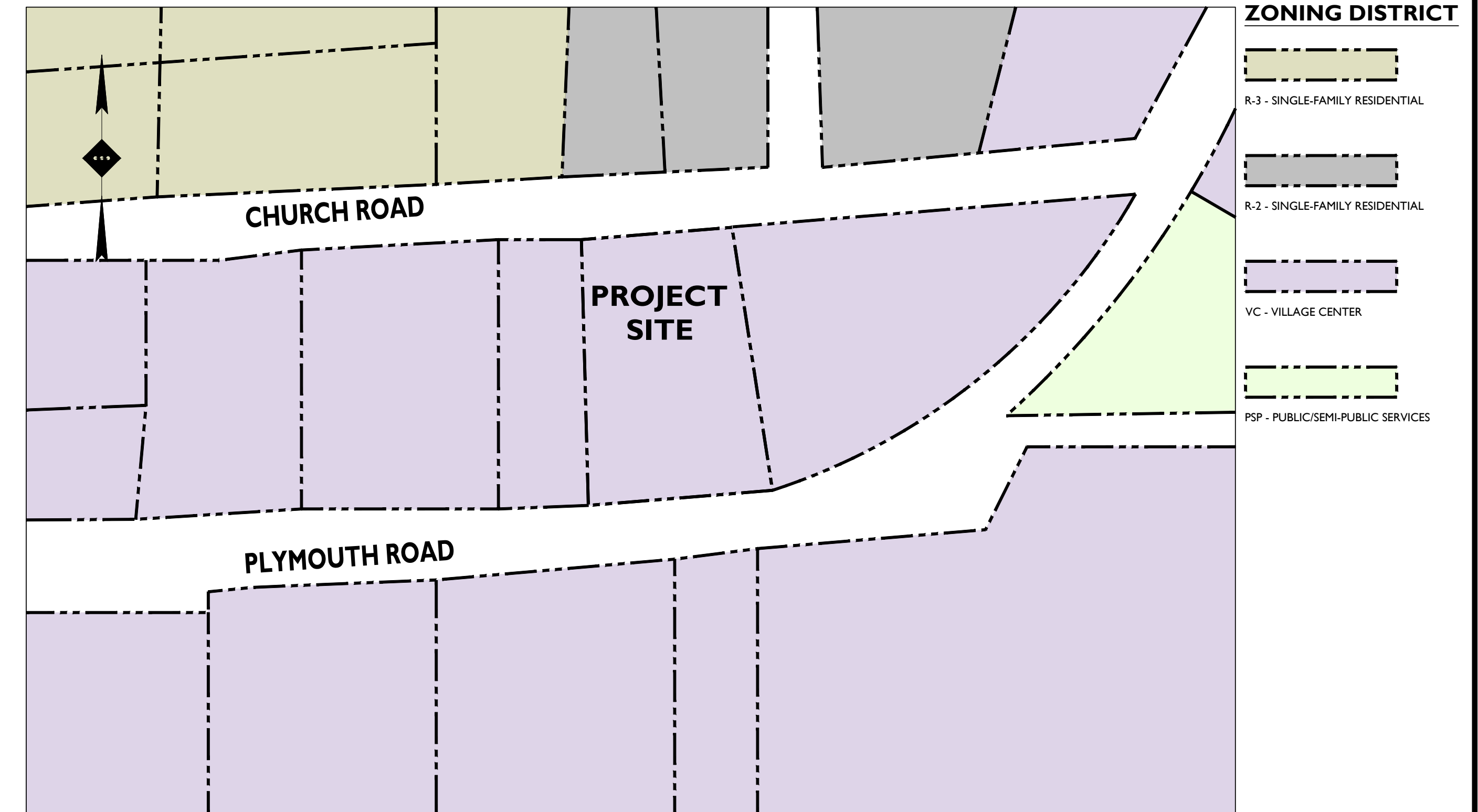
MARK & KRISTIN WILSON
DBA ARBOR HILLS ANIMAL CLINIC PLLC
2717 PLYMOUTH ROAD
ANN ARBOR, MICHIGAN 48105
MARKTWILSON@ARBORHILLSVET.COM



SOURCE: GOOGLE EARTH PRO

AERIAL MAP

SCALE: 1" = 100'±



SOURCE: SUPERIOR CHARTER TOWNSHIP ZONING MAP

ZONING MAP

SCALE: 1" = 100'±

ZONING DISTRICT

- R-3 - SINGLE-FAMILY RESIDENTIAL
- R-2 - SINGLE-FAMILY RESIDENTIAL
- VC - VILLAGE CENTER
- PSP - PUBLIC/SEMI-PUBLIC SERVICES

| NO. | DATE | ISSUE | BY | DESCRIPTION |
|-----|------------|-------|----|--------------------------|
| 2 | 10/19/2021 | AF | | FOR SITE PLAN SUBMISSION |
| 1 | 09/29/2021 | AF | | FOR CLIENT REVIEW |

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SITE IMPROVEMENT PLANS
5347 PLYMOUTH ROAD
PROPOSED VETERINARY CLINIC
PARCEL ID: 10-18-155-013
5347 PLYMOUTH ROAD
SUPERIOR CHARTER TOWNSHIP
WASHTENAW COUNTY, MICHIGAN 48105

PLANS PREPARED BY:



Detroit, MI • Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Boston, MA
www.stonefielddeng.com

607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115



Know what's below
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PLAN REFERENCE MATERIALS:

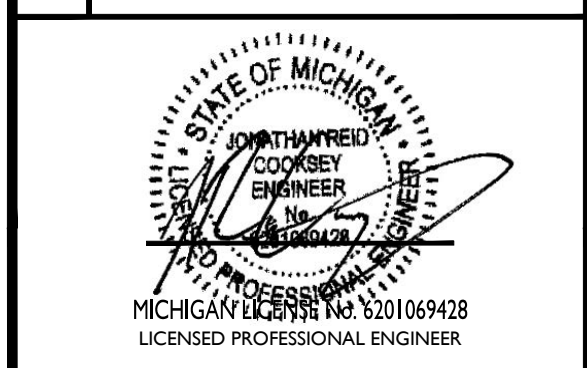
- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA/NSPS LAND TITLE SURVEY PREPARED BY KEM-TEC A GROUP OF COMPANIES DATED: 10/18/2021
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
 - LOCATION MAP OBTAINED FROM USGS ONLINE MAPS
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

| DRAWING TITLE | SHEET # |
|-------------------------|---------|
| COVER SHEET | C-1 |
| DEMOLITION PLAN | C-2 |
| SITE PLAN | C-3 |
| GRADING & DRAINAGE PLAN | C-4 |
| LANDSCAPE PLAN | C-5 |
| LIGHTING PLAN | C-6 |
| CONSTRUCTION DETAILS | C-7 |

ADDITIONAL SHEETS

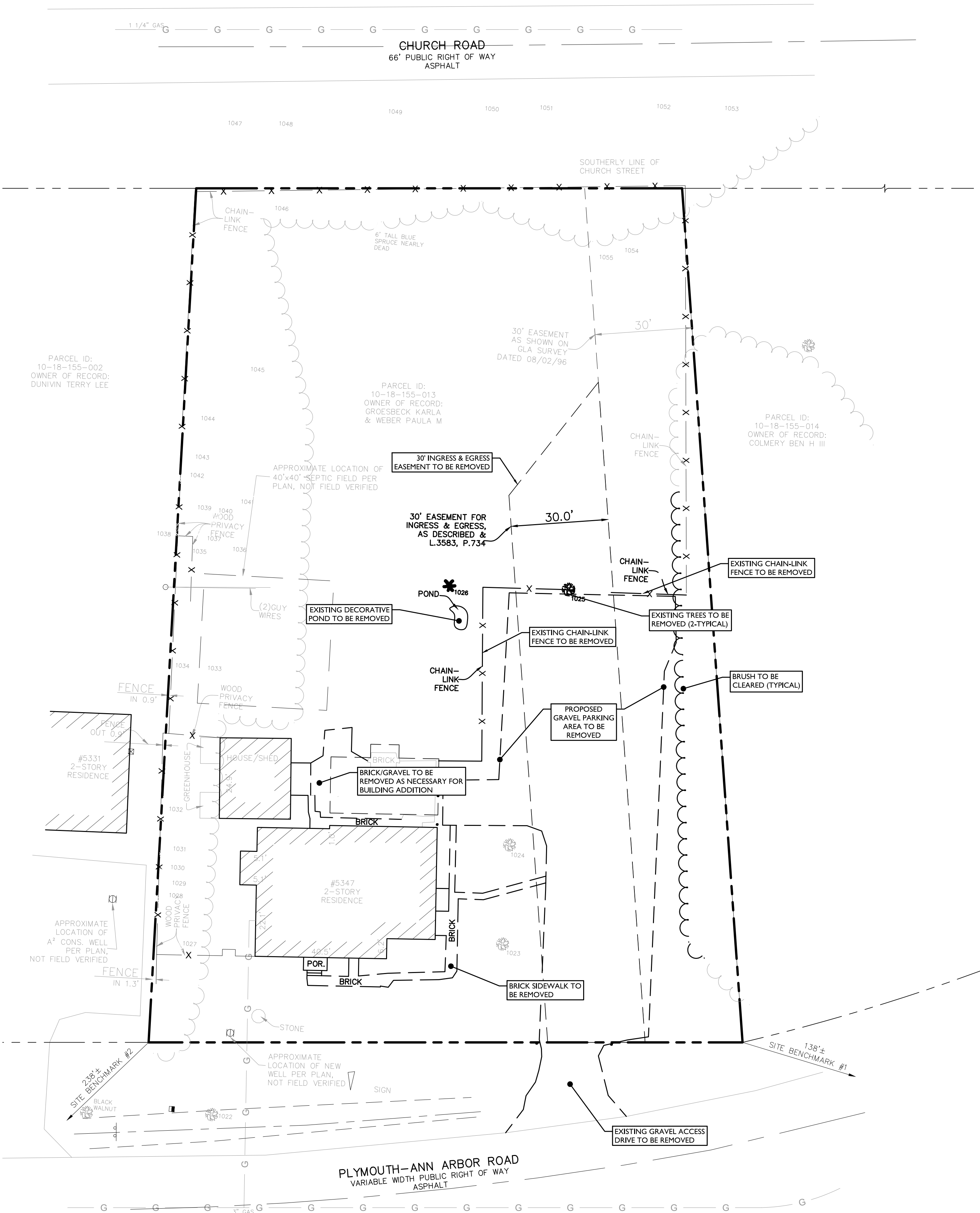
| DRAWING TITLE | SHEET # |
|-----------------------------|---------|
| ALTA/NSPS LAND TITLE SURVEY | 1 OF 1 |



SCALE: AS SHOWN PROJECT ID: DET-210369

TITLE:
COVER SHEET

DRAWING:
C-1



| SYMBOL | DESCRIPTION |
|--------|------------------------------------|
| --- | FEATURE TO BE REMOVED / DEMOLISHED |
| --- | LIMIT OF DISTURBANCE |

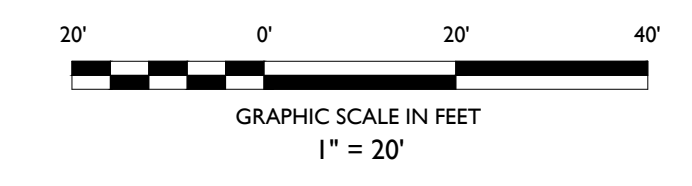
ALL SITE FEATURES WITHIN THE LIMIT THIS PLAN ARE TO REMAIN & BE PROTECTED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's below
Call before you dig.

DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



| NO. | DATE | BY | DESCRIPTION |
|-----|------------|----|--------------------------|
| 2 | 10/19/2021 | AF | FOR SITE PLAN SUBMISSION |
| 1 | 09/29/2021 | | FOR CLIENT REVIEW |

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SITE IMPROVEMENT PLANS
5347 PLYMOUTH ROAD
PROPOSED VETERINARY CLINIC

PARCEL ID: 10-18-155-013
5347 PLYMOUTH ROAD
SUPERIOR CHARTER TOWNSHIP
WASHTENAW COUNTY, MICHIGAN 48105

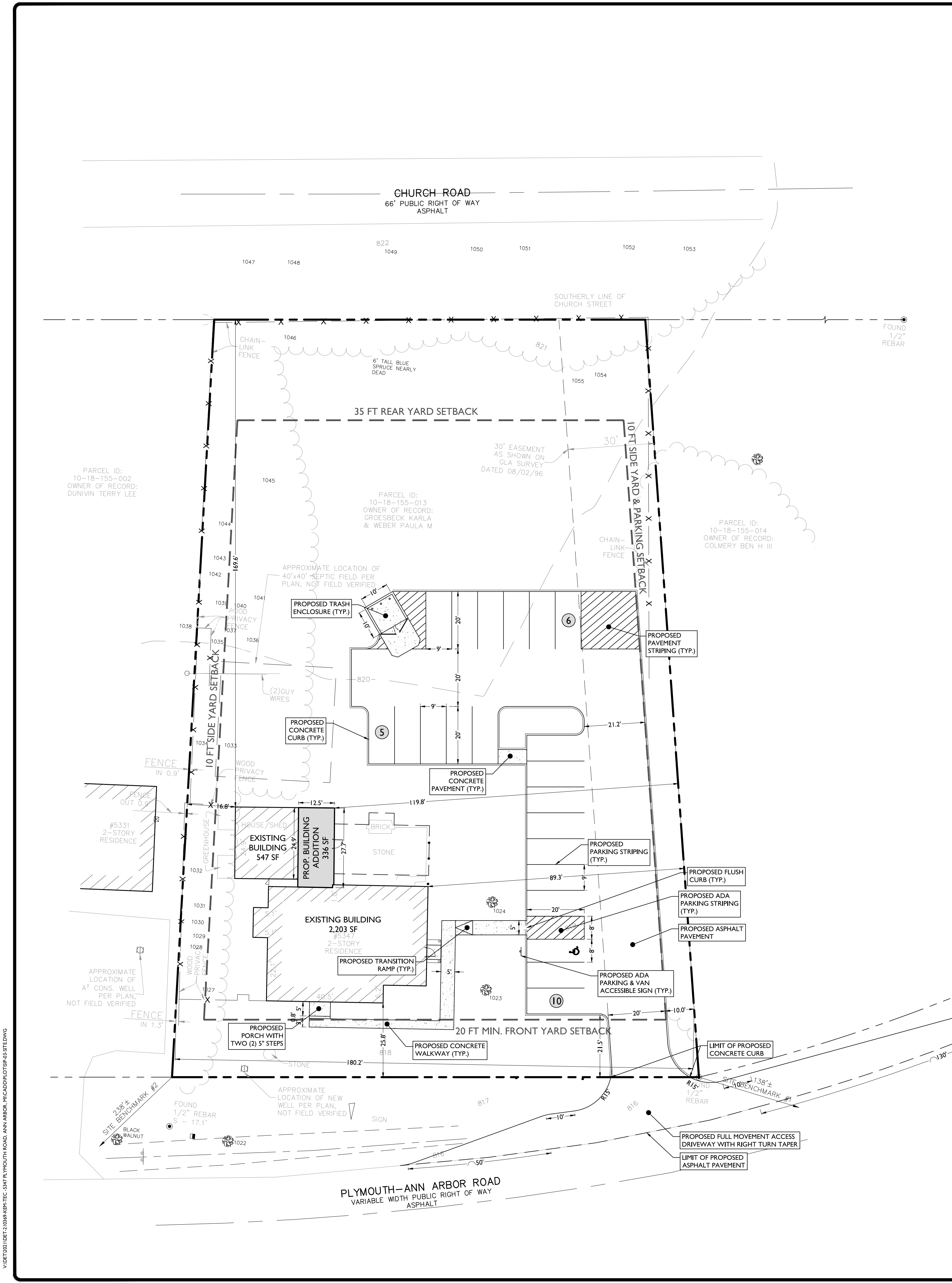


SCALE: 1" = 20' PROJECT ID: DET-210369

TITLE:
DEMOLITION PLAN

DRAWING:
C-2

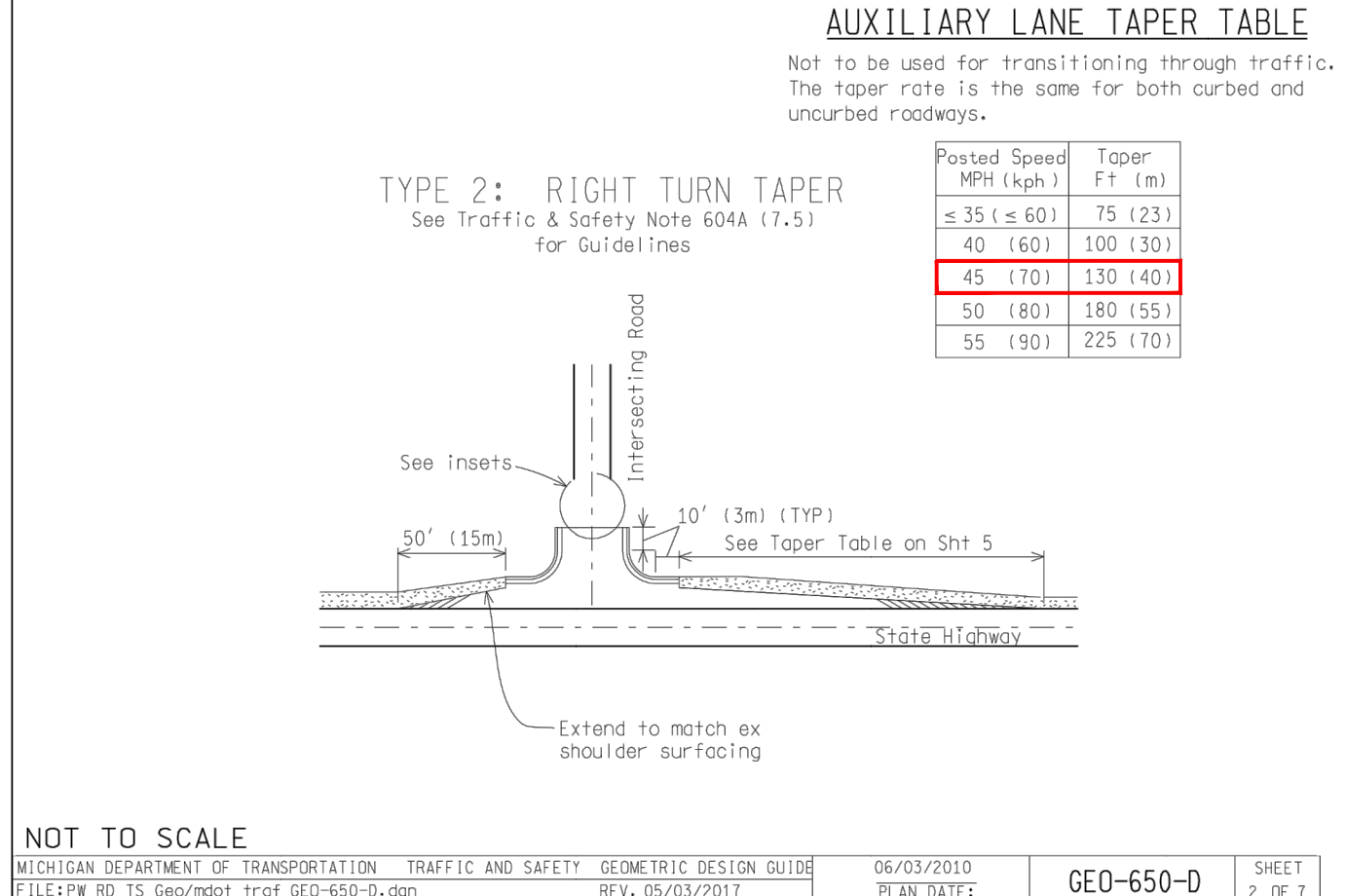
VDI070101021218848KEMTEC-5347 PLYMOUTH ROAD, ANN ARBOR, MICHIGAN 48105-0103



| LAND USE AND ZONING | | |
|---------------------------------------|----------------------|---------------------|
| PARCEL ID: 10-18-155-013 | | |
| VILLAGE COMMERCIAL DISTRICT (VC) | | |
| PROPOSED USE | CONDITIONAL USE | |
| VETERINARY CLINIC | | |
| ZONING REQUIREMENT | REQUIRED | PROPOSED |
| MINIMUM LOT AREA | 20,000 SF | 43,934 SF |
| MINIMUM LOT WIDTH | 100 FT | 180.2 FT |
| MAXIMUM GROUND FLOOR COVERAGE | 25% (10,984 SF) | 7% (3,086 SF) |
| MAXIMUM FLOOR AREA RATIO | 0.50 (21,968 SF) | .07 (3,086 SF) |
| MAXIMUM BUILDING HEIGHT | 35 FT (2 STORIES) | < 35 FT (2 STORIES) |
| MINIMUM FRONT YARD SETBACK | 20 FT | 25.8 FT |
| MAXIMUM FRONT YARD | 35 FT | 25.8 FT |
| MINIMUM SIDE YARD SETBACK (ONE) | 10 FT | 16.8 FT |
| MINIMUM SIDE YARD SETBACK (BOTH) | 20 FT | 106.1 FT |
| MINIMUM REAR YARD SETBACK | 35 FT | 169.6 FT |
| MINIMUM FRONT YARD PARKING SETBACK | 20 FT | 21.5 FT |
| MINIMUM SIDE AND REAR PARKING SETBACK | 10 FT ⁽¹⁾ | 10.0 FT |

(1) § 806.C.2.a - THE REQUIRED SETBACK MAY BE REDUCED TO A MINIMUM OF TEN (10) FEET WHERE EFFECTIVE SCREENING IS PROVIDED

| OFF-STREET PARKING REQUIREMENTS | | |
|---------------------------------|--|--------------------------------|
| CODE SECTION | REQUIRED | PROPOSED |
| § 805.C. | VETERINARY CLINIC: 1 SPACE PER 500 SF OF GFA (3,086 SF)/(500 SF) = 7 SPACES 1 SPACE PER EMPLOYEE (12 EMPLOYEES)/(SPACE/EMPLOYEE) = 12 SPACES TOTAL: 7 + 12 = 19 SPACES | 21 SPACES |
| § 805.C. | MAXIMUM PERMITTED PARKING: 130% OF REQUIRED SPACES (19 SPACES)(1.30) = 25 SPACES | |
| § 805.I. | 90' PARKING: 9 FT X 20 FT WITH 20 FT AISLE | 9 FT X 20 FT W/ 20 FT AISLE |



| SYMBOL | DESCRIPTION |
|---------|---------------------------|
| --- | PROPERTY LINE |
| - - - - | SETBACK LINE |
| - - - - | SAWCUT LINE |
| ===== | PROPOSED CURB |
| ===== | PROPOSED FLUSH CURB |
| ○ | PROPOSED SIGNS / BOLLARDS |
| ■ | PROPOSED BUILDING |
| □ | PROPOSED CONCRETE |

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

| NO. | DATE | BY | DESCRIPTION |
|-----|------------|----|--|
| 1 | 09/29/2021 | AF | FOR SITE PLAN SUBMISSION FOR CLIENT REVIEW |
| 2 | 10/19/2021 | AF | |

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SITE IMPROVEMENT PLANS

5347 PLYMOUTH ROAD

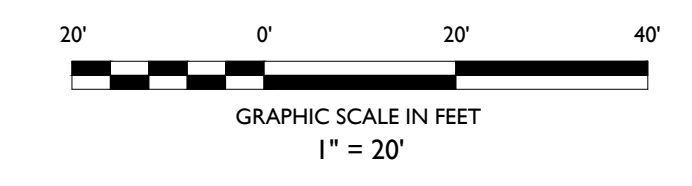
PROPOSED VETERINARY CLINIC

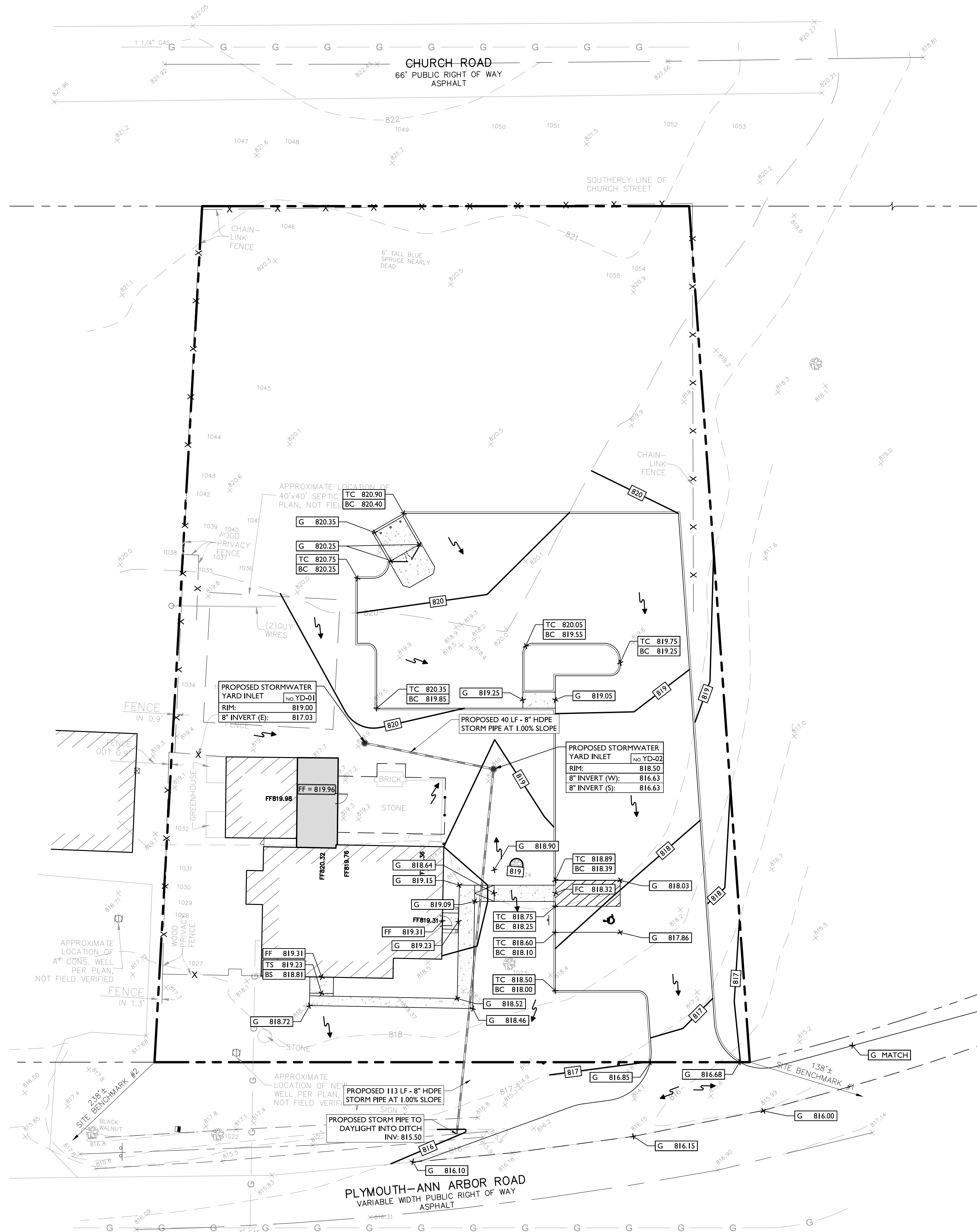
PARCEL ID: 10-18-155-013
5347 PLYMOUTH ROAD
SUPERIOR CHARTER TOWNSHIP
WASHTENAW COUNTY, MICHIGAN 48105

SCALE: 1" = 20' PROJECT ID: DET-210369

TITLE: **SITE PLAN**

DRAWING: **C-3**

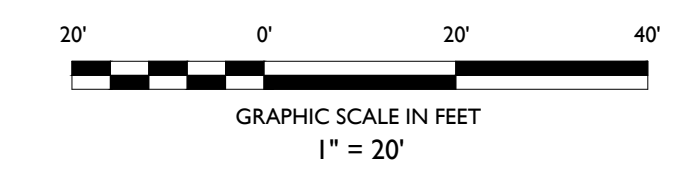




| SYMBOL | DESCRIPTION |
|--------------------------|--|
| --- | PROPERTY LINE |
| —100— | PROPOSED GRADING CONTOUR |
| —RIDGELINE— | PROPOSED GRADING RIDGELINE |
| ← | PROPOSED DIRECTION OF DRAINAGE FLOW |
| X G 100.00 | PROPOSED GRADE SPOT SHOT |
| X TC 100.50 BC 100.00 | PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT |
| X FC 100.00 | PROPOSED FLUSH CURB SPOT SHOT |

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33%. IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP, CURBS RAMP SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.



| NO. | DATE | ISSUE | BY | DESCRIPTION |
|-----|------------|-------|----|--------------------------|
| 2 | 10/19/2021 | AF | | FOR SITE PLAN SUBMISSION |
| 1 | 09/29/2021 | AF | | FOR CLIENT REVIEW |

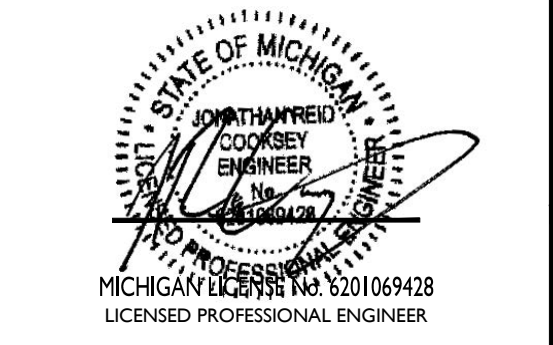
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SITE IMPROVEMENT PLANS
5347 PLYMOUTH ROAD
PROPOSED VETERINARY CLINIC

PARCEL ID: 10-18-155-013
5347 PLYMOUTH ROAD
SUPERIOR CHARTER TOWNSHIP
WASHTENAW COUNTY, MICHIGAN 48105



SCALE: 1" = 20' PROJECT ID: DET-210369

TITLE:
GRADING & DRAINAGE PLAN

DRAWING:
C-4

| PROPOSED LUMINAIRE SCHEDULE | | | | | | | |
|-----------------------------|-------|----------|--|--------------|-----|--------------|-------------------------------|
| SYMBOL | LABEL | QUANTITY | SECURITY LIGHTING | DISTRIBUTION | LLF | MANUFACTURER | IES FILE |
| | A | 2 | LSI LIGHTING MIRADA MEDIUM OUTDOOR LED AREA LIGHT - 85 WATTS, 3,000K | TYPE II | 0.9 | LSI LIGHTING | MRM-LED-12L-SIL-2-30-70CRI-IH |
| | B | 1 | LSI LIGHTING MIRADA MEDIUM OUTDOOR LED AREA LIGHT - 85 WATTS, 3,000K | TYPE III | 0.9 | LSI LIGHTING | MRM-LED-12L-SIL-3-30-70CRI-IH |

| LIGHTING REQUIREMENTS | | |
|-----------------------|---|------------------|
| CODE SECTION | REQUIRED | PROPOSED |
| § 14.11.B.1. | FIXTURE SHIELDING: ALL FIXTURES SHALL BE FULLY SHIELDED | PROVIDED |
| § 14.11.B.3. | MAXIMUM WATTAGE: 250 W FOR FIXTURES UP TO 20 FT HEIGHT 400 W FOR FIXTURES ABOVE 20 FT HEIGHT | 85 WATTS |
| § 14.11.B.4. | MAXIMUM INTENSITY: WITHIN SITE - 10 FC PROPERTY LINE - 0.2 FC (5 FT ABOVE GRADE) | 5.1 FC 0.2 FC |
| § 14.11.B.4. | MAXIMUM HEIGHT: LESS THAN 50 FT FROM PROPERTY LINE - 15 FT 50 FT TO 300 FT FROM PROPERTY LINE - 20 FT | 20 FT |

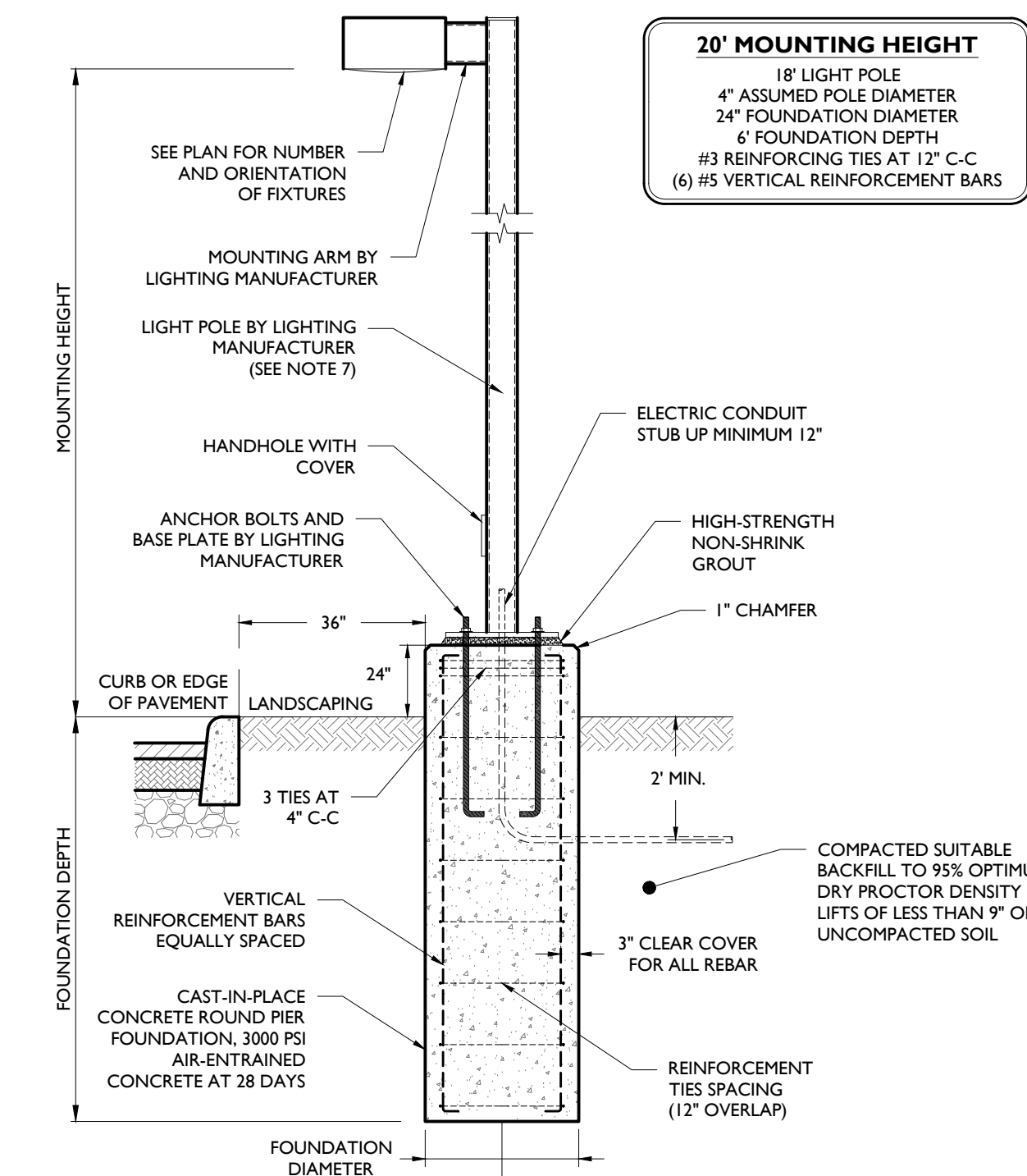
SYMBOL **DESCRIPTION**

- PROPERTY LINE SETBACK
- A (XX') PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
- +XX PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
- PROPOSED AREA LIGHT



GENERAL LIGHTING NOTES

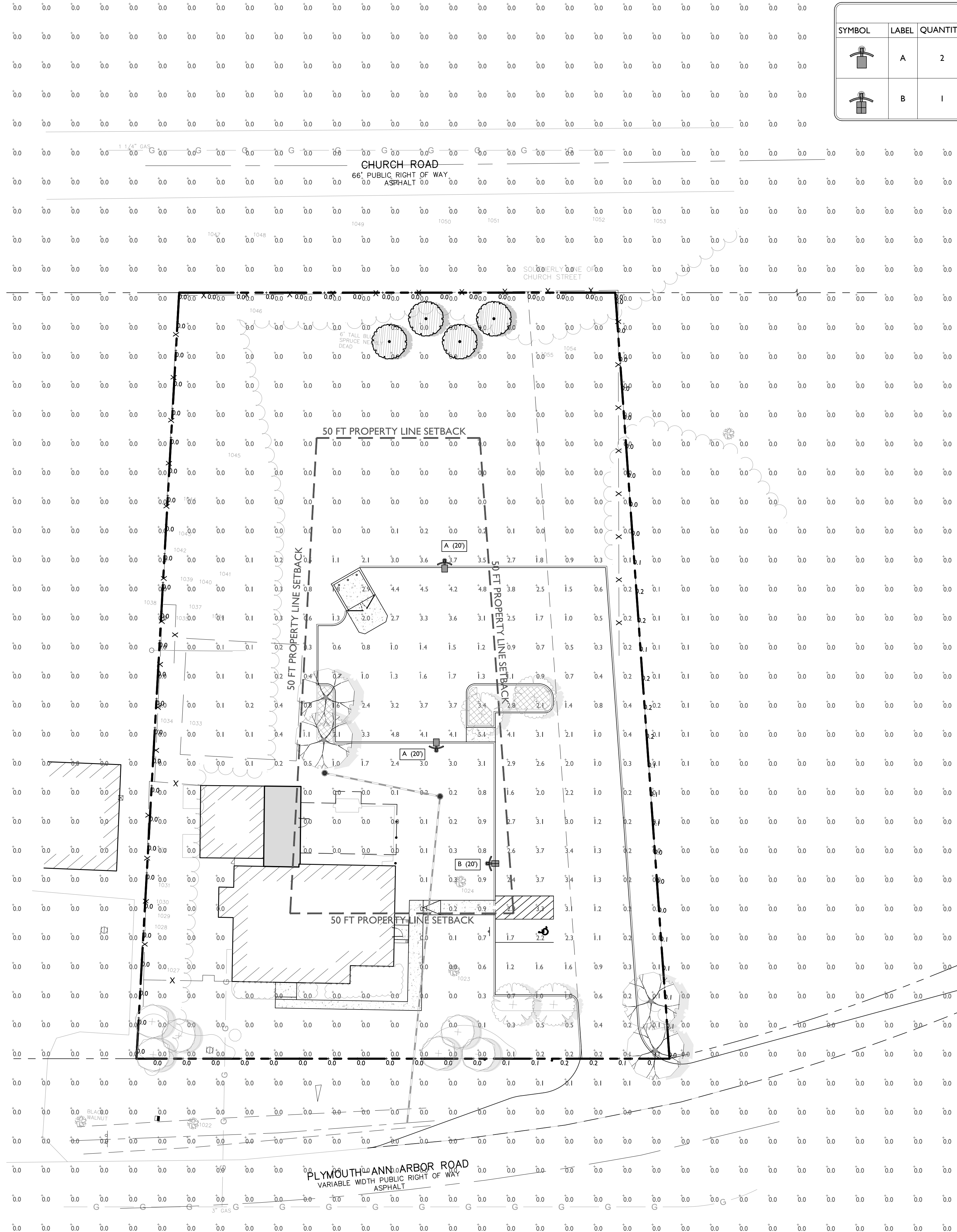
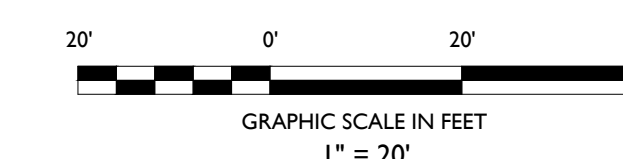
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRICAL SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



LIGHT POLE INSTALLATION DETAIL

- NOTES:
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
 - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
 - ALL REBAR TO BE NEW GRADE 60 STEEL.
 - PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
 - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
 - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
 - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANS/ASSE 7-93.
 - POUR TO BE TERMINATED AT A FORM.
 - WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
 - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

PEDESTRIAN WALKWAY AND ACCESS TO THE BUILDING TO BE ILLUMINATED BY ARCHITECTURAL FIXTURES.



| NO. | DATE | BY | DESCRIPTION |
|-----|------------|----|--------------------------|
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| 1 | 09/29/2021 | AF | FOR CLIENT REVIEW |

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SITE IMPROVEMENT PLANS
5347 PLYMOUTH ROAD
PROPOSED VETERINARY CLINIC

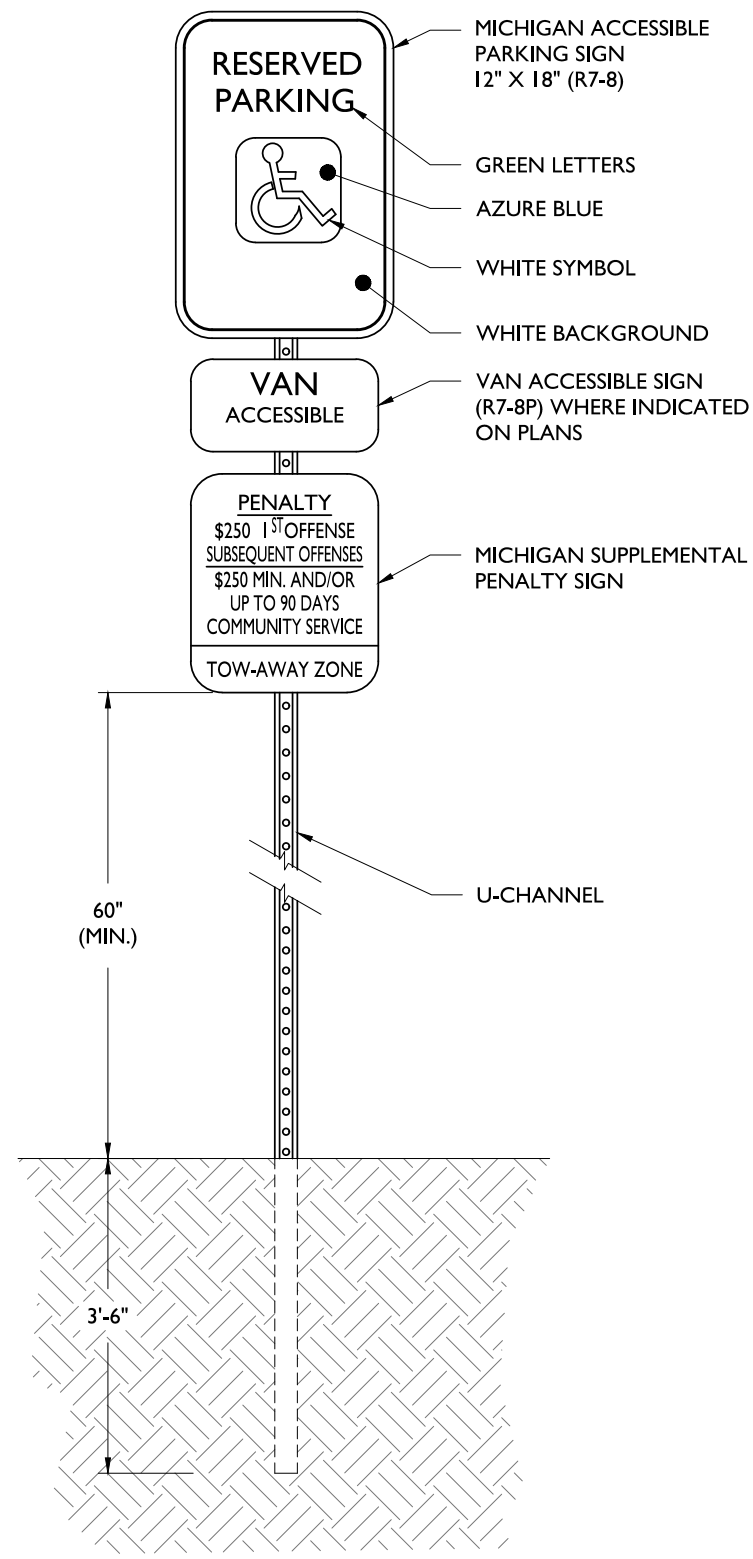
PARCEL ID: 10-18-155-013
5347 PLYMOUTH ROAD
SUPERIOR CHARTER TOWNSHIP
WASHTENAW COUNTY, MICHIGAN 48105



SCALE: 1" = 20' PROJECT ID: DET-210369

TITLE:
LIGHTING PLAN

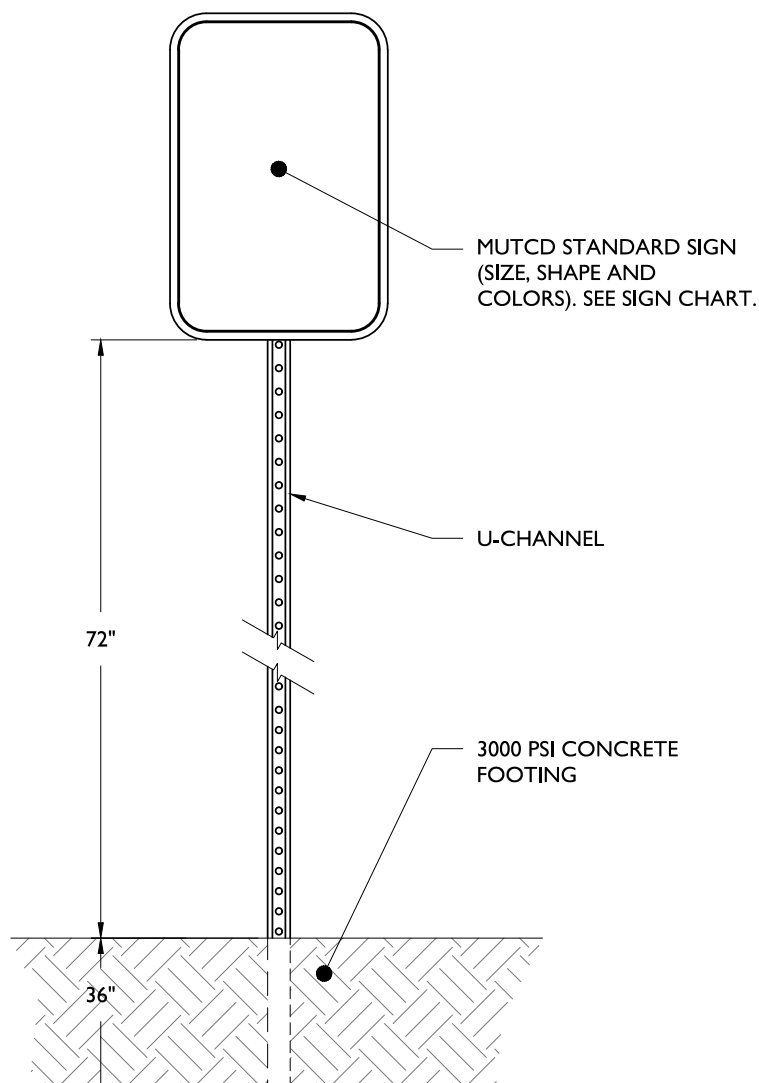
DRAWING:
C-6



ACCESSIBLE PARKING SIGN DETAIL

NOT TO SCALE

1



SIGN POST DETAIL

NOT TO SCALE

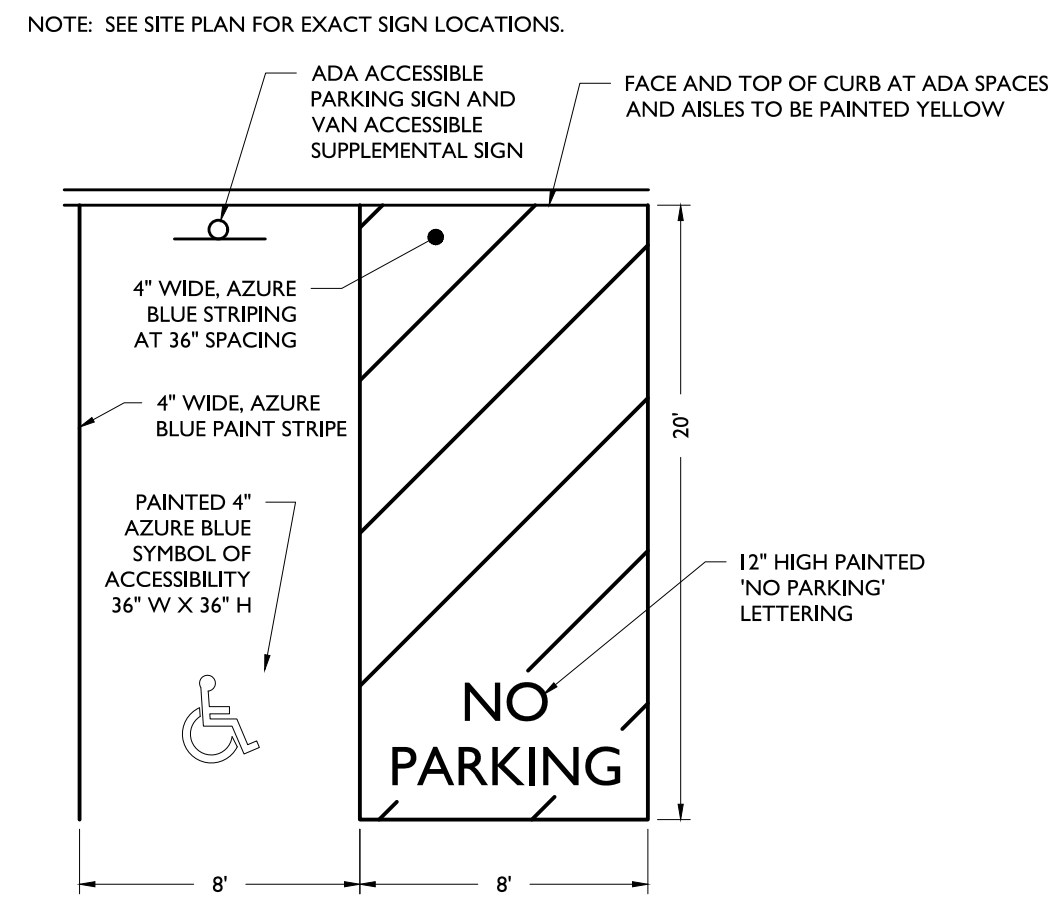
| M.U.T.C.D. NUMBER | TEXT | COLOR LEGEND | COLOR BACKGROUND | SIZE OF SIGN (WIDTH X HEIGHT) | TYPE OF MOUNT |
|-------------------|------|--------------|------------------|-------------------------------|---------------|
| STOP SIGN (R1-1) | | RED | WHITE | 36" X 36" | GROUND |

SIGN DATA TABLE

NOT TO SCALE

NOTE:
 1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

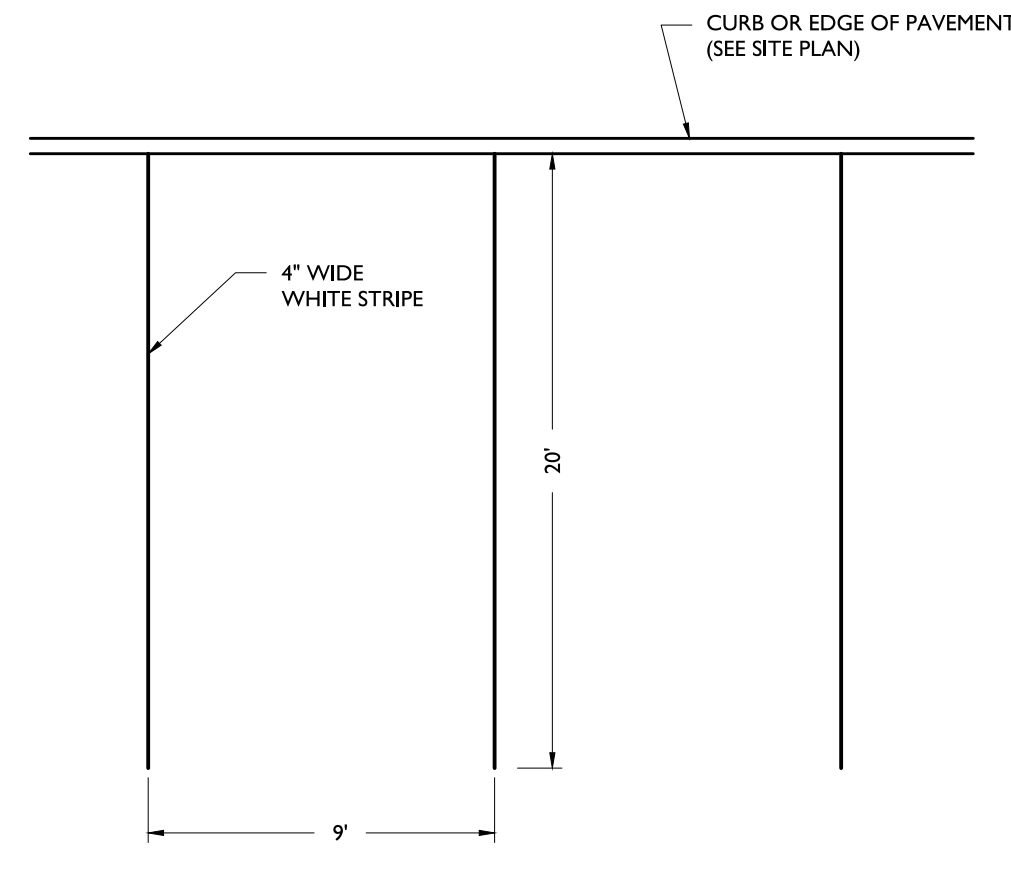
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ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

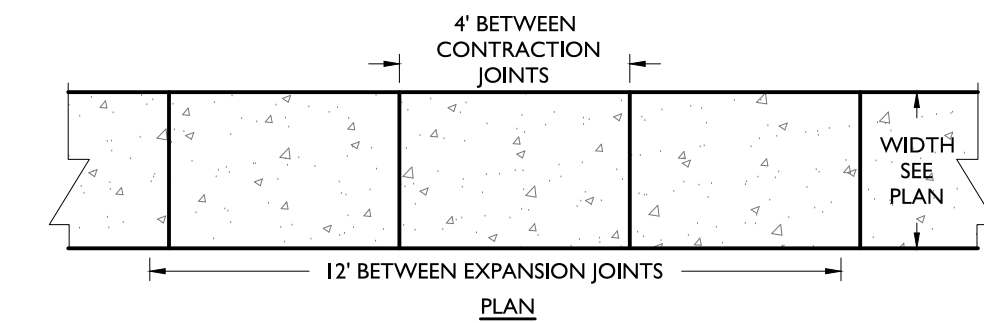
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PARKING STALL MARKINGS

NOT TO SCALE

4

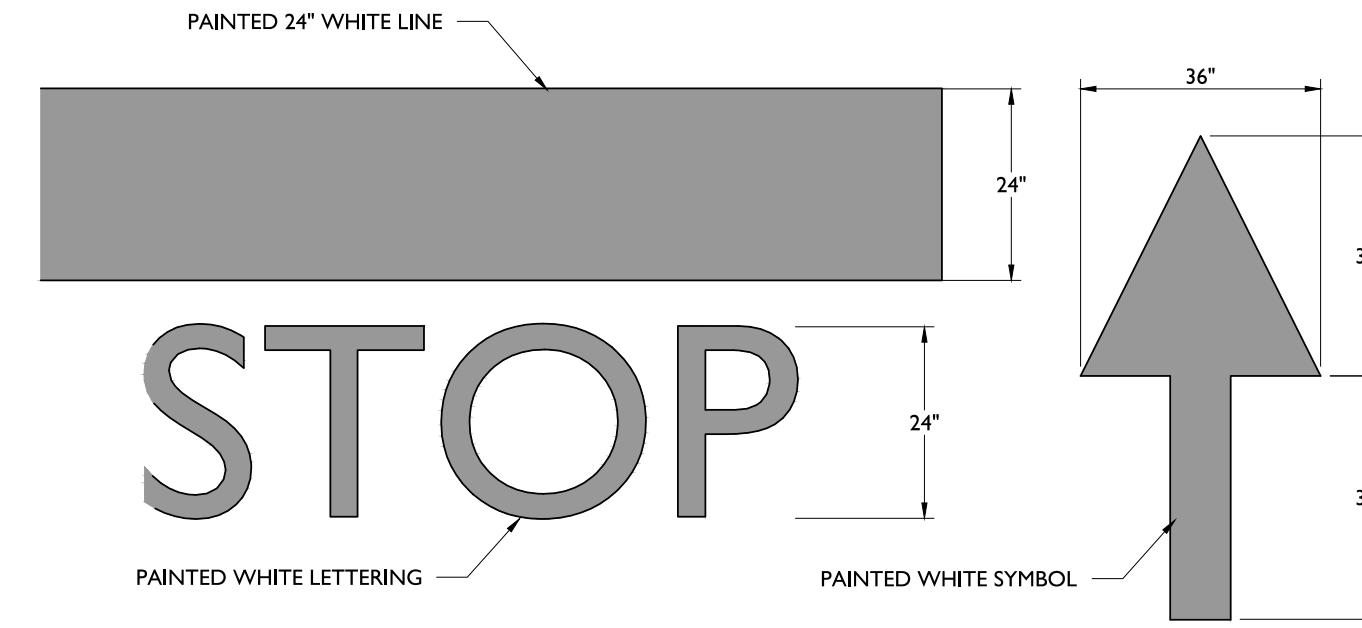


CONCRETE WALKWAY DETAIL

NOT TO SCALE

5

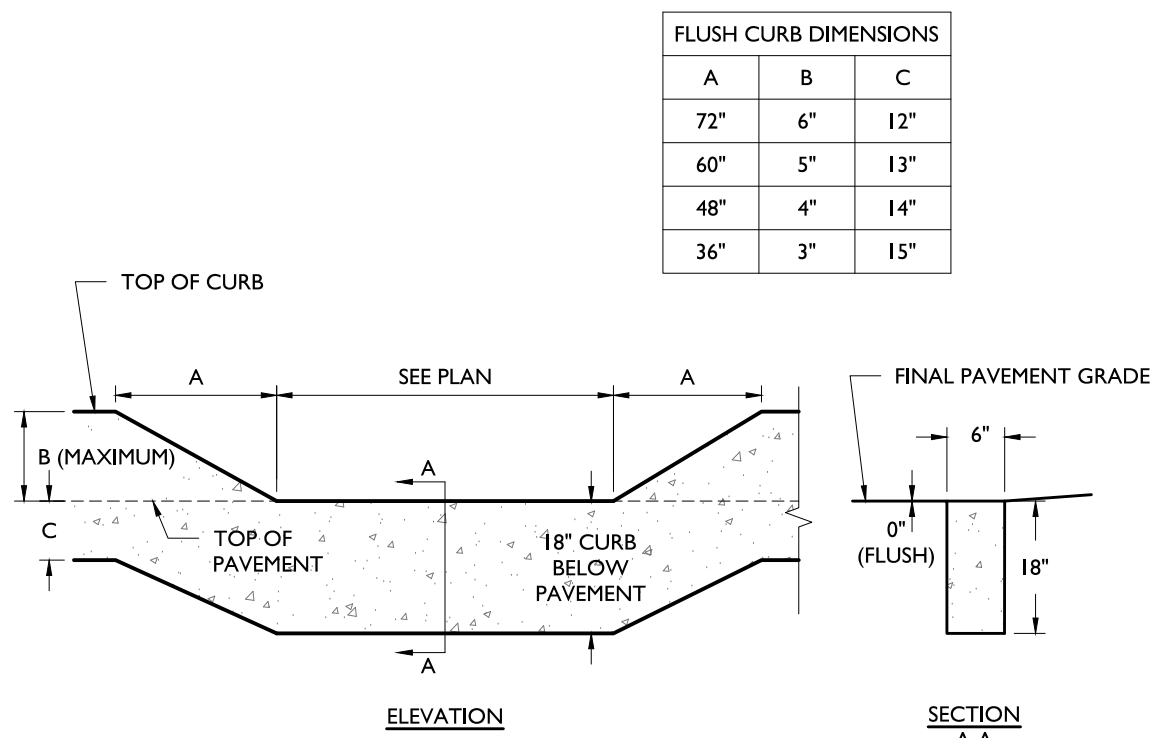
NOTES:
 1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
 2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
 3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



STOP BAR & ARROW DETAILS

NOT TO SCALE

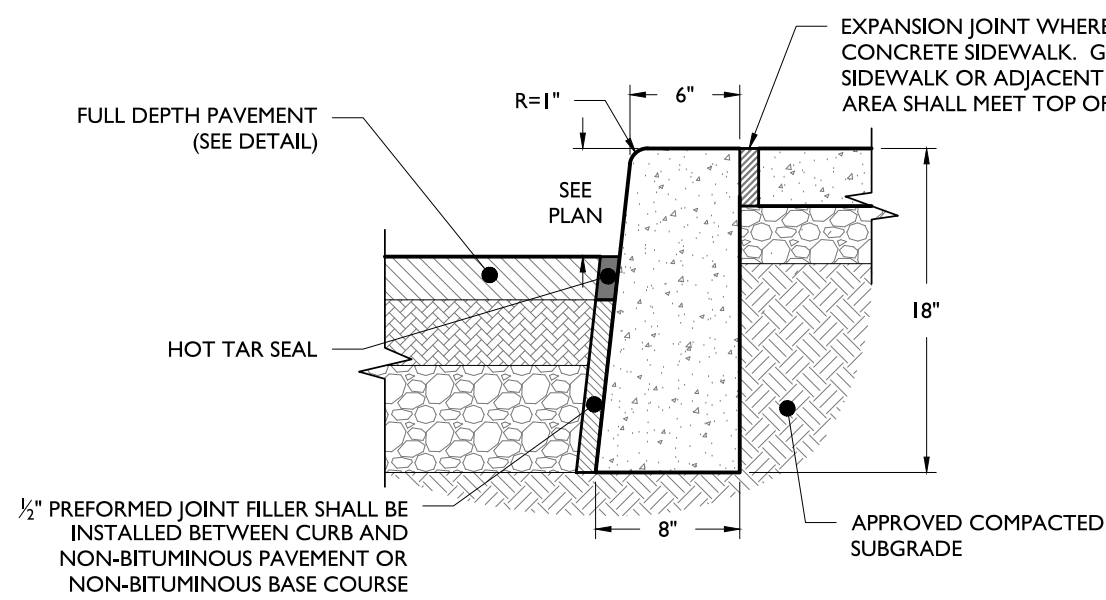
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FLUSH CURB DETAIL

NOT TO SCALE

7

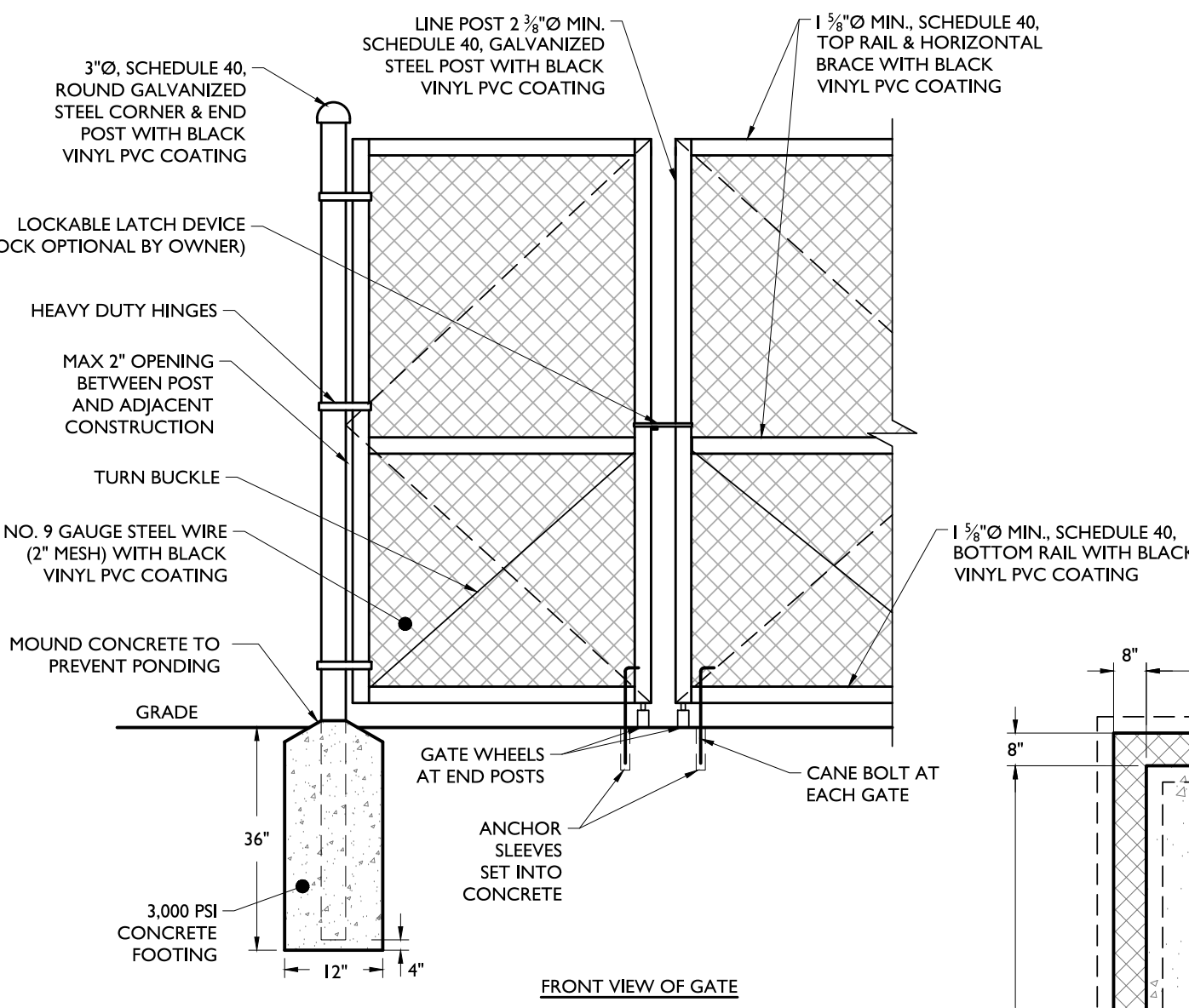


CONCRETE CURB DETAIL

NOT TO SCALE

NOTES:
 1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
 3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

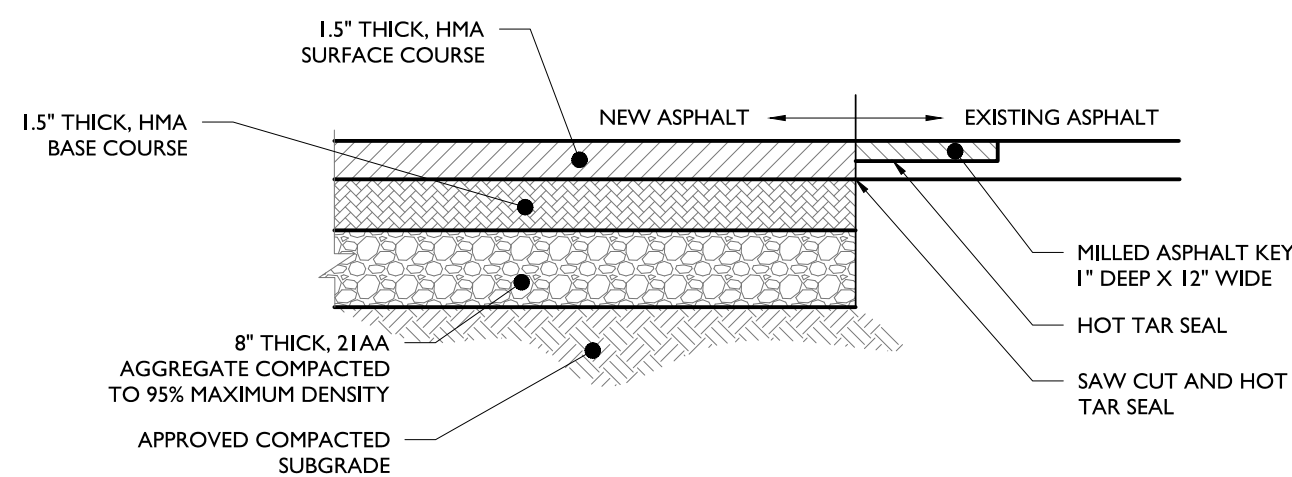
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TRASH / RECYCLE ENCLOSURE DETAIL

NOT TO SCALE

11

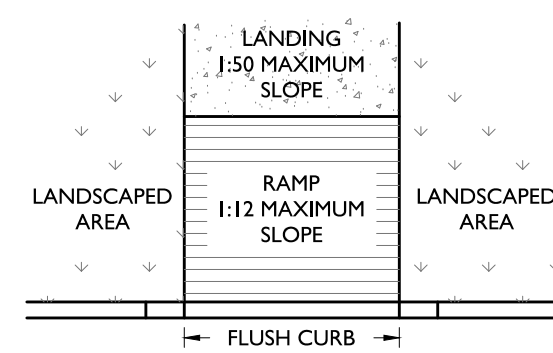


FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

NOTE:
 1. MIX DESIGN 13A WITH PG58-22 PER MDT STANDARDS SHALL BE USED FOR THE SURFACE AND BASE COURSE.
 2. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR PAVEMENT CROSS SECTION.

9

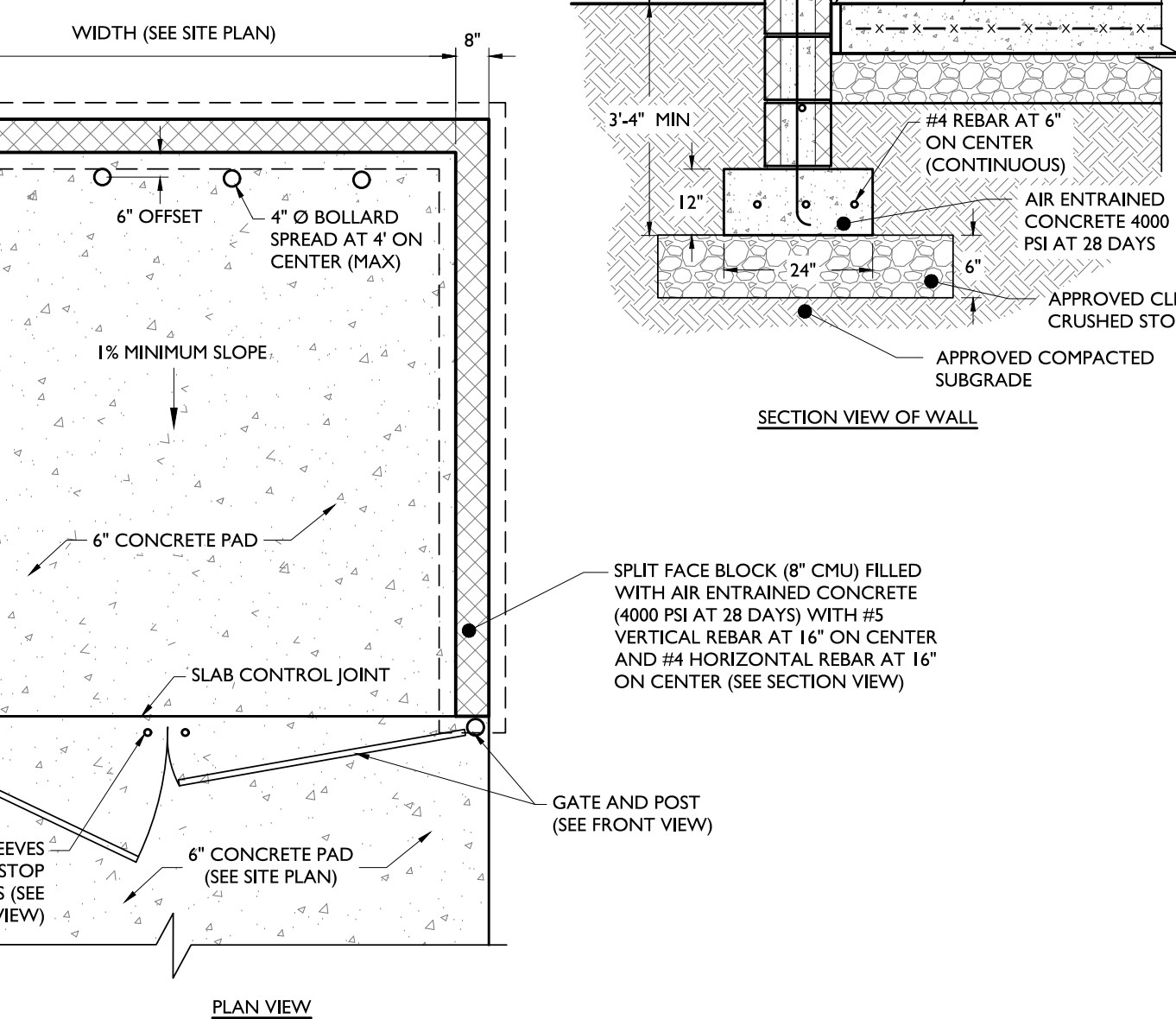


RAMP DETAIL

NOT TO SCALE

NOTES:
 1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.
 2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
 3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.

10



TRASH / RECYCLE ENCLOSURE DETAIL

NOT TO SCALE

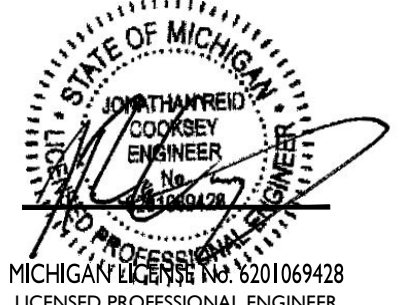
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SITE IMPROVEMENT PLANS
5347 PLYMOUTH ROAD
 PROPOSED VETERINARY CLINIC



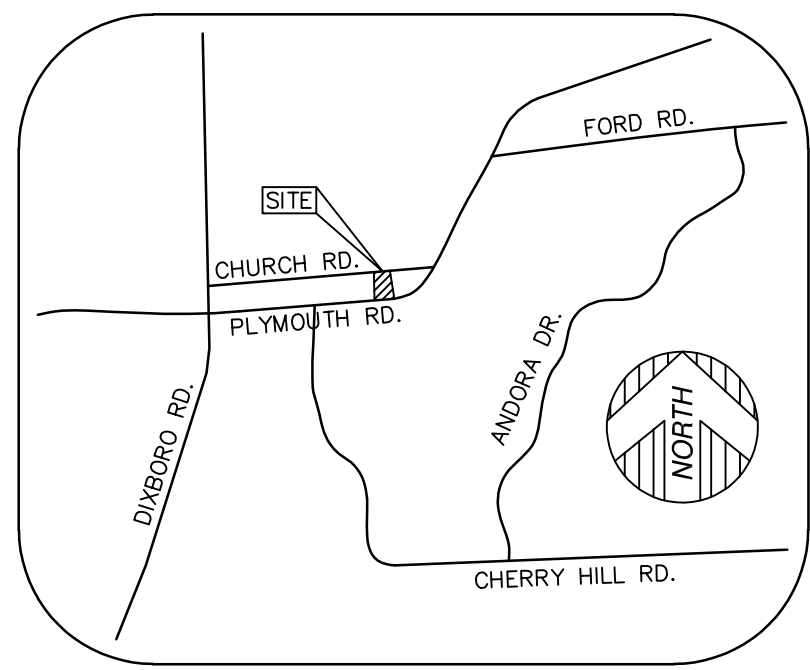
SCALE: AS SHOWN PROJECT ID: DET-210369

TITLE:
CONSTRUCTION DETAILS

DRAWING:

C-7

PARCEL ID: 10-18-155-013
 5347 PLYMOUTH ROAD
 SUPERIOR CHARTER TOWNSHIP
 WASHINGTON COUNTY, MICHIGAN 48105



VICINITY MAP
(NOT TO SCALE)

PARKING
NO MARKED PARKING ON SITE.

PARCEL AREA
43,934± SQUARE FEET = 1.01± ACRES

BASIS OF BEARING
NORTH 88°24'05" EAST, BEING THE SOUTHERLY RIGHT OF WAY LINE OF CHURCH ROAD, AS DESCRIBED.

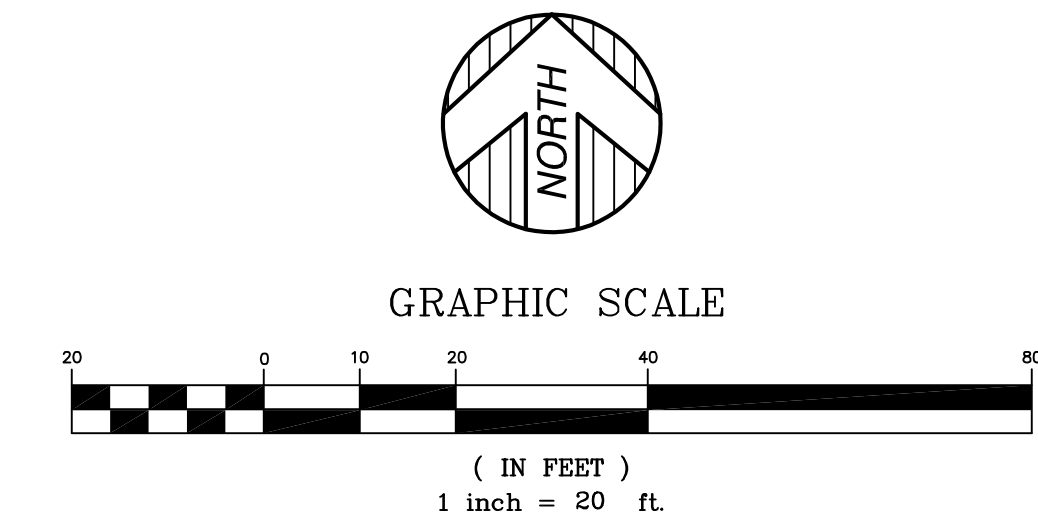
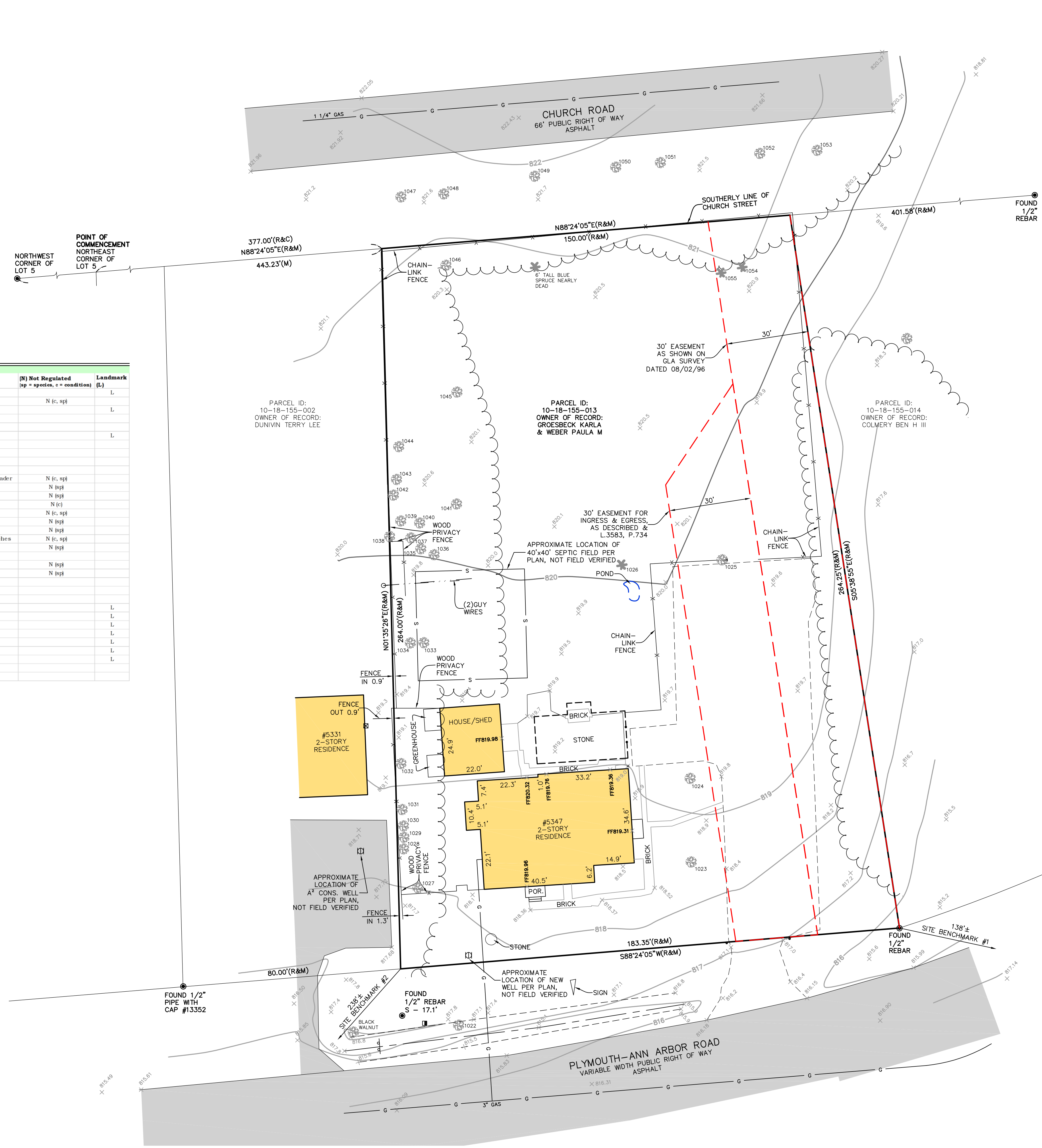
TREE INVENTORY TABLE

| Tree # | d.b.h. (d.i.) | Height (h.) | Canopy | Botanical Name | Common Name | Condition | Comments | (N) Not Regulated (sp = species, c = condition) | Landmark (L) |
|--------|---------------|-------------|--------|----------------------------|-----------------|-----------|--|---|--------------|
| 1022 | 27 d. | 30' | 30' | <i>Juglans spp.</i> | Walnut | good | | | L |
| 1023 | 34 d. | 30' | 30' | <i>Acer saccharinum</i> | Silver Maple | poor | -75% or more dead | N (c, sp) | |
| 1024 | 30 d. | 30' | 30' | <i>Juglans spp.</i> | Walnut | fair | -Rot in trunk | | L |
| 1025 | 16 d. | 20' | 20' | <i>Juglans spp.</i> | Walnut | good | | | |
| 1026 | 20 h. | 10' | 10' | <i>Picea glauca</i> | White Spruce | fair | -Stunted & thinning foliage | | |
| 1027 | 19 d. | 20' | 20' | <i>Acer saccharum</i> | Sugar Maple | fair | -Dead leader | | L |
| 1028 | 20 h. | 7' | 7' | <i>Thuja spp.</i> | Arbovitae | fair | -Utility-pruned | | |
| 1029 | 25 h. | 7' | 7' | <i>Thuja spp.</i> | Arbovitae | fair | -Utility-pruned | | |
| 1030 | 25 h. | 7' | 7' | <i>Thuja spp.</i> | Arbovitae | fair | -Utility-pruned | | |
| 1031 | 10 h. | 7' | 7' | <i>Thuja spp.</i> | Arbovitae | fair | -Utility-pruned | | |
| 1032 | 19 d. | 15' | 15' | <i>Acer negundo</i> | Boxelder | poor | -Substantial lean, substantial rot, missing leader | N (c, sp) | |
| 1033 | 31 / 19 / 11 | 11 d. | 35' | <i>Acer negundo</i> | Boxelder | fair | -Dead branch(es) | N (sp) | |
| 1034 | 11 d. | 15' | 15' | <i>Acer negundo</i> | Boxelder | fair | -Leaning | N (sp) | |
| 1035 | 17 d. | 15' | 15' | <i>Morus spp.</i> | Mulberry | poor | -HAZARD - Broken trunk/leader | N (c) | |
| 1036 | 11 / 5 d. | 10' | 10' | <i>Acer negundo</i> | Boxelder | poor | -HAZARD - Broken trunk/leader | N (c, sp) | |
| 1037 | 14 d. | 15' | 15' | <i>Acer negundo</i> | Boxelder | fair | -Dead branch(es) | N (sp) | |
| 1038 | 9 j. d. | 10' | 10' | <i>Acer negundo</i> | Boxelder | fair | -Contorted crown | N (sp) | |
| 1039 | 13 d. | 15' | 15' | <i>Acer negundo</i> | Boxelder | poor | -Severe rot/hollow & significantly dead branches | N (c, sp) | |
| 1040 | 12 d. | 15' | 15' | <i>Populus spp.</i> | Poplar | fair | -Leaning | N (sp) | |
| 1041 | 8 / 7 / 4 d. | 10' | 10' | <i>Morus spp.</i> | Mulberry | fair | -Contorted crown | N (sp) | |
| 1042 | 15 / 12 d. | 20' | 20' | <i>Populus spp.</i> | Poplar | fair | -V-shaped notch(es) | N (sp) | |
| 1043 | 15 d. | 20' | 20' | <i>Populus spp.</i> | Poplar | good | | N (sp) | |
| 1044 | 9 / 7 / 6 d. | 10' | 10' | <i>Ailanthus altissima</i> | Tree-of-Heaven | fair | -V-shaped notch(es) | | |
| 1045 | 8 d. | 10' | 10' | <i>Ailanthus altissima</i> | Tree-of-Heaven | fair | -Dead branch(es) | | |
| 1046 | 10 h. | 7' | 7' | <i>Picea pungens</i> | Colorado Spruce | fair | -Stunted & thinning foliage | | |
| 1047 | 18 d. | 20' | 20' | <i>Juglans spp.</i> | Walnut | fair | -Rot in trunk | | L |
| 1048 | 19 d. | 20' | 20' | <i>Juglans spp.</i> | Walnut | fair | -Rot in trunk | | L |
| 1049 | 24 d. | 25' | 25' | <i>Juglans spp.</i> | Walnut | fair | -Rot in trunk | | L |
| 1050 | 27 d. | 30' | 30' | <i>Juglans spp.</i> | Walnut | fair | -Rot in trunk | | L |
| 1051 | 20 d. | 25' | 25' | <i>Juglans spp.</i> | Walnut | fair | -Rot in trunk | | L |
| 1052 | 31 d. | 35' | 35' | <i>Juglans spp.</i> | Walnut | good | | | L |
| 1053 | 29 d. | 30' | 30' | <i>Juglans spp.</i> | Walnut | fair | -Rot in trunk | | L |
| 1054 | 18 h. | 7' | 7' | <i>Picea pungens</i> | Colorado Spruce | fair | -Stunted & thinning foliage | | |
| 1055 | 15 h. | 7' | 7' | <i>Picea pungens</i> | Colorado Spruce | fair | -Stunted & thinning foliage | | |

BENCHMARK
SITE BENCHMARK #1
TOP OF A CULVERT 140± SOUTHEAST OF THE SOUTHEAST CORNER OF SUBJECT PROPERTY.
ELEVATION = 816.88' (NAVD 88)
SITE BENCHMARK #2
TOP OF A CULVERT 238± SOUTHWEST OF THE SOUTHWEST CORNER OF SUBJECT PROPERTY.
ELEVATION = 812.97' (NAVD 88)

LEGEND

| | |
|--------|-------------------------------|
| ● | FOUND MONUMENT (AS NOTED) |
| (R&M) | RECORD AND MEASURED DIMENSION |
| (R) | RECORD DIMENSION |
| (M) | MEASURED DIMENSION |
| X 0.00 | GROUND ELEVATION |
| ⊗ | ELECTRIC METER |
| ○ | UTILITY POLE |
| ■ | TELEPHONE RISER |
| • | BOLLARD |
| + | FENCE POST |
| + | DOUBLE POST SIGN |
| ○ | DECIDUOUS TREE (AS NOTED) |
| ○ | CONIFEROUS TREE (AS NOTED) |
| --- | PARCEL BOUNDARY LINE |
| --- | ADJOINER PARCEL LINE |
| --- | BUILDING |
| --- | AWNING |
| --- | CENTERLINE DITCH |
| --- | EDGE OF CONCRETE (CONC.) |
| --- | EDGE OF ASPHALT (ASPH.) |
| --- | EDGE OF BRICK |
| --- | EDGE OF GRAVEL |
| --- | FENCE (AS NOTED) |
| --- | TREE / BRUSH LINE |
| --- | OVERHEAD UTILITY LINE |
| --- | GAS LINE |
| --- | EDGE OF WATER (AS NOTED) |
| --- | MINOR CONTOUR LINE |
| --- | MAJOR CONTOUR LINE |
| --- | BUILDING AREA |
| --- | ASPHALT |
| --- | CONCRETE |



PROPERTY DESCRIPTION

LAND SITUATED IN THE TOWNSHIP OF SUPERIOR, COUNTY OF WASHTENAW, STATE OF MICHIGAN, DESCRIBED AS:
PART OF THE NORTH 1/2 OF SECTION 18, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT ON THE SOUTHERLY LINE OF CHURCH STREET (1/2 ROW=33.00 FEET) DISTANT NORTH 88°24'05" EAST 377.00 FEET FROM THE NORTHEAST CORNER OF LOT 5, NORTHEAST SECTION OF DIXBORO, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FEBRUARY 28, 1828, IN LIBER "A" OF DEEDS, PAGE 273, WASHTENAW COUNTY RECORDS; THENCE CONTINUING NORTH 88°24'05" EAST 150.00 FEET ALONG THE SOUTH RIGHT OF WAY LINE OF SAID CHURCH STREET; THENCE SOUTH 05°38'55" EAST 264.25 FEET; THENCE SOUTH 88°24'05" WEST 183.35 FEET AND NORTH 01°35'26" EAST 264.00 FEET TO THE POINT OF BEGINNING.
SUBJECT TO A CERTAIN EASEMENT ON, OVER AND ACROSS THE ABOVE DESCRIBED PROPERTY TO CREATE A RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR THE BENEFIT OF THE ABOVE DESCRIBED PROPERTY AND PROPERTY IMMEDIATELY ADJACENT TO THE EAST THEREOF, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT: COMMENCING AT THE NORTHEAST CORNER OF LOT 5 OF THE NORTHEAST SECTION OF THE VILLAGE OF DIXBORO AS RECORDED IN LIBER "A" OF DEEDS, PAGE 273, WASHTENAW COUNTY RECORDS; THENCE N 88°24'05" EAST 406.92 FEET ALONG THE SOUTHERLY LINE OF CHURCH STREET (1/2=33 FEET); THENCE S 05°38'55" EAST 60.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S 05°38'55" E 204.25 FEET; THENCE S 88°24'05" W 30.08 FEET; THENCE N 05°38'55" W 169.25 FEET; THENCE N 36°43'57" E 44.51 FEET TO THE POINT OF BEGINNING.
THE PROPERTY ADJACENT TO THE EAST AND WHICH SHALL BE BENEFITED BY THE ABOVE DESCRIBED EASEMENT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT: COMMENCING AT THE NORTHEAST CORNER OF LOT 5, NORTHEAST SECTION VILLAGE OF DIXBORO; THENCE NORTH 88°24'05" EAST 257.00 FEET TO THE PLACE OF BEGINNING; THENCE CONTINUE NORTH 88°24'05" EAST 401.58 FEET; THENCE 475.10 FEET ALONG A CURVE, RT RADIUS OF 641.60 FEET, CHORD SOUTH 53°51'52" W 464.87 FEET, THENCE NORTH 05°38'55" WEST 264.25 FEET TO PLACE OF BEGINNING, BEING PART OF THE NORTHEAST 1/4 OF SECTION 18, T2S, R7E.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE STEWART TITLE GUARANTY COMPANY COMMITMENT NO. LB159002, DATED JULY 16, 2021, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.
10. MAINTENANCE AGREEMENT FOR EASEMENT AND RIGHT OF WAY, AS RECORDED IN LIBER 3583, PAGE 734, WASHTENAW COUNTY RECORDS. (AS SHOWN)

SURVEYOR'S NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

FLOOD NOTE

SUBJECT PARCEL LIES WITHIN:
OTHER AREA (ZONE X): AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26161C0260E, DATED 4/3/2012, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

SURVEYOR'S CERTIFICATION

TO ARBOR HILLS ANIMAL CLINIC PLLC, A MICHIGAN DOMESTIC PROFESSIONAL LIMITED LIABILITY COMPANY, MERCANTILE BANK OF MICHIGAN; LIBERTY TITLE AGENCY; AND STEWART TITLE GUARANTY COMPANY.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 7A, 8, AND 9 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 09, 2021.
DATE OF PLAT OR MAP: AUGUST 12, 2021
ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
TSycko@kemtec-survey.com

KEM-TEC
A GROUP OF COMPANIES
PROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES
Eastpointe, Michigan (800) 255-7222 (519) 758-0977
Ann Arbor, Michigan (734) 994-0888 (888) 694-0001
www.kemteccgroupofcompanies.com

ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: ARBOR HILLS VET
5347 PLYMOUTH-ANN ARBOR ROAD, SUPERIOR TOWNSHIP, MICHIGAN,
PART OF SECTION 18,
TOWN 2 SOUTH, RANGE 7 EAST

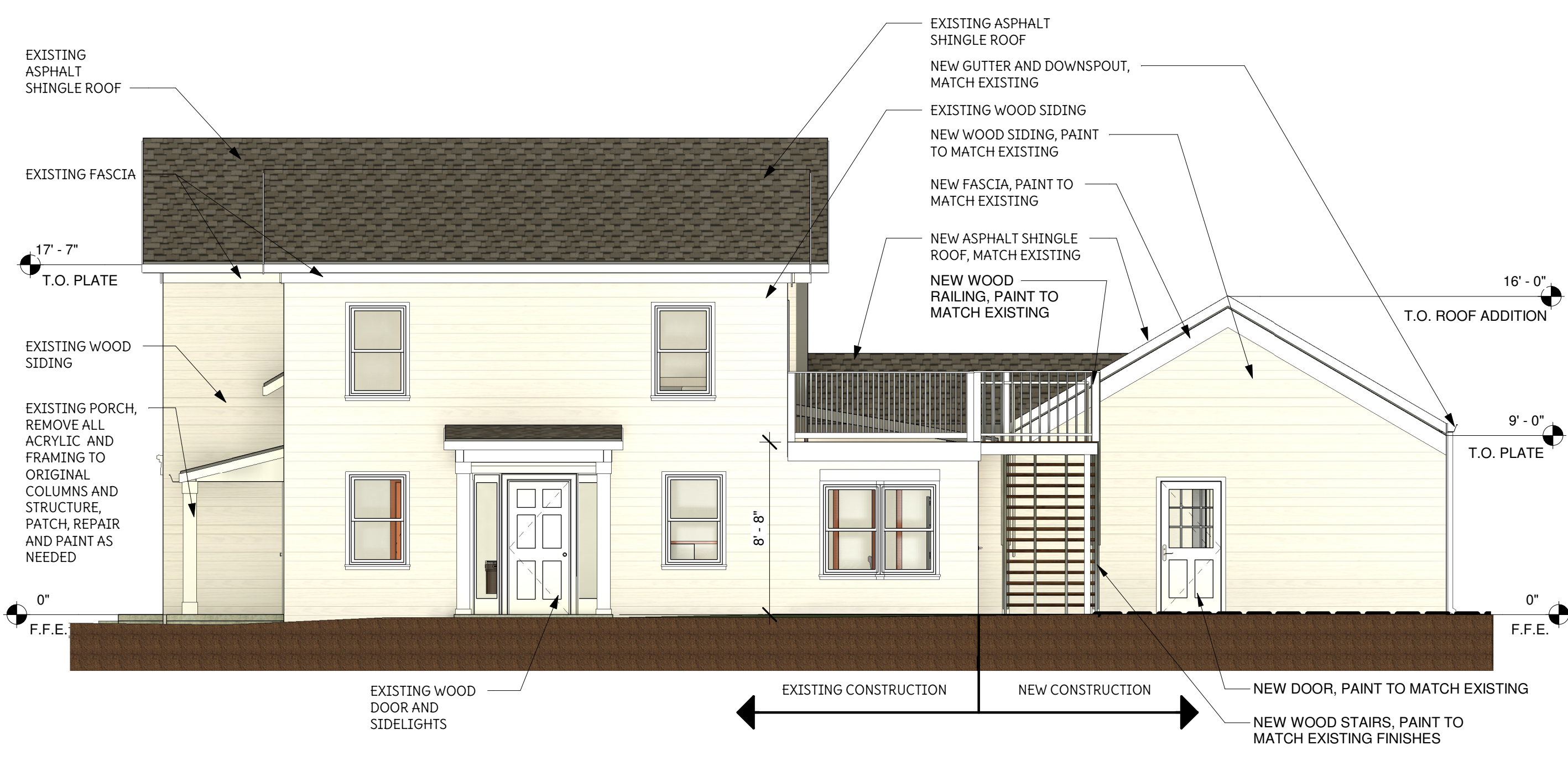
| DATE | BY | REVISION |
|-----------------|-----|---|
| 10/18/21 | MRJ | ADDED FLOOD NOTE |
| 10/13/21 | JV | ADDED SURVEYOR'S CERTIFICATION |
| 10/09/21 | JDM | EDITED TREE INVENTORY TABLE & TREE NUMBERS |
| 09/17/21 | ATS | ADDED EASEMENT |
| 08/23/21 | MRJ | ADDED APPROXIMATE LOCATION OF WELL & SEPTIC FIELD |
| 08/24/21 | JV | ADDED APPROXIMATE LOCATION OF WELL & SEPTIC FIELD |
| 08/24/21 | ATS | ADDED APPROXIMATE LOCATION OF WELL & SEPTIC FIELD |
| AUGUST 12, 2021 | MRJ | DATE |
| 21-02389 | | PROJECT NO. |
| 1 | | SCALE 1" = 20' |

1 OF 1 SHEETS



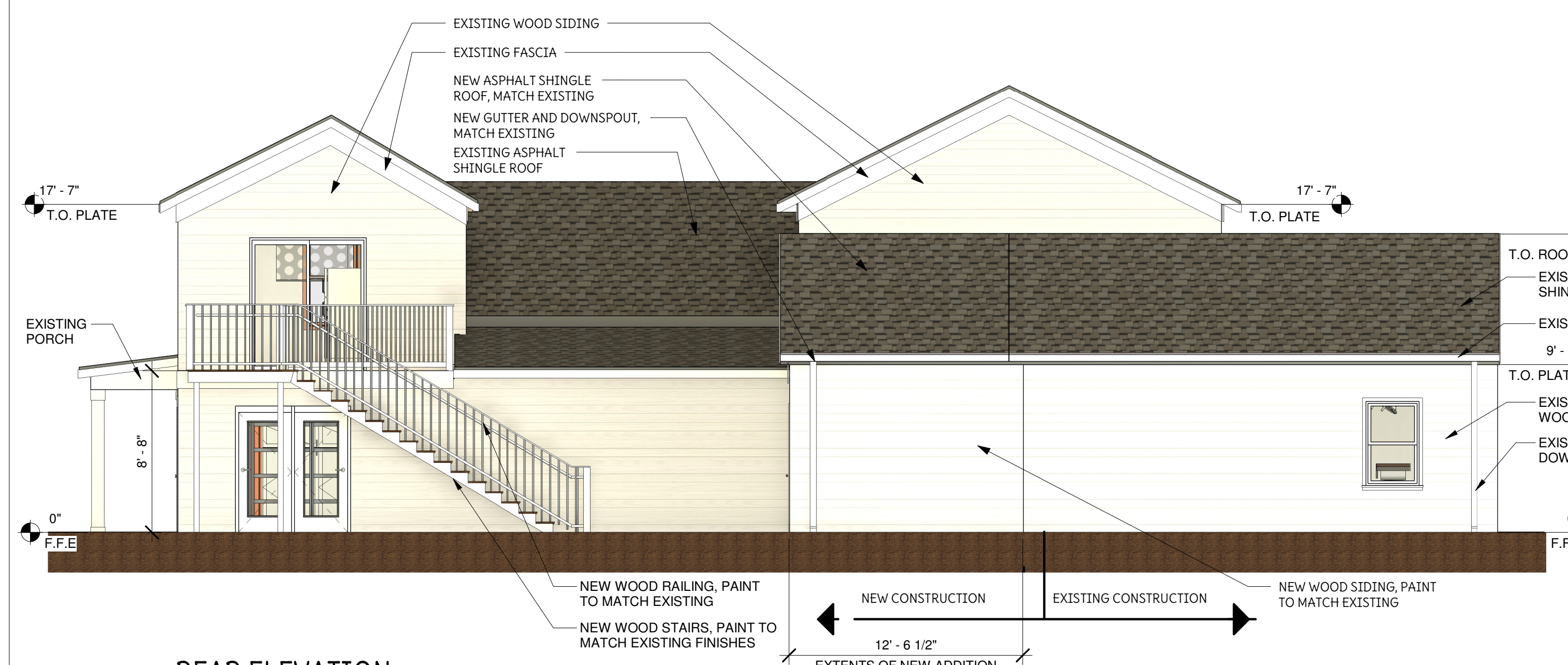
1 FRONT ELEVATION

3/16" = 1'-0"



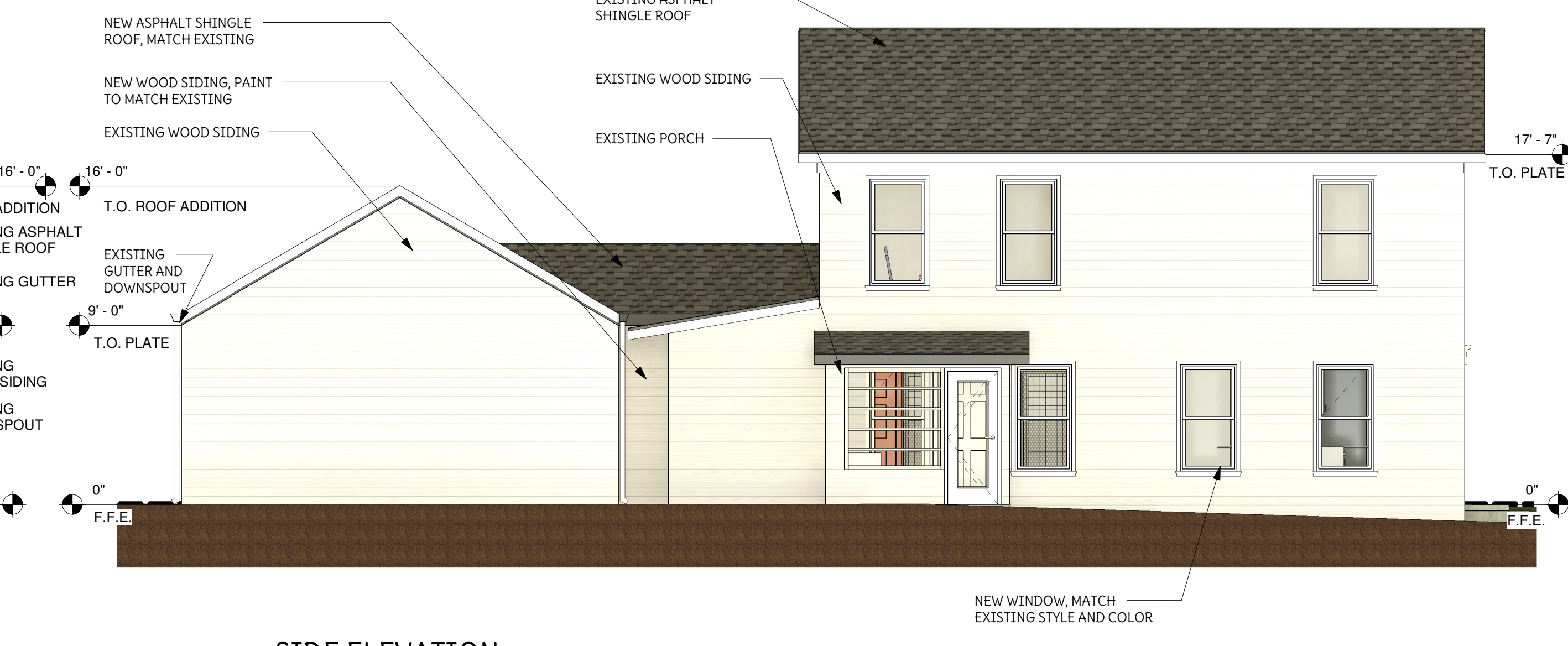
2 SIDE ELEVATION

3/16" = 1'-0"



3 REAR ELEVATION

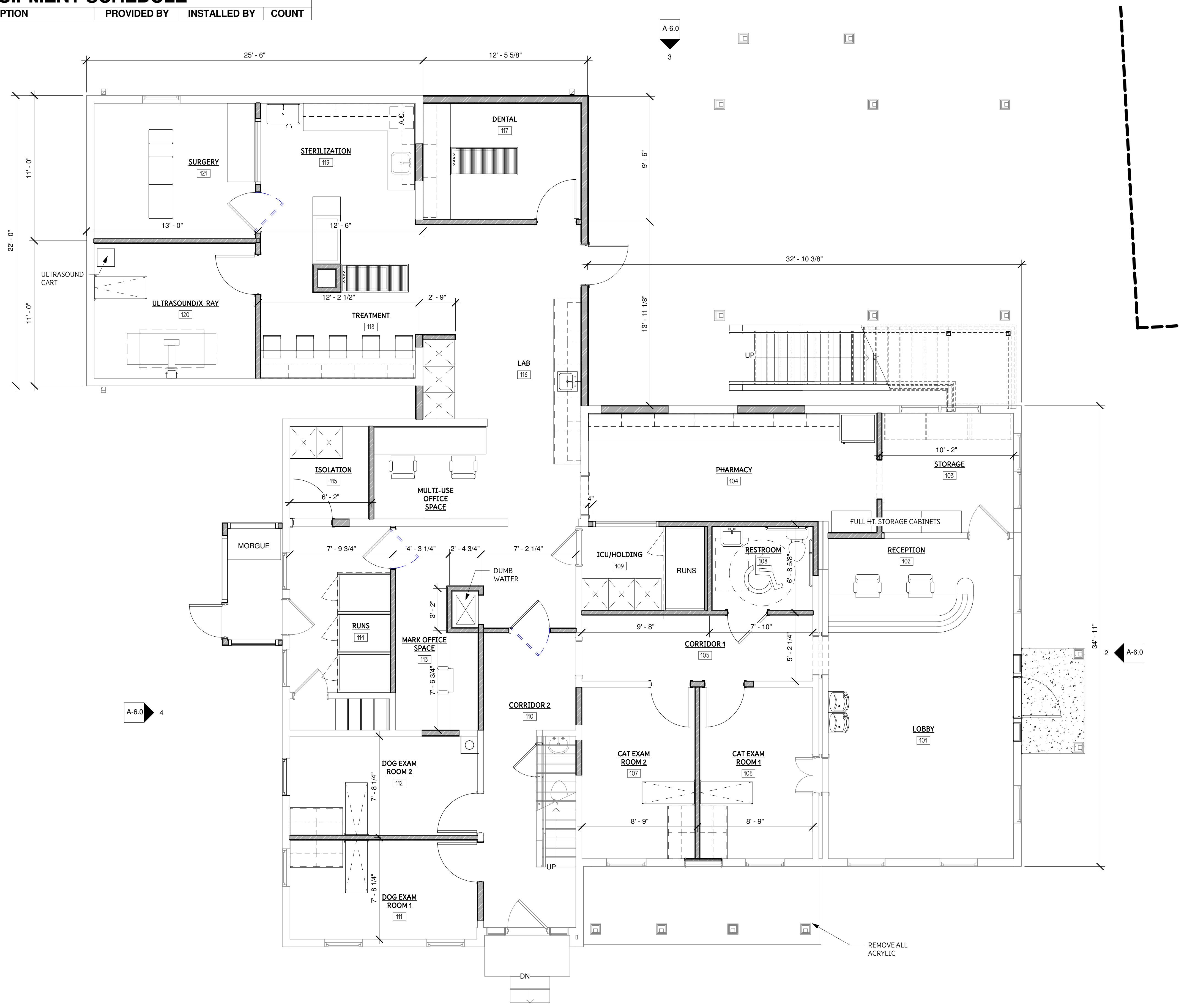
3/16" = 1'-0"



4 SIDE ELEVATION

3/16" = 1'-0"

| EQUIPMENT SCHEDULE | | | | |
|--------------------|-------------|-------------|--------------|-------|
| NUMBER | DESCRIPTION | PROVIDED BY | INSTALLED BY | COUNT |

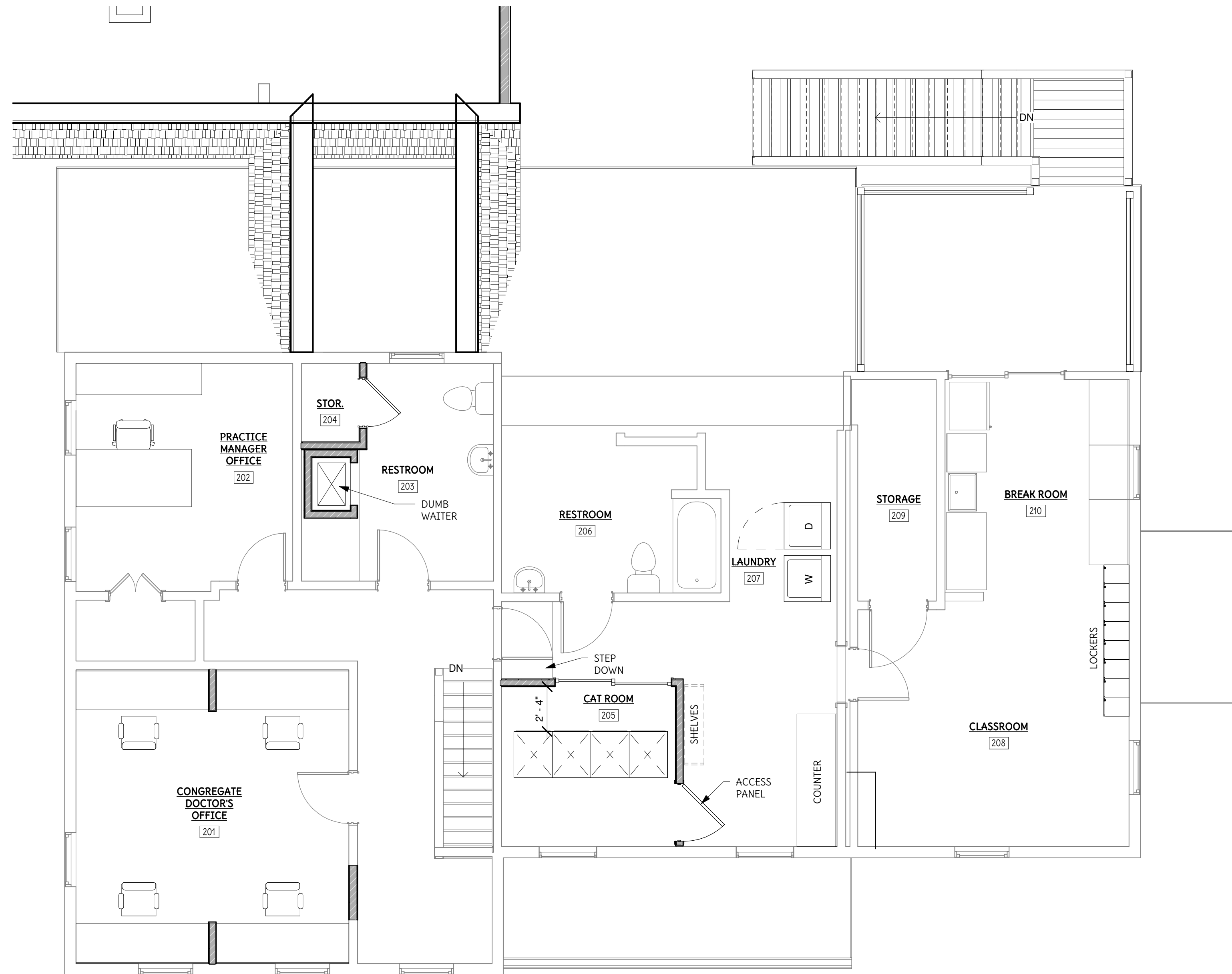


1
A-2.0
DIMENSION PLAN - FIRST FLOOR
1/4" = 1'-0"

| Release | Description |
|----------|-------------|
| 10-15-21 | PLAN REVIEW |

HDA Job Number: 2120
Date: 10-15-2021

This drawing is an instrument of service & shall remain the property of the Architect. Do not reproduce, publish or use in any way without the consent of the Architect.



1 FLOOR PLAN - SECOND FLOOR
A-2.1 1/4" = 1'-0"

| Release | Description |
|---------|-------------|
| 9-28-21 | PLAN REVIEW |

HDA Job Number: 2120
Date: 9-28-2021

This drawing is an instrument of service & shall remain the property of the Architect. Do not reproduce, publish or use in any way without the consent of the Architect.

NOT FOR CONSTRUCTION

A-2.1



**WASHTENAW COUNTY
ENVIRONMENTAL HEALTH DIVISION
HEALTH DEPARTMENT**

8/30/2021

PAULA WEBER
PO BOX 5524
PLYMOUTH, MI 48170

RE: Approval of Authorization for Sale of
Property Located at 5347
PLYMOUTH-ANN ARBOR Rd ANN
ARBOR, MI 48105.
Case Number: TOS2021-0825

To whom it may concern,

On August 30, 2021, this office received an inspection report for the well and/or septic system at the above referenced address. This report was reviewed to determine compliance with Washtenaw County Regulation for the Inspection of Residential Onsite Water and Sewage Disposal Systems at Time of Property Transfer. Based on the information submitted it has been determined that the system(s) is/are functioning properly and are adequate for their intended use.

As the result of this review this PROPERTY IS AUTHORIZED FOR TRANSFER OF THE DEED.

This letter does not imply that the system(s) meet new construction standards. Further, this authorization does not imply or express any warranty or guarantee as to the future function and suitability of the inspected systems. The referenced evaluation was performed based on current operation, and any change in use may change the operational status of the system(s). This authorization applies solely to residential use of the existing home as reported. Any intent to increase home capacity or alter use of the property will necessitate further evaluation(s) of the well and/or on-site sewage systems by this office. This may result in the need to expand, replace or upgrade systems/components. If such changes are anticipated, it is advised that you contact our office to discuss the implications of the proposed changes.

Although authorized for property transfer, we do make the following recommendations:

1. Provide an air gap for the water treatment discharge. It should be suspended above the drain to prevent contaminants from backing up into the water supply.
2. The well casing terminates 3 inches above grade, increasing the possibility for surface contaminants to enter the water supply. The well casing should extend to at least 12 inches above grade
3. The septic tank(s) were not pumped or inspected as part of the inspection. According to the inspection report, the tank(s) were pumped an unknown number of years ago. This Department recommends pumping and inspecting the septic tanks every 3 to 5 years and that no "additives" be used in the tanks. Property owners have full responsibility for upkeep, maintenance and repair of the system.

This Authorization should be kept with other important records concerning this property.

This AUTHORIZATION is valid until August 30, 2022.

Any questions regarding this letter should be directed to Washtenaw County Environmental Health.

Jaclyn Bates

Jaclyn Bates
batesj@washtenaw.org



Washtenaw County
Health Department

21 AUG 25 09:36

Environmental Health Division
705 N Zeeb Road • Ann Arbor, MI 48103
Phone: 734-222-3800 • Fax: 734-222-3930
www.washtenaw.org/tos

TIME OF SALE INSPECTION REPORT FOR RESIDENTIAL ONSITE WATER SUPPLY & SEWAGE DISPOSAL SYSTEMS

This report is submitted as required by the Washtenaw County Regulation for the Inspection of Residential Onsite Water and Sewage Disposal Systems at Time of Property Transfer. This report is to only be completed by inspectors certified by the Washtenaw County Environmental Health Division.

Property owner name: Paula Weber

Property street address: 5347 Plymouth Road City: Ann Arbor Zip: 48105

Township: Superior Property Tax ID #: J - 1 0 - 1 8 - 1 5 5 - 0 1 3

Information in this box MUST be complete for report to be processed.

SEND REPORT TO:

Applicant name: Paula Weber Company: _____

Street address: PO Box 5524

City: Plymouth State: Michigan Zip: 48170

Phone: 734-834-4220 Email: paulamweber@yahoo.com

Age of home: 151 years Number of bedrooms: 3 Number of bathrooms: 2.5 Permitted + MLS 4

Current number of residents: 1 - OR - Time of vacancy: _____ months

Date(s) inspected: Aug 19, 2021

System(s) inspected: Onsite Water Supply (Reason not inspected _____)
 Onsite Sewage Disposal (Reason not inspected _____)

Being a Washtenaw County Certified Inspector, I inspected the onsite water supply and/or onsite sewage disposal system indicated above. I certify that this inspection was conducted within the guidelines established by Washtenaw County and was completed in a thorough and complete manner. Further, I certify that this report includes all knowledge that I have concerning the operation and function of said system(s).

Inspector Name: William Layher Signature: Wm Layher

Date: Aug 19, 2021 Certification Number: 045

Site plan submitted / attached: Yes No Water samples submitted / attached: Yes No N/A

OFFICE USE ONLY

- Applicant information complete
- Water samples (bacteria, arsenic, nitrate) included, if applicable
- Site plan included

TOS 20 21 - 0825

Project #: _____

RECEIPT

005789-0003 Jennifer 08/30/2021 08:32AM
Energov Invoice - INV-00004283 - 2021
Payment Amount: _____
CHECK # 1189 Amount: 170.00

WATER SUPPLY SYSTEM

Age of well: 25 Permit #: 1996-02489 Approval date: 6-10-1996

Well depth: 87 feet Verified from: Well log Driller County records Owner

Location:

- On property
- Off property
- Shared well: Yes No
- Flowing well: Yes No

If Yes, flow discharged properly: Yes No

Number of other wells on property: None

Complete for each additional well:

Use: _____

Diameter: _____ inches

In use and produces water: Yes No

Separate from potable water supply: Yes No

Isolation distances not met: (fill in actual distance if minimum not met)

- Drainfield (<100 ft.) _____ ft.
- Septic tank (<50 ft.) _____ ft.
- Grinder pump (<50 ft.) _____ ft.
- Sewer line (<50 ft.) _____ ft.
- HazMat storage (<100 ft.) _____ ft.
- Fuel oil tank (<100 ft.) _____ ft. Buried: Yes No In basement: Yes No Concrete floor: Yes No

Pump Type:

- Submersible
- Deep well jet*
- Shallow well jet*
- Other: _____*

*Protected suction line: Yes No

Cycling:

- Long (>90 sec.)
- Adequate (30-90 sec.)
- Short (<30 sec.)

Yield (approx.): >9 gpm

Casing diameter: 5 inches

Termination:

- Above grade (3 inches above ground)
- Basement offset (_____ inches above floor)
- Drained pit (_____ inches above floor)
- Undrained pit
- Dug well
- Not found / buried

Well cap:

- Structurally sound
- Cap loose
- Cap missing
- Cap loose with insects
- Cap / conduit / casing damaged

Venting:

- Not vented
- Screened vent
- Unscreened vent
- Unscreened vent with insects

Water treatment in use:

- Softener
- Sediment filter
- Iron removal
- Reverse osmosis** Point of use Whole house
- Other: _____

Water treatment discharge air gapped: Yes No

**Initial water samples must be taken from untreated water. Additional arsenic sample should be taken from treatment device.

SEWAGE DISPOSAL SYSTEM

Permit #: 1996-02488

Approval date: 6-10-1996

Location:

Municipal / sanitary sewer available: Yes No

- On property
- Off property

NOT CONNECTED TO SYSTEM:

- Toilet(s)
- Sink(s)
- Shower(s)
- Tub(s)
- Laundry
- Other: _____

CONNECTED TO SYSTEM:

- Footing drains
- Water treatment discharge(s)
- HVAC discharge(s)
- Storm water drain(s)
- Other: _____

SEPTIC TANK(S): *If septic tanks have not been previously inspected and approved by this Department, a Septic Tank Maintenance Report from a Licensed Sewage Pumper must be attached.*

Number of tanks: 2 Total capacity: 2500 gallons Verified by: County records Pumping receipts

Last pumped: N/A years ago

Accessible for pumping: Yes No

Tank access within 18" of grade: Yes No

Pump alarm functional: Yes No

If No, please explain: _____

Isolation distances not met: (fill in actual distance if minimum not met)

- Surface water (<25 ft.) _____ ft.
- Nearest well (<50ft.) _____ ft.

DISPOSAL AREA(S):

Number:

- None found
- One
- Multiple / one connected
- Multiple connected*
- Multiple with diverter*

Type:

- Bed - conventional
- Bed - deep excavation
- Bed - raised
- Modified fill
- Trenches
- Dry well
- Other: _____

Size of bed: 1650 sq. ft. (55 ft. X 30 ft.)

Verified by:

- County records
- Field measurement

Number of Trenches: _____

Trench width: _____ ft. Trench length: _____ ft.

***Note: If multiple fields are connected please include additional Page 4 for each field and show on site plan.**

DRAINFIELD CONDITION: Show location and condition of each test hole on site plan.

Sewage exposed (including back-up, direct discharge, surfacing, etc.): Yes No

Depth of cover: 15 inches to 18 inches
(minimum) (maximum)

Encroachment on field: Yes No
(If Yes, show type and location on site plan.)

Saturation of field:

- None
- <50% below tile holes
- >50% below tile holes
- <50% above tile holes
- >50% above tile holes

Sludge / Biomat in field:

- None
- <50% below tile holes
- >50% below tile holes
- <50% above tile holes
- >50% above tile holes

Tile:

- Plastic - per records / age
- Plastic - per owner
- Concrete / clay - per records/age
- Concrete / clay - per owner
- Concrete / clay - observed
(Approx. % blockage _____)

Isolation distances not met: (fill in actual distance if minimum not met)

- Nearest well (<100 ft.): _____ ft.
- Surface water (<50 ft.): _____ ft.

Sandy soil under field: Yes No

Surface water diverted from system: Yes No

Woody vegetation on / within 5 feet of system: Yes No

Automatic sprinklers on / near system: Yes No

INSPECTOR OBSERVATIONS / COMMENTS / RECOMMENDATIONS

Based on data presented in this inspection report, the Washtenaw County Environmental Health Division will issue a letter stating whether the water supply and / or sewage disposal system meets minimum standards for sale of the property. The following observations or recommendations for extending the life of these systems are in addition to any requirements addressed by the Environmental Health Division:

Also send County letter to wlayher@msn.com

Septic tanks are 1000 gal and 1500 gal.

ATTACH REQUIRED WATER SAMPLES (COLIFORM BACTERIA, NITRATES, ARSENIC) AND SITE PLAN TO REPORT
(Site plans must contain location and conditions of each test hole and any tile excavation.)



Washtenaw County
Health Department

Return sample by 3pm on day collected

Environmental Health Division
705 N. Zeeb Rd., Ann Arbor, MI 48103
washtenaw.org/envhealth
734-222-3800



BACTERIOLOGICAL ANALYSIS OF WATER COMMERCIAL

See back side for sampling instructions and explanation of results.

RESIDENTIAL

SAMPLING INFORMATION:

TIME OF SALE

| | | |
|---|---------------------------------|--------------------------------|
| WSSN/TYPE II # | Well Permit # 46-02489 | |
| Person Sampling Wm Layher | Date Collected 8-19-2021 | Time Collected 10:45 AM |
| Sampling Point (kitchen faucet, outside spigot, pressure tank, etc.) | 1/2 bath sink | |
| Well Owner Name | Paula Weber | |
| Well Street Address | 5347 Plymouth Rd | |
| City Ann Arbor | Township Superior | Zip 48105 |

REPORT RESULTS TO:

| | | |
|------------------------------|-------|-----|
| Name | | |
| Street Address | | |
| City | State | Zip |
| Email wlayher@msn.com | | |
| Phone | Fax | |

LABORATORY RESULTS:

RECEIPT (No refunds):

Analyzed by Water Tech, MI Cert #0023.
Coliform Method: SM9223B.

| | | |
|------------------------------|----------------------------|--------------------------------|
| Date Received 8/19/21 | Time Received 10:45 | Lab Sample # 148266-04A |
|------------------------------|----------------------------|--------------------------------|

005552-0004 Rhey Gre... 08/02/2021 12:36PM
Environmental Health - EHS...
Payment Amount: **120.00**
Refund Amount: **0.00**
RECEIVED
AUG 20 2021
WASHTENAW CO.
ENV. HEALTH

Results

| |
|---|
| <input checked="" type="checkbox"/> Coliform Bacteria Absent (Safe Sample) |
| <input type="checkbox"/> Coliform Bacteria Present (Unsafe Sample - Disinfect Well & Re-sample) |
| ➤➤ If coliform bacteria present, E. coli level: |
| Analyst CTM Date Analyzed 8/19/21 |



Washtenaw County
Health Department

Return sample by 3pm on day collected

Environmental Health Division
705 N. Zeeb Rd., Ann Arbor, MI 48103
washtenaw.org/envhealth
734-222-3800



CHEMICAL ANALYSIS OF WATER

See back side for sampling instructions and explanation of results.

COMMERCIAL

RESIDENTIAL

TIME OF SALE

SAMPLING INFORMATION:

| | | |
|---|--|--|
| WSSN/TYPE II # | Well Permit # 96-02489 | |
| Person Sampling Wm Layher | Date Collected 8-19-2021 | Time Collected 10:45 AM |
| Sampling Point (kitchen faucet, outside spigot, pressure tank, etc.) 1/2 bath sink | Arsenic Treated Sample Check if YES: <input type="checkbox"/> | Raw/Untreated Sample Check if YES: <input type="checkbox"/> |
| Well Owner Name Paula Weber | | |
| Well Street Address 5347 Plymouth Rd | | |
| City Ann Arbor | Township Superior | Zip 48105 |

REPORT RESULTS TO:

| | | |
|---------------------------------|-------|-----|
| Name | | |
| Street Address | | |
| City | State | Zip |
| Email wlayher@msn.com | | |
| Phone | Fax | |

LABORATORY RESULTS:

Analyzed by Water Tech, MI Cert #0023.
Nitrate/Nitrate Method: EPA 300.0 or SM4500NO3F.

RECEIPT (No refunds):

| | |
|-----------------------------------|-------------------------------|
| Date Received 8/19/21 | Time Received 10:45 |
| Lab Sample # 148266-04B | |

105552-0004 Env Gr... - 08/02/2021 12:36PM
Environmental Health - EHSNI - 2021
Payment Amount: 20.00
Registration Amount: 20.00
Total: 40.00

RECEIVED

AUG 20 2021

| Test | Results | Test | Results |
|---|----------------|----------------------------------|------------|
| <input type="checkbox"/> Arsenic | | <input type="checkbox"/> Lead | |
| <input checked="" type="checkbox"/> Nitrate | <0.1 | <input type="checkbox"/> Nitrite | |
| <input type="checkbox"/> Fluoride | | <input type="checkbox"/> Other: | |
| <input type="checkbox"/> Hardness | | <input type="checkbox"/> Other: | |
| Analyst CL | | Date Analyzed 8/20/21 | adw |

WASHTENAW
ENV. HEALTH



Washtenaw County
Health Department

Return sample by 3pm on day collected

Environmental Health Division
705 N. Zeeb Rd., Ann Arbor, MI 48103
washtenaw.org/envhealth
734-222-3800



CHEMICAL ANALYSIS OF WATER

See back side for sampling instructions and explanation of results.

COMMERCIAL

RESIDENTIAL

TIME OF SALE

SAMPLING INFORMATION:

| | | |
|--|--|--|
| WSSN/TYPE II # | Well Permit # 96-02489 | |
| Person Sampling Wm Layher | Date Collected 8-19-2021 | Time Collected 10:45 AM |
| Sampling Point (kitchen faucet, outside spigot, pressure tank, etc.) 1/2 bath sink | Arsenic Treated Sample Check if YES: <input type="checkbox"/> | Raw/Untreated Sample Check if YES: <input type="checkbox"/> |
| Well Owner Name Paula Weber | | |
| Well Street Address 5347 Plymouth Rd | | |
| City Ann Arbor | Township Superior | Zip 48105 |

REPORT RESULTS TO:

| | | |
|--------------------------|-------|-----|
| Name | | |
| Street Address | | |
| City | State | Zip |
| Email wlayher@msn.com | | |
| Phone | Fax | |

LABORATORY RESULTS:

Analyzed by Water Tech, MI Cert #0023.
Nitrate/Nitrite Method: EPA 300.0 or SM4500NO3F.

| | |
|----------------------------|--|
| Date Received 8/19/21 | 005332-0004 Hwy Gra... Environmental Health - EHV3AR - 2021 Payment Amount: CRED 16/25 5018 |
| Lab Sample # 148266-04C | |

RECEIPT (No refunds):

08/02/2021 12:36PM
RECEIVED .00

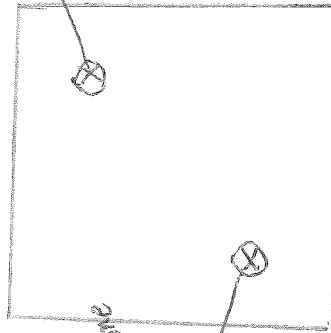
'AUG 24 2021

| Test | Results | Test | Results |
|---|---------|----------------------------------|------------------------------|
| <input checked="" type="checkbox"/> Arsenic | 0.002 | <input type="checkbox"/> Lead | WASHTENAW CO. ENV. HEALTH |
| <input type="checkbox"/> Nitrate | | <input type="checkbox"/> Nitrite | |
| <input type="checkbox"/> Fluoride | | <input type="checkbox"/> Other: | |
| <input type="checkbox"/> Hardness | | <input type="checkbox"/> Other: | |
| Analyst CTM | | Date Analyzed 8/20/21 | |

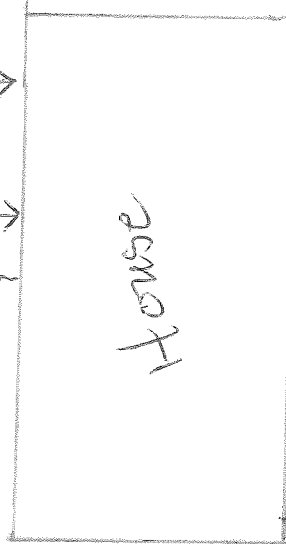
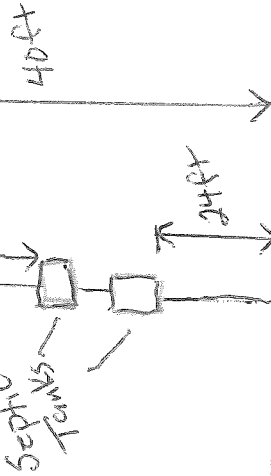


Address - 5347 Plymouth Rd
Twp - Superior
Date - 8-19-2021
Inspector Wm Kayher

Test hole
clean 1/2 dirt
stone
sand 1/2
18" cover



Test hole
clean sand
stone
15" cover



Construction Timeline

Submitted by HDA Architects

Development Phase

Construction Documents
Bidding/Permitting
General Demolition
New Construction
Site Prep & Final Paving

Schedule

2 Months
1 Month
1 Month
3 Months
1 Month

Thanks,
Susan Wade



Mark from Arbor Hills Animal Clinic <marktwilson@arborhillsvet.com>

WCRC App. 18005 - Arbor Hills Vet - Plymouth Road

Streight, Gary <streightg@wroads.org>

Mon, Oct 4, 2021 at 10:52 AM

To: Mark from Arbor Hills Animal Clinic <marktwilson@arborhillsvet.com>

Cc: "lynettefindley@superior-twp.org" <lynettefindley@superior-twp.org>, "Jones, Lisa" <jonesl@wroads.org>

Mark,

Both a decel and accel taper will be required. We follow MDOT and GEO-650-D to determine taper lengths. Based on the speed limit of 45 MPH the decel taper would be 130' and the standard accel taper is 50'.

Gary Streight, P.E.

Project Manager



Washtenaw County Road Commission

555 N. Zeeb Road, Ann Arbor, Michigan

Direct: (734) 327-6692 | Main: (734) 761-1500

wroads.org | [Follow us on Facebook](#)

From: Mark from Arbor Hills Animal Clinic <marktwilson@arborhillsvet.com>

Sent: Monday, October 4, 2021 10:45 AM

To: Streight, Gary <streightg@wroads.org>

Cc: lynettefindley@superior-twp.org; Jones, Lisa <jonesl@wroads.org>

Subject: Re: WCRC App. 18005 - Arbor Hills Vet - Plymouth Road

[External Sender]

Gary &/or Lisa,

[Quoted text hidden]

[Quoted text hidden]

Building

| Permit # | Contractor | Job Address | Fee Total | Const. Value |
|--|---------------------------|-----------------------|-----------|--------------|
| PB21-0186 | HARRIS SHANNON & PATRICIA | 3107 ANDORA DR | \$260.00 | \$100,000 |
| Work Description: In-ground gunite swimming pool - 18x12 with automatic pool cover | | | | |
| PB21-0183 | GIBBEMEYER WILLIAM BRIAN | 8513 BERKSHIRE DR | \$100.00 | \$66,880 |
| Work Description: 20 P.V. roof mounted solar panels | | | | |
| PB21-0185 | NEW PAR DBA VERIZON WIREL | 6200 CHERRY HILL RD | \$200.00 | \$25,000 |
| Work Description: Upgrade antenna on existing guyed tower for Verizon Wireless | | | | |
| PB21-0190 | PARDINGTON JOHN A & LISA | 7375 CHERRY HILL RD | \$295.00 | \$90,000 |
| Work Description: 20x40 inground swimming pool with barrier fence and door/window alarms. | | | | |
| PB21-0199 | MASON AMBER NICOLE | 1638 GREENWAY DR | \$100.00 | \$10,000 |
| Work Description: Wood deck Note: Homeowner has verbally advised that the 16x24 size on the construction drawings is correct and the 16x14 size is an error | | | | |
| PB21-0193 | LOMBARDO JASON & MEGHAN | 2727 HARRIS RD | \$100.00 | \$5,000 |
| Work Description: Interior alteration in existing SFD - Demolish portion of non-load bearing wall and add a window. Inspection required for window framing prior to covering. | | | | |
| PB21-0200 | NELSON VIRGINA SIMSON TRU | 2301 HICKMAN RD | \$100.00 | \$4,000 |
| Work Description: Interior basement water proofing and new sump & pump. Plumbing and electrical permits required. | | | | |
| PB21-0195 | PAIS JOSEPH G & SUZANNE E | 2034 HUNTERS CREEK DR | \$100.00 | \$25,300 |
| Work Description: Interior crawlspace encapsulation and drain with sump | | | | |
| PB21-0189 | LARIMORE JACOB W & KIDAHT | 7487 LEAH LN | \$200.00 | \$16,580 |
| Work Description: Finish portion of existing basement walls | | | | |
| PB21-0184 | SUTTON RIDGE ONE LLC | 1695 MEADHURST DR | \$150.00 | \$4,000 |
| Work Description: Repairs to garage wall due to vehicle John has already done a pre-construction inspection | | | | |
| PB21-0197 | FARDOUS YARA | 5484 MEADOWCREST DR | \$100.00 | \$50,000 |
| Work Description: 52 ground mounted P.V. solar panels | | | | |
| PB21-0191 | MCFARLANE WILLIAM & SHARO | 3333 NAPIER RD | \$200.00 | \$25,000 |
| Work Description: Collocate 'dish wireless' antenna on existing monopole tower | | | | |
| PB21-0192 | KIRKLAND CONDO TRUST | 5301 OVERBROOK DR | \$100.00 | \$26,850 |
| Work Description: Interior basement waterproofing system - 138 foot | | | | |

PB21-0188 PHENICIE GLENN & JACLYN 9780 PLYMOUTH-ANN ARBOR RD \$160.00 \$13,000

Work Description: Interior alterations to remodel 2nd floor bathroom - confirm existing window is tempered/safety glass if less than 60" above floor of tub.

PB21-0194 PEREZ MARY 1515 RIDGE RD # 136 \$150.00 \$10,000

Work Description: Installation of a used 70x28 manufactured home.

PB21-0196 EMBRY LAFAYETTE & FRANCE 1190 STAMFORD RD \$100.00 \$4,350

Work Description: 20 ft interior basement waterproofing and sump

PB21-0198 NEW PAR DBA VERIZON WIRE 10313 WARREN RD \$200.00 \$25,000

Work Description: Install new dish wireless antenna on existing guyed tower

PB21-0187 SILERIO-CENTENO CESAR & 2165 WILTSHIRE DR \$100.00 \$15,970

Work Description: 12x16' wood deck

Total Permits For Type: 18
Total Fees For Type: \$2,715.00
Total Const. Value For Type: \$516,930

Report Summary

Population: All Records

Permit.PermitType = Building
AND

Permit.DateIssued in <Previous
month> [09/01/21 - 09/30/21]

Grand Total Fees: \$2,715.00

Grand Total Permits: 18

Grand Total Const. Value: \$516,930

SUPERIOR TOWNSHIP BUILDING DEPARTMENT
YEAR-TO-DATE REPORT

January 2021 To Date

| Category | Estimated Cost | Permit Fee | Number of Permits |
|--------------------------------------|-------------------------------|----------------------------|---------------------|
| Com/Multi-Family New Building | <i>\$3,650,000.00</i> | <i>\$0.00</i> | <i>1</i> |
| Com/Multi-Family Renovations | <i>\$1,414,265.00</i> | <i>\$5,846.00</i> | <i>2</i> |
| Com-Other Non-Building | <i>\$275,000.00</i> | <i>\$1,600.00</i> | <i>8</i> |
| Electrical | <i>\$0.00</i> | <i>\$52,875.00</i> | <i>348</i> |
| Mechanical | <i>\$0.00</i> | <i>\$54,698.00</i> | <i>438</i> |
| Plumbing | <i>\$0.00</i> | <i>\$39,392.00</i> | <i>226</i> |
| Res-Additions (Inc. Garages) | <i>\$1,863,218.00</i> | <i>\$9,522.00</i> | <i>18</i> |
| Res-Manufactured/Modular | <i>\$40,000.00</i> | <i>\$600.00</i> | <i>4</i> |
| Res-New Building | <i>\$16,635,749.00</i> | <i>\$109,964.00</i> | <i>56</i> |
| Res-Other Building | <i>\$925,158.00</i> | <i>\$5,871.00</i> | <i>49</i> |
| Res-Other Non-Building | <i>\$1,036,805.00</i> | <i>\$3,905.00</i> | <i>34</i> |
| Res-Renovations | <i>\$1,405,279.00</i> | <i>\$7,492.00</i> | <i>27</i> |
| Totals | <i>\$27,245,474.00</i> | <i>\$291,765.00</i> | <i>1,211</i> |

Superior Township Monthly Report

September/October 2021

Resident Complaints/ Debris:

- 8498 Preston Ct. - Toilet, sink, misc. on Extension- **(Tagged)**
- 1813 Hamlet - Dresser on Extension - **(Tagged)**
- 1825 Hamlet - Sofa on Extension - **(Tagged)**
- 1179 Stamford Rd - Containers & debris on Extension- **(Tagged)**
- 1654 Wiard Rd - Trash on ground on Extension- **(Tagged for Removal)**
- 1971 Ascot Dr - Cabinet on Extension- **(Tagged)**
- 9101 Arlington - Broken chair on Extension- **(Tagged)**
- 1537 Harvest Ln - Carpet on Extension- **(Tagged)**
- 1659 Crab Apple - Cabinet on Extension- **(Tagged)**
- 8293 S. Warwick Ct. - Shower parts on Extension- **(Tagged)**
- 1867 Telford Ct - Refrigerator & debris on Extension- **(Tagged)**
- 1619 Sheffield - Toys all over ground on Extension- **(Tagged)**
- 1019 Stamford - 2 broken chairs on Extension- **(Tagged)**
- 10264 Avondale - Refuse & misc. on Extension- **(Tagged)**
- 10223 Avondale - Refuse & shelf on Extension- **(Tagged)**
- 1903 Ridge Rd. - Sofa on Extension- **(Tagged for Removal)**
- 1230 Stamford - Refuse on Extension- **(Tagged)**
- 1905 Savannah - Hottub on Extension- **(Tagged)**
- 8525 Berkshire - Chest on Extension- **(Tagged)**
- 1840 Hamlet - Sofa on Extension- **(Tagged)**
- 9678 Wexford - Sofa on Extension- **(Tagged)**
- 9256 Panama - Debris on Extension- **(Tagged)**

Vehicle Complaints:

- 8760 Nottingham - Vehicle on flat tires - **(Tagged)**
- 1191 Stamford - Vehicle with no tags - **(Tagged)**

Dog Complaints:

- 1930 Savannah Ln. - Dog poop not cleaned up - **(Tagged)**

Grass Complaints:

8893 Nottingham Dr.- Grass Not Cut- **(Tagged)**

1665 Harvest Ln.- Grass Not Cut- **(Tagged)**

8760 Barrington- Grass Not Cut- **(Tagged)**

1666 Wiard Rd.- Brush on Extension- **(Tagged)**

Illegal Dumping:

Gotfredson & Vreeland Rd.- 2 Mattresses & Box Spring Dumped

Gotfredson Rd. & Geddes- Vehicle Tires Dumped

Gotfredson & Geddes- Trash Dumped By Corner

Arbor Hills Animal Clinic

2717 Plymouth Road
Ann Arbor, MI 48105
734-668-1466

To: Superior Township Building & Planning Departments
From: Mark Wilson & Kristin Wilson, DBA Arbor Hills Animal Clinic PLLC
Date: 9/28/2021
RE: Conditional & Final Site Plan Approval

Meeting Date: October 27, 2021

Attached are our conditional approval documents for the property located at 5347 Plymouth Road in the Village of Dixboro. Any changes, since the last time you saw this document, are now indicated by the use of red text.

As required by the township, a copy of the Site Plan is now included within this document. This site plan reflects all planned modifications to the exterior of the property. I have also updated Appendix A to reflect a few interior modifications since you last saw the plan.

With the submission of this informational packet, it is our hope that we will be granted both conditional use and final site plan approval at the October 27, 2021 meeting. This would enable us to close on the property in early November and begin the construction process.

Arbor Hills Animal Clinic has been a staple of the Ann Arbor Community for over 36 years. We have served the community of Northern Ann Arbor, Dixboro, and the surrounding areas throughout this time.

Over the past 18 months, during the global pandemic, 11.2 million people have become new pet owners. This has had a profound impact on the veterinary industry. All of these new pets, and pet owners, have needed somewhere to get the health of their pet maintained. Arbor Hills has continued to provide services to our community but has outgrown our current facility. For that reason, we have excitedly entered into a purchase agreement for the property located at 5347 Plymouth Road in Dixboro.

About Arbor Hills

Arbor Hills Animal Clinic has been in business for more than 35 years, and continues to be a family run business. Dr. Wilson, Dr. Lownsbery, and Dr. Filipiak provide clients and their pets with the highest quality veterinary care imaginable. Dr. Wilson's husband, Mark, functions as the practice manager to ensure that everything that the doctors' and their staff need is available within the clinic.

Arbor Hills Animal Clinic's mission is to provide personalized, high-quality care for beloved pets. We provide preventative services, wellness checks, general surgery, dentistry and general medicine. We have created a practice that we believe in and choose for our own family pets. We are a full-service family practice of dedicated, experienced veterinarians who believe in working with our clients to maintain and improve the health of their pets. Our staff believe in providing comprehensive health care services to our patients in a friendly, relaxed atmosphere. We also believe in educating our clients, as we work with their pets, to achieve the best possible outcome for their pets.

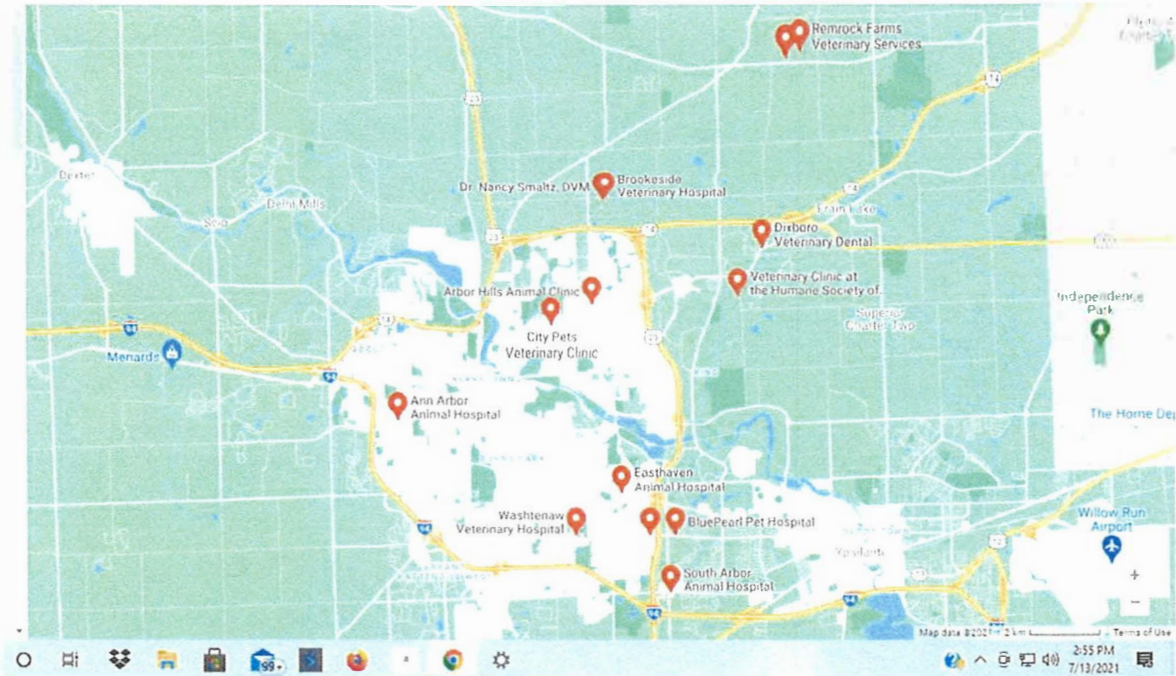
Arbor Hills Animal Clinic provides veterinary care for both companion animals (cats and dogs), small furry pets (hamsters, gerbils, guinea pigs) and farm animals which can be brought to the clinic (sheep, goats, miniature horses).

Arbor Hills Animal Clinic does not provide any boarding services and does not keep domestic animals overnight at our facility.

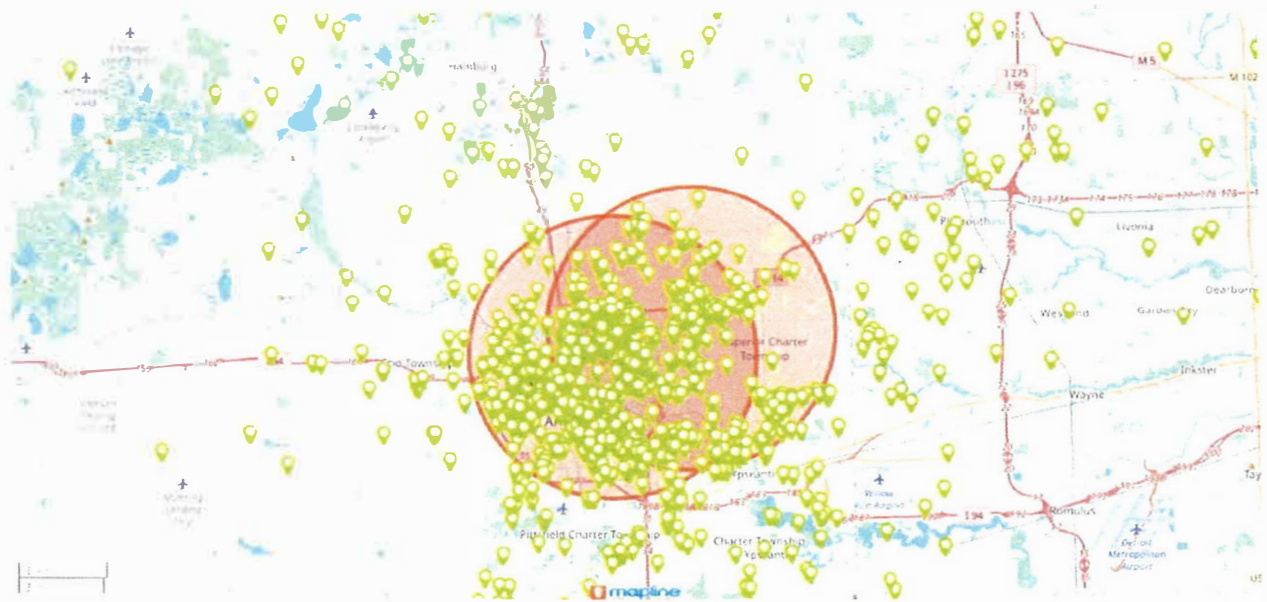
Proposed Use

Arbor Hills Animal Clinic would like to relocate our practice to the Dixboro community. Arbor Hills Animal Clinic would continue to be a full-service veterinary facility. Within the clinic, we provide the following out-patient services: wellness services, surgical services, dental care, nutritional counseling, pharmaceutical services, as well as hospice and euthanasia services.

Dixboro currently does not have a facility that provides general veterinary care to the community. While the Dixboro Veterinary Dental Clinic does provide special services for complex dental cases, no general medicine is practiced within that facility. The nearest animal hospitals to the Dixboro community are the Humane Society of Washtenaw County, our Current Practice located at Plymouth and Nixon in Ann Arbor and Remrock Farms Veterinary Services in Plymouth. Below is a map showing the closest animal clinics to this proposed location:



Our current clientele comes from across the Ann Arbor Community. On the diagram below, you will see two red circles. The circle on the left is a 5 mile radius drawn around our current practice. The circle on the right shows a 5 mile radius drawn around 5347 Plymouth Road. Each yellow dot represents a client at our practice. As you can see, many of our clients fall within a five mile radius of this new location making this a superb location for the practice.



The clinic would include 4-5 examination rooms, a surgical and dental suite, an x-ray facility, a treatment area and a state of the art lab for processing samples. The clinic would use both buildings that currently occupy this property.

Arbor Hills Animal Clinic has no intention to sell or lease any or all of the land, dwelling units, or structures on this property. In addition, Mark or Kristin Wilson, and/or Arbor Hills Animal Clinic, have no ownership interest in any properties adjacent to 5347 Plymouth Road.

Interior Modifications

There are several areas of the main floor of the original home that reflect the architecture of the 1870's, when this portion of the home was originally built. It is our intention to leave these areas, as is, and use these existing spaces as our waiting area and examination rooms. Our desire is to preserve the historic charm of these areas.

The modifications to the main floor would include:

1. Pedestrian access improvements including ADA compliant entry to the facility, creation of an ADA compliant bathroom, and assuring all door openings meet ADA standards.
2. Vehicular Access and Circulation Improvements including paved parking to be located on the east side of the practice to provide adequate parking for both employees and clients,
3. Exterior Lighting Improvements including directional parking lot lighting, landscape lighting, and directional signage lighting on the property.

Areas of the main floor that do not contain the historic architecture would be modified to create treatment space, laboratory space, and hospitalization spaces.

A copy of the initial draft of the interior floor plan is attached to this document as Appendix A.

In terms of mechanical upgrades, we will be looking to add central air conditioning to this facility. No other major mechanical upgrades are planned, at this time. ~~but the inspection of the site on 7/23/2021 may surface additional concerns in this area. We are discussing the possibility of adding an elevator to the facility.~~

Exterior Modifications

The following are the planned exterior improvements:

1. Creation of an **asphalt** parking area and driveway to allow for adequate staff and client parking at the facility. The driveway and parking are planned for the East side of the property when the existing gravel driveway currently exists.
2. Freshening up of the paint on the exterior of both buildings.
3. Creation of a corridor to connect the two buildings on this property.
4. Replace missing sections of exterior fencing to clean up the perimeter of the property.
5. Handicapped ramp access erected at the building.
6. A sign, with external sign illumination, will be placed in an area visible from Plymouth Road. All local ordinances described within Article 9 of the Zoning Ordinances will be followed when designing signage for the facility.

A copy ~~of the draft~~ of the site plan showing the location of the corridor (addition) and the parking area are attached as Appendix B. ~~Appendix C shows the location of the corridor addition.~~

Traffic Considerations

Generally speaking, Arbor Hills Animal Clinic schedules 4-5 appointments per hour. This would result in 4-5 client vehicles at the clinic at any time. In addition, Arbor Hills Animal Clinic generally has 6 technicians, 2 receptionists, 2 doctors, 1 practice manager and 1 practice assistant at the clinic at all times. Our staff arrives staggered between 7:30am and 9:00am and leaves on a staggered schedule from 6:30pm - 8:00pm daily. Therefore, Arbor Hills Animal Clinic will need 12 parking spots allocated for employee use and an additional 5 for client use. Our goal would be to make 20-22 spots available to provide adequate parking and some additional overflow parking as well.

In consideration of the township requirements, regarding parking, I also wanted to provide the information necessary to calculate the need for parking using the township requirements. The facility is a total of 4,400 square feet (including the proposed addition). In addition, at our maximum staffing, we have a total of 12 employees in the building at any given time. Therefore, $4,400/500=9$ parking spots plus the additional 12 employee spots creates the need for 21 (9+12) parking spots within our lot. We are proposing 20-22 total spots.

In addition, we ordered an "Advanced Inspection" for the commercial driveway from the Washtenaw County Road Commission on 8/11/2021 and would anticipate receiving results within the next 2-3 weeks.

Arbor Hills Animal Clinic is open from 8am - 6pm Monday through Friday and Saturday from 8am - 1pm. Arbor Hills Animal Clinic does not service after hour emergency care, does not board domestic animals in the clinic overnight or during non-business hours, and there is no overnight occupancy of the clinic overnight by employees or owners of the practice.

Other Consideration

~~Arbor Hills Animal Clinic would like to have the option of allowing small farm animals (miniature horses, goats, or other animals of a similar size, live on this property. These non-domesticated animals would live on the property 24/7/365. These animals would be cared for, by the veterinary staff, and be available for clients to interact with while visiting the clinic.~~

~~Based upon the grazing space available, Arbor Hills would like to have 2 goats and 1 mini horse live on this property. An outbuilding would be placed on the property, on the west side, to provide shelter and a feeding area for these animals. The building measures 12x16. A photo of the outbuilding is included as Appendix D.~~

Good Neighbors

It has always been a priority for Arbor Hills Animal Clinic to be a good neighbor to the families and businesses that are in close proximity to our practice. ~~Following the first meeting~~, we have reached out to the "neighbors" and invited both homeowners and business leaders to meet with us to discuss any concerns or questions they have about our plans or our practice. We mailed a letter to each of

them inviting them to have breakfast with us, join a Zoom call, or call Mark on his cellular phone. We wanted to be fully available to community members. Following the public hearing, we sent a letter, including an updated FAQ with the questions posed at the September meeting, to all of the residents on Autumn Lane inviting them to contact Mark Wilson with any additional questions as well as making Mark available if the residents wanted to schedule a group discussion with the practice owners. Appendix E is a copy of the letter we sent to community members and neighboring businesses as well as a copy of the letter sent to the residents living on Autumn Lane.

In addition, Arbor Hills Animal Clinic is now the newest Business Sponsor of the Village of Dixboro Farmers Market.

Current Owners & Current Use

This building is currently owned by Karla Groesbeck (103 Longman Lane, Ann Arbor, MI 48103) and Paula Weber (PO Box 130622, Ann Arbor MI 48113). The current use of this property is as a destination wedding venue, Elope Michigan, where couples can go to be married.

Attachments:

- Appendix A: Initial Draft of Interior Floor Plan (also shows the corridor addition)
- Appendix B: ~~Draft~~ Site Plan
- Appendix C: Topographical Study
- ~~Appendix D: Photo of outbuilding for non-domesticated animals~~
- Appendix E: Copy of letter sent to Neighbors (double sided)
- Appendix F: Copy of letter sent to Autumn Lane residents following public hearing
- Appendix G: Letter from Ben Colmery, owner of adjacent property, expressing his willingness to eliminate the easement on the East side of the property.

CONDITIONAL USE PERMIT APPLICATION

(This application must be typewritten or printed. ALL questions must be answered.)

Request is hereby made for permission to obtain a conditional use permit for the property described below, for the following use: Veterinary Clinic

Applicant Name Mark & Kristin Wilson; DBA Arbor Hills Animal Clinic PLLC

Applicant Address 2717 Plymouth Road, Ann Arbor MI 48105

Telephone 248-763-2936 Fax _____ Email marktwilson@arborhillsvet.com

Is the property owned by the applicant? YES NO

If "NO", what is the applicant's interest in the property? Purchaser - Purchase Order Fully Executed

Name, address and telephone number of owner(s): GROESBECK KARLA N & WEBER PAULA M
PO BOX 130622, ANN ARBOR, MI 48113-0622

DESCRIPTION OF THE PREMISES:

1. Location of property 5347 Plymouth Road, Ann Arbor MI 48105
2. Zoning classification of property VC
3. Adjoining land uses & zoning classifications _____
4. Tax code number J -10-18-155-013
5. Size of property or lot 1.01 Acres
6. Size of proposed building or addition (if any) _____
7. Use of existing building (if any) and property Veterinary Clinic

If a new building is proposed, has the Building Inspection department examined the plans for the proposed building? YES NO
Has the department refused a permit? YES NO

8. Has there been any previous land use application involving this property?
 YES NO If YES, state date of filing, character of appeal and disposition of same:

The following items are attached as part of the Conditional Use Permit Application:

1. A scaled and accurate survey drawing, correlated with the legal description and showing all existing buildings, drives and other improvements.

CHECK IF ATTACHED

2. A letter of authority, or power of attorney, in case the appeal is made by a person other than the actual owner of the property.

CHECK IF ATTACHED

3. Complete legal description of the premises (as stated on your deed or tax bills available in the Treasurer's Office).

CHECK IF ATTACHED

4. A detailed description of the proposed use.

CHECK IF ATTACHED

5. A site plan, either a. or b.

- a. A site plan, meeting all the requirements of a preliminary site plan as set forth in Article 10 of the Superior Charter Township Ordinance.

CHECK IF ATTACHED

OR

- b. A site plan, meeting all the requirements of a minor site plan as set forth in Article 10 of the Superior Charter Township Zoning Ordinance.

CHECK IF ATTACHED

6. A signed copy of the *Applicant's Acknowledgment*. (See attachment)

CHECK IF ATTACHED

NOTICE TO APPLICANT: You are hereby advised to refer to the Superior Charter Township Zoning Ordinance for a description of your property's zoning classification, as well as Article 11 (Conditional Uses) and Article 10 (Site Plan Review); and any other sections of the Zoning Ordinance which may be applicable.

APPLICANT AFFIDAVIT

The applicant(s) represents that he/she/they are the owner(s) of the subject property or are acting on behalf of the above listed owner.

I hereby depose and certify that all information contained in this application, all accompanying plans and all attachments are complete and accurate to the best of my knowledge.

APPLICANT'S PRINTED NAME: MARK T WILSON

APPLICANT'S SIGNATURE [Signature] DATE 7-19-2020

PROPERTY OWNER'S PRINTED NAME _____

PROPERTY OWNER'S SIGNATURE _____

To be filled in by Township Clerk (or designated Township Officer/Personnel)

I hereby state that this petition was properly received and filed on _____ (date)

Signature of Clerk (or designee)


Fee paid _____

This letter is to verify that the owners of the property located at 5347 Plymouth Road (Karla N. Groesbeck & Paula M. Weber) are aware that Mark & Kristin Wilson, DBA Arbor Hills Animal Clinic PLLC, are engaging with Superior Township seeking approval of a Conditional Use Application for their business. This process is being done, concurrent to the purchase of said property, by Mark and Kristin Wilson, DBA Arbor Hills Animal Clinic PLLC.

We are aware and authorize Mark & Kristin Willson, DBA Arbor Hills Animal Clinic PLLC, to begin the process of seeking Conditional Approval for Veterinary Use on the property located at 5347 Plymouth Road in Ann Arbor, MI (Superior Twp., Dixboro). This process is happening, concurrent to the sale of the property, to assure approval of the rezoning of the property by the Township Board.


Karla N. Groesbeck

7/19/2021
Date


Paula M. Weber

7.19.2021
Date

Notice of Assessment, Taxable Valuation, and Property Classification

This form is issued under the authority of P.A. 203 of 1993, Sec. 211.24 (c) and Sec. 211.34c, as amended. This is a model assessment notice to be used by the local assessor.

| | |
|---|---|
| <p>FROM SUPERIOR CHARTER TOWNSHIP ASSESSING DEPARTMENT 3040 N. PROSPECT RD. YPSILANTI, MI 48198</p> | <p>PARCEL IDENTIFICATION PARCEL CODE NUMBER: J-10-18-155-013 PROPERTY ADDRESS: 5347 PLYMOUTH-ANN ARBOR RD ANN ARBOR, MI 48105</p> |
| <p>NAME AND ADDRESS OF OWNER OR PERSON NAMED ON ASSESSMENT ROLL GROESBECK KARLA N & WEBER PAULA M PO BOX 130622 ANN ARBOR MI 48113-0622</p> | <p>PRINCIPAL RESIDENCE EXEMPTION % Exempt As "Homeowners Principal Residence": 100.00% % Exempt As "Qualified Agricultural Property": .00% % Exempt As "MBT Industrial Personal": .00% % Exempt As "MBT Commercial Personal": .00% Exempt As "Qualified Forest Property": <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Exempt As "Development Property": <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> |

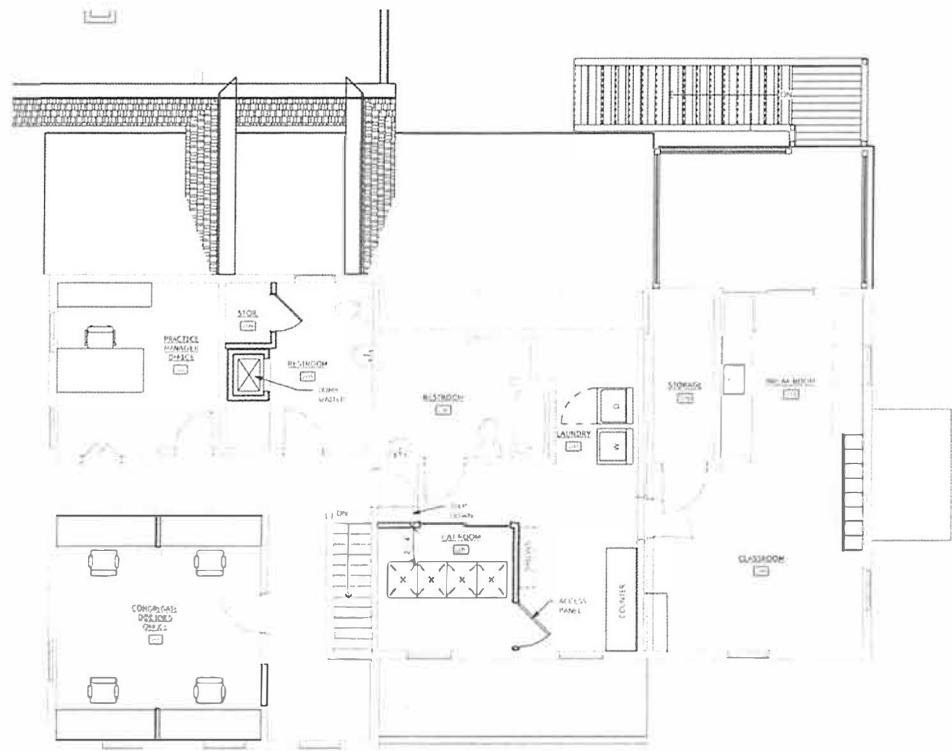
ACCORDING TO MCL 211.34c THIS PROPERTY IS CLASSIFIED AS: 401 (RESIDENTIAL-IMPROVED)

PRIOR YEAR'S CLASSIFICATION: 401 (RESIDENTIAL-IMPROVED)

| The change in taxable value will increase/decrease your tax bill for this year by approximately: \$0 | PRIOR AMOUNT YEAR 2021 | | CHANGE FROM PRIOR YEAR TO CURRENT YEAR |
|--|------------------------|--|--|
| 1. TAXABLE VALUE (Current amount is tentative): | 136.936 | | 0 |
| 2. ASSESSED VALUE: | 220,000 | | |
| 3. TENTATIVE EQUALIZATION FACTOR: 1.000 | | | |
| 4. STATE EQUALIZED VALUE (Current amount is tentative): | 220,000 | | |
| 5. There WAS/WAS NOT a transfer of ownership on this property in 2021 . WAS NOT | | | |

The 2021 Inflation rate Multiplier is: 1.014

Legal Description: ASSR REQUEST ***FROM 1018155012 12/18/96TRF 04/09/96 PTA 04/09/96 SU 18-12A-1 PCL " 1 " COM AT NE COR OF LOT 5 NE SEC VILLAGE OF DIXBORO, TH N 88-24-05 E 377.00 FT TO POB, TH CONT N 88-24-05 E 150.00 FT, TH S 05-38-55 E 264.25 FT, TH S 88-24-05 W 183.35 FT, TH N 01-35-26 E 264.00 FT TO POB. PT OF NE 1/4 SEC 18, T2S-R7E, 1.01 AC



FLOOR PLAN - SECOND FLOOR
1/4" = 1'-0"

HDA
ARCHITECTS
HDA
ARCHITECTS
INC.
101 East 21st Ave.
Suite 350
Rome, Georgia
30161
Tel: 706.531.9998
Fax: 706.531.9232
hda-architects.com

ARBOR HILLS
ANIMAL CLINIC
MARK & KRISTIN WILSON
5347 PLYMOUTH RD
ANN ARBOR MI 48106

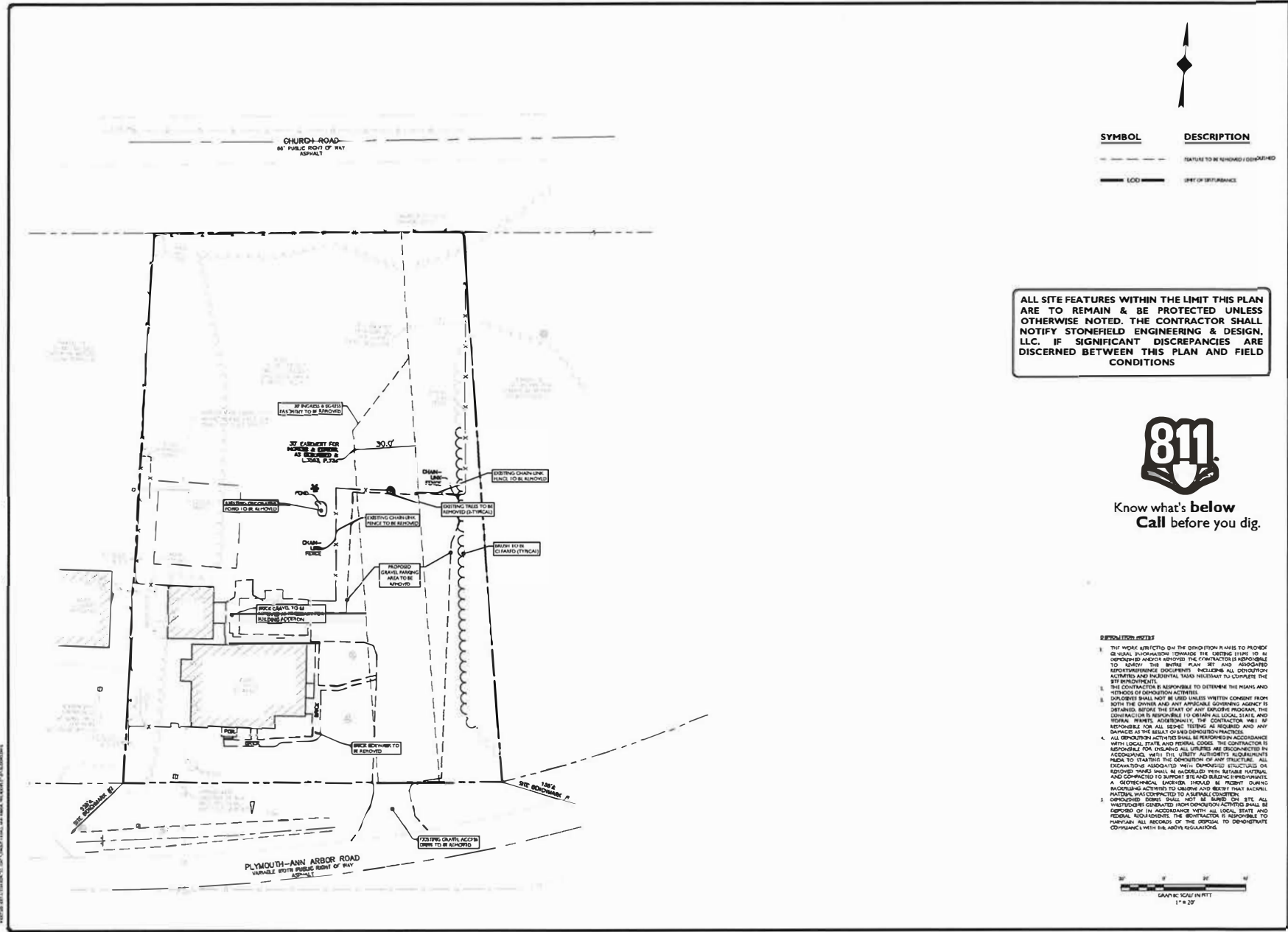
FLOOR PLAN -
SECOND FLOOR
SAW

| Release | Description |
|---------|-------------|
| D-28-21 | PLAN REVIEW |

HDA Job Number:
Date: 9/28/21
This drawing is the property of HDA
It is not to be reproduced or used
without the consent of HDA

NOT FOR CONSTRUCTION

A-2.1



| SYMBOL | DESCRIPTION |
|--------|--------------------------------|
| --- | FEATURE TO BE REMOVED (DASHED) |
| --- | LINE OF DISTURBANCE |

ALL SITE FEATURES WITHIN THE LIMIT THIS PLAN ARE TO REMAIN & BE PROTECTED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's below
Call before you dig.

- REGULATORY NOTES**
1. THE WORK UNDETAILED ON THE DEMOLITION PLANS IS TO BE DONE IN ACCORDANCE WITH THE DEMOLITION PLAN TO BE PROVIDED AND/OR APPROVED BY THE CONTRACTOR IS RESPONSIBLE TO OBTAIN THE NECESSARY PERMITS AND ASSOCIATED REQUIREMENTS DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND NECESSARY TASKS NECESSARY TO COMPLETE THE DEMOLITION.
 2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
 3. DEMOLITION SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY DEMOLITION PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE AND FEDERAL PERMITS NECESSARY. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL LEGAL TESTING AS REQUIRED AND ANY DAMAGE AS THE RESULT OF LAND DEMOLITION ACTIVITIES.
 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AGENCY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EQUIVOCAL ASSOCIATED WITH DEMOLITION STRUCTURES OR REMOVED SHALL BE ASSOCIATED WITH NEARBY MATERIAL AND COMPRISED TO SUPPORT THE AND BEING IMPROPERLY A GEOGRAPHICAL AGENCY. SHOULD BE PRESENT DURING DEMOLITION ACTIVITIES TO OBTAIN AND MEET THAT AGENCY'S REQUIREMENTS TO A DEMOLITION CONTRACTOR.
 5. ALL MATERIALS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE EXPEDITED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DEMOLITION TO DEMONSTRATE COMPLIANCE WITH ALL ABOVE REGULATIONS.



| NO. | DATE | BY | DESCRIPTION |
|-----|------|----|-------------|
| 1 | | | |

NOT APPROVED FOR CONSTRUCTION

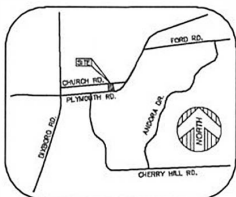
STONEFIELD ENGINEERING & DESIGN, LLC
 10000 W. 10th Street, Suite 100
 Overland Park, KS 66211
 Phone: 913.241.1111
 Fax: 913.241.1112
 Email: info@stonefieldeng.com
 Website: www.stonefieldeng.com

THE K&E GROUP
 10000 W. 10th Street, Suite 100
 Overland Park, KS 66211
 Phone: 913.241.1111
 Fax: 913.241.1112
 Email: info@kandegroup.com
 Website: www.kandegroup.com

SITE IMPROVEMENT PLANS
5347 PLYMOUTH ROAD
PROPOSED VETERINARY CLINIC

PARCEL ID: 008161443
 5347 PLYMOUTH ROAD
 OVERLAND PARK, MO 66211
 WASHINGTON COUNTY, MISSOURI 64811

PROJECT NO. DET-2101H
 TITLE: **DEMOLITION PLAN**
 DRAWING: **C-2**



VICINITY MAP
(NOT TO SCALE)

PARKING
NO MARKED PARKING ON SITE

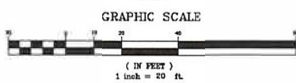
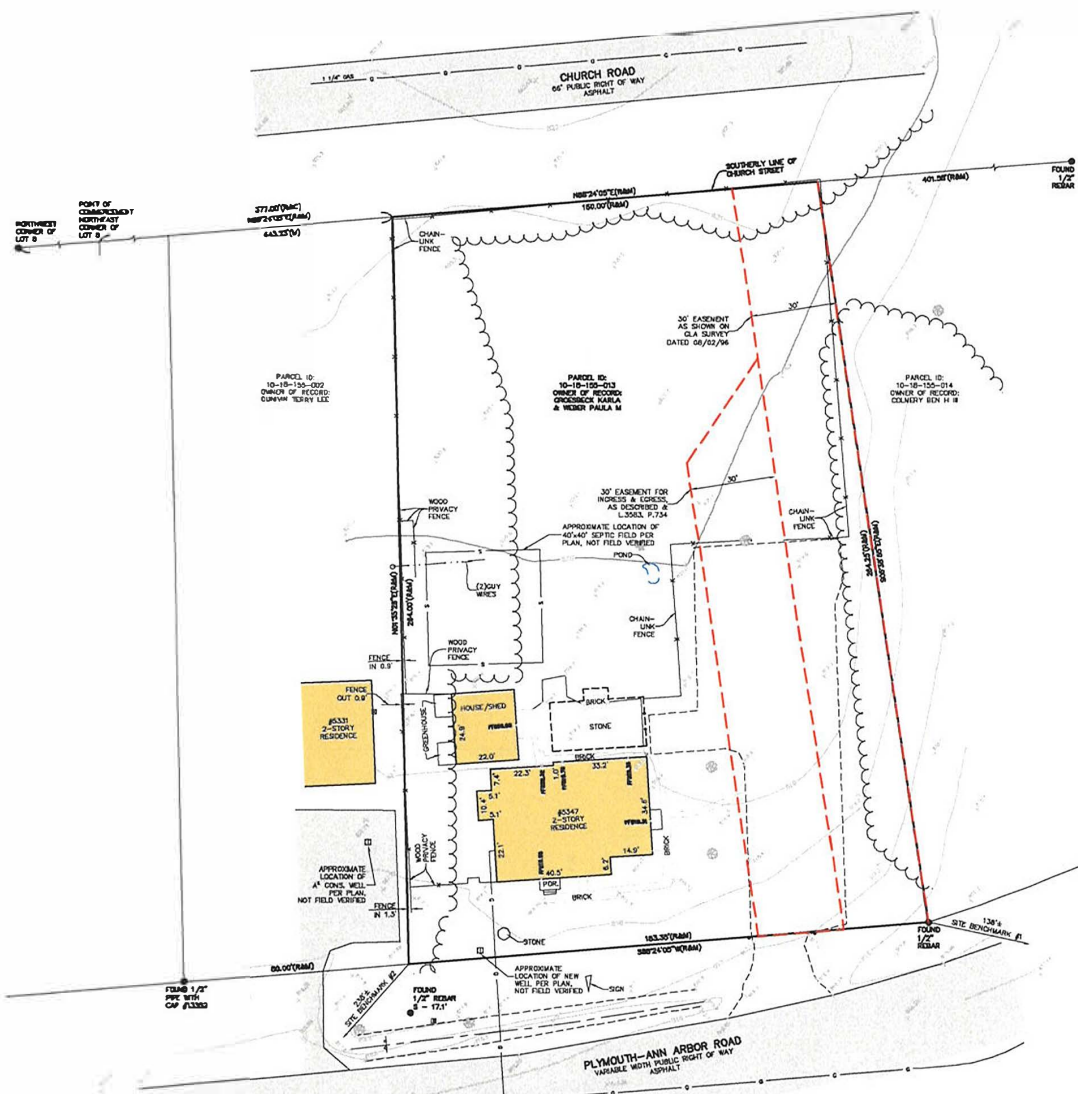
PARCEL AREA
43,824± SQUARE FEET = 1.00± ACRES

BASIS OF BEARING
NORTH 89°24'00" EAST, BEING THE SOUTHWEST RIGHT OF WAY LINE OF CHURCH ROAD, AS DESCRIBED.

BENCHMARK
BM BENCHMARK #1
 TOP OF A CULVERT 14'x4' SOUTHEAST OF THE SOUTHEAST CORNER OF SUBJECT PROPERTY.
 ELEVATION = 814.88' (NAVD 88)
BM BENCHMARK #2
 TOP OF A CULVERT 20'x8' SOUTHWEST OF THE SOUTHWEST CORNER OF SUBJECT PROPERTY.
 ELEVATION = 812.97' (NAVD 88)

LEGEND

| | |
|-------|-------------------------------|
| ● | FOUND WORKMAN (AS NOTED) |
| (R&M) | RECORD AND MEASURED DIMENSION |
| (D) | RECORD DIMENSION |
| (M) | MEASURED DIMENSION |
| ■ | OVERLAND ELEVATION |
| ⊖ | ELECTRIC METER |
| ⊕ | UTILITY POLE |
| ⊙ | TELEPHONE RISER |
| ⊖ | SEWER |
| + | FENCE POST |
| ⊕ | DOUBLE POST SIGN |
| ⊖ | DECIDUOUS TREE (AS NOTED) |
| ⊖ | CONIFEROUS TREE (AS NOTED) |
| --- | PARCEL BOUNDARY LINE |
| --- | ADJACENT PARCEL LINE |
| --- | BUILDING |
| --- | CONCRETE STOP |
| --- | EDGE OF CONCRETE (CONC.) |
| --- | EDGE OF ASPHALT (ASPH.) |
| --- | EDGE OF BRICK |
| --- | EDGE OF GRAVEL |
| --- | FENCE (AS NOTED) |
| --- | TREE / BRUSH LINE |
| --- | OVERHEAD UTILITY LINE |
| --- | GAS LINE |
| --- | EDGE OF WATER (AS NOTED) |
| --- | UNION CONTIGUOUS LINE |
| --- | MAJOR CONTIGUOUS LINE |
| ■ | BUILDING AREA |
| --- | ASPHALT |
| --- | CONCRETE |



PROPERTY DESCRIPTION
 LAND SITUATE IN THE TOWNSHIP OF SUPERIOR, COUNTY OF WASHTENAW, STATE OF MICHIGAN, DESCRIBED AS:
 PART OF THE NORTH 1/2 OF SECTION 18, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT ON THE SOUTHERLY LINE OF CHURCH STREET (1/2" BROWN 33.00 FEET) DISTANT NORTH 89°24'00" EAST 377.00 FEET FROM THE NORTHEAST CORNER OF LOT 5, NORTHEAST SECTION OF DEEDS, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FEBRUARY 26, 1926, IN LIEK 74 OF DEEDS, PAGE 273, WASHTENAW COUNTY RECORDS; THENCE CONTINUING NORTH 89°24'00" EAST 150.00 FEET ALONG THE SOUTH RIGHT OF WAY LINE OF SAID CHURCH STREET; THENCE SOUTH 02°24'00" EAST 284.35 FEET; THENCE SOUTH 89°24'00" WEST 183.25 FEET AND NORTH 02°24'00" EAST 284.00 FEET TO THE POINT OF BEGINNING.
 SUBJECT TO A CERTAIN EASEMENT ON, OVER AND ACROSS THE ABOVE DESCRIBED PROPERTY TO CREATE A RIGHT-OF-WAY FOR HIGHWAYS AND EGRESS FOR THE BENEFIT OF THE ABOVE DESCRIBED PROPERTY AND PROPERTY IMMEDIATELY ADJACENT TO THE EAST THEREOF, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT: COMMENCING AT THE NORTHEAST CORNER OF LOT 5 OF THE NORTHEAST SECTION OF THE VILLAGE OF SHIROBO AS RECORDED IN LIEK "A" OF DEEDS, PAGE 273, WASHTENAW COUNTY RECORDS; THENCE A BEARING EAST 488.52 FEET ALONG THE SOUTHERLY LINE OF CHURCH STREET (1/2"-33 FEET); THENCE S 02°24'00" EAST 88.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S 02°24'00" E 204.25 FEET; THENCE S 89°24'00" W 30.00 FEET; THENCE N 02°24'00" E 183.25 FEET; THENCE N 36°43'57" E 44.51 FEET TO THE POINT OF BEGINNING.
 THE PROPERTY ADJACENT TO THE EAST AND WHICH SHALL BE IDENTIFIED BY THE ABOVE DESCRIBED EASEMENT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT: COMMENCING AT THE NORTHEAST CORNER OF LOT 5, NORTHEAST SECTION VILLAGE OF SHIROBO; THENCE NORTH 89°24'00" EAST 257.00 FEET TO THE PLACE OF BEGINNING; THENCE CONTINUE NORTH 89°24'00" EAST 401.08 FEET; THENCE 475.10 FEET ALONG A CURVE, AT RADIUS OF 641.90 FEET, CHORD SOUTH 52°24'00" W 484.81 FEET; THENCE NORTH 02°24'00" WEST 284.25 FEET TO PLACE OF BEGINNING, BEING PART OF THE NORTHEAST 1/4 OF SECTION 18, T2S, R7E.

TITLE REPORT NOTE
 ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE STEWART TITLE GUARANTEE COMPANY COMMITMENT NO. 1809808, DATED JULY 16, 2021, AND RELATED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.
 10. MAINTENANCE AGREEMENT FOR EASEMENT AND RIGHT OF WAY, AS SHOWN IN LIEK 35A3, PAGE 734, WASHTENAW COUNTY RECORDS, (AS SHOWN)

SURVEYOR'S NOTE
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED BY FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

SURVEYOR'S CERTIFICATION
 TO ANBOR HILLS ANIMAL CLINIC PLLC, A MICHIGAN DOMESTIC PROFESSIONAL LIMITED LIABILITY COMPANY; LIBERTY TITLE AGENCY; AND STEWART TITLE GUARANTEE COMPANY.
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MICHIGAN STANDARD DETAIL REQUIREMENTS FOR ALTA/ALPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 7A, 8, AND 9 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 09, 2021.
 DATE OF PLAT OR MAP: AUGUST 12, 2021

DRAFT
 ARTHUR T. SYKES, JR., P.E.
 PROFESSIONAL SURVEYOR
 MICHIGAN LICENSE NO. 47976
 22506 GRANDI AVENUE, EASTLANSING, MI 48021
 TSYKES@ar-tec-survey.com



ALTA / NSPS LAND TITLE SURVEY
 PREPARED FOR: ANBOR HILLS VET
 5347 PLYMOUTH-ANN ARBOR ROAD, PART OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, MICHIGAN.

| NO. | DATE | DESCRIPTION |
|-----|----------|---|
| 1 | 07/17/21 | ASSET EASEMENT |
| 2 | 07/17/21 | ASSET EASEMENT |
| 3 | 07/17/21 | ADDED APPROXIMATE LOCATION OF WELL & SEPTIC FIELD |

| DATE | BY | REVISION |
|----------|----|----------|
| 08/12/21 | AS | 1" = 20' |
| 08/12/21 | AS | 1" = 20' |
| 08/12/21 | AS | 1" = 20' |



Arbor Hills Animal Clinic

Arbor Hills Animal Clinic
2717 Plymouth Road
Ann Arbor MI 48105
(734) 668-1466

9/3/2021

Dear Neighbor,

As you may have already heard, we (Mark and Kristin Wilson), owners of Arbor Hills Animal Clinic, have placed an offer on the property located at 5347 Plymouth Road. We plan to renovate the building and make it the future home of Arbor Hills Animal Clinic. We will be meeting with the Township Board in a few weeks to discuss our project and seek conditional approval from them to begin this process.

Prior to this meeting, we wanted to provide an opportunity for community members or other business owners to reach out to talk to us about our project. We understand that when a property changes hands there are things you want to know about the project. We would love to take some time to talk with community members and provide you with all the information that you desire.

That said, here are a few options. Please feel free to participate in any or all of these opportunities:

- MoonWinks Cafe - Meet Mark Wilson, Co-Owner and Practice Manager, at Arbor Hills Animal Clinic. Breakfast and coffee are on us! Thursday, September 9, 2021 at 9:00am.
- Zoom Meet & Greet - If you prefer, meet Mark Wilson online by joining our Zoom room on Thursday, September 9, 2021 at 7:00pm. Our zoom room meeting room can be found at: <https://us02web.zoom.us/j/7495410748>
- Prefer a less formal conversation? Feel free to contact Mark Wilson, anytime, by calling 248-763-2936.

On the back of this letter, I have included a Q & A with some of the more common questions we have been getting about our project.

Mark Wilson
Practice Manager

Kristin Wilson, Owner & DVM,
Audrey Lownsbery DVM Associate Veterinarian

Frequently Asked Questions

Q: What are your hours of operation?

A: Currently, 9am - 6pm, Monday through Friday and 8am-2pm on Saturday.

Q: Do you see after hours emergency cases?

A: No, we are a day practice. We utilize local emergency centers after hours.

Q: Are you putting outdoor boarding facilities on the premises?

A: No, we will have some exercise runs for larger dogs to stretch their legs and use the potty during their stay. However, no boarding will take place at our facility.

Q: What changes are you making to the outside of the building?

A: A fresh coat of paint. In addition, we will be paving the driveway (about 20 spots), connecting the two buildings (the house and the wedding chapel) with a small addition, and possibly adding a small out building for small farm animals (goats, mini-horses). We will also be shoring up some of the fencing that has been destroyed over time.

Q: What are you changing inside the building?

A: That is a more extensive list. The interior will include a waiting room, multiple examination rooms, a surgical suite, a dental area, a treatment area and some office spaces. Public areas (the waiting room and examination rooms) will maintain the historic charm of the existing spaces. We will also be updating the interior of the building to allow for access for community members who require ADA accommodations.

Q: Will anyone be living in the building?

A: No

Q: Will you be accepting new clients?

A: Yes, just call 734-668-1466 and we can get you scheduled.

Q: When do you plan to begin doing business at this location?

A: We anticipate being ready to open between March and June of 2022.

Q: What types of animals do you see?

A: Domestic animals with fur and small farm animals.



Arbor Hills Animal Clinic

Arbor Hills Animal Clinic
2717 Plymouth Road
Ann Arbor MI 48105
(734) 668-1466

9/22/2021

Dear Neighbor,

As you may have already heard, we (Mark and Kristin Wilson), owners of Arbor Hills Animal Clinic, have placed an offer on the property located at 5347 Plymouth Road. We plan to renovate the building and make it the future home of Arbor Hills Animal Clinic. We met with the Township Board, on September 22, 2021, and a number of residents living on Autumn Lane attended the meeting with questions about the development. We wanted to make sure to reach out to all of you to assure that all of your questions were answered.

Prior to this meeting, we provided an opportunity for community members or other business owners to reach out to talk to us about our project. We understand that when a property changes hands there are things you want to know about the project. For that reason, we would love to take some time to talk with residents of Autumn Lane and provide you with all the information that you desire.

That said, here are a few options. Please feel free to participate in any or all of these opportunities:

- You may reach out to me, via email, at marktwilson@arborhillsvet.com and I will respond to any questions that you have.
- You may reach out to me, via phone, at 734-668-1466 and I will be happy to chat by phone as well.
- If the 11 residents on Autumn Lane would like to meet with me as a group, give me a time and place and I will do everything possible to be there.

On the back of this letter, I have included a Q & A with some of the more common questions we have been getting about our project.

Mark Wilson
Practice Manager

Kristin Wilson, Owner & DVM,
Audrey Lownsbery DVM Associate Veterinarian

Frequently Asked Questions

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Q: Will anyone be living in the building?

A: No

Q: Will you be accepting new clients?

A: Yes, just call 734-668-1466 and we can get you scheduled.

Q: When do you plan to begin doing business at this location?

A: We anticipate being ready to open between March and June of 2022.

Q: What types of animals do you see?

A: Domestic animals with fur and small farm animals.

Q: Will there be a driveway to the clinic from the Church Street side of the property?

A: No, this is not permitted under Township Policies. All traffic will enter and leave the property from Plymouth Road.

Q: Will there be a crematorium on site?

A: No

Q: Will there be farm animals living on the property?

A: No, as part of the meeting on 9/22/2021, farm animals were removed from the plan based upon resident feedback within the neighboring community.

Q: Will there be lighting on the parking area of the property?

A: Yes, the parking lot will be lit. However, we have hired a firm that specializes in lighting to design the parking lot to protect the neighborhood from unnecessary spill-over lighting.

Q: How will your practice impact the traffic on Plymouth Road?

A: Arbor Hills Animal Clinic has 4-6 appointments per hour. These appointments are staggered throughout the hour. Therefore, the traffic impact shall be very minimal.

SITE PLAN REVIEW APPLICATION

(This application must be typewritten or printed. All questions must be answered.)

APPLICANT NAME Mark & Kristin Wilson, DBA Arbor Hills Animal Clinic, PLLC

**NAME OF PROPOSED
DEVELOPMENT** Arbor Hills Animal Clinic

APPLYING FOR

- PRELIMINARY SITE PLAN
- FINAL SITE PLAN
- COMBINED PRELIMINARY AND FINAL SITE PLAN
(Combination is at discretion of Planning Commission)
- MINOR SITE PLAN
- MAJOR/MINOR CHANGE DETERMINATION
- ADMINISTRATIVE REVIEW

WILL PROJECT BE PHASED? YES NO

IF PROJECT IS PHASED COMPLETE THE FOLLOWING:

- Total number of phases _____
- Phase number of current application _____
- Name and date of preliminary site plan approval

• Date of Previous Phase Approvals:

| | | | |
|---------|-------|------|-------|
| Phase # | _____ | Date | _____ |
| Phase # | _____ | Date | _____ |
| Phase # | _____ | Date | _____ |
| Phase # | _____ | Date | _____ |

SEEKING ADDITIONAL APPROVAL FOR A CONDITIONAL USE YES NO

Signature of the Clerk or Designee

9/30/2021

Date of Receipt of Application

\$5,900.00

Amount of Fee

GENERAL INFORMATION

- Name of Proposed Development Arbor Hills Animal Clinic PLLC
- Address of Property 5347 Plymouth Road, Ann Arbor MI 48105
- Current Zoning District Classification of Property VC

Is the zoning classification a Special District as defined by Article 7 ? YES NO

- Has this property been the subject of a rezoning request, Zoning Board of Appeals petition or other Township action with the past five (5) years? YES NO

Please explain No

- Tax ID Number(s) of property 10-18-155-013
- Site Location - Property is located on (circle one) N S E W side of Plymouth Road between Church Road and Short Street Roads.
- Legal Description of Property (please attach a separate sheet)
Where a metes and bounds description is used, lot line angles or bearings shall be indicated on the plan. Lot line dimensions and angles or bearings shall be based upon a boundary survey prepared by a registered surveyor and shall correlate with the legal description.

Site Area (Acreage) and Dimensions

- Are there any existing structures on the property? YES NO
Please explain: There are two buildings on the property. One is a 2 story structure of about 3,600 square feet.
The second is a one story structure of approximately 500 square feet.

PROPOSED LAND USE

- Residential Office Commercial Other

If other, please specify _____

- Number of units 1
- Total floor area of each unit approximately 4,000
- Give a complete description of the proposed development.
Use as a veterinary clinic. The clinic is a day practice open during normal
business hours (8a-7p). There are no late evening or overnight hours at
this practice. We are an animal healthcare facility.

ESTIMATED COSTS

- Buildings and other structures \$625,000
- Site improvements \$500,000
- Landscaping \$100,000
- Total \$1,250,000

ESTIMATED DATES OF CONSTRUCTION

- Initial construction January, 2022
- Project completion April, 2022
- Initial construction of phases (IF APPLICABLE) _____
- Completion of subsequent phases. (IF APPLICABLE) _____
- Estimated date of first occupancy May, 2022

IDENTIFY EACH DRAWING SUBMITTED BY NAME OF PLAN OR DRAWING, DATE AND DRAWING NUMBER (ATTACH ADDITIONAL SHEET IF NECESSARY)

C1 Stonefield Cover Sheet

C3 Stonefield Site Plan

C2 Stonefield Demolition Plan

C4 Stonefield Grading & Drainage Plan

APPLICANT INFORMATION

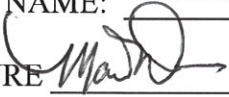
- APPLICANTS NAME Mark Wilson
Company Arbor Hills Animal Clinic
Address 2717 Plymouth Road, Ann Arbor MI 48105
Telephone Number 248-763-2936 Email markwilson@arborhillsvet.com
- PROPERTY OWNER'S NAME Karla Groesbeck & Paula Weber
Company NA
Address 5347 Plymouth Road, Ann Arbor MI 48105
Telephone Number _____ Email _____
- DEVELOPER'S NAME NA
Company _____
Address _____
Telephone Number _____ Email _____
- ENGINEER'S NAME Renata Garbarino (contact)
Company Kem-Tec/Stonefield Engineering/Design
Address 22556 Gratiot Avenue, Eastpoint MI 48021
Telephone Number 586-772-2222 Email rgarbarino@kemtec-survey.com
- ARCHITECT/PLANNER'S NAME Peter Hill
Company HDA Associates
Address 101 E 2nd Avenue Suite 350, Rome GA 30161
Telephone Number 888-221-9232 Email pete@hda-architects.com
*Superior Charter Township, 3040 N. Prospect Rd., Ypsilanti, MI 48198
Telephone: 734-482-6099 Website: superiortownship.org Fax 734-482-3842*

The applicant indicated on page 4 must sign this application. All correspondence regarding the application and plan will be directed to the applicant. If the applicant is not the property owner, the owner's signed consent must also be provided with this application.

APPLICANT'S DEPOSITION

I hereby depose and certify that all information contained in this application, all accompanying plans and all attachments are complete and accurate to the best of my knowledge.

APPLICANT'S PRINTED NAME: Mark T Wilson/Kristin L Wilson

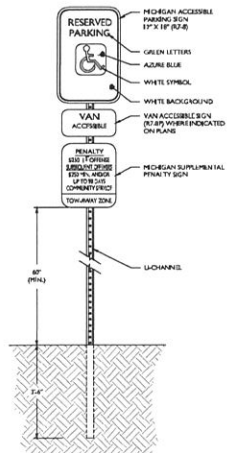
APPLICANT'S SIGNATURE  DATE 9/30/2021

PROPERTY OWNER'S PRINTED NAME _____

PROPERTY OWNER'S SIGNATURE _____ DATE _____

IDENTIFY EACH DRAWING SUBMITTED BY NAME OF PLAN OR DRAWING, DATE AND DRAWING NUMBER (ATTACH ADDITIONAL SHEET IF NECESSARY)

| | |
|--|-----------------------------------|
| C5 Stonefield Construction Details | Septic Plot & Elevations 6/3/1996 |
| 1 Kem Tech Draft Site Plan | Certificate of Survey 4/3/1995 |
| A 2.0 HDA First Floor Interior Floor Plan | |
| A 2.1 HDA Second Floor Interior Floor Plan | |
| A 6.0 HDA Exterior Elevation Views | |

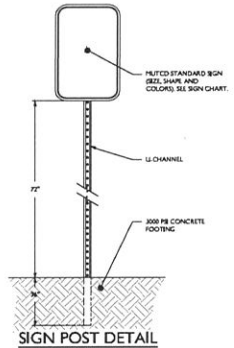


ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE

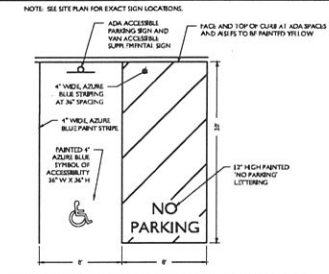
| FILE NO. | TEXT | COLOR | SIZE OF SIGN (MIN. H x MIN. W) | TYPE OF POST* |
|-----------------|------|-------|--------------------------------|---------------|
| STOP SIGN (R-1) | STOP | RED | 36" W x 36" H | GROUND |

SIGN DATA TABLE
NOT TO SCALE

NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE MICHIGAN HIGHWAY ADMINISTRATION MANUAL ON LAW ENFORCEMENT TRAFFIC CONTROL SIGNS (PART 3), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MAINTAINED TO NOT OBSTRUCT THE VISIBILITY TRIANGLE AND "HELLO" TRIANGLE.



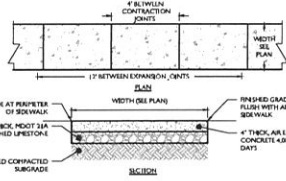
SIGN POST DETAIL
NOT TO SCALE



ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE

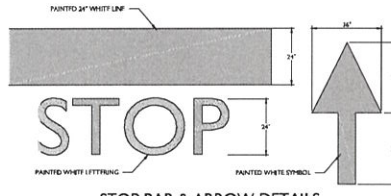


PARKING STALL MARKINGS
NOT TO SCALE



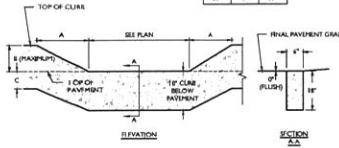
CONCRETE WALKWAY DETAIL
NOT TO SCALE

NOTE:
1. MAXIMUM CURB HEIGHT SHALL BE 8" PER FOOT.
2. 2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-PLACED, BUTYLBONDED JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
3. 1" DIM BY 3/4" WIDE, TYPICAL CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

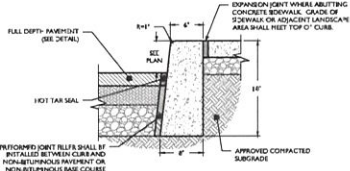


STOP BAR & ARROW DETAILS
NOT TO SCALE

| FLUSH CURB DIMENSIONS | A | B | C |
|-----------------------|----|-----|---|
| 12" | 6" | 12" | |
| 18" | 6" | 12" | |
| 24" | 6" | 12" | |

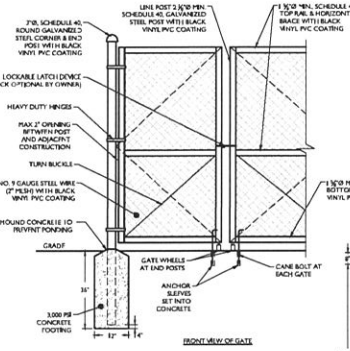


FLUSH CURB DETAIL
NOT TO SCALE

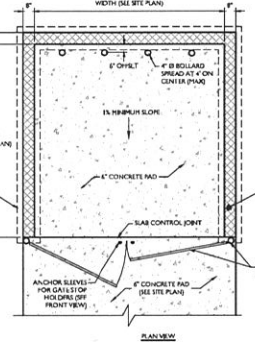


CONCRETE CURB DETAIL
NOT TO SCALE

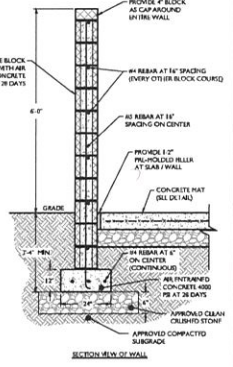
NOTE:
1. CONCRETE SHALL BE 4000 PSI AT 28 DAYS, WEATHERED.
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20-FOOT INTERVALS WITH PRE-PLACED, BUTYLBONDED JOINT FILLER, RECESSED 1/2" FROM SURFACE.
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 8-FOOT INTERVALS.
4. 1" CURB HEIGHT SHALL BE MAINTAINED AT DEPRESSION OR FLUSH CURB AREAS.



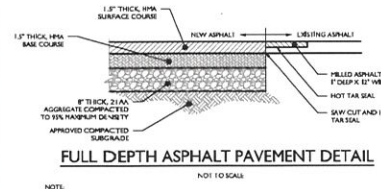
RIGHT VIEW OF GATE



TRASH / RECYCLE ENCLOSURE DETAIL
NOT TO SCALE

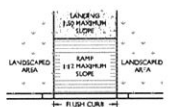


SECTION VIEW OF WALL



FULL DEPTH ASPHALT PAVEMENT DETAIL
NOT TO SCALE

NOTE:
1. PER DESIGN (3A) WITH PG58-22 PER FOOT STANDARDS SHALL BE USED FOR THE SURFACE AND BASE COURSE.
2. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR PAVEMENT CROSS SECTION.



RAMP DETAIL
NOT TO SCALE

NOTE:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 1%.
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36" OFF PLAN FOR PRACT WIDTH.
3. RAMP SHALL HAVE A MAXIMUM SET OF 4" WITHOUT A WINDING.

DISCRESSION

BY

DATE

REVISION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
Professional Services, Inc.
11111 E. Grand Ave., Suite 100
Ann Arbor, MI 48106
Tel: 734.769.1111
Fax: 734.769.1112
www.stonefieldinc.com

MEM-TEC
Professional Services, Inc.
11111 E. Grand Ave., Suite 100
Ann Arbor, MI 48106
Tel: 734.769.1111
Fax: 734.769.1112
www.mem-tec.com

SITE IMPROVEMENT PLANS

5347 PLYMOUTH ROAD

PROPOSED VETERINARY CLINIC

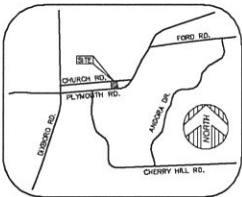
PARCEL ID: 16-11-155-013
16-11-155-013
SUPERIOR CHARTER TOWNSHIP
WASHTENAW COUNTY, MICHIGAN 48151

MICHIGAN LICENSE NO. 420199438
160810 PROFESSIONAL ENGINEER

SCALE: AS SHOWN PROJECT ID: DET-202304

TITLE: **CONSTRUCTION DETAILS**

DRAWING: **C-5**



VICINITY MAP
(NOT TO SCALE)

PARKING
NO MARKED PARKING ON SITE.

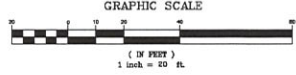
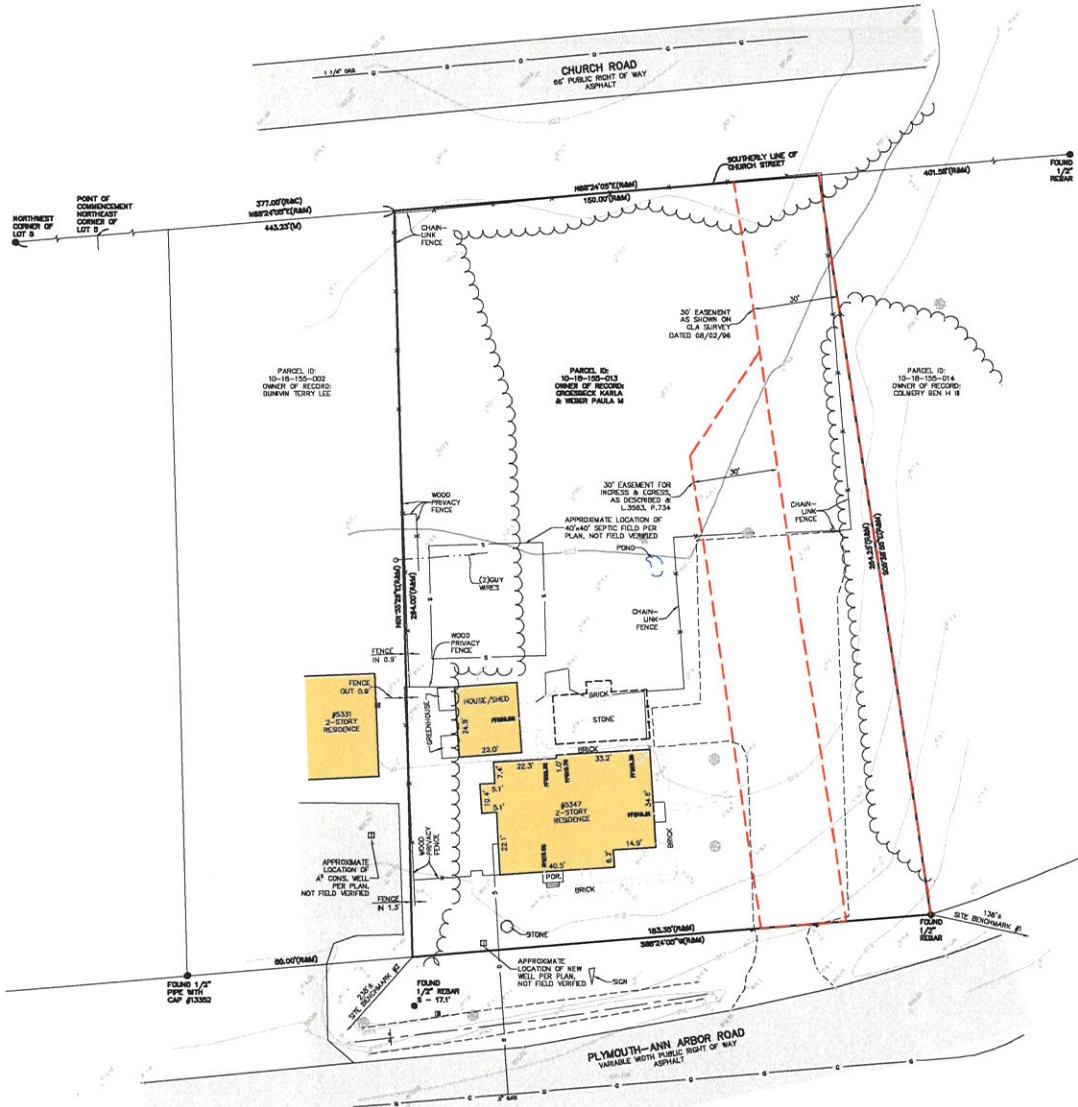
PARCEL AREA
43,534 SQUARE FEET = 1.014 ACRES

BASIS OF BEARING
NORTH 86°24'00" EAST, BEING THE SOUTHERLY RIGHT OF WAY LINE OF CHURCH ROAD, AS DESCRIBED.

BENCHMARK
BENCH. MARK AT TOP OF A CULVERT, 140' SOUTHEAST OF THE SOUTHWEST CORNER OF SUBJECT PROPERTY.
ELEVATION = 815.89' (NAVD 88)
BENCH. MARK AT TOP OF A CULVERT, 238' SOUTHWEST OF THE SOUTHWEST CORNER OF SUBJECT PROPERTY.
ELEVATION = 815.87' (NAVD 88)

LEGEND

| | |
|---------|-------------------------------|
| ● (RAW) | FOUND MONUMENT (AS NOTED) |
| (R) | RECORD AND MEASURED DIMENSION |
| (M) | RECORD DIMENSION |
| (W) | MEASURED DIMENSION |
| ○ | OPENING ELEVATION |
| ○ | ELECTRIC METER |
| ○ | UTILITY POLE |
| ○ | TELEPHONE RISER |
| ○ | BOLLARD |
| ○ | FENCE POST |
| ○ | COARSE POST SIGN |
| ○ | DECIDUOUS TREE (AS NOTED) |
| ○ | CONIFEROUS TREE (AS NOTED) |
| — | PARCEL BOUNDARY LINE |
| — | ADJACENT PARCEL LINE |
| — | BUILDING |
| — | AMMUNITION |
| — | CENTRALISE DITCH |
| — | EDGE OF CONCRETE (CONCL) |
| — | EDGE OF ASPHALT (ASPH) |
| — | EDGE OF GRAVEL |
| — | FENCE (AS NOTED) |
| — | TREE / BRUSH LINE |
| — | OVERHEAD UTILITY LINE |
| — | GAS LINE |
| — | EDGE OF WATER (AS NOTED) |
| — | MINOR CONTOUR LINE |
| — | MAJOR CONTOUR LINE |
| ■ | BUILDING AREA |
| ■ | ASPHALT |
| ■ | CONCRETE |



PROPERTY DESCRIPTION
LAND SITUATE IN THE TOWNSHIP OF SUPERIOR, COUNTY OF WASHTENAW, STATE OF MICHIGAN, DESCRIBED AS:

PART OF THE NORTH 1/2 OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, DESCRIBED AS BEGGINING AT A POINT ON THE SOUTHERLY LINE OF CHURCH STREET (1/2 ROW=33.00 FEET DISTANT NORTH BECKETT EAST 377.00 FEET FROM THE NORTHEAST CORNER OF LOT 5, NORTHEAST SECTION OF OSBORO, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FEBRUARY 26, 1938, IN LITER "A" OF DEEDS, PAGE 273, WASHTENAW COUNTY RECORDS; THENCE CONTAINING NORTH BECKETT EAST 150.00 FEET ALONG THE SOUTH RIGHT OF WAY LINE OF SAID CHURCH STREET; THENCE SOUTH 62°05'00" EAST 284.23 FEET; THENCE SOUTH 80°24'00" WEST 183.35 FEET AND NORTH 01°35'38" EAST 264.00 FEET TO THE POINT OF BEGINNING.

SUBJECT TO A CERTAIN EASEMENT ON, OVER AND ACROSS THE ABOVE DESCRIBED PROPERTY TO OBTAIN A RIGHT-OF-WAY FENCE AND EGRESS FOR THE BENEFIT OF THE ABOVE DESCRIBED PROPERTY AND PROPERTY IMMEDIATELY ADJACENT TO THE EAST THEREOF, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT: COMMENCING AT THE NORTHEAST CORNER OF LOT 3 OF THE NORTHEAST SECTION OF THE VILLAGE OF OSBORO AS RECORDED IN LITER "A" OF DEEDS, PAGE 273, WASHTENAW COUNTY RECORDS; THENCE N 86°24'00" EAST 483.00 FEET ALONG THE SOUTHERLY LINE OF CHURCH STREET (1/2=33 FEET); THENCE S 05°00'00" EAST 60.00 FEET TO THE POINT OF BEGINNING; THENCE CONTAINING S 02°30'00" E 282.25 FEET; THENCE S 88°24'00" W 30.00 FEET; THENCE N 03°30'00" W 181.25 FEET; THENCE N 36°43'57" E 44.25 FEET TO THE POINT OF BEGINNING.

THE PROPERTY ADJACENT TO THE EAST AND WHICH SHALL BE IDENTIFIED BY THE ABOVE DESCRIBED EASEMENT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT: COMMENCING AT THE NORTHEAST CORNER OF LOT 3, NORTHEAST SECTION VILLAGE OF OSBORO; THENCE NORTH 86°24'00" EAST 357.00 FEET TO THE POINT OF BEGINNING; THENCE CONTAINING NORTH BECKETT EAST 408.50 FEET; THENCE 478.10 FEET ALONG ARC OF A CURVE, RADIUS OF 641.80 FEET, CHORD SOUTH 33°07'00" W 484.87 FEET; THENCE NORTH 03°30'00" WEST 284.25 FEET TO PLACE OF BEGINNING, BEING PART OF THE NORTHEAST 1/4 OF SECTION 16, T2S, R7E.

TITLE REPORT NOTE
ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE STEWART TITLE GUARANTY COMPANY COMMITMENT No. LUTBROOK, DATED JAN 16, 2021, AND RELIED UPON WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

10. MAINTENANCE AGREEMENT FOR EASEMENT AND RIGHT OF WAY, AS RECORDED IN LITER 3043, PAGE 754, WASHTENAW COUNTY RECORDS, (AS SHOWN)

SURVEYOR'S NOTE
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER BY SERVICE OR ASSIGNMENT. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

SURVEYOR'S CERTIFICATION
I, ANTHONY T. STOKO, CLINIC FIELDS A MICHIGAN DOMESTIC PROFESSIONAL LIMITED LIABILITY COMPANY, LIBERTY TITLE AGENCY, AND STEWART TITLE GUARANTY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAILED REQUIREMENTS FOR ALTA NPSLS LAND TITLE SURVEYS, AS ESTABLISHED AND ADOPTED BY ALTA AND NPSLS, AND INCLUDES ITEMS 2, 4, 1A, 1B AND 8 OF TABLE A. THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 04, 2021.

DATE OF PLAT OR MAP: AUGUST 12, 2021

DRAFT

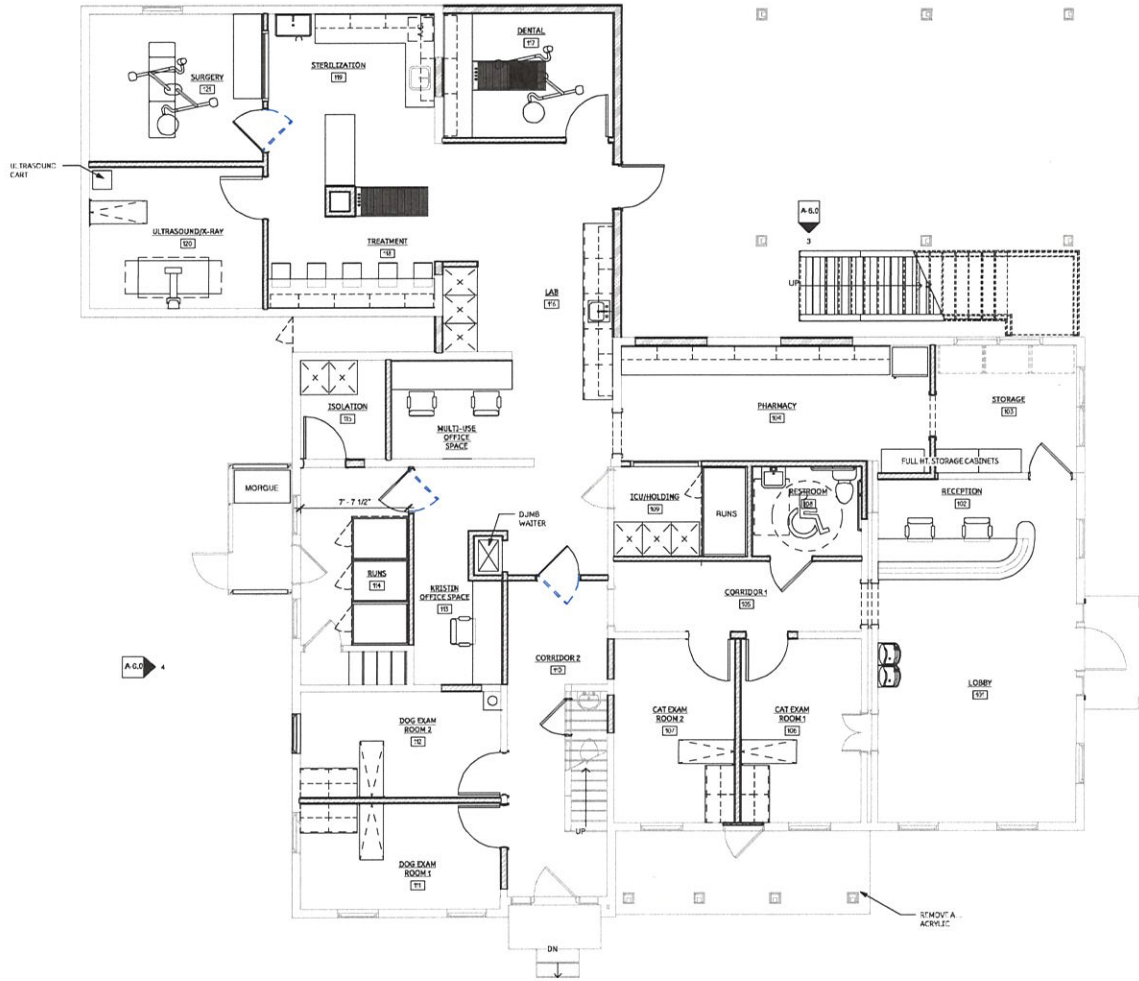
ANTHONY T. STOKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
2308E GRAND AVE. EASTLANTONTE, MI 48021
Tstoko@altac-survey.com



ALTA / NPSLS LAND TITLE SURVEY
PREPARED FOR: ARBOR HILLS NET
5347 PLYMOUTH-ANN ROAD, PART OF SECTION 18 EAST, TOWNSHIP 2 SOUTH, RANGE 7 EAST

| NO. | DATE | DESCRIPTION | BY |
|-----|----------|----------------------|------|
| 1 | 08/12/21 | AS-CED EASEMENT | ATIS |
| 2 | 08/17/21 | ADJACENT PARCEL LINE | ATIS |
| 3 | 08/17/21 | ADJACENT PARCEL LINE | ATIS |
| 4 | 08/17/21 | ADJACENT PARCEL LINE | ATIS |
| 5 | 08/17/21 | ADJACENT PARCEL LINE | ATIS |
| 6 | 08/17/21 | ADJACENT PARCEL LINE | ATIS |
| 7 | 08/17/21 | ADJACENT PARCEL LINE | ATIS |
| 8 | 08/17/21 | ADJACENT PARCEL LINE | ATIS |
| 9 | 08/17/21 | ADJACENT PARCEL LINE | ATIS |
| 10 | 08/17/21 | ADJACENT PARCEL LINE | ATIS |

| EQUIPMENT SCHEDULE | | | | |
|--------------------|-------------|-------------|--------------|-------|
| NUMBER | DESCRIPTION | PROVIDED BY | INSTALLED BY | COUNT |



1 FLOOR PLAN - FIRST FLOOR
1/4" = 1'-0"

HDA
ARCHITECTS

HDA
ARCHITECTS,
INC.

101 East 2nd Ave.
Suite 330
Rome, Georgia
30161
Tel: 706.531.9999
Fax: 888.221.9232
hda-architects.com

ARBOR HILLS
ANIMAL CLINIC
MARK & KRISTIN WILSON
5347 PLYMOUTH RD
ANN ARBOR, MI 48105

FLOOR PLAN -
FIRST FLOOR

Drawn By: SAW
Checked By: PJH

| Release | Description |
|---------|-------------|
| 9-28-21 | PLAN REVIEW |

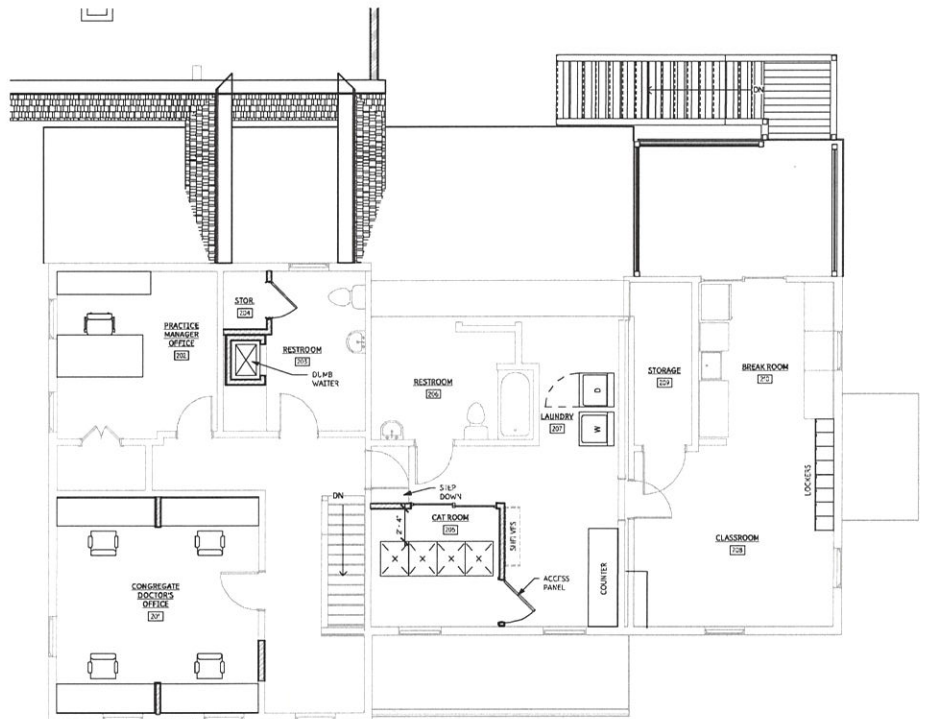
HDA Job Number: 2120
Date: 9-28-2021

This drawing is an instrument of service & shall remain the property of the Architect. It is not to be reproduced, copied or used in any way without the consent of the Architect.

NOT FOR CONSTRUCTION

A-2.0

9/28/2021 12:16:40 PM



A-2.1
FLOOR PLAN - SECOND FLOOR
 1/4" = 1'-0"

HDA
 ARCHITECTS
HDA
 ARCHITECTS,
 INC.
 101 East 2nd Ave.
 Suite 350
 Rome, Georgia
 30161
 Tel: 706.531.9999
 Cell: 888.221.9232
 hda-architects.com

**ARBOR HILLS
 ANIMAL CLINIC**
 MARK & KRISTIN WILSON
 5347 PLYMOUTH RD
 ANN ARBOR, MI 48105

FLOOR PLAN -
 SECOND FLOOR
 Drawn By: SAW
 Checked By: PJH

| Release | Description |
|---------|-------------|
| 9-28-21 | PLAN REVIEW |

HDA Job Number: 2120
 Date: 9-28-2021

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A-2.1

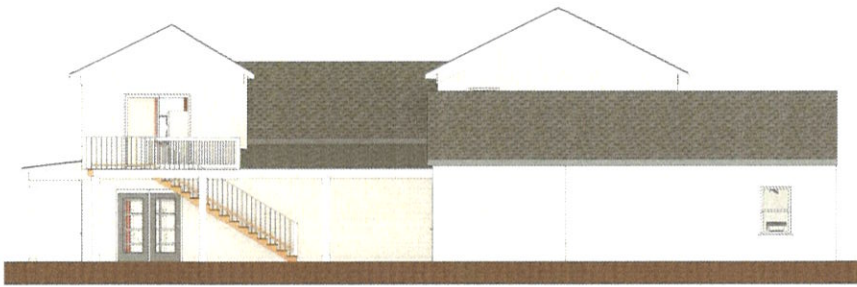
9/28/2021 11:04:16 AM



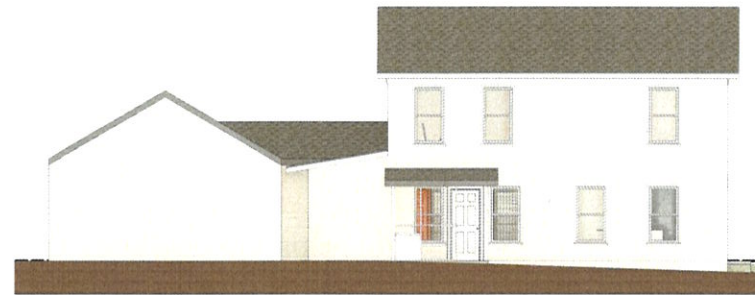
1 SOUTH
A-6.0 3/16" = 1'-0"



2 EAST
A-6.0 3/16" = 1'-0"



3 NORTH
A-6.0 3/16" = 1'-0"



4 WEST
A-6.0 3/16" = 1'-0"



HDA
ARCHITECTS, INC.
101 East 2nd Ave.
Suite 300
Rome, Georgia
30161
Tel: 706.531.9999
Cell: 888.221.9292
hda-architects.com

ARBOR HILLS
ANIMAL CLINIC
MARK & KRISTIN WILSON
5347 PLYMOUTH RD
ANN ARBOR, MI 48105

BUILDING
ELEVATIONS
Drawn By: SAW
Checked By: P.J.H.

| Release | Description |
|---------|-------------|
| | |

HDA Job Number: 2120
Date: 9-28-2021

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NOT FOR CONSTRUCTION

A-6.0
9/29/2021 5:22:00 PM

CERTIFICATE OF SURVEY

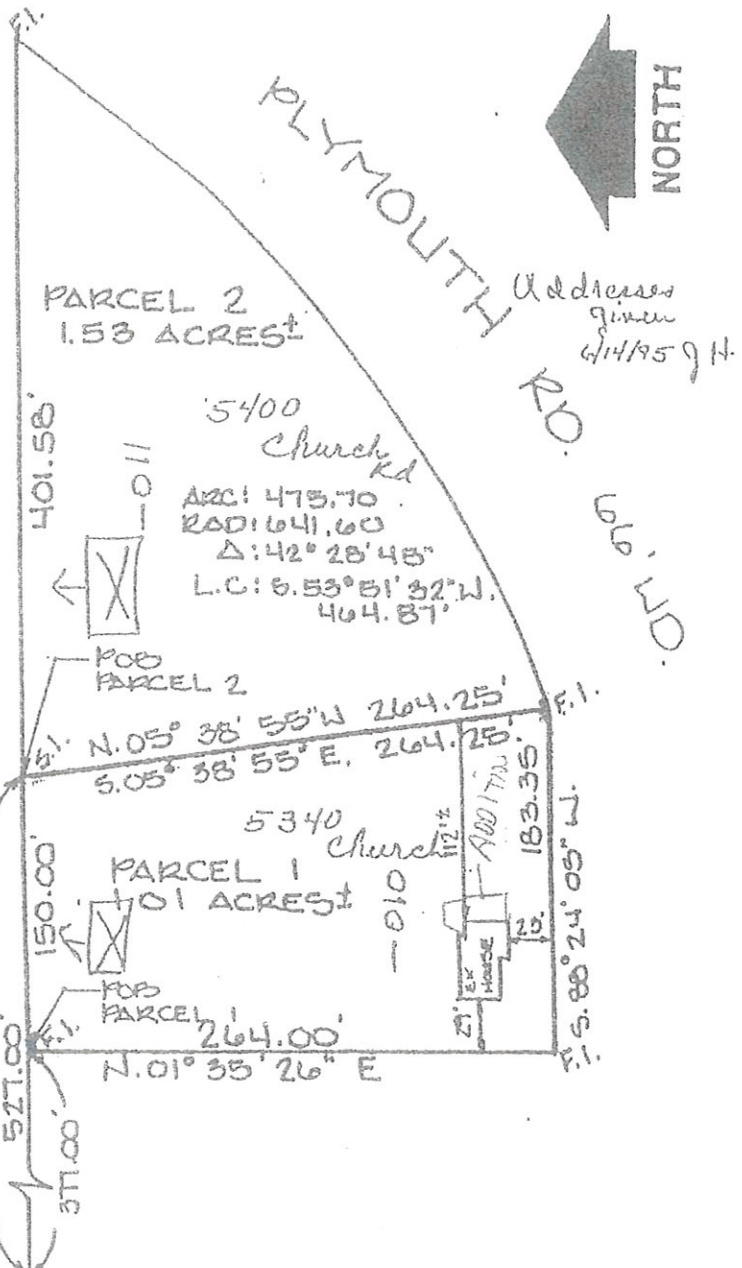
SUPERIOR
CHAIRMAN TOWNSHIP
ZONING COMPLIANCE

All setbacks are measured from
property line

(Sealing Provision)
Richard E. Ullrich
(Date) 4-12-95

CHURCH ST. 66' W.D.

J 10-18-1557(-001)



VILLAGE OF
DIXBORO PLAT
LOT 5

SURVEYOR'S CERTIFICATE
I hereby certify that I have surveyed and mapped the land above platted and/or described on 4/3/95 and that the ratio of closure on the unadjusted field observations of such survey was less than 1/5000 and that all requirements of P.A. 132 of 1970 have been complied with.

Greg L. Ash
GREG L. ASH, P.L.S. #28400

- LEGEND**
- R.: RECORD
 - M.: MEASURE
 - C.: CALCULATED
 - S.I.: SET IRON
 - F.I.: FOUND IRON
 - C.M.F.: CONCRETE MONUMENT FOUND



| | | | |
|-----------------|--------------------|---|---|
| GLA | SURVEYOR | 40560 E. ANN ARBOR RD. SUITE 101LL PLYMOUTH, MI 48170 | CLIENT: Mario Nardelli 8369 Plymouth Rd. Plymouth, MI 48170 |
| | | PHONE: (313) 418-8650 FAX: (313) 418-8657 | |
| DATE: 4/3/95 | JOB NO. 598-001 | SCALE: 1"=80' | <div style="display: flex; align-items: center; gap: 10px;"> 0 80 160 </div> |
| | | | SHEET 1 OF 2 |



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: October 15, 2021

**Preliminary Site Plan and Conditional Use Review
For
Superior Township, Michigan**

Applicant: Kristin and Mark Wilson
Project Name: Arbor Hills Animal Clinic
Location: 5347 Plymouth Road
Plan Date: September 17, 2021
Zoning: VC, Village Center District
Action Requested: Preliminary Site Plan and Conditional Use

PROJECT DESCRIPTION

The applicant has submitted a conditional use application for a proposed animal clinic at 5347 Plymouth Road. The applicant proposes to maintain and convert the existing structure to the animal clinic. The site is zoned VC, Village Center District. Animal Clinic is a Conditional Use in the VC District and subject to Section 5.110. The site is adjacent to the yoga practice center, and across Plymouth Road from the Boro Restaurant and the Landau Building. The building has been used as a single-family home, an in-home daycare facility, and a wedding venue.



According to the information provided by the applicant, Arbor Hills Animal Clinic has been in operation for more than 35 years. They serve both “companion” animals (cats and dogs), “small furry animals” (hamsters, gerbils, guinea pigs), and small farm animals (sheep, goats, and miniature horses). Hours of operation would be Monday through Friday from 9 a.m to 6 p.m, and Saturday from 8 a.m to 2 p.m. There is no boarding of overnight animals. The operation does not provide emergency hours.

MASTER PLAN

Master Plan

The site is located with the Village Center subarea of the Dixboro Master Plan:

Village Center – The area designated as the village center along Plymouth Road should be gradually converted to a mixed-use area, with a village scale and character. The village center should be limited to lots that front onto Plymouth Road. Uses permitted in the village center should be compatible with residential-type structures and a neighboring residential environment.

Uses such as tea and dining rooms, craft shops and studios, bed and breakfast inns, gift shops, antique shops, and small professional offices are considered appropriate in this area, provided maximum sizes are established to ensure a residential scale. Drive-through operations should not be permitted. Single-family dwellings should be permitted in the area.

Existing residential structures should be retained, but may be converted to the types of non-residential uses listed above. New buildings should be compatible in scale with the existing residential structures, and should have rooflines and architectural proportions and details that reflect existing houses. Exterior finish materials should be the same as commonly used on

single-family dwellings; commercial-appearing materials, such as metal or glass curtain walls and concrete blocks, should not be used in this area. Building height should be limited to two floors and 30 feet.

The setting for buildings should be spacious, with setbacks and spacing between buildings to reflect the existing residential situation along Plymouth Road, west of Church Street. Parking for non-residential uses should not be permitted in front of buildings, and parking lots should be small, so that they will not dominate the appearance and character of sites. Existing non-residential structures should be remodeled to meet these standards, to the extent feasible. Exterior lighting should be compatible with a residential atmosphere. Residential-type fixtures, not more than 20 feet high and down shielded, should be used.

-Page 9-8 and 9-9

As noted in the Master Plan, the Village Center subarea notes a goal to gradually convert to a mixed-use area. Existing residential structures should be retained but may be converted to the non-residential uses. Though animal clinic is not a listed use, it could be considered consistent with the listed use of a small professional office.

SITE IMPROVEMENTS

Site improvements associated with the conditional use include a 336 sq/ft building addition, parking lot expansion and paving, landscaping, internal sidewalk improvements, and site lighting.

Parking

The applicant is paving and expanding the parking lot, which will require stormwater management. By ordinance the applicant is required to provide 21 parking spaces. Applicant is providing 21 spaces, which includes one (1) accessible space. The space size and drive-aisles comply with ordinance requirements.

Landscaping

Applicant indicates landscaping along the rear exterior of parking lot, interior parking lot, and screening of parking from Plymouth Road. However, the applicant did not provide landscaping details such as species and size. The applicant should provide a detailed landscape plan indication size and species.

At the public hearing, there was comments with regards to the need for additional screening in the rear of the site. The applicant noted a dense existing screening, however it was noted that during the winter the screening was not sufficient. The applicant has indicated lighting of the site; however has not provided a lighting plan. Because the applicant is lighting the site and adding an exterior trash enclosure, we recommend additional landscape screening in the rear of the site.



View of the rear of the site from Church Road

The applicant has provided a masonry trash enclosure. Additional rear yard screening will assist in screen the trash enclosure.

Internal sidewalk improvements

The applicant will improve the existing brick sidewalk with concrete that runs from the parking lot to the side and front of the building.

Lighting

The applicant indicated in their narrative that they will provide site lighting. However, they have not provided a photometric plan. The applicant should submit a photometric plan in compliance with Section 14.11.

Access

Site access will be determined and authorized by the Washtenaw County Road Commission. There is no access off Church Road.

Items to be addressed: 1). Provide a detailed landscape plan indicating size and species; 2) provide additional landscape screening at the rear of the site; and 3). Provide lighting plan in compliance with Section 14.11.

SECTION 5.110

Veterinary Clinics and Hospitals are subject to the following regulations:

1. *All activities shall be conducted within a completely enclosed building, except that an outdoor exercise area shall be permitted, subject to the following:*
 - a. *Such areas shall be enclosed by a six (6) foot high safety fence.*
 - b. *Such exercise areas shall not be located in any required yard setback areas, and shall be set back a minimum of 50 feet from road rights-of-way, side and rear lot boundaries, and any watercourse.*
 - c. *Such areas shall be screened in accordance with Section 14.10D (Methods of Screening).*

CWA Comment: All activities will be conducted within the completely enclosed building. There is no outdoor dog run as a condition of approval.

2. *The facility shall be so constructed and maintained that odors, dust, noise, exterior lighting, and drainage shall not constitute a nuisance or hazard to adjoining lots and uses.*

CWA Comment: All activities will be conducted within the completely enclosed building. In addition, the applicant shall comply with all Township requirements including lighting, landscaping, and engineering, and all County requirements including access and stormwater management.

3. *Keeping of animals for overnight care shall be limited to the interior of the principal building. Treatment of non-domesticated animals shall be permitted.*

CWA Comment: The applicant is not overnight boarding of animals as a condition of approval.

4. *Operation shall include proper control of animal waste, odor, and noise.*

CWA Comment: All activities will be conducted within the completely enclosed building.

5. *A site plan, drawn to scale, showing all intended site uses, shall be submitted for review and approval per Article 10.0 (Site Plan Review).*

CWA Comment: A site plan has been submitted.

CONDITIONAL USE STANDARDS

Conditional use standards are set forth in Section 11.05.

No Conditional Use Permit shall be granted unless the Planning Commission makes affirmative findings of fact and records adequate data, information, and evidence showing that:

- a. The proposed use will be harmonious, and in accordance with the objectives, intent, and purposes of this Ordinance;*
- b. The proposed use will be compatible with the natural environment and existing and future land uses in the vicinity;*
- c. The proposed use will be compatible with the Growth Management Plan;*
- d. The proposed use will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for any such services;*
- e. The proposed use will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare;*
- f. The proposed use will not create additional requirements at public cost for public facilities and services that will be detrimental to the economic welfare of the community.*

We find that the required standards have been met:

1. The applicant is repurposing an existing building for a use recognized in the Master Plan.
2. The repurposing of the existing building is consistent with the growth management plan.
3. The Village Center subarea notes a goal to gradually convert to a mixed-use area. Existing residential structures should be retained but may be converted to the non-residential uses. Though animal clinic is not a listed use, it could be considered consistent with the listed use of a small professional office.
4. Provided the applicant meet the noted conditions of increased landscaping and providing a lighting plan in compliance with ordinance requirements, the use shall have no impact upon adjacent properties.
5. The use will not create additional requirements at public cost for public facilities and services that will be detrimental to the economic welfare of the community.
6. The conditional use process permits the Township to put reasonable conditions upon the application including no outdoor dog run, no overnight boarding of animals, no onsite cremation, and no farm animals, that ensures protection to adjacent properties.

OUTSIDE AGENCY REVIEWS

Prior to issuance of the final site plan approval, the applicant shall obtain the required permits from the Washtenaw County Road Commission and Washtenaw County Water Resource Commission.

RECOMMENDATION

We recommend preliminary site plan approval with the following conditions:

1. Provide landscaping plan.
2. Provide additional landscape screening at the rear of the site.
3. Provide lighting plan in compliance with Section 14.11.
4. Obtain outside agency approvals.
5. Address any outstanding comments from Township Engineer.

We recommend conditional use approval with the following use conditions:

1. There shall be no overnight boarding or emergency hours.
2. There shall be no outdoor dog run.
3. No onsite cremation.
4. No farm animals or outdoor care of animals.

I look forward to meeting with the Planning Commission to discuss my memo.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, AICP, LEED AP
Principal

cc: Ken Schwartz, Township Supervisor
Lynette Findley, Township Clerk
Richard Mayernik, CBO, Building Department
Laura Bennett, Planning Coordinator
George Tsakoff, Township engineer



October 15, 2021

CHARTER TOWNSHIP OF SUPERIOR

3040 N. Prospect Road
Ypsilanti, MI 48198

Attention: **Lynette Findley, Township Clerk**

Regarding: **Arbor Hills Animal Clinic
Preliminary Site Plan - Review No. 1
OHM Job No. 0140-21-0100**

Dear Ms. Findley,

On behalf of the Township, we have reviewed the Preliminary Site Plan submittal for the above referenced project, as submitted to the Township on September 30, 2021. We offer the following comments for consideration, which can be addressed in the future by the Applicant as part of a Final Site Plan submittal.

Utilities, Stormwater Management and Grading

1. Proposed grading has been provided on the current site plan and appears to be feasible based on existing conditions and parking lot modifications. Further grading review will take place prior to engineering plan approval in near future.
2. The future Final Site Plan should include stormwater management facilities and calculations as required by the Washtenaw County Water Resources Commissioner's Office (WCWRC). The applicant should submit plans to WCWRC as soon as possible for review.
3. The future Final Site Plan should include soil erosion and sedimentation control (SESC) measures as required by WCWRC Standards. The applicant should submit plans to WCWRC SESC Division as soon as possible for review and permit.

Permits and Other Agency Approvals

4. Approval and permit from the Washtenaw County Road Commission (WCRC) is required for the paving of the access drive at Plymouth Road within the public ROW.
5. Approval from the Washtenaw County Health Department (WCHD) for use of the on-site well and septic systems for this proposed site development/use may be necessary. Documentation from WCHD should be provided by the applicant during final site plan stage.
6. Stormwater review and approval from the WCWRC is required for the new impervious surface area resulting from the paving of the parking lot.
7. Review and determination from the WCWRC regarding soil erosion controls and whether a Commercial Waiver can be granted for this site, or if a Soil Erosion & Sedimentation Control permit will be required.
8. Approval from Township Building Department and Fire Department is required.

Conclusion

From a site engineering perspective, we take no exception to approval of the site for conditional use or preliminary site plan stages. It is our opinion that further outside agency permitting progress is necessary prior to final site plan approval in the future. Therefore, in our opinion this submittal is ready for action by the Planning Commission at their October meeting regarding conditional use and preliminary site plan.



If you have any questions regarding our review, please do not hesitate to contact me at (734) 466-4439, or Cresson Slotten at (734) 466-4585.

Sincerely,
OHM Advisors

George Tsakoff, PE
Principal

cc: Ken Schwartz, Township Supervisor (via e-mail)
Richard Mayernik, CBO, Building Department (via e-mail)
Laura Bennett, Planning Coordinator (via e-mail)
Ben Carlisle, CWA, Twp Planner (via email)
Cresson Slotten, OHM
file

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CHARTER TOWNSHIP OF SUPERIOR WASHTENAW COUNTY, MICHIGAN

MEMORANDUM

TO: Superior Charter Township
FROM: Tom Freeman, Chair
Dixboro Design Review Board
DATE: October 12, 2021
RE: 5347 Plymouth Road

At its meeting of October 7, 2021, the Dixboro Design Review Board reviewed a proposal for renovation of a structure located at 5347 Plymouth Road. This review was performed in compliance with the Township requirements within the VC, Village Center Zoning District.

The proposed project involves renovation of a building for use as an animal clinic. The building was originally a residence. In support of the presentation, plans prepared by Stonefield engineering & design illustrating the proposed renovation of the structure, along with a full site plan, were provided.

A description of the project was provided by Mark Wilson, Business Manager of Arbor Hills Animal Clinic. Of particular note:

- Applicant is purchasing the building located at 5347 Plymouth Road which formerly housed an event center.
- The building interior will be extensively renovated for use as an animal clinic.
- An addition will be constructed, connecting the main building with an existing accessory structure.
- The exterior of the building will also be renovated resulting in a refurbished appearance.

Based upon its review of the proposed project, the Design Review Board offers the following comments:

1. The proposed project will benefit the community through renovation and retention of an existing structure that contributes to the historical character of the local community.
2. The proposed renovation will maintain the existing color scheme of the existing building, utilizing white paint for the exterior walls and dark shingles for the roof.
3. The existing horizontal siding will be retained, with repairs made as necessary and matching siding utilized for the new construction.
4. The proposed project includes development of a new business sign, identifying the use of the property. This new sign should be constructed in the same general design as other business signs used on nearby properties. A good example is the sign utilized by RFC Financial, located at 5263 Plymouth Road.
5. The project should use native plant materials for landscaping of the site.

Based upon review of the project, the Dixboro Design Review Board found the proposed renovation to be compatible with the characteristics common to the Village and believes it will make a positive contribution to the local community. The building will help to promote a "village character" and it is both acceptable and appropriate for the Village.

Please feel free to contact me if you have any questions.

cc: Applicants
Design Review Board members
File

Superior Township Fire Department
Bureau of Fire Prevention
7999 Ford Road
Ypsilanti, MI 48198

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Site Plan Review Report
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Date: 20 Oct. 2021
Business Name: Arbor Hills Animal Clinic
Business Address: 5347 Plymouth Rd., Ann Arbor, MI 48105
Contractor: Stonefield Engineering
607 Shelby, Suite 200, Detroit, MI 48226 Tel: 248-247-1115
Applicable Codes: IFC 2015
Reviewed By: Victor G. Chevrette, Fire Chief
Plans Dated: 9-29-2021
Job No: DET-210369

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Review Comments and Requirements
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1. IFC 2015, chapter 5, section 506.1, Key box (KNOX) shall be installed.
2. IFC 2015, Interior Finish, all interior finishes shall apply according to code.
3. IFC 2015, chapter 9, section 906. If extinguishers shall be installed according to code.
4. IFC 2015, chapter 11 Existing Buildings, section 1104.3 and 1104.10 shall be complied according Code.
5. IFC 2015, chapter 10, section 1008, means of egress illumination shall apply according to code.

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Status of Plans:
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- () Approved as submitted – pending field inspection and final testing
- (x) Approved conditionally – see remarks
- () Denied – see remarks

Remarks: See review comments and also HVAC systems not shown on plans. Business Group B.

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Respectfully Submitted,



Victor G. Chevrette, Fire Chief
Superior Township Fire Department

One (1) set of these plans will be retained by the Fire Department, one (1) set forwarded to the mechanical inspector, three (3) sets are available for pickup with the permit.