

# HYUNDAI AMERICA TECHNICAL CENTER, INC.

## HATCI – EMPLOYEE PARKING

### SITE PLAN REVISION

## SUPERIOR TOWNSHIP, MICHIGAN

#### ABBREVIATIONS

|          |  |   |
|----------|--|---|
| <b>A</b> | AFF.<br>AC.<br>A/C<br>ASPH.  | ABOVE FINISH FLOOR<br>ACRE<br>AIR CONDITION<br>ASPHALT  |
| <b>B</b> | BFF.<br>BIT.<br>BLDG.  | BELOW FINISH FLOOR<br>BITUMINOUS<br>BUILDING  |
| <b>C</b> | CB<br>C.O.<br>CONC.<br>CMU<br>C.J.   | CATCH BASIN<br>CLEAN OUT<br>CONCRETE<br>CONCRETE MASONRY UNIT<br>CONTROL JOINT  |
| <b>D</b> | DIA.<br>DIM.<br>DUG.<br>D.I.   | DIAMETER<br>DIMENSION<br>DRAWING<br>DUCTILE IRON  |
| <b>E</b> | EA.<br>ELEC.<br>EL. / ELEV.<br>EQ.<br>EXIST. / EX.<br>EXP.<br>E.J.<br>EXT.<br>EIFS | EACH<br>ELECTRIC<br>ELEVATION<br>EQUAL<br>EXISTING<br>EXPANSION<br>EXPANSION JOINT<br>EXTERIOR<br>EXTERIOR INSULATION FINISH SYSTEM |
| <b>F</b> | FT.<br>FF.<br>FH.<br>FIXT.<br>FLR.<br>F.A.R.                                       | FEET<br>FINISH FLOOR<br>FIRE HYDRANT<br>FIXTURE<br>FLOOR<br>FLOOR/AREA RATIO  |
| <b>G</b> | GA.<br>GALV.   | GAUGE<br>GALVANIZED   |
| <b>H</b> | HT.<br>H.P.<br>HM.<br>HORIZ.   | HEIGHT<br>HIGH POINT<br>HOLLOW METAL<br>HORIZONTAL  |
| <b>I</b> | INCL.<br>ID.<br>INT.<br>INV.   | INCLUDING<br>INSIDE DIAMETER<br>INTERIOR<br>INVERT  |
| <b>J</b> | JT.  | JOINT   |
| <b>L</b> | LL.<br>LLH.<br>LLV.<br>L.P.  | LIVE LOAD<br>LONG LEG HORIZONTAL<br>LONG LEG VERTICAL<br>LOW POINT  |
| <b>M</b> | MFR.<br>MH.<br>M.O.<br>MAX.<br>MIL.<br>MIN.<br>MTD                                 | MANUFACTURER<br>MANHOLE<br>MASONRY OPENING<br>MAXIMUM<br>MILLIMETER<br>MINIMUM<br>MOUNTED   |
| <b>N</b> | NOM.<br>NO.  | NOMINAL<br>NUMBER   |
| <b>O</b> | O.C.<br>O.D.<br>O.H.<br>OE<br>OTE  | ON CENTER<br>OUTSIDE DIAMETER<br>OVERHEAD<br>OVERHEAD ELECTRIC<br>OVERHEAD TELEPHONE & ELECTRIC                                     |
| <b>P</b> | PTD.<br>PSF<br>PSI<br>PEMB<br>PREFAB.  | PAINTED<br>POUNDS PER SQUARE FOOT<br>POUNDS PER SQUARE INCH<br>PRE-ENGINEERED METAL BUILDING<br>PREFABRICATED                       |
| <b>R</b> | RAD.<br>REINF.<br>REV.<br>ROW<br>RTU<br>RM.  | RADIUS<br>REINFORCING<br>REVISED<br>RIGHT OF WAY<br>ROOF TOP UNIT<br>ROOM   |
| <b>S</b> | SAN.<br>SCHED./SCH.<br>S.H.<br>S.P.A.<br>SQ. FT. / SF.<br>STD.<br>ST. MH           | SANITARY<br>SCHEDULE<br>SIMILAR<br>SITE PLAN APPROVAL<br>SQUARE FEET<br>STANDARD<br>STORM MANHOLE                                   |
| <b>T</b> | TV#<br>THK.<br>T/C<br>T/P<br>T/W<br>TYP.   | TAPPING VALVE & SLEEVE<br>THICK<br>TOP OF CURB<br>TOP OF PAVEMENT<br>TOP OF WALL<br>TYPICAL   |
| <b>U</b> | UE<br>UTE<br>UNO.<br>UP.   | UNDERGROUND ELECTRICAL<br>UNDERGROUND TELEPHONE & ELECTRICAL<br>UNLESS NOTED OTHERWISE<br>UTILITY POLE                              |
| <b>V</b> | VERT.  | VERTICAL  |
| <b>W</b> | W/<br>WO   | WITH<br>WITHOUT   |

#### GENERAL INFORMATION

**PROJECT ENGINEER / CONTRACTOR:** Vanston/O'Brien, Inc.  
8150 Jackson Road, Ste. A  
Ann Arbor, Michigan 48103  
Ph: (734) 424-0661  
Fax: (734) 424-0677

**OWNER / AFFILIANT:** HYUNDAI AMERICA TECHNICAL CENTER, INC.  
6800 Geddes Road  
Superior Township, Michigan 48198

#### LEGAL DESCRIPTION

**PARCEL I (J-10-32-100-003):**  
BEGINNING at the Northeast Corner of Section 32, T2S, R7E, Superior Township, Washtenaw County, Michigan; thence S02°12'36"E 2178.18 feet along the East line of said Section and the centerline of LeForge Road; thence S87°03'35"W 1200.10 feet; thence N02°12'36"W 2178.18 feet to a point on the North line of said Section and the centerline of Geddes Road; thence N87°03'35"W 1200.10 feet along said North line and said centerline to the Point of Beginning. Being a part of the East ½ of the Northeast ¼ of Section 32, T2S, R7E, Superior Township, Washtenaw County, Michigan and containing 60.00 acres of land, more or less. Being subject to the rights of the public over Westerly 33 feet of LeForge Road and the Southerly 33 feet of Geddes Road. Also being subject to easements and restriction of record, if any.

**PARCEL II-A (J-10-32-100-007):**  
Commencing at the Northeast Corner of Section 32, T2S, R7E, Superior Township, Washtenaw County, Michigan; thence S02°12'36"E 2178.18 feet along the East line of said Section and the centerline of LeForge Road to the POINT OF BEGINNING; thence continuing S02°12'36"E 377.59 feet along said East line and said centerline; thence S87°33'10"W 1803.00 feet; thence S02°12'36"E 100.00 feet to a point on the East and West ¼ line of said Section; thence S87°33'10"W 504.33 feet along said East and West ¼ line to a point on the West line of the East ½ of the West ½ of the Northeast ¼ of said Section; thence N02°00'37"W 2636.05 feet along said West line to a point on the North line of said Section and the centerline of Geddes Road; thence N87°03'35"E 1098.21 feet along said North line and said centerline; thence S02°12'36"E 2178.18 feet; thence N87°03'35"E 1200.10 feet to the Point of Beginning. Being a part of the East ½ of the Northeast ¼ and a part of the East ½ of the West ½ of the Northeast ¼ of Section 32, T2S, R7E, Superior Township, Washtenaw County, Michigan and containing 75.73 acres of land, more or less. Being subject to the rights of the public over Westerly 33 feet of LeForge Road and the Southerly 33 feet of Geddes Road. Also being subject to easements and restriction of record, if any.



#### GENERAL NOTES:

- All site work shall meet all applicable codes, laws and regulations and Michigan Barrier-Free Design Requirements and ADA Accessibility Guidelines (ADAAG).
- Verify existing conditions on site. Notify engineer of discrepancies prior to proceeding with construction.
- All sidewalks and barrier free parking spaces shall conform to ADA current standards for construction.
- No natural features including trees or wetlands will be impacted by the proposed project.
- Construction shall comply with all current applicable township zoning and engineering standards.

#### SITE INFORMATION

**PROJECT DESCRIPTION:** 50 NEW EMPLOYEE PARKING SPACE LOT

**WETLANDS:** THERE SHALL BE NO DISTURBANCE OF WETLAND AREAS ON SITE INCLUDING A 25' BUFFER

|                          |           |                           |
|--------------------------|-----------|---------------------------|
| <b>GROSS PARCEL AREA</b> | PARCEL I  | 60.00 AC. (2,613,812 SF)  |
|                          | PARCEL II | 15.13 AC. (3,298,199 SF)  |
|                          | TOTAL     | 135.13 AC. (5,912,011 SF) |

|                        |                    |                           |
|------------------------|--------------------|---------------------------|
| <b>NET PARCEL AREA</b> | ROW (BOTH PARCELS) | 6.59 AC. (287,146 SF)     |
|                        | TOTAL NET          | 129.14 AC. (5,625,465 SF) |

**ZONING:** PM - PLANNED MANUFACTURING  
**LOT STANDARDS:** MIN. WIDTH - 150 FEET  
MIN. AREA - 2.0 ACRES  
MAX. BUILDING HEIGHT - 35' (3 STORIES)  
FRONT SETBACK - 100 FT (GEDDES RD)  
SIDE SETBACK - 50 FT (EAST & WEST P/LINE)  
REAR SETBACK - 35 FT (SOUTH P/LINE)

**EXISTING BUILDING AREA:** BUILDING AREA - 151,708 SF  
FLOOR AREA - 203,278 SF

**PAVED AREA:** EXISTING PAVING - 338,245 SF  
PROPOSED PAVING - 17,500 SF

**MAX. LOT COVERAGE - 20%:** 151,708 / 5,625,465 = 2.8%  
**FLOOR AREA RATIO - 40%:** 203,278 / 5,625,465 = 3.6%  
**TOTAL DEVELOPED AREA - 50%:** 513,493 / 5,625,465 = 9.1%

**REQUIRED PARKING:** 5 SPACES PLUS 1 SPACE PER EMPLOYEE = 5 + 318 = 323 SPACES (INCL. 1 ADA SPACES)

**PROVIDED PARKING:** EX. EMPLOYEE PARKING (INCL. 12 ADA SPACES) = 251 SPACES  
PR. EMPLOYEE PARKING = 50 SPACES  
VISITOR PARKING (INCL. 3 ADA SPACES) = 25 SPACES  
TOTAL PARKING (INCL. 15 ADA SPACES) = 326 SPACES

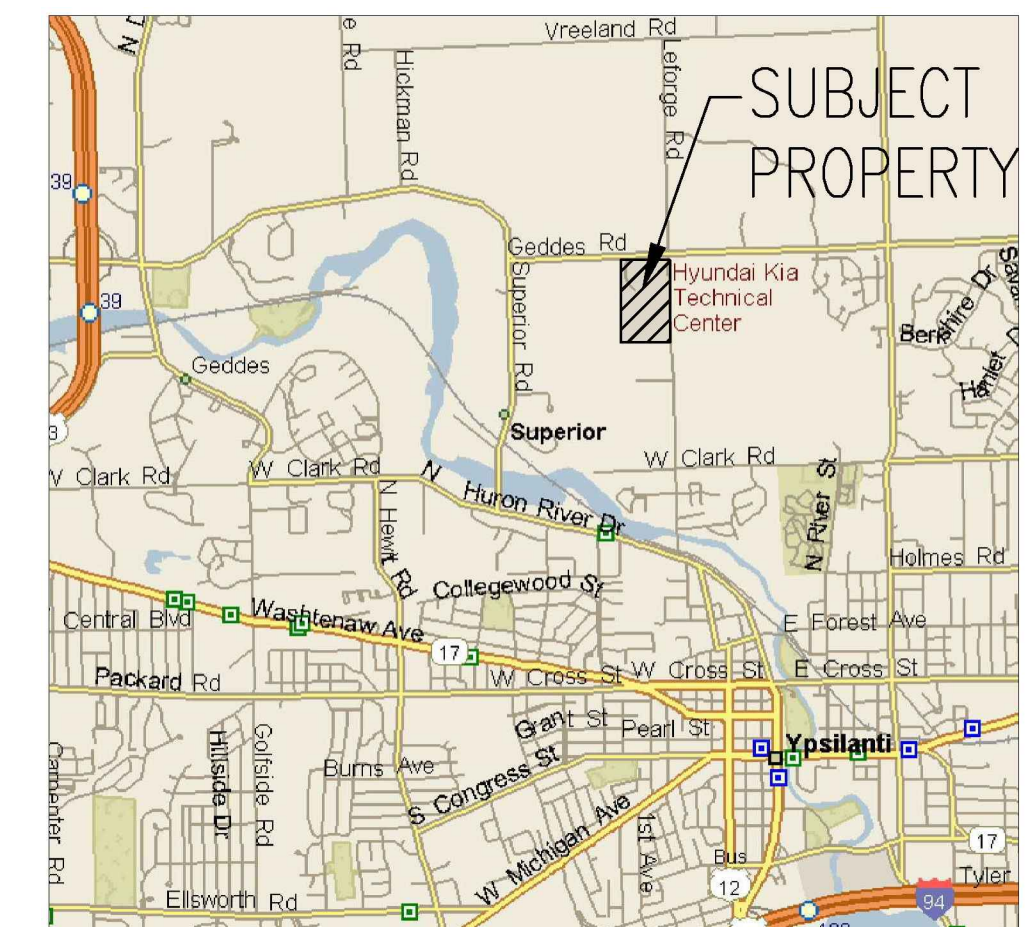
SECURED STORAGE OF TEST VEHICLES NOT INCLUDED IN PARKING CALCULATIONS

#### BENCHMARKS:

BENCHMARK 300 ARROW ON HYDRANT NE OF BUILDING NEAR EMPLOYEE PARKING  
NAVD88 ELEV. 800.07  
BENCHMARK 301 TOP SE BOLT AT E. END OF WALL OF SE LOADING DOCK  
NAVD88 ELEV. 799.13

#### SOILS DATA:

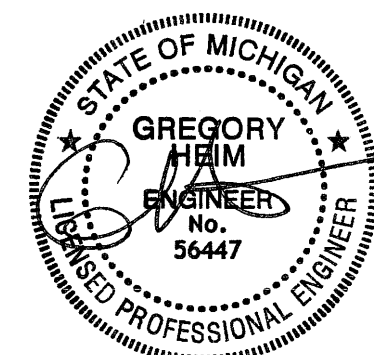
FoB FOX SANDY LOAM, 2 TO 6 PERCENT SLOPES  
Ho HOYTVILLE SILTY CLAY LOAM  
K6B KENDALLVILLE LOAM, 2 TO 6 PERCENT SLOPES  
N6B NAPPANEE SILTY CLAY LOAM, 2 TO 6 PERCENT SLOPES  
S1B ST. CLAIR CLAY LOAM, 2 TO 6 PERCENT SLOPES  
S1C ST. CLAIR CLAY LOAM, 6 TO 12 PERCENT SLOPES



VICINITY MAP  
NO SCALE

#### DRAWING INDEX:

- C-1 TITLE SHEET
- C-2 AREA PLAN
- C-3 SITE PLAN
- C-4 GRADING PLAN
- C-5 SOIL EROSION PLAN
- C-6 LIGHTING PLAN
- C-7 LANDSCAPE PLAN



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 6800 Geddes Road  
 Superior Township, Michigan

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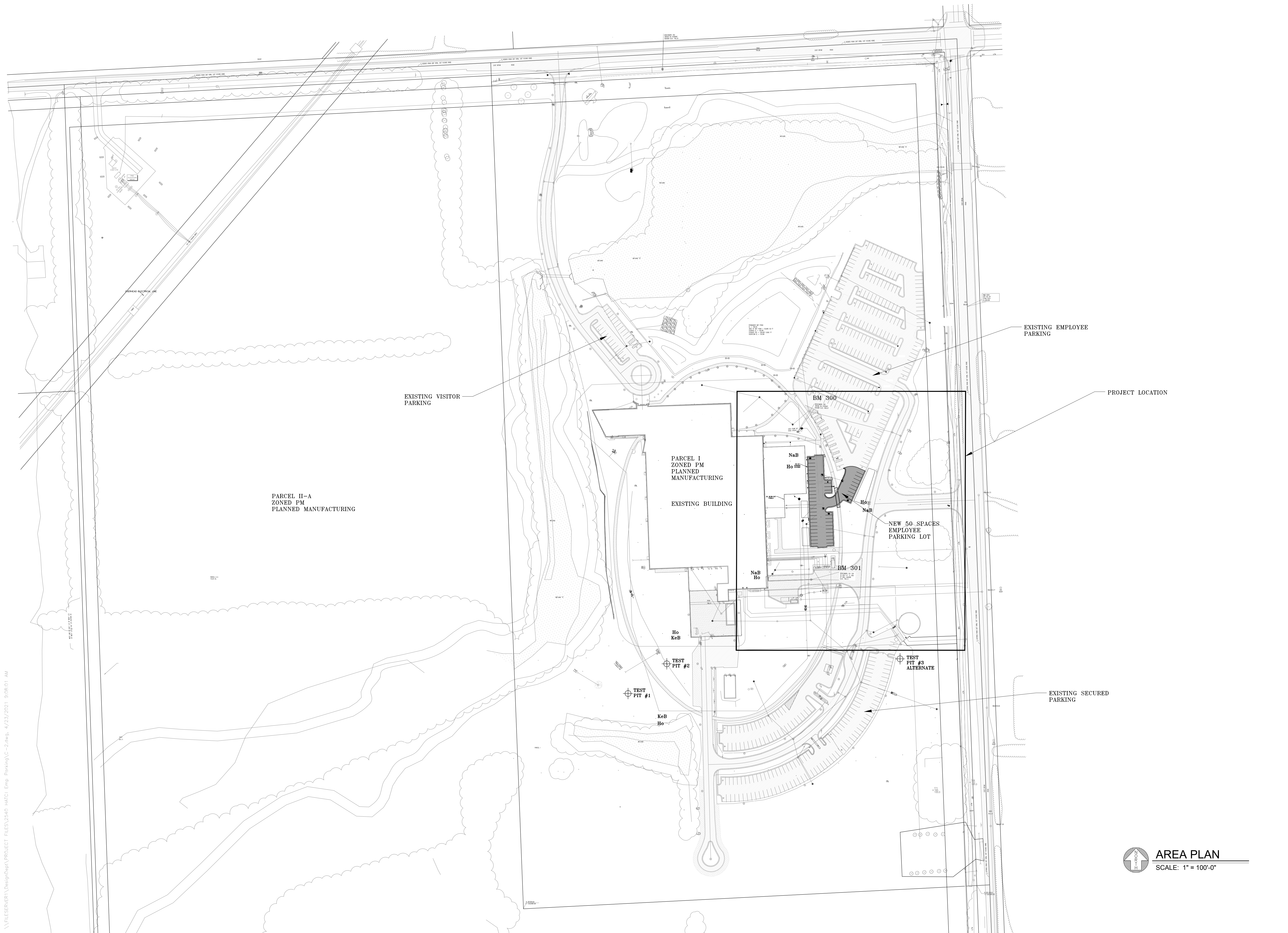
|                    |              |
|--------------------|--------------|
| <b>ISSUED FOR:</b> | <b>DATE:</b> |
| PROPOSAL           | 12-15-17     |
| REVISED            | 2-20-18      |
| REVISED            | 4-16-18      |
| SITE PLAN          | 2-5-21       |
| SITE PLAN          | 4-22-21      |

**DRAWN BY:** GAH/RS  
**JOB NO.:** --

**TITLE SHEET**  
SHEET NO.

**C-1**

**DESIGNERS**  
**Vanston/O'Brien, Inc.**  
**BUILDERS**  
 8150 Jackson Road Ste. A  
 Ann Arbor, MI 48103  
 Tel: (734) 424-0661  
 Fax: (734) 424-0677  
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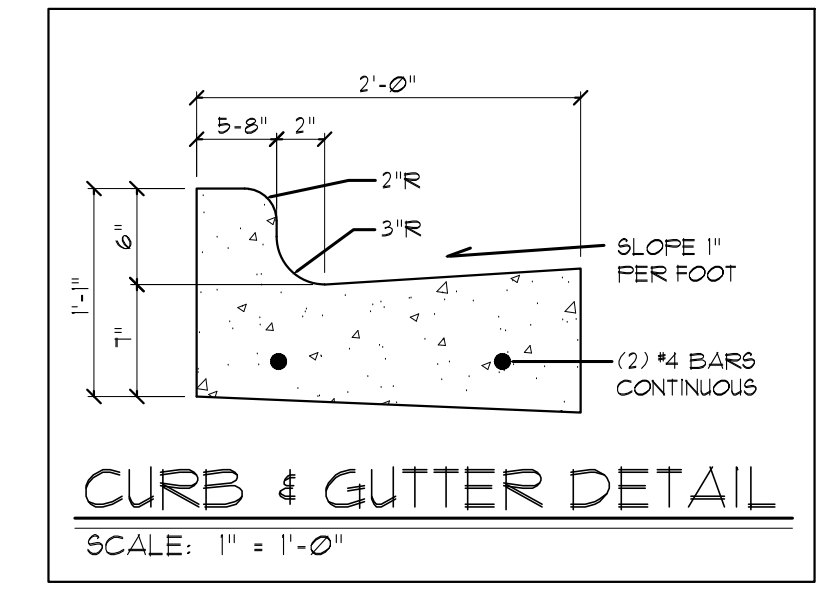
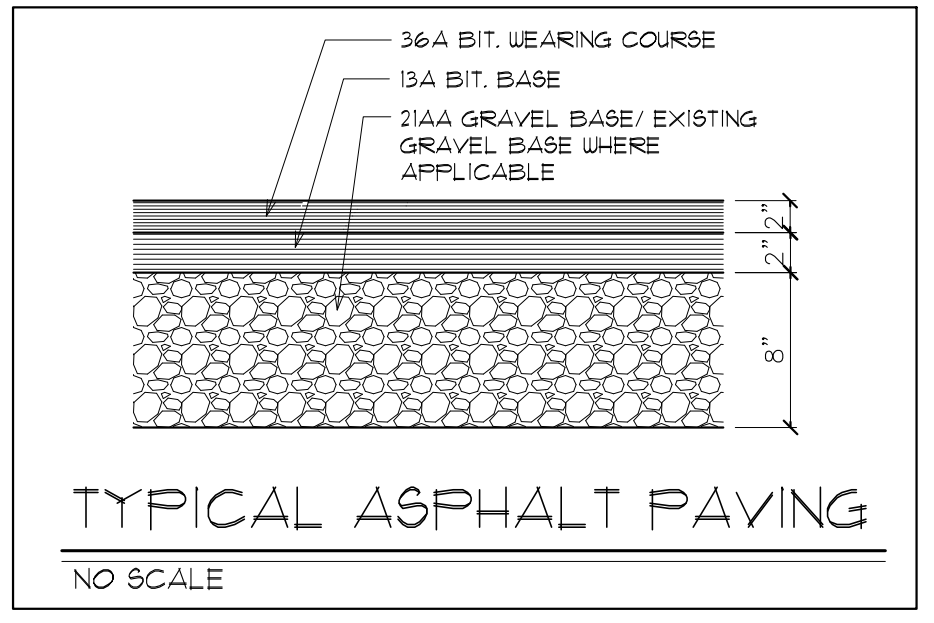
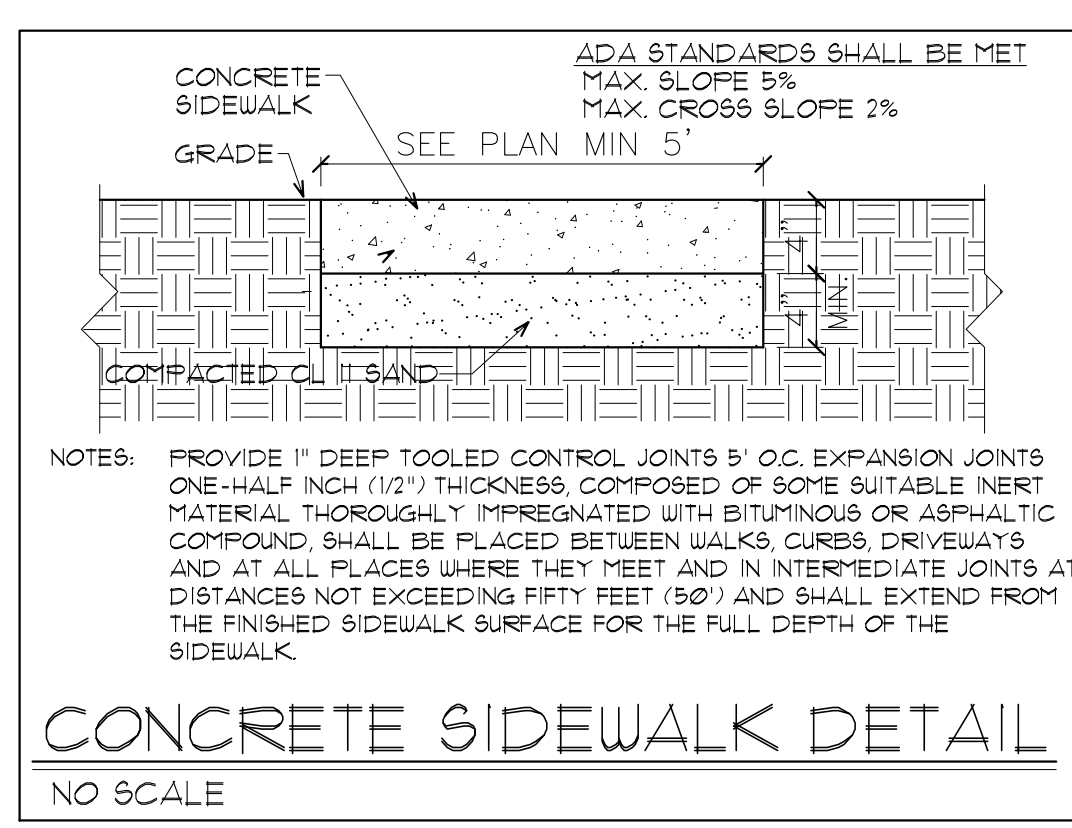
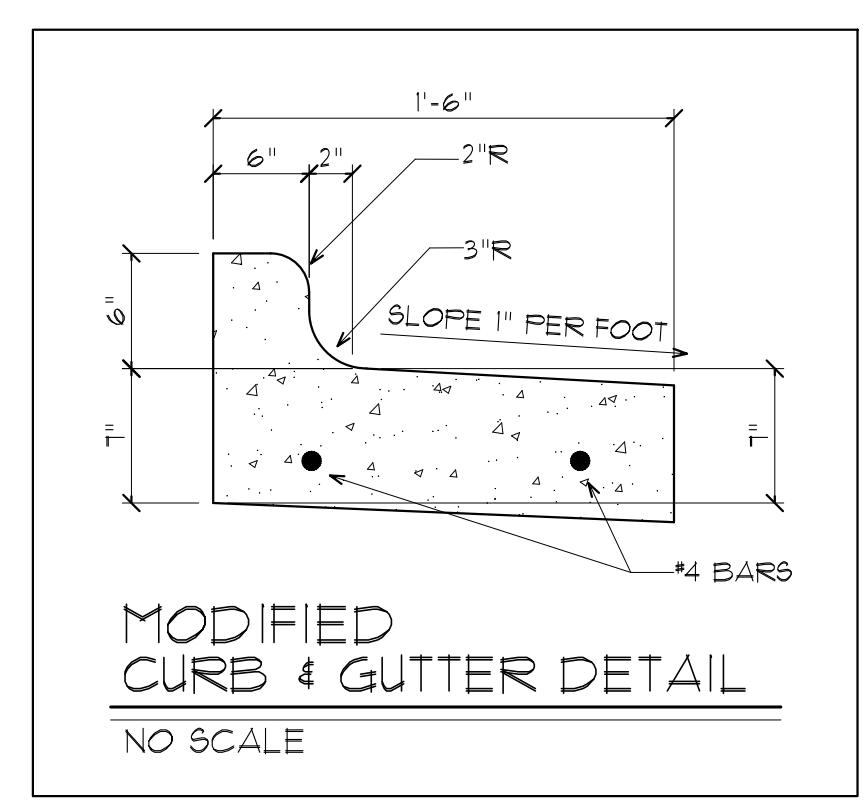
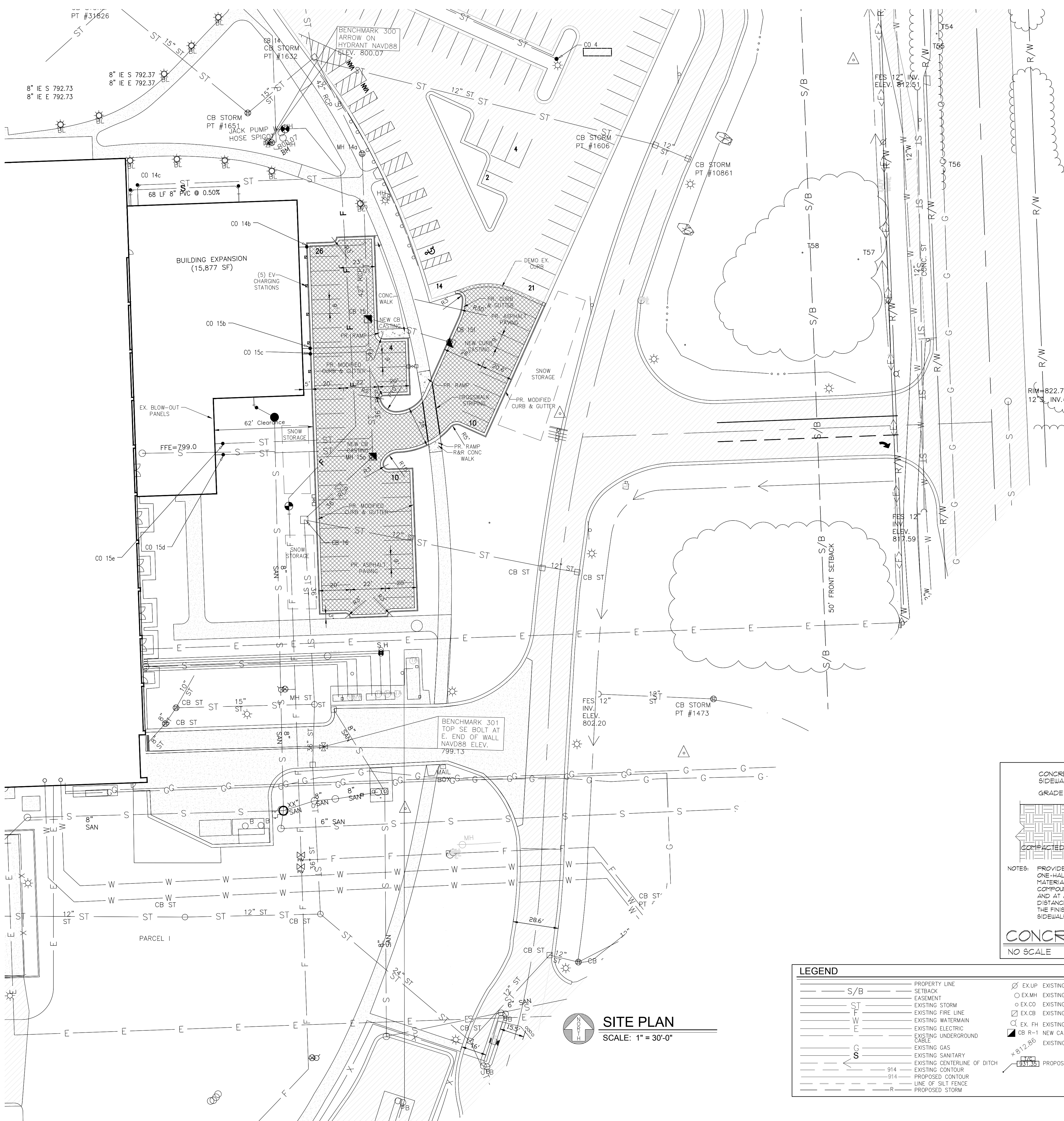
DRAWN BY: GAH  
JOB NO.: ---

**AREA PLAN**  
SHEET NO.

**C-2**

**AREA PLAN**  
SCALE: 1" = 100'-0"

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**LEGEND**

|         |                              |          |                       |   |                                       |
|---------|------------------------------|----------|-----------------------|---|---------------------------------------|
| — S/B — | PROPERTY LINE                | ⊗ EX. UP | EXISTING UTILITY POLE | ▨ | EXISTING BUILDING                     |
| — ST —  | SETBACK                      | ○ EX. MH | EXISTING MANHOLE      | ▨ | EXISTING GRAVEL SURFACE               |
| — E —   | EASEMENT                     | ○ EX. CO | EXISTING CLEAN OUT    | ▨ | EXISTING ASPHALT PAVING               |
| — ST —  | EXISTING STORM               | ⊗ EX. CB | EXISTING CATCH BASIN  | ▨ | EXISTING ASPHALT PAVING TO BE REMOVED |
| — F —   | EXISTING FIRE LINE           | ⊗ EX. FH | EXISTING FIRE HYDRANT | ▨ | PROPOSED ASPHALT PAVING               |
| — W —   | EXISTING WATERMAIN           | ▣ CB R-1 | NEW CATCH BASIN       |   |                                       |
| — E —   | EXISTING ELECTRIC            | —        | EXISTING ELEVATION    |   |                                       |
| — F —   | EXISTING UNDERGROUND CABLE   | —        | PROPOSED ELEVATION    |   |                                       |
| — G —   | EXISTING GAS                 |          |                       |   |                                       |
| — S —   | EXISTING SANITARY            |          |                       |   |                                       |
| —       | EXISTING CENTERLINE OF DITCH |          |                       |   |                                       |
| — 914 — | EXISTING CONTOUR             |          |                       |   |                                       |
| — 914 — | PROPOSED CONTOUR             |          |                       |   |                                       |
| —       | LINE OF SILT FENCE           |          |                       |   |                                       |
| — R —   | PROPOSED STORM               |          |                       |   |                                       |

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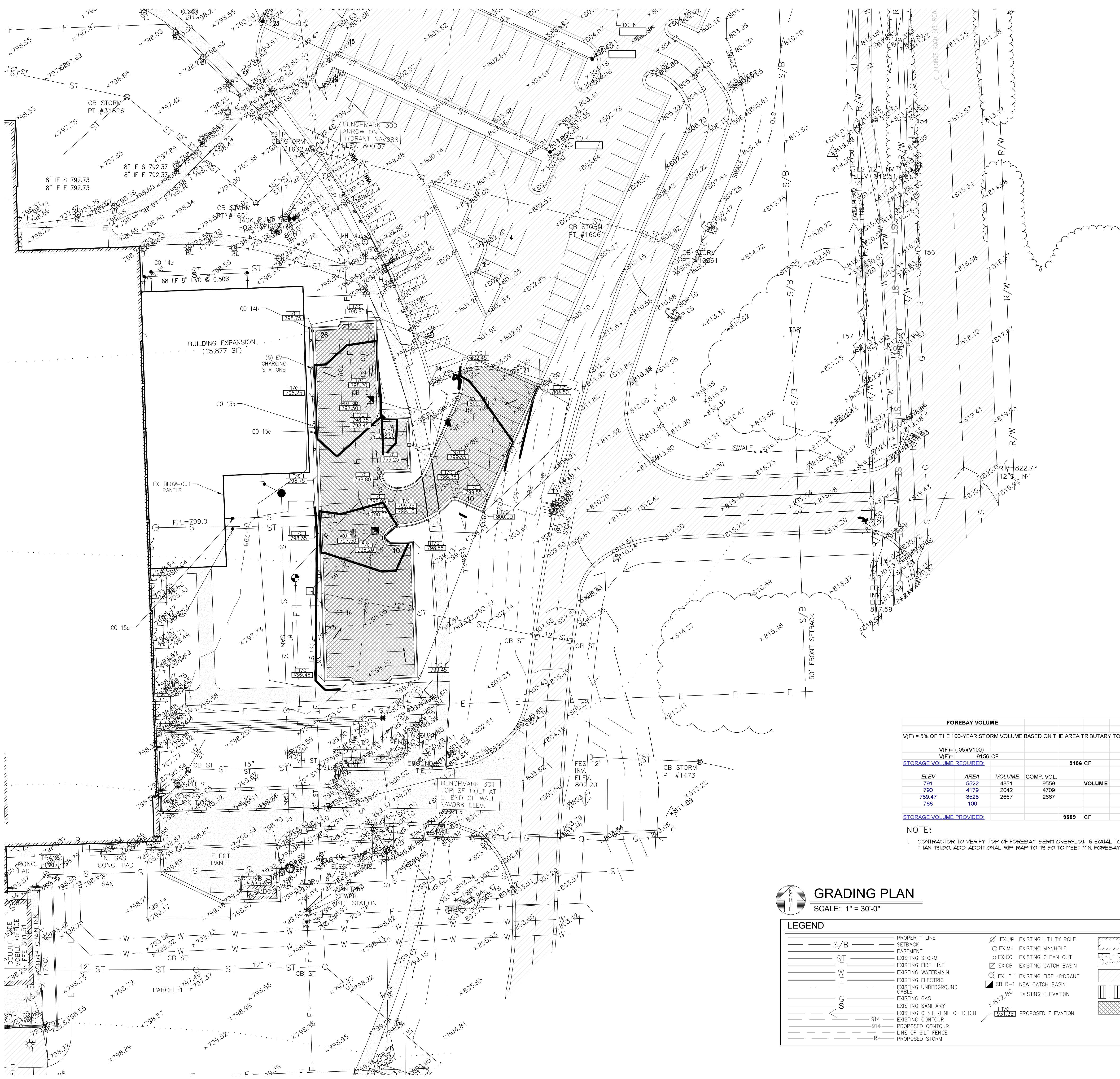
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| SITE PLAN   | 2-5-21   |
| SITE PLAN   | 4-22-21  |

DRAWN BY: GAH/RS  
JOB NO.: ---

**SITE PLAN**  
SHEET NO.  
**C-3**



**DESIGN DRAINAGE AREA CALCULATIONS**

| Pre-Development  | Cover Type | Soil Type | AREA (ft <sup>2</sup> ) | AREA (ac) | C Value     | CN | CN/A |
|------------------|------------|-----------|-------------------------|-----------|-------------|----|------|
| NR               | Meadow     | D         | 6438                    | 0.148     | 0.45        | 78 | 12   |
| HR               | Meadow     | DC        | 17012                   | 0.391     | 0.45        | 78 | 30   |
| TOTAL            |            |           | 23450                   | 0.538     | Weighted CN | 78 | 42   |
| Post-Development | Cover Type | Soil Type | AREA (ft <sup>2</sup> ) | AREA (ac) | C Value     | CN | CN/A |
| Impervious       | Pavement   | D         | 18238                   | 0.418     | 0.95        | 98 | 41   |
| TOTAL            |            |           | 18238                   | 0.418     | Weighted CN | 98 | 41   |
| Previous         | Cover Type | Soil Type | AREA (ft <sup>2</sup> ) | AREA (ac) | C Value     | CN | CN/A |
| Lawn             | D          |           | 1454                    | 0.033     | 0.45        | 80 | 3    |
| Lawn             | DC         |           | 2768                    | 0.061     | 0.45        | 80 | 6.9  |
| TOTAL            |            |           | 5222                    | 0.120     | Weighted CN | 80 | 10   |

**WASHTEHAW COUNTY DETENTION VOLUME CALCULATIONS**

**SITE DRAINAGE CALCULATION**

| ACRES   | ON-SITE         |
|---|-----------------|
| Impervious Area (0.95)                          | CN = 0.80       |
| Previous Area (0.20)                            | CN = 0.45       |
| Previous Area (0.45)                            | CN = 0.54 ACRES |
| Bankfull Basin (0)                              |                 |
| ALLOWABLE RELEASE RATE                          | 0.15 CFS/AC     |
| Q <sub>allow</sub> = ALLOWABLE RELEASE RATE x A | 0.08 CFS        |

**FIRST FLUSH VOLUME**

| Pre-Development                      | Post-Development                     |
|--------------------------------------|--------------------------------------|
| 2-year/24 hour storm event           | 2-year/24 hour storm event           |
| Pre-Development CN                   | Post-Development CN                  |
| S = 1000CN - 10                      | S = 1000CN - 10                      |
| Q = (P-0.25) <sup>2</sup> / (P+0.85) | Q = (P-0.25) <sup>2</sup> / (P+0.85) |
| Impervious Cover Area (sf)           | Impervious Cover Area (sf)           |
| V <sub>ff</sub> = Q12 x A            | V <sub>ff</sub> = Q12 x A            |

**Runoff Summary**

| Runoff Summary    | Volume  |
|-------------------|---------|
| V <sub>ff</sub>   | 1560 cf |
| V <sub>pre</sub>  | 1353 cf |
| V <sub>post</sub> | 3423 cf |
| V <sub>diff</sub> | 3566 cf |
| V <sub>100</sub>  | 1301 cf |
| V <sub>diff</sub> | 8703 cf |

**Time of Concentration**

| Flow Type    | K    | Elev. Change | Length (L) | Slope % (S) | S <sup>1/2</sup> | V <sub>mk</sub> * S <sup>1/2</sup> | T <sub>c</sub> (L / (V <sub>mk</sub> * S <sup>1/2</sup> )) |
|--------------|------|--------------|------------|-------------|------------------|------------------------------------|--|
| Sheet Flow   | 0.48 | 1.0          | 250        | 0.400       | 0.632            | 0.304                              | 0.229  |
| Waterway     | 1.30 | 0.0          | 0          | 0.000       | 0.000            | 0.000                              | 0.000  |
| Small Trench | 2.10 | 0.0          | 0          | 0.000       | 0.000            | 0.000                              | 0.000  |

**WASHTEHAW COUNTY DETENTION BASIN VOLUME CALCULATIONS FOR PROPOSED IMPERVIOUS REVISIONS**

**EXISTING DRAINAGE FOR AREA OF WORK**

| EX. IMPERVIOUS | AREA     | RUNOFF C |
|----------------|----------|----------|
| EX. IMPERVIOUS | 0.009    | 0.95     |
| EX. PERVIOUS   | 0.528    | 0.30     |
| TOTAL          | 0.538 AC |          |

**IMPERVIOUS COEFF.** C = 0.31

**DRAINAGE AREA** AREA = 0.538 ACRES

**ALLOWABLE RELEASE RATE** = 0.15 CFS/AC

**Q<sub>allow</sub> = ALLOWABLE RELEASE RATE x A** = 0.08 CFS

**100 YEAR FLOOD VOLUME PROVIDED IN EXISTING BASIN**

Q<sub>100</sub> = Q<sub>1</sub> \* (C/A)<sup>0.48</sup> = 0.48 CFS/AC-IMP.

T<sub>100</sub> = 25 \* (103125 / Q<sub>100</sub>)<sup>0.48</sup> = 121.2 MIN

V<sub>100</sub> = (16500 \* T<sub>100</sub>) / (25 \* T<sub>100</sub>) - (40 \* Q<sub>100</sub> \* T<sub>100</sub>) = 11341 CF/AC-IMP.

V<sub>100</sub> \* A \* C = 1899 CF

**BANKFULL FLOOD VOLUME** V<sub>bf</sub> = 8170 x A x C = 1368 CF

**FIRST FLUSH VOLUME** V<sub>ff</sub> = 1815 x A x C = 304 CF

**FOREBAY VOLUME**

V<sub>F</sub> = 5% OF THE 100-YEAR STORM VOLUME BASED ON THE AREA TRIBUTARY TO THE INLET

W/F = (0.5)(V<sub>100</sub>)

V<sub>F</sub> = 9156 CF

**STORAGE VOLUME REQUIRED:** 9166 CF

| ELEV.                           | AREA | VOLUME | COMP. VOL. | VOLUME         |
|---------------------------------|------|--------|------------|----------------|
| 791                             | 5522 | 4851   | 9559       |                |
| 789.47                          | 3528 | 2667   | 2667       |                |
| 788                             | 100  |        |            |                |
| <b>STORAGE VOLUME PROVIDED:</b> |      |        |            | <b>8669 CF</b> |

**NOTE:**

1. CONTRACTOR TO VERIFY TOP OF FOREBAY BERM OVERFLOW IS EQUAL TO OR GREATER THAN 19100. ADD ADDITIONAL RIP-RAP TO 19150 TO MEET MIN. FOREBAY VOLUME.

**GRADING PLAN**  
SCALE: 1" = 30'-0"

**LEGEND**

|     |                              |        |                       |                                       |
|-----|------------------------------|--------|-----------------------|---------------------------------------|
| S/B | PROPERTY LINE                | EX. UP | EXISTING UTILITY POLE | EXISTING BUILDING                     |
| --- | SETBACK                      | EX. MH | EXISTING MANHOLE      | EXISTING GRAVEL SURFACE               |
| --- | EASEMENT                     | EX. CO | EXISTING CLEAN OUT    | EXISTING ASPHALT PAVING               |
| --- | EXISTING STORM               | EX. CB | EXISTING CATCH BASIN  | EXISTING ASPHALT PAVING TO BE REMOVED |
| --- | EXISTING FIRE LINE           | EX. FH | EXISTING FIRE HYDRANT | PROPOSED ASPHALT PAVING               |
| --- | EXISTING WATERMAIN           | CB R-1 | NEW CATCH BASIN       |                                       |
| --- | EXISTING ELECTRIC            |        | EXISTING ELEVATION    |                                       |
| --- | EXISTING UNDERGROUND CABLE   |        | PROPOSED ELEVATION    |                                       |
| --- | EXISTING GAS                 |        |                       |                                       |
| --- | EXISTING SANITARY            |        |                       |                                       |
| --- | EXISTING CENTERLINE OF DITCH |        |                       |                                       |
| --- | EXISTING CONTOUR             |        |                       |                                       |
| --- | PROPOSED CONTOUR             |        |                       |                                       |
| --- | LINE OF SILT FENCE           |        |                       |                                       |
| --- | PROPOSED STORM               |        |                       |                                       |

**HATCI PARKING**

**DESIGNERS**  
**Vanston/O'Brien, Inc.**  
**BUILDERS**

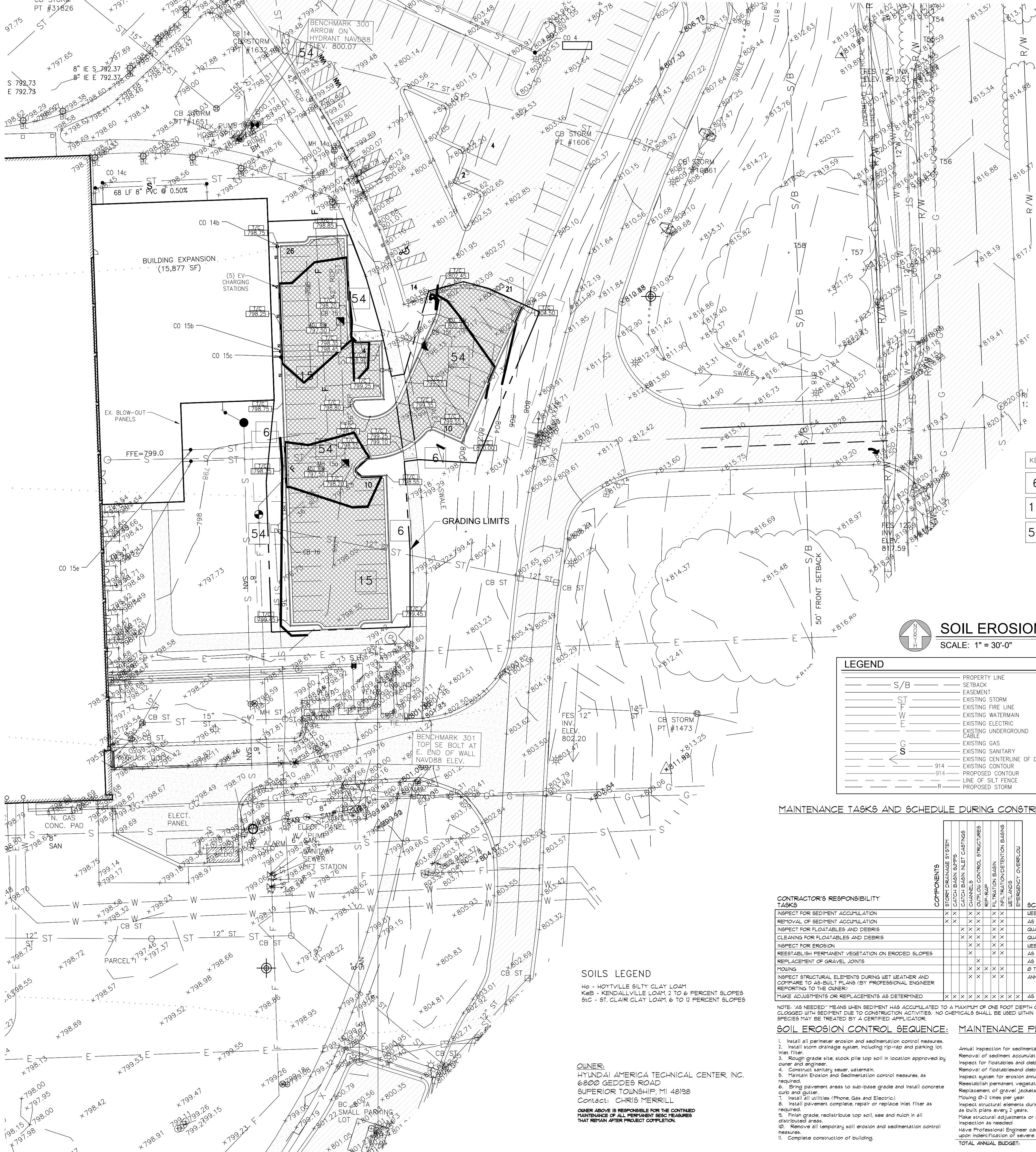
8150 Jackson Road Ste. A  
Ann Arbor, MI 48103  
Tel: (734) 424-0661  
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e-mail: design@vanston.com • www.vanston.com

**HATCI - EMPLOYEE PARKING**  
6800 Geddes Road  
Ypsilanti, Michigan

**ISSUED FOR:** DATE: 12-15-17  
**PROPOSAL:** 2-20-18  
**REVISED:** 4-16-18  
**REVISED:** 2-5-21  
**SITE PLAN:** 2-5-21  
**SITE PLAN:** 4-22-21

**DRAWN BY:** GAH  
**JOB NO.:** ---

**GRADING PLAN**  
SHEET NO.  
**C-4**



- ### SOIL EROSION CONTROL NOTES
1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF WASHINGTON COUNTY.
  2. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND WHEN NECESSARY, REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
  3. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS, WHICH INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
  4. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION - SEDIMENTATION CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THIS SITE.
  5. THE OWNER SHALL OBTAIN OR CAUSE HIS CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS, PAY ALL FEES AND POST ALL BONDS TO EACH AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER EROSION CONTROL MEASURES ON THIS PROJECT.
  6. THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THIS PLAN - HE SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
  7. SILT FENCE SHALL BE INSTALLED & MAINTAINED AROUND THE PERIMETER OF TOP SOIL STOCK PILE, AND BROUGHT IN FILL AREA IF STOCK PILE WILL BE LARGE AND IS EXPECTED TO BE ON-SITE FOR A PERIOD OF TIME.
  8. TOP SOIL STOCK PILE SHALL BE SEED FOR TEMPORARY STABILIZATION AND UNRAPPED WITH SILT FENCE DURING THE FILL OPERATION. AT THE COMPLETION OF THE OPERATION THE FILL SHALL BE LEVELLED OUT AND SEED WITH A MIN. 4" OF TOPSOIL.
  9. ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR AND/OR BUILDER. ALL MUD, DIRT AND DEBRIS TRACKED OR SPILLED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR AND/OR BUILDER.
  10. ANY SOIL EROSION CONTROL MEASURES DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED THE SAME DAY.
  11. THE CONTRACTOR IS TO PROTECT AS MUCH EXISTING VEGETATION AS POSSIBLE WHERE EXCAVATION HAS BEEN THROUGH LAWN AREAS. THE CONTRACTOR SHALL RESTORE THE DISTURBED AREA BY PLACING TOPSOIL AND SEEDING OR SOODING OVER FINAL BACKFILL MATERIAL.
  12. THE CONTINUED MAINTENANCE OF THE PERMANENT EROSION CONTROL DEVICES WILL INCLUDE REMOVAL OF ANY SEDIMENT IN THE CATCH BASIN Sumps AND IN THE SEDIMENTATION BASIN ON A YEARLY BASIS OR AS REQUIRED. THE MAINTENANCE WILL BE PERFORMED BY THE OWNER. WE EXPECT THAT ONCE THE VEGETATIVE COVER IS ESTABLISHED THAT LITTLE IF ANY MAINTENANCE OF THE PERMANENT EROSION CONTROL DEVICES WILL BE REQUIRED.
  13. LONG TERM MAINTENANCE OF THE RETENTION BASIN AND FOREBAY: SEDIMENT REMOVAL FROM THE FOREBAY SHALL OCCUR WHEN THE SEDIMENT REACHES 1 FOOT IN DEPTH. BASIN WILL ALSO REQUIRE PERIODIC REMOVAL OF SCRUB VEGETATION. COSTS ASSOCIATED WITH REMOVAL SHOULD BE APPROX. 15000, BUT WILL VARY BASED ON EXTENT.
  14. AREA OF DISTURBANCE EQUALS 95 AC.

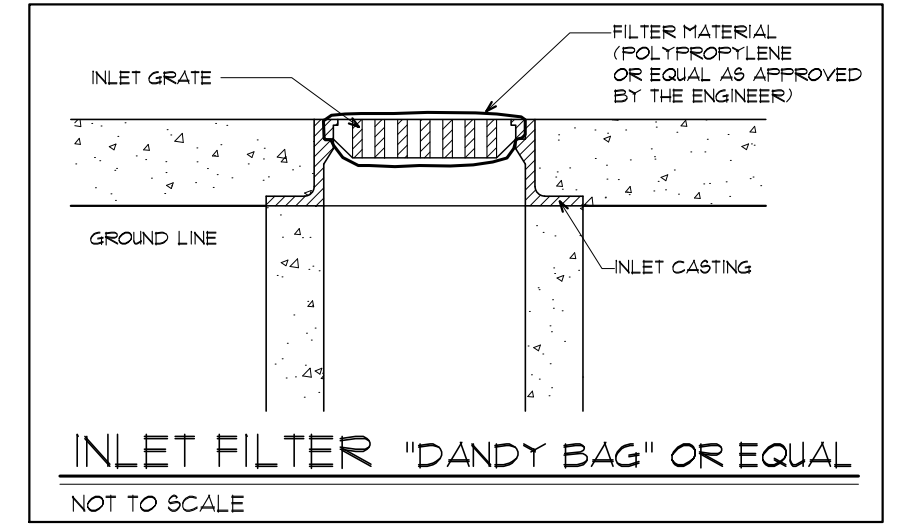
### SOIL EROSION & SEDIMENTATION CONTROL MEASURES

| KEY | DETAIL                            | CHARACTERISTICS  |
|-----|-----------------------------------|--|
| 6   | Seeding with Mulch and/or Matting | Facilitates establishment of vegetative cover. Effective for drainage with low velocity. Early placed in small quantities by experienced personnel. Should include prepared topsoil bed. |
| 15  | Paving                            | Protects areas which cannot otherwise be protected but increases runoff volume and velocity. Irregular surface will trap soil velocity.  |
| 54  | File Filter                       | Impervious and easy to construct. Filters sediment from runoff. May be replaced if damaged. 5% silt with beaver dam for curb trials.   |

### SOIL EROSION CONTROL PLAN

SCALE: 1" = 30'-0"

| LEGEND |                                       |
|--------|---------------------------------------|
| S/B    | PROPERTY LINE SETBACK                 |
| ST     | EASEMENT                              |
| W      | EXISTING STORM                        |
| E      | EXISTING WATERMAIN                    |
| G      | EXISTING ELECTRIC                     |
| S      | EXISTING UNDERGROUND                  |
|        | EXISTING GAS                          |
|        | EXISTING SANITARY                     |
|        | EXISTING CENTERLINE OF DITCH          |
| 914    | EXISTING CONTOUR                      |
| 914    | PROPOSED CONTOUR                      |
| R      | LINE OF SILT FENCE                    |
|        | PROPOSED STORM                        |
|        | EX-UP EXISTING UTILITY POLE           |
|        | EX-MH EXISTING MANHOLE                |
|        | EX-CO EXISTING CLEAN OUT              |
|        | EX-CB EXISTING CATCH BASIN            |
|        | EX-FH EXISTING FIRE HYDRANT           |
|        | CB R-1 NEW CATCH BASIN                |
|        | EXISTING ELEVATION                    |
|        | PROPOSED ELEVATION                    |
|        | EXISTING BUILDING                     |
|        | EXISTING GRAVEL SURFACE               |
|        | EXISTING ASPHALT PAVING               |
|        | EXISTING ASPHALT PAVING TO BE REMOVED |
|        | PROPOSED ASPHALT PAVING               |



### MAINTENANCE TASKS AND SCHEDULE DURING CONSTRUCTION:

| COMPONENTS                       | SCHEDULE                                 |
|----------------------------------|--|
| STREETS                          | WEEKLY                                   |
| STORM DRAINAGE SYSTEM            | AS NEEDED (SEE NOTE) 4 PRIOR TO TURNOVER |
| CATCH BASIN Sumps                | QUARTERLY                                |
| CATCH BASIN INLET CASINGS        | QUARTERLY 4 AT TURNOVER                  |
| CHANNELS                         | WEEKLY                                   |
| OUTFLOW CONTROL STRUCTURES       | AS NEEDED (SEE NOTE) 4 PRIOR TO TURNOVER |
| RIP-RAP                          | AS NEEDED (SEE NOTE)                     |
| FILTRATION IDENTIFICATION BASINS | AS NEEDED (SEE NOTE)                     |
| WETLANDS                         | AS NEEDED (SEE NOTE)                     |
| EMERGENCY OVERFLOW               | AS NEEDED (SEE NOTE)                     |

### PERMANENT MAINTENANCE TASKS AND SCHEDULE:

| COMPONENTS                       | SCHEDULE                              |
|----------------------------------|---------------------------------------|
| STREETS                          | ANNUALLY                              |
| STORM DRAINAGE SYSTEM            | EVERY 3-10 YEARS AS NEEDED (SEE NOTE) |
| CATCH BASIN Sumps                | ANNUALLY                              |
| CATCH BASIN INLET CASINGS        | ANNUALLY                              |
| CHANNELS                         | ANNUALLY                              |
| OUTFLOW CONTROL STRUCTURES       | AS NEEDED (SEE NOTE)                  |
| RIP-RAP                          | EVERY 3-5 YEARS AS NEEDED (SEE NOTE)  |
| FILTRATION IDENTIFICATION BASINS | SEMI-ANNUALLY                         |
| WETLANDS                         | AS NEEDED (SEE NOTE)                  |
| EMERGENCY OVERFLOW               | AS NEEDED (SEE NOTE)                  |

### SOILS LEGEND

Hc - HOYTVILLE SILTY CLAY LOAM  
 Kb - KENDALLVILLE LOAM, 2 TO 6 PERCENT SLOPES  
 91C - ST. CLAIR CLAY LOAM, 6 TO 12 PERCENT SLOPES

OWNER:  
 HYUNDAI AMERICA TECHNICAL CENTER, INC.  
 6800 GEDDES ROAD  
 SUPERIOR TOWNSHIP, MI 48198  
 Contact: CHRIS MERRILL

OWNER ABOVE IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE OF ALL PERMANENT SOIL EROSION CONTROL MEASURES THAT REMAIN AFTER PROJECT COMPLETION.

### MAINTENANCE PLAN BUDGET:

|   |                 |
|---|-----------------|
| Annual inspection for sedimentation accumulation  | 1000.00         |
| Removal of sediment accumulation every 5 years as needed  | 5000.00         |
| Inspect for floatables and debris annually and after major storms                                     | 1000.00         |
| Removal of floatables and debris annually and after major storms                                      | 1500.00         |
| Inspect system for erosion annually and after major storms  | 1000.00         |
| Reestablish permanent vegetation on eroded slopes as needed   | 3500.00         |
| Replacement of gravel jackets every 3-5 years as needed   | 1000.00         |
| Mowing @ 2 times per year   | 4000.00         |
| Inspect structural elements during wet weather and compare to as-built plans by professional engineer | 1500.00         |
| Make structural adjustments or replacements as determined by professional engineer                    | 4000.00         |
| Have Professional Engineer carry out emergency inspections upon identification of severe problems     | 2000.00         |
| <b>TOTAL ANNUAL BUDGET:</b>   | <b>17550.00</b> |

HATCI PARKING

DESIGNERS  
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# HATCI - EMPLOYEE PARKING

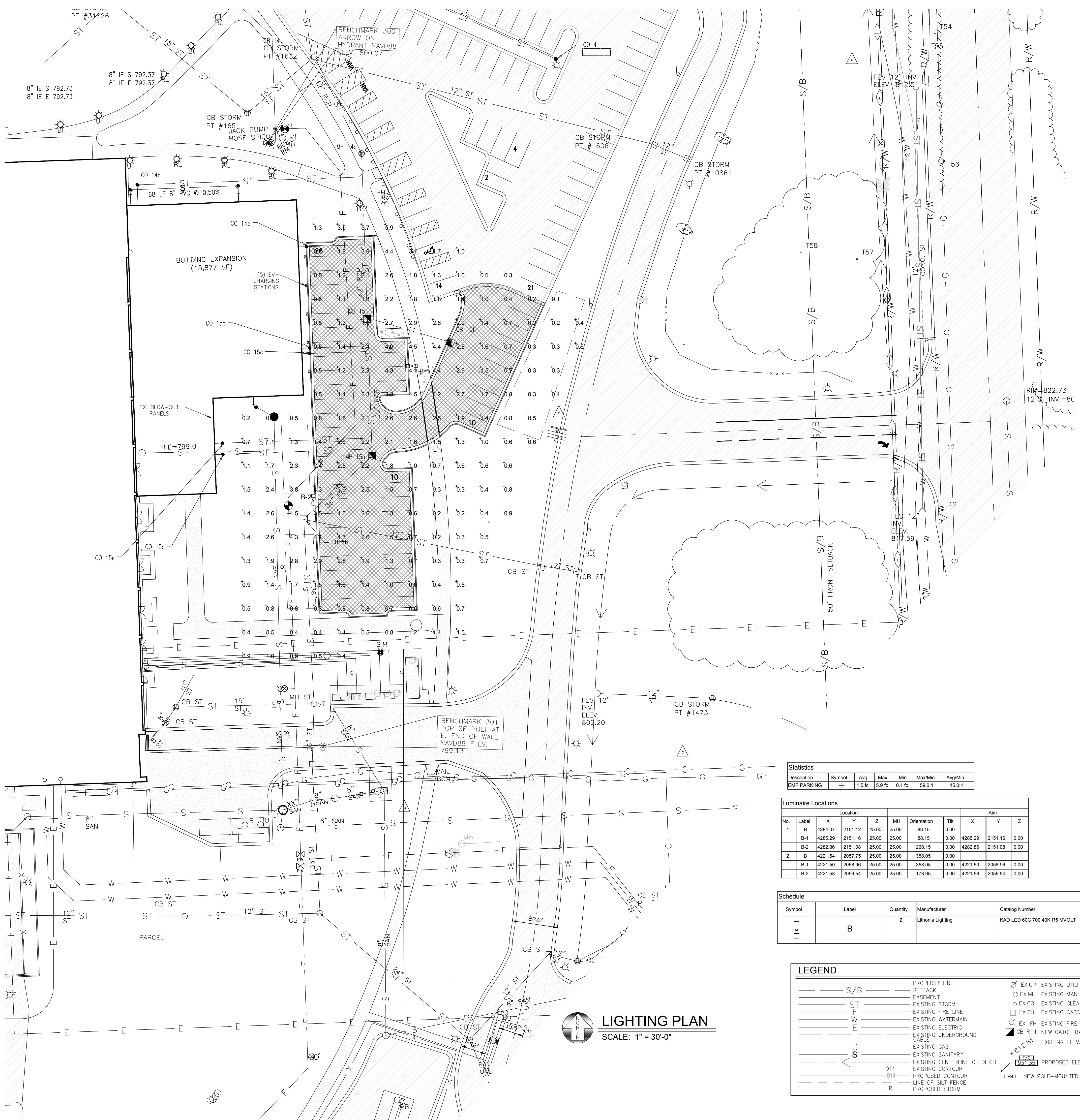
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ISSUED FOR: DATE: 12-15-17  
 PROPOSAL: 2-20-18  
 REVISED: 4-16-18  
 SITE PLAN: 2-5-21  
 SITE PLAN: 4-23-21

DRAWN BY: GAH  
 JOB NO.: ---

SEC PLAN  
 SHEET NO.  
**C-5**



### KAD LED LED Area Luminaire

**Specifications**

- EPA: 1.2 ft<sup>2</sup> (0.11 m<sup>2</sup>)
- Length: 17-1/2" (44.5 cm)
- Width: 17-1/2" (44.5 cm)
- Height: 7-1/8" (18.1 cm)
- Weight (max): 36 lbs. (16.4 kg)

**Ordering Information**

| Series | LEDs                     | Drive current | CCT                   | Distribution           | Voltage                             | Mounting  |
|--------|--------------------------|---------------|-----------------------|------------------------|-------------------------------------|---|
| KADLED | 200 <sup>+</sup> 20 LEDs | 530 530mA     | 30K 3000 <sup>+</sup> | R2 type I              | MVOLT <sup>1</sup> 277 <sup>+</sup> | Shipped included  |
|        | 300 <sup>+</sup> 30 LEDs | 700 700mA     | 40K 4000 <sup>+</sup> | R3 type II             | 120 <sup>+</sup> 347 <sup>+</sup>   | SPUMBAX Square pole universal mounting adapter <sup>1</sup> |
|        | 40 LEDs                  | 1000 1000mA   | 50K 5000 <sup>+</sup> | R4 type IV             | 208 <sup>+</sup> 480 <sup>+</sup>   | RPUMBAX Round pole universal mounting adapter <sup>1</sup>  |
|        | 60 LEDs                  |               |                       | RS type V <sup>1</sup> | 240 <sup>+</sup>                    | SPO Square pole   |
|        |                          |               |                       |                        |                                     | RPO Round pole  |
|        |                          |               |                       |                        |                                     | WWD Wall bracket <sup>1</sup>                               |
|        |                          |               |                       |                        |                                     | WWD Wood pole or wall                                       |

**Shipped installed**

| Option  | Finish        |
|---|---------------|
| PERF PERMA Lock key-free receptacle only (see comment) <sup>1,2</sup>   | WG Wire guard |
| PERF Seven-wire receptacle only (see comment) <sup>1,2</sup>  |               |
| SF Single face (120, 277, 347V) <sup>1</sup>  |               |
| DF Double face (208, 240, 480V) <sup>1</sup>  |               |
| PR B-level, motion/lambert sensor, 8-15' mounting height, ambient sensor enabled at 10' <sup>1,3,4,5,6,7</sup>      |               |
| PR B-level, motion/lambert sensor, 15-30' mounting height, ambient sensor enabled at 10' <sup>1,3,4,5,6,7</sup>     |               |
| PR B-level, motion/lambert sensor, 15-30' mounting height, ambient sensor enabled at 36' <sup>1,3,4,5,6,7</sup>     |               |
| PRIFCV B-level, motion/lambert sensor, 8-15' mounting height, ambient sensor enabled at 10' <sup>1,3,4,5,6,7</sup>  |               |
| PRIFCV B-level, motion/lambert sensor, 15-30' mounting height, ambient sensor enabled at 10' <sup>1,3,4,5,6,7</sup> |               |
| PRIFCV B-level, motion/lambert sensor, 15-30' mounting height, ambient sensor enabled at 36' <sup>1,3,4,5,6,7</sup> |               |
| BL30 B-level switched dimming, 30% <sup>1,8,9</sup>   |               |
| BL50 B-level switched dimming, 50% <sup>1,8,9</sup>   |               |
| HS House-side shield <sup>10</sup>  |               |

**Shipped separately**

| Option                | Finish                          |
|-----------------------|---------------------------------|
| DOBK Dark bronze      | DOBKD Textured dark bronze      |
| DNKD Natural aluminum | DNKDD Textured black            |
| DWKD White            | DWKDD Textured natural aluminum |
|                       | DWKDD Textured white            |

**Statistics**

| Description | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min |
|-------------|--------|--------|--------|--------|---------|---------|
| EMP PARKING | +      | 1.5 fc | 5.9 fc | 0.1 fc | 59.0:1  | 15.0:1  |

**Luminaire Locations**

| No. | Label | X       | Y       | Z     | MH    | Orientation | Tilt | Am                   |
|-----|-------|---------|---------|-------|-------|-------------|------|----------------------|
| 1   | B     | 4284.07 | 2151.12 | 25.00 | 25.00 | 88.15       | 0.00 |                      |
|     | B-1   | 4285.29 | 2151.16 | 25.00 | 25.00 | 88.15       | 0.00 | 4285.29 2151.16 0.00 |
|     | B-2   | 4282.86 | 2151.08 | 25.00 | 25.00 | 268.15      | 0.00 | 4282.86 2151.08 0.00 |
| 2   | B     | 4221.54 | 2057.75 | 25.00 | 25.00 | 358.05      | 0.00 |                      |
|     | B-1   | 4221.50 | 2058.96 | 25.00 | 25.00 | 358.05      | 0.00 | 4221.50 2058.96 0.00 |
|     | B-2   | 4221.58 | 2056.54 | 25.00 | 25.00 | 178.05      | 0.00 | 4221.58 2056.54 0.00 |

**Schedule**

| Symbol | Label | Quantity | Manufacturer      | Catalog Number               | Description  | Lamp | Number Lamps | Filename                          | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------|-------------------|------------------------------|--|------|--------------|-----------------------------------|-----------------|-------------------|---------|
| □      | B     | 2        | Lithonia Lighting | KAD LED 60C 700 40K RS MVOLT | KAD LED, 60 LED, 700mA MVOLT DRIVER, 4000K, TYPE 5 OPTICS. | LED  | 1            | KAD_LED_60C_700_40K_R 5_MVOLT.ies | 16980           | 0.82              | 274     |

**LEGEND**

- PROPERTY LINE
- S/B SETBACK
- EASEMENT
- EXISTING STORM
- EXISTING FIRE LINE
- EXISTING WATERMAIN
- EXISTING ELECTRIC
- EXISTING UNDERGROUND CABLE
- EXISTING GAS
- EXISTING SANITARY
- EXISTING CENTERLINE OF DITCH
- EXISTING CONTOUR
- 914 PROPOSED CONTOUR
- 914 PROPOSED CONTOUR
- R PROPOSED STORM
- EX.U.P. EXISTING UTILITY POLE
- EX.M.H. EXISTING MANHOLE
- EX.CO. EXISTING CLEAN OUT
- EX.CB. EXISTING CATCH BASIN
- EX.FH. EXISTING FIRE HYDRANT
- CB R-1 NEW CATCH BASIN
- EXISTING ELEVATION
- PROPOSED ELEVATION
- NEW POLE-MOUNTED LIGHT
- EXISTING BUILDING
- EXISTING GRAVEL SURFACE
- EXISTING ASPHALT PAVING
- EXISTING ASPHALT PAVING TO BE REMOVED
- PROPOSED ASPHALT PAVING

HATCI PARKING

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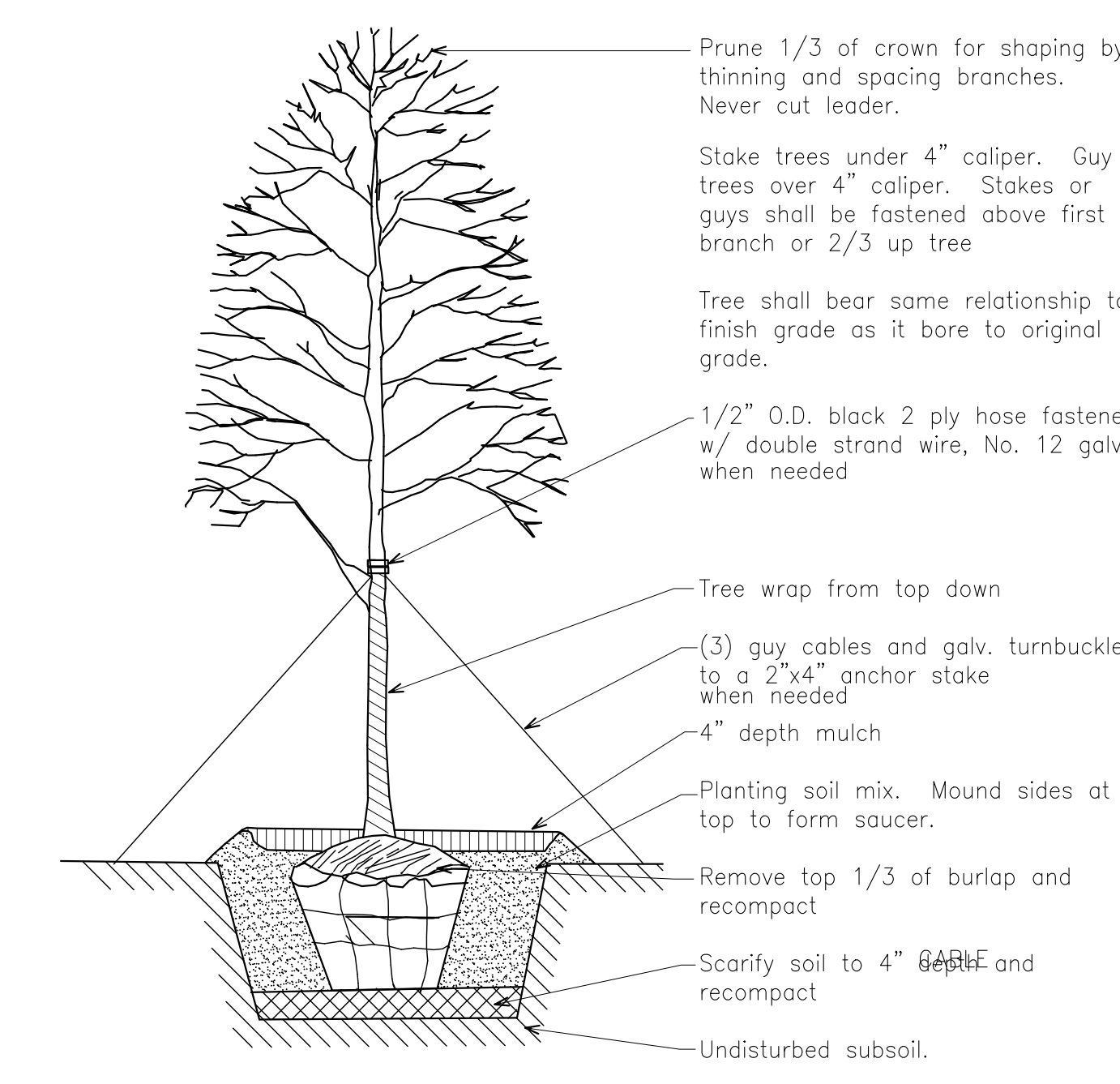
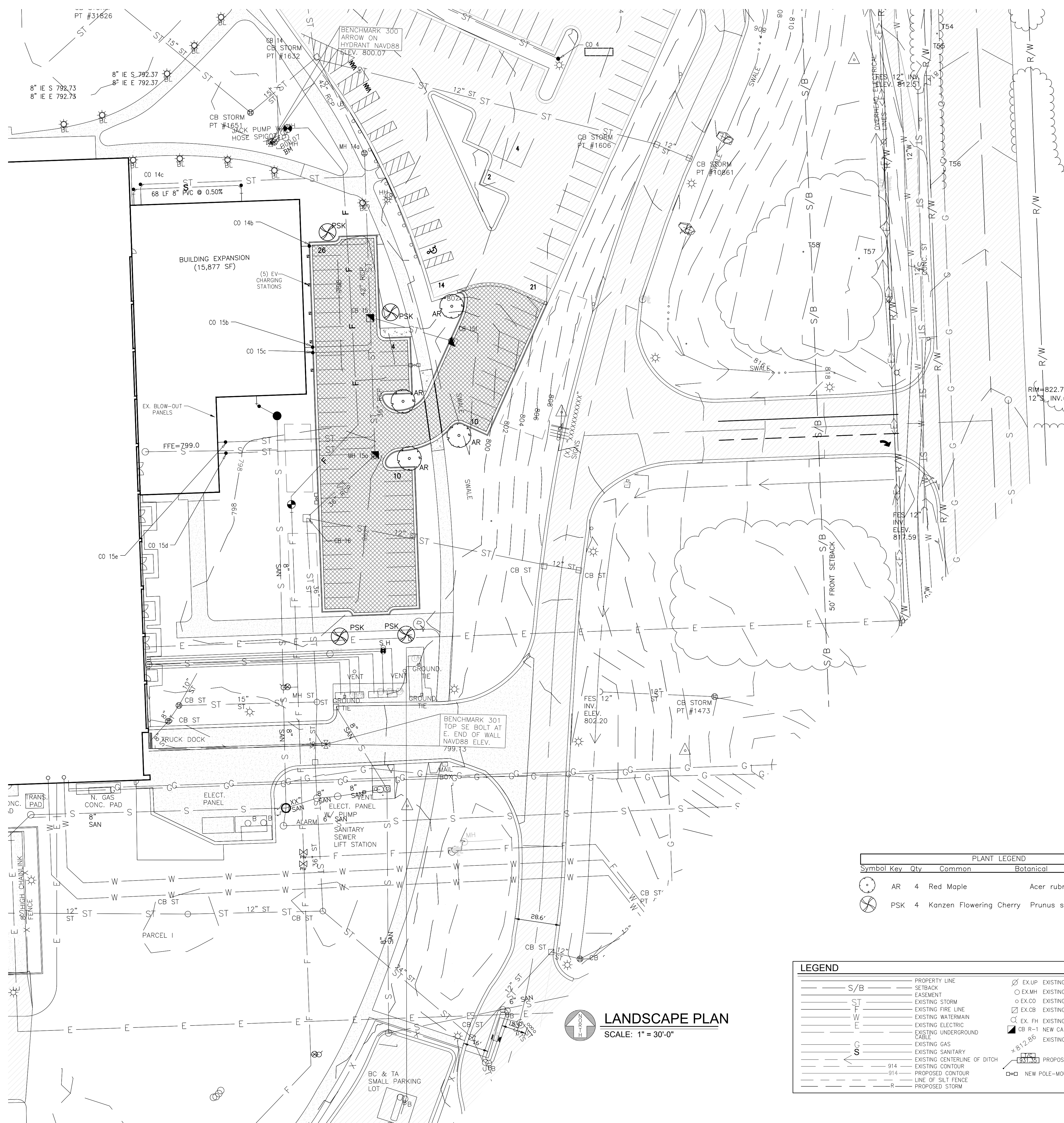
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ISSUED FOR: DATE:  
PROPOSAL 12-15-17  
REVISED 2-20-18  
REVISED 4-16-18  
SITE PLAN 2-5-21  
SITE PLAN 4-22-21

DRAWN BY: GAH/RS  
JOB NO.: ---

**LIGHTING PLAN**  
SHEET NO.  
**C-6**



DECIDUOUS TREE PLANTING DETAIL

Landscape Notes

- All plant material shall meet current American Association of Nurserymen, Inc. (AAN) standard for nursery stock. (ANSI 260.1 - 1973)
- Landscape installation shall be in accordance with the American Association of Nursery standards and with the Township/City's landscape requirements.
- Planting schedules:
  - Deciduous material shall be planted from March 15 for spring planting and from October 1 until the ground freezes for fall planting.
  - Evergreen material shall be planted from March 1 through May 31 for Spring plantings and from August 1 through September 30 for all fall.
- Mulch plant beds, individual tree and shrub planting pits uniform depth of 4 inches.
- Provide weed mat for greenbelt and foundation plantings.
- All planting beds are to be edged. Recommended either "Permaloc Aluminum" edging or "Black Diamond" plastic edging.
- All areas with stone cover shall have weed mat.
- All landscaping to be continuously maintained.
- All site improvements detailed on this plan are to be completed prior to issuance of final certificate of occupancy.
- All construction to conform to the latest applicable Township/City regulations.
- R.O.W. areas to be seeded or sod.
- Tree protection consists of:
  - Yellow ribbon barriers for large areas not disturbed by construction.
  - Stakes 10' on center and wood snow fence around individual and groups of individual trees.
  - Trees to be removed will be tagged with red ribbon. The barrier or fence surrounding the tree or group of trees shall be located no closer to the tree than the tree's drip line. If this is not possible, the barrier shall be no closer than 6 feet from the trunk of the tree or group of trees.
- There will be no outside storage on site.
- Seed Mix
  - \* Temporary planting mixture for erosion control.
    - Seed Oats 30 pounds per acre
    - Annual Rye 10 pounds per acre
  - \* Permanent planting mixture on all disturbed areas excluding BMPs.
    - Scaldis Hard Fescue 12 pounds per acre
    - Danson's Creeping Red Fescue 6 pounds per acre
    - Perennial Rye 20 pounds per acre
    - Buffalo Grass 20 pounds per acre
    - Creeping Bent 0.5 pounds per acre
    - Little Blue Stem 20 pounds per acre
    - Sheep Fescue 15 pounds per acre
- Existing soil nutrient levels shall be tested by an independent soil testing laboratory before fertilizers are applied.

| PLANT LEGEND |     |                         |                           |           |
|--------------|-----|-------------------------|---------------------------|-----------|
| Symbol Key   | Qty | Common                  | Botanical                 | Size      |
| AR           | 4   | Red Maple               | Acer rubrum 'Red Sunset'  | 2.5" cal. |
| PSK          | 4   | Kanzen Flowering Cherry | Prunus serrulata 'Kanzen' | 2" cal.   |

| LEGEND |                                       |                               |
|--------|---------------------------------------|-------------------------------|
| S/B    | PROPERTY LINE                         | EX.U.P. EXISTING UTILITY POLE |
| ---    | SETBACK                               | EX.M.H. EXISTING MANHOLE      |
| ---    | EASEMENT                              | EX.CO. EXISTING CLEAN OUT     |
| ST     | EXISTING STORM                        | EX.CB. EXISTING CATCH BASIN   |
| F      | EXISTING FIRE LINE                    | EX.FH. EXISTING FIRE HYDRANT  |
| W      | EXISTING WATERMAIN                    | CB R-1 NEW CATCH BASIN        |
| E      | EXISTING ELECTRIC                     | EXISTING ELEVATION            |
| C      | EXISTING UNDERGROUND CABLE            | EXISTING ELEVATION            |
| S      | EXISTING GAS                          | EXISTING ELEVATION            |
| ---    | EXISTING SANITARY                     | PROPOSED ELEVATION            |
| ---    | EXISTING CENTERLINE OF DITCH          | PROPOSED ELEVATION            |
| ---    | EXISTING CONTOUR                      | NEW POLE-MOUNTED LIGHT        |
| ---    | PROPOSED CONTOUR                      |                               |
| ---    | LINE OF SILT FENCE                    |                               |
| ---    | PROPOSED STORM                        |                               |
| ---    | EXISTING BUILDING                     |                               |
| ---    | EXISTING GRAVEL SURFACE               |                               |
| ---    | EXISTING ASPHALT PAVING               |                               |
| ---    | EXISTING ASPHALT PAVING TO BE REMOVED |                               |
| ---    | PROPOSED ASPHALT PAVING               |                               |

LANDSCAPE PLAN  
SCALE: 1" = 30'-0"

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DRAWN BY: GAH/RS  
 JOB NO.: ---  
**LANDSCAPE PLAN**  
 SHEET NO.  
**C-7**