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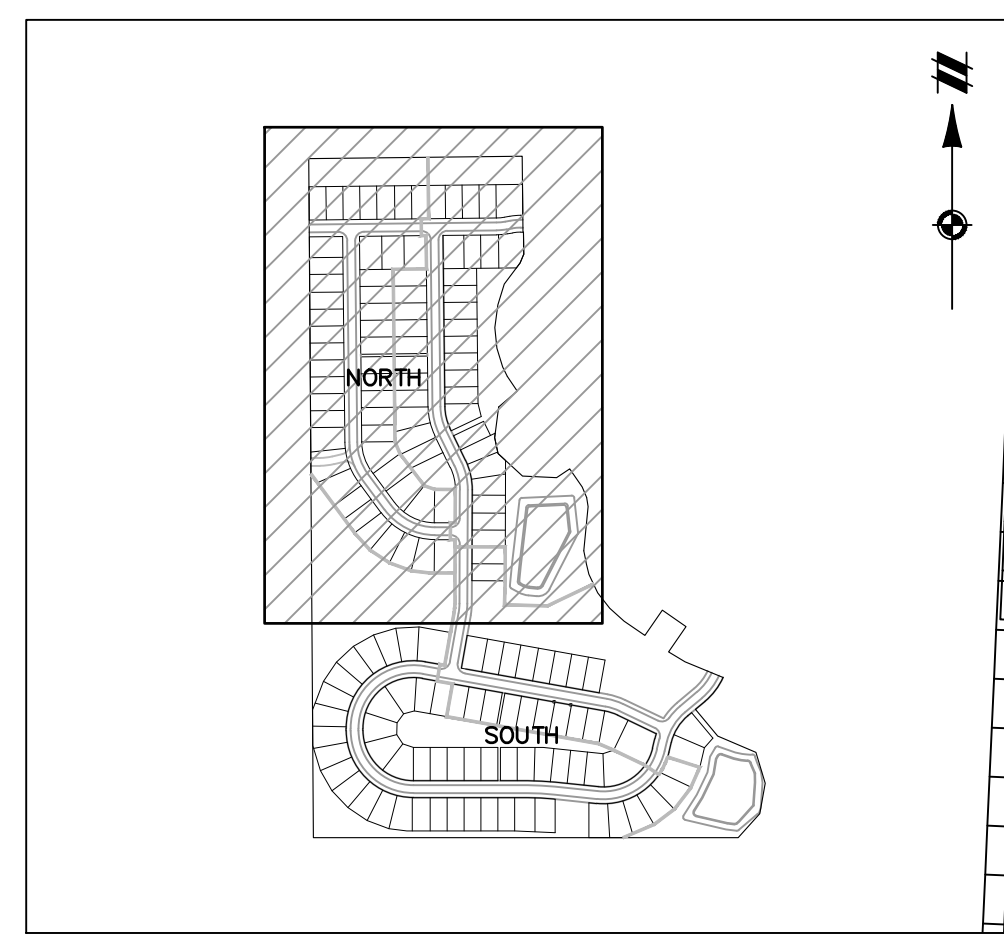


SECTION 33
TOWN 2 SOUTH, RANGE 7 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
DIVERSE REAL ESTATE LLC
PROSPECT POINTE WEST
SITE PLAN
LAYOUT PLAN - NORTH

DATE
OCTOBER 2, 2019
2019-10-30 PER TWP.
2020-7-28 PER CLIENT

REVISIONS
SCALE 0 50 100
1" = 100 FEET
DR. KS CH. JK
P.M. J. ACKERMAN
BOOK --
JOB 16000819
SHEET NO. 09



KEYMAP
SCALE: 1" = 750'

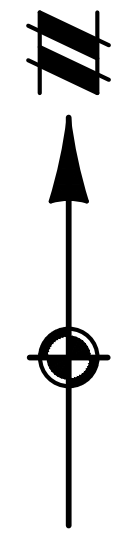
- LEGEND**
- BOUNDARY LINE
 - - - EXIST. EASEMENT
 - SECTION LINE
 - - - BOUNDARY/PROPERTY LINE
 - - - EXIST. SETBACK
 - - - EXIST. TREE LINE
 - - - EXIST. CURB AND GUTTER
 - - - EXIST. BUILDING
 - - - EXIST. WETLAND BUFFER
 - - - PROP. SETBACK
 - - - PROP. LOT LINE
 - - - PROP. ROAD CENTERLINE
 - - - PROP. BACK OF CURB
 - ▨ PROP. WALK
 - ▨ PROP. ASPH.
 - ▨ GENERAL COMMON ELEMENT
 - - - PROP. PHASE LINE
 - - - EXIST. WETLAND
 - - - GCE XX AC GENERAL COMMON ELEMENT

- SIGN LEGEND**
- ① W11A-2 PEDESTRIAN CROSSING SIGN
 - Ⓞ R1-1 STOP SIGN
 - Ⓞ D3-1 STREET NAME SIGN

Parcel #	Area (S.F.)	Parcel #	Area (S.F.)	Parcel #	Area (S.F.)	Parcel #	Area (S.F.)
1	8,613	23	10,942	45	8,580	67	9,172
2	9,295	24	8,840	46	8,580	68	8,928
3	8,840	25	8,840	47	8,580	69	8,947
4	8,840	26	8,840	48	8,580	70	8,966
5	8,840	27	8,840	49	8,728	71	8,984
6	9,219	28	8,840	50	8,840	72	9,003
7	9,903	29	8,580	51	8,840	73	9,287
8	9,880	30	8,580	52	8,840	74	9,307
9	11,752	31	8,580	53	8,840	75	10,389
10	8,840	32	10,290	54	11,267	76	12,167
11	8,840	33	9,039	55	11,266	77	10,576
12	8,840	34	9,689	56	11,267	78	9,254
13	8,840	35	9,224	57	8,840	79	9,251
14	8,728	36	9,662	58	8,840	80	10,257
15	8,580	37	8,580	59	9,100	81	10,483
16	8,580	38	8,580	60	9,100	82	10,483
17	8,584	39	8,580	61	9,100	83	10,184
18	11,158	40	9,359	62	9,100	84	10,776
19	8,537	41	8,529	63	9,379	85	8,580
20	8,764	42	9,565	64	10,543	86	8,580
21	10,988	43	11,546	65	8,871		
22	8,985	44	10,175	66	9,152		



SEE SHEET 10 FOR CONTINUATION



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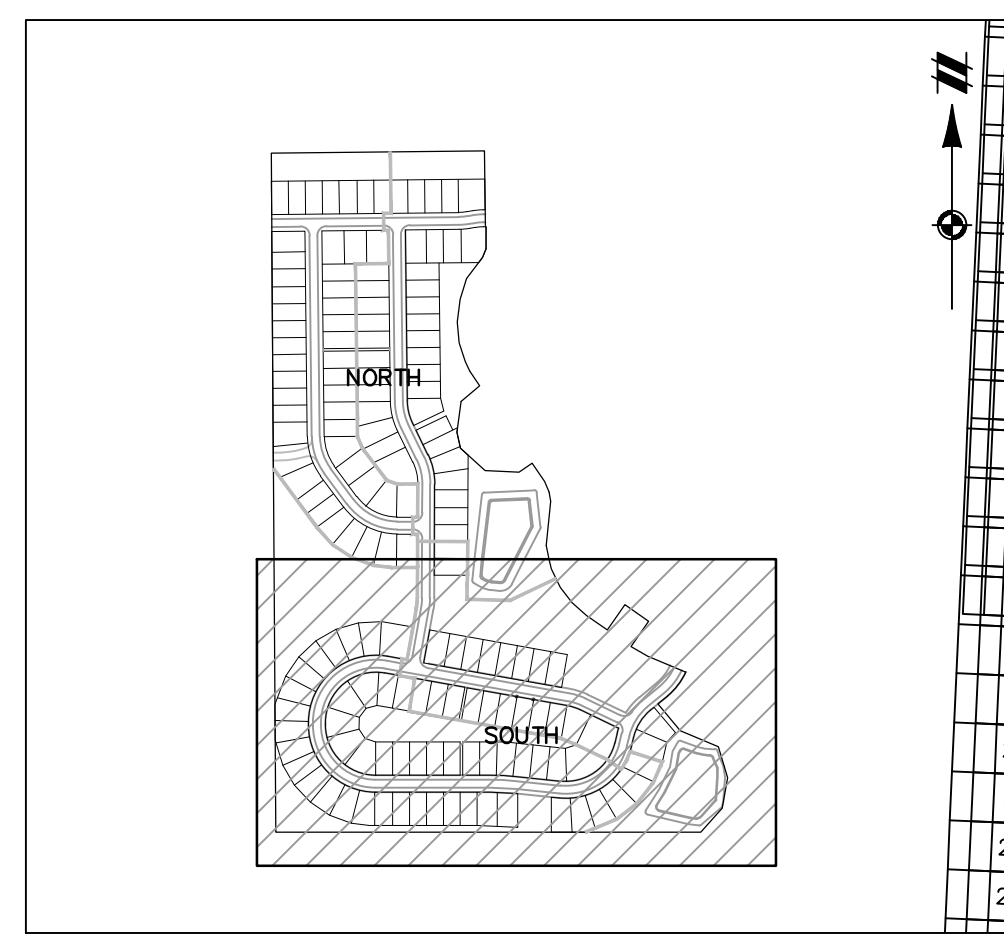


SECTION 33
TOWN 2 SOUTH, RANGE 7 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
DIVERSE REAL ESTATE LLC
PROSPECT POINTE WEST
SITE PLAN
LAYOUT PLAN - SOUTH

DATE
OCTOBER 2, 2019
2019-10-30 PER TWP.
2020-7-28 PER CLIENT

REVISIONS
SCALE 0 50 100
1" = 100 FEET
DR. KS CH. JK
P.M. J. ACKERMAN
BOOK --
JOB 16000819
SHEET NO. 10



KEYMAP
SCALE: 1" = 750'

SEE SHEET 09 FOR CONTINUATION



LEGEND

- BOUNDARY LINE
- EXIST. EASEMENT
- SECTION LINE
- BOUNDARY/PROPERTY LINE
- EXIST. SETBACK
- EXIST. TREE LINE
- EXIST. CURB AND GUTTER
- EXIST. BUILDING
- EXIST. WETLAND BUFFER
- PROP. SETBACK
- PROP. LOT LINE
- PROP. ROAD CENTERLINE
- PROP. BACK OF CURB
- PROP. WALK
- PROP. ASPH.
- GENERAL COMMON ELEMENT
- PROP. PHASE LINE
- EXIST. WETLAND
- GCE XX AC
- GENERAL COMMON ELEMENT

SIGN LEGEND

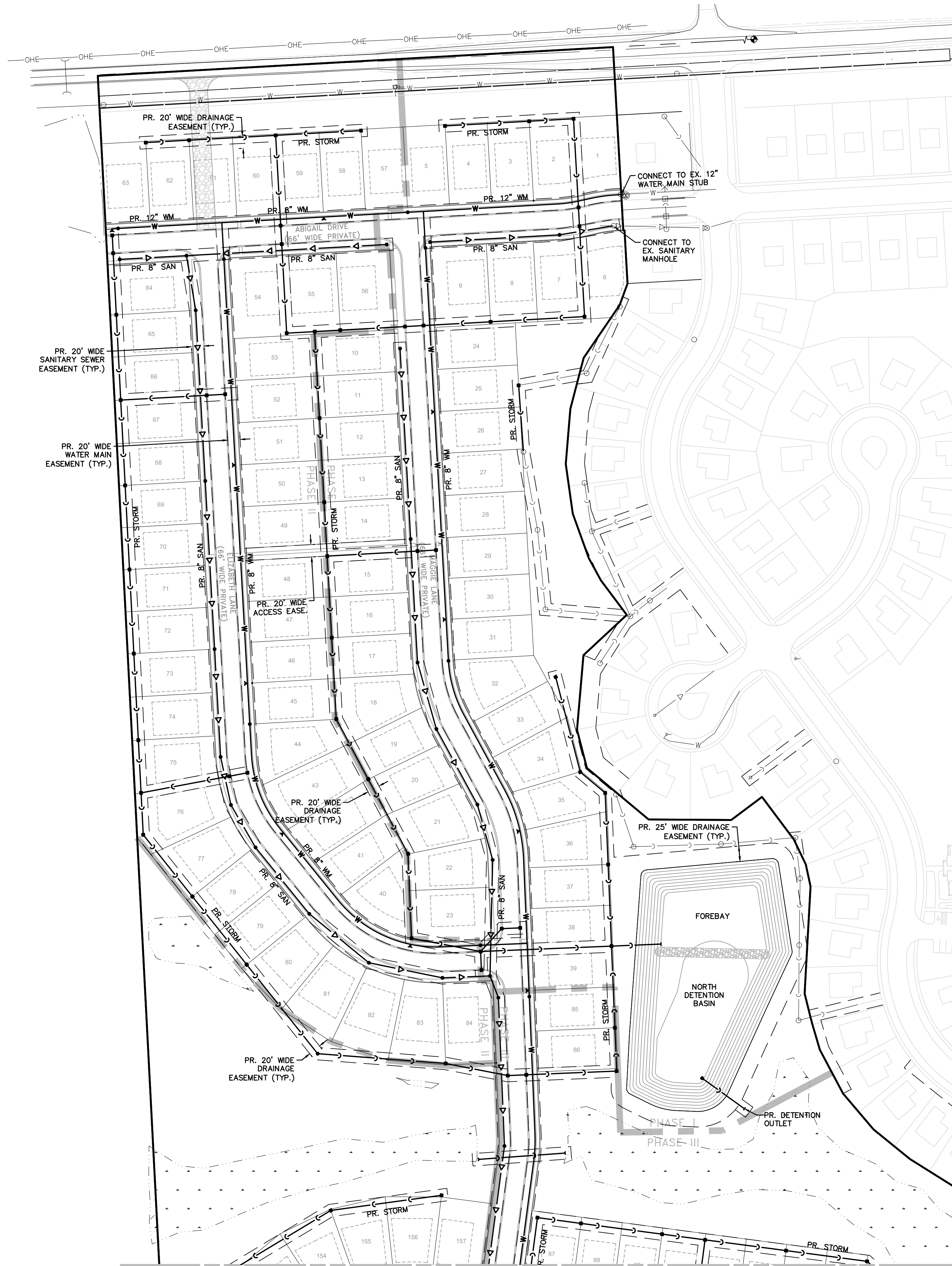
- (A) W11A-2 PEDESTRIAN CROSSING SIGN
- (B) R1-1 STOP SIGN
- (C) D3-1 STREET NAME SIGN

Parcel Table	
Parcel #	Area (S.F.)
87	10,530
88	8,580
89	8,580
90	9,100
91	8,580
92	8,580
93	8,580
94	8,580
95	10,534
96	10,221
97	9,651
98	9,170
99	8,979
100	11,292
101	9,451
102	8,840
103	8,840
104	8,840
105	8,840
106	8,840
107	9,100
108	9,100
109	9,100
110	9,100

Parcel Table	
Parcel #	Area (S.F.)
111	9,100
112	10,315
113	9,667
114	9,601
115	9,126
116	9,291
117	9,312
118	8,632
119	8,580
120	8,580
121	8,580
122	8,580
123	8,580
124	8,605
125	8,627
126	8,597
127	8,580
128	8,580
129	9,776
130	9,472
131	9,875
132	9,872
133	10,056
134	9,591

Parcel Table	
Parcel #	Area (S.F.)
135	8,638
136	9,360
137	9,283
138	9,292
139	9,292
140	9,292
141	9,566
142	9,566
143	9,292
144	10,283
145	10,313
146	10,516
147	10,516
148	10,744
149	13,927
150	13,587
151	10,992
152	9,875
153	10,484
154	9,872
155	9,872
156	9,872
157	10,806

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SANITARY SEWER BASIS OF DESIGN	
Prospect Pointe West	157 Lots
Future Service Area	200 Lots
Total No. of Single Family Lots:	357 Lots
No. of Users per Lot:	3.5 Persons
Total Expected Population Served:	1250 Persons
Average Daily Flow (per capita):	100 G.P.D.
Peaking Factor: $1.8 + \sqrt{(POP/1000)}$	3.74
Average Flow: POP * 100 =	125,000 G.P.D.
	86.8 G.P.M.
	0.193 C.F.S.
Peak Flow: 125,000 * 3.74 =	466,928 G.P.D.
	324.3 G.P.M.
	0.722 C.F.S.
Pipe Capacity: 8 in. diameter	A= 0.349 sf
0.40% slope	R= 0.167 ft
0.013 Manning's 'n'	
Manning's Capacity =	0.766 C.F.S.
Velocity Flowing Full =	2.20 F.P.S.

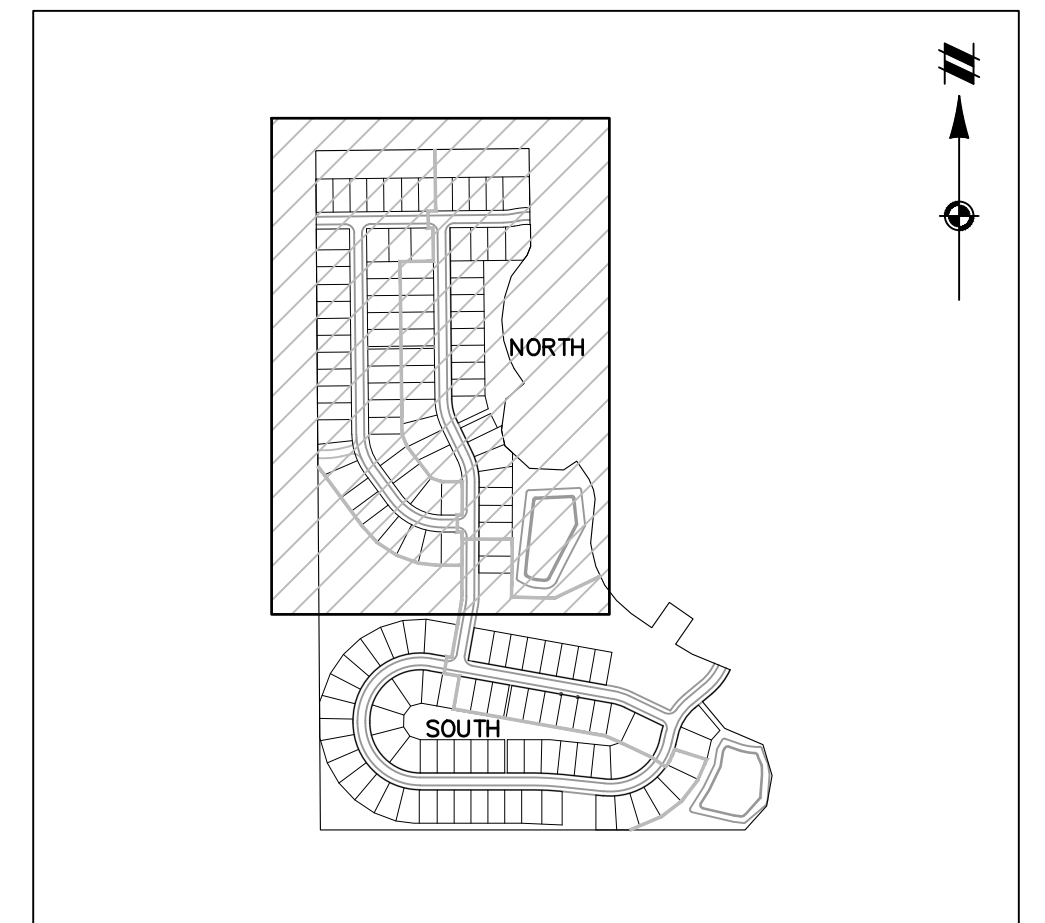
WATER MAIN BASIS OF DESIGN	
No. of Single Family Lots:	157 Lots
No. of Users per Lot:	3.5 Persons
Total Expected Population Served:	550 Persons
Average Daily Flow (per capita):	100 G.P.D.
Peaking Factor: $1.8 + \sqrt{(POP/1000)}$	3.95
Average Demand: POP * 100 =	55,000 G.P.D.
	38.2 G.P.M.
	0.085 C.F.S.
Peak Demand: 55,000 * 3.95 =	217,392 G.P.D.
	151.0 G.P.M.
	0.336 C.F.S.

UTILITY NARRATIVE

DURING PHASE 1 ALL UTILITIES NEEDED TO SERVICE LOTS 1-39 SHALL BE INSTALLED ALONG WITH THE NORTH DETENTION BASIN. THE SANITARY AND WATER CONNECTIONS ARE TO CONNECT TO THE EXISTING STUBS ALONG ABIGAIL DRIVE AND GO THROUGH PHASE 3 OF THE DEVELOPMENT ALONG FRANCES WAY AND CONNECT IN ORDER TO COMPLETE THE SERVICE LOOPS.

NOTES

- ALL STORM SEWER SHALL BE PLACED IN 20' WIDE DRAINAGE EASEMENTS. CROSS LOT AND REAR LOTS SWALES WILL BE PLACED IN 30' WIDE DRAINAGE EASEMENTS.



KEYMAP
SCALE: 1" = 750'

LEGEND

- BOUNDARY LINE
- - - - - EXIST. EASEMENT
- - - - - SECTION LINE
- - - - - BOUNDARY/PROPERTY LINE
- - - - - EXIST. SETBACK
- - - - - EXIST. CONTOUR
- - - - - EXIST. CURB AND GUTTER
- - - - - EXIST. BUILDING
- - - - - EXIST. WETLAND
- OHE --- EXIST. WETLAND BUFFER
- OHT --- EXIST. OVERHEAD ELEC. LINE
- OHT --- EXIST. OVERHEAD TELE. LINE
- TV --- EXIST. CABLE LINE
- U --- EXIST. UNSPECIFIED UTILITIES
- G --- EXIST. GAS
- EXIST. STORM MAIN
- EXIST. WATER MAIN
- EXIST. SANITARY
- EXIST. UNSPECIFIED UTILITY
- EXIST. CULVERT
- EXIST. CATCH BASIN/INLET
- EXIST. HYDRANT
- EXIST. VALVE
- EXIST. SANITARY SEWER
- PROP. SETBACK
- PROP. WALL
- PROP. PARKING STRIPE
- PROP. BACK OF CURB
- PROP. LOT LINE
- PROP. PARKING STRIPE
- PROP. CONTOUR
- PROP. STORM SEWER
- PROP. SANITARY
- PROP. WATER MAIN
- PROP. END SECTION
- PROP. CATCH BASIN/INLET
- PROP. WATER VALVE
- PROP. FIRE HYDRANT
- PROP. MANHOLE

SEE SHEET 12 FOR CONTINUATION

811
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SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
DIVERSE REAL ESTATE LLC
PROSPECT POINTE WEST
SITE PLAN
UTILITIES PLAN - NORTH

DATE
OCTOBER 2, 2019

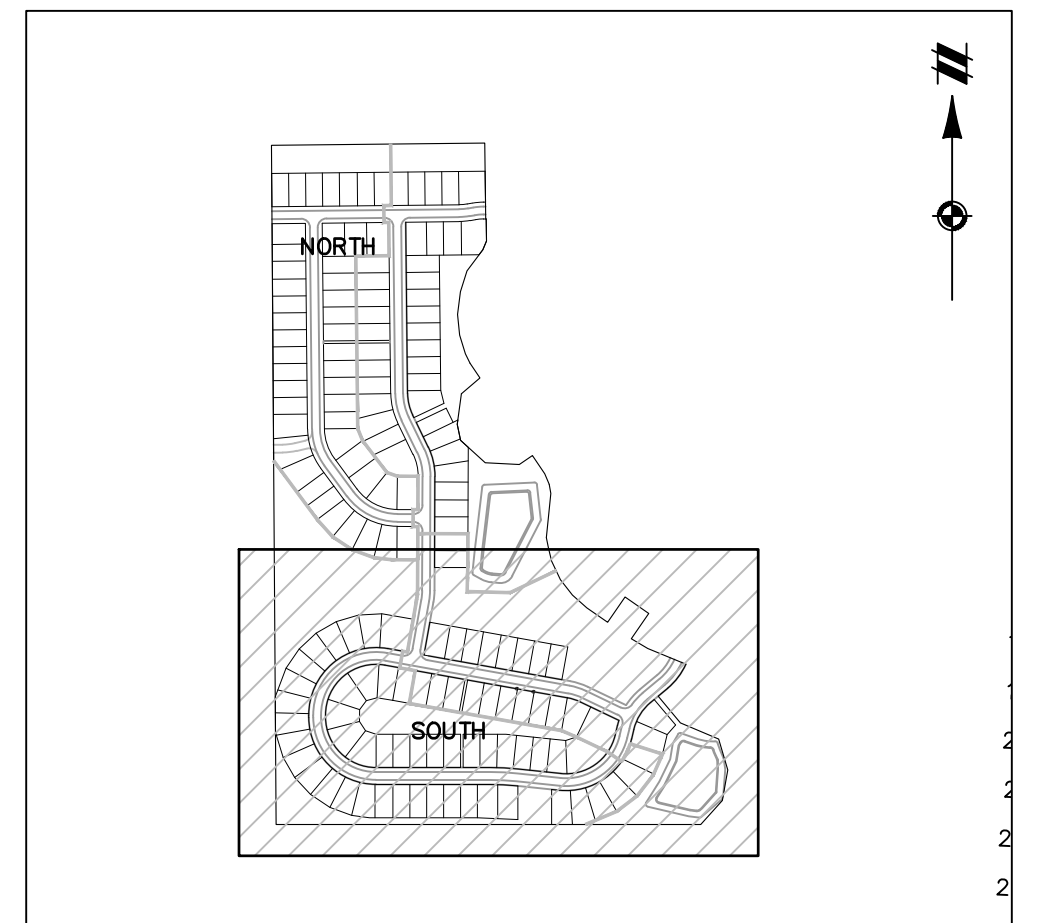
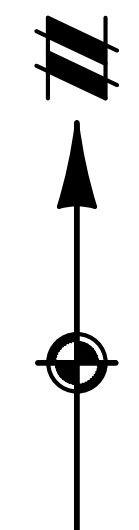
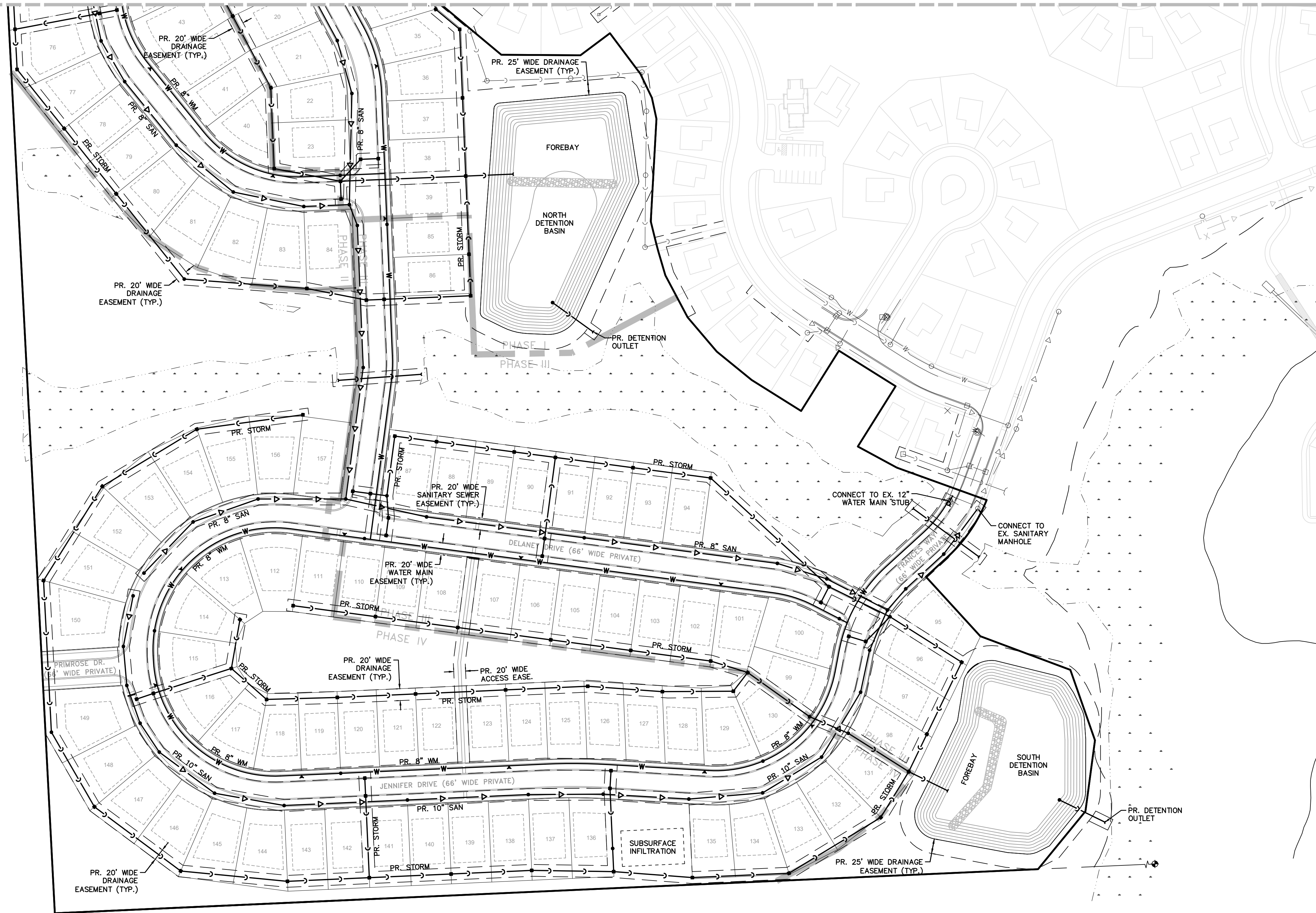
2019-10-30 PER TWP.
2020-7-28 PER CLIENT

REVISIONS

SCALE 0 50 100
1" = 100 FEET

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P.M. J. ACKERMAN
BOOK ---
JOB 16000819
SHEET NO. 11

SEE SHEET 11 FOR CONTINUATION



KEYMAP
SCALE: 1" = 750'

LEGEND

- BOUNDARY LINE
- - - - EXIST. EASEMENT
- SECTION LINE
- - - - BOUNDARY/PROPERTY LINE
- - - - EXIST. SETBACK
- - - - EXIST. CONTOUR
- - - - EXIST. CURB AND GUTTER
- - - - EXIST. BUILDING
- - - - EXIST. WETLAND
- - - - EXIST. WETLAND BUFFER
- OHE --- OHE EXIST. OVERHEAD ELEC. LINE
- OHT --- OHT EXIST. OVERHEAD TELE. LINE
- TV --- TV EXIST. CABLE LINE
- U --- U EXIST. UNSPECIFIED UTILITIES
- G --- G EXIST. GAS
- W --- W EXIST. STORM
- W --- W EXIST. WATER MAIN
- W --- W EXIST. SANITARY
- W --- W EXIST. UNSPECIFIED UTILITY
- W --- W EXIST. CULVERT
- W --- W EXIST. CATCH BASIN/INLET
- W --- W EXIST. HYDRANT
- W --- W EXIST. VALVE
- W --- W EXIST. SANITARY SEWER
- W --- W PROP. SETBACK
- W --- W PROP. WALL
- W --- W PROP. PARKING STRIPE
- W --- W PROP. BACK OF CURB
- W --- W PROP. LOT LINE
- W --- W PROP. PARKING STRIPE
- W --- W PROP. CONTOUR
- W --- W PROP. STORM SEWER
- W --- W PROP. SANITARY
- W --- W PROP. WATER MAIN
- W --- W PROP. END SECTION
- W --- W PROP. CATCH BASIN/INLET
- W --- W PROP. WATER VALVE
- W --- W PROP. FIRE HYDRANT
- W --- W PROP. MANHOLE



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SECTION 33
TOWN 2 SOUTH, RANGE 7 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
DIVERSE REAL ESTATE LLC
PROSPECT POINTE WEST
SITE PLAN
UTILITIES PLAN - SOUTH

DATE
OCTOBER 2, 2019
2019-10-30 PER TWP.
2020-7-28 PER CLIENT

REVISIONS
SCALE 0 50 100
1" = 100 FEET
DR. KS CH. JK
P.M. J. ACKERMAN
BOOK ---
JOB 16000819
SHEET NO. 12

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WASHTENAW COUNTY, MICHIGAN

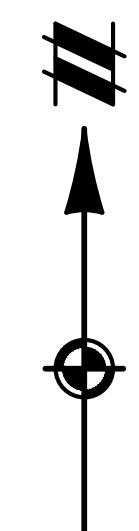
CLIENT
DIVERSE REAL ESTATE LLC
PROSPECT POINTE WEST
SITE PLAN
CONCEPTUAL DRAINAGE PLAN

DATE
OCTOBER 2, 2019
2019-10-30 PER TWP.
2020-7-28 PER CLIENT

REVISIONS
SCALE 0 75 150
1" = 150 FEET
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P.M. J. ACKERMAN
BOOK --
JOB 16000819
SHEET NO. 13

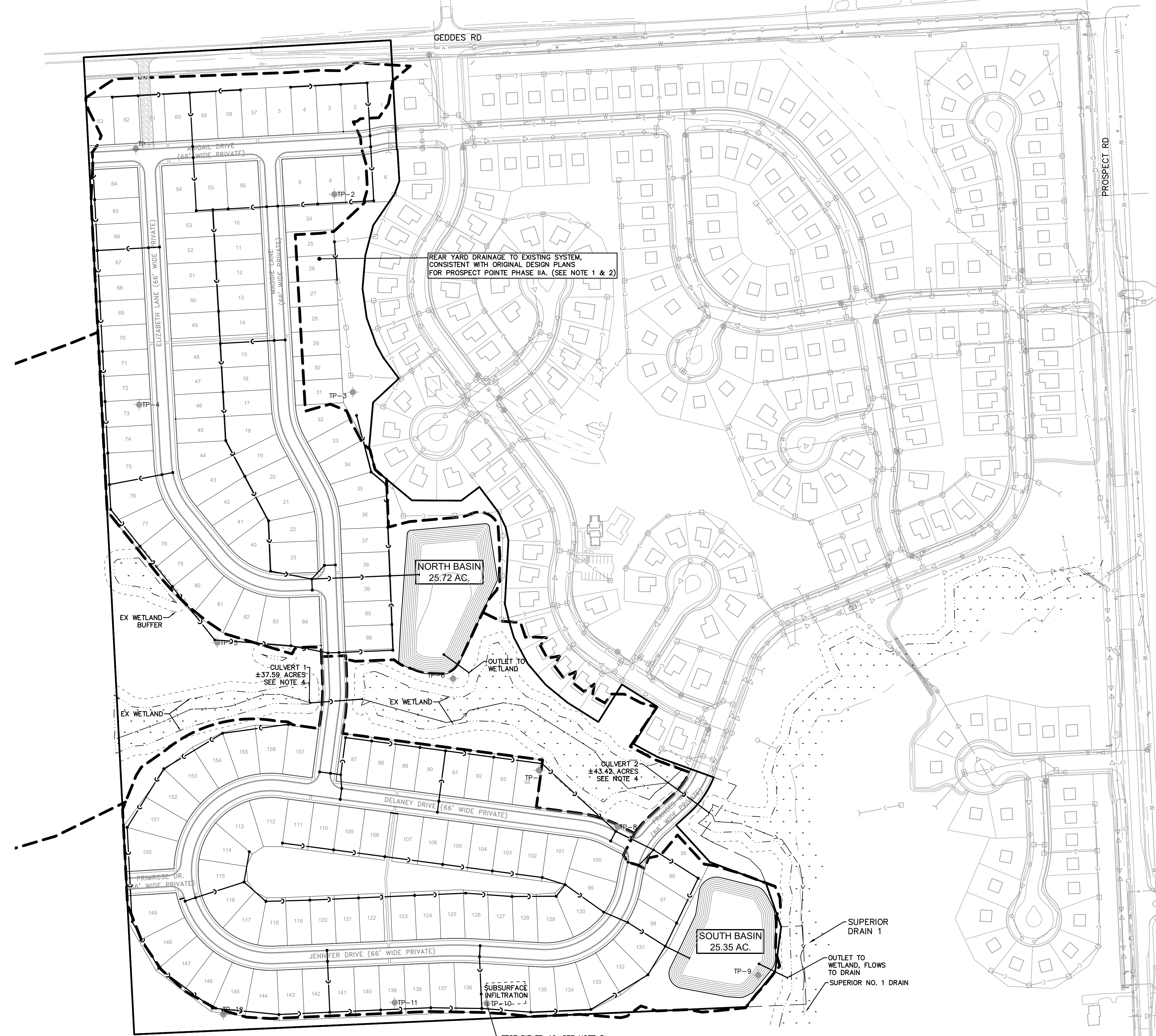
LEGEND

- BOUNDARY LINE
- EXIST. CONTOUR
- EXIST. TREE LINE / TREE
- EXIST. STORM
- EXIST. WETLAND BUFFER
- EXIST. WETLAND
- PROP. CONTOUR
- PROP. STORM SEWER
- PROP. OVERALL DRAINAGE AREA
- INFILTRATION TEST PIT LOCATION



NOTES

- THE PROPOSED DRAINAGE CONCEPT IS CONSISTENT WITH THE ORIGINAL PROSPECT POINTE PHASE IIA DESIGN. PRELIMINARY GRADING AND DRAINAGE FOR THIS PORTION OF THE PROJECT INDICATES LESS DRAINAGE (± 1 ACRE) WILL DRAIN INTO THE EXISTING STORM SEWER AND DETENTION SYSTEM. THEREFORE NO MODIFICATIONS TO THE EXISTING BASINS ARE ANTICIPATED TO BE REQUIRED. DETENTION VOLUME REQUIREMENTS PER CURRENT WCRC RULES HAVE BEEN INCORPORATED INTO THE PROPOSED BASIN SIZING.
- MINOR ADJUSTMENTS TO STORM INLET LOCATIONS MAY BE REQUIRED ALONG THE EASTERN PORTION OF THE NORTH SIDE OF THE PROJECT, TO RESULT IN STORM STRUCTURES TO BE LOCATED ON LOT LINES RATHER THAN IN THE MIDDLE OF PROPOSED RESIDENTIAL UNITS.
- TEST PITS FOR SOIL INFILTRATION TESTING WERE PERFORMED IN NOVEMBER, 2016. OF THE TWELVE TEST LOCATIONS, ONLY TP-10 WAS FOUND TO BE AMENABLE TO INFILTRATION, HOWEVER THE SIZE OF INFILTRATION AREA REQUIRED CANNOT BE ACHIEVED IN THE AREA OF THE SUITABLE SOIL TEST LOCATION. THEREFORE THE PROPOSED BASINS HAVE BEEN DESIGNED WITH A TWENTY PERCENT (20%) VOLUME PENALTY, IN ACCORDANCE WITH WCRC RULES.
- AN MDEQ PERMIT IS ANTICIPATED TO BE REQUIRED FOR THE CULVERT CROSSINGS. THESE CULVERTS WILL BE SIZED IN ACCORDANCE WITH THE ASSOCIATED TRIBUTARY AREA AND FLOW RATE, SUBJECT TO MDEQ REVIEW AND APPROVAL.
- THE DETENTION BASIN OUTLETS WILL FLOW INTO THE SUPERIOR NO. 1 DRAIN, WHICH FLOWS SOUTH AND ULTIMATELY DISCHARGES INTO THE HURON RIVER, APPROXIMATELY 1.5 MILES SOUTHWEST OF THE PROJECT.



REAR YARD DRAINAGE TO EXISTING SYSTEM, CONSISTENT WITH ORIGINAL DESIGN PLANS FOR PROSPECT POINTE PHASE IIA. (SEE NOTE 1 & 2)

NORTH BASIN 25.72 AC.

CULVERT 2 ±43.42 ACRES SEE NOTE 4

SOUTH BASIN 25.35 AC.

SUPERIOR DRAIN 1

OUTLET TO WETLAND, FLOWS TO DRAIN SUPERIOR NO. 1 DRAIN

TEST PIT TP-10, SEE NOTE 3

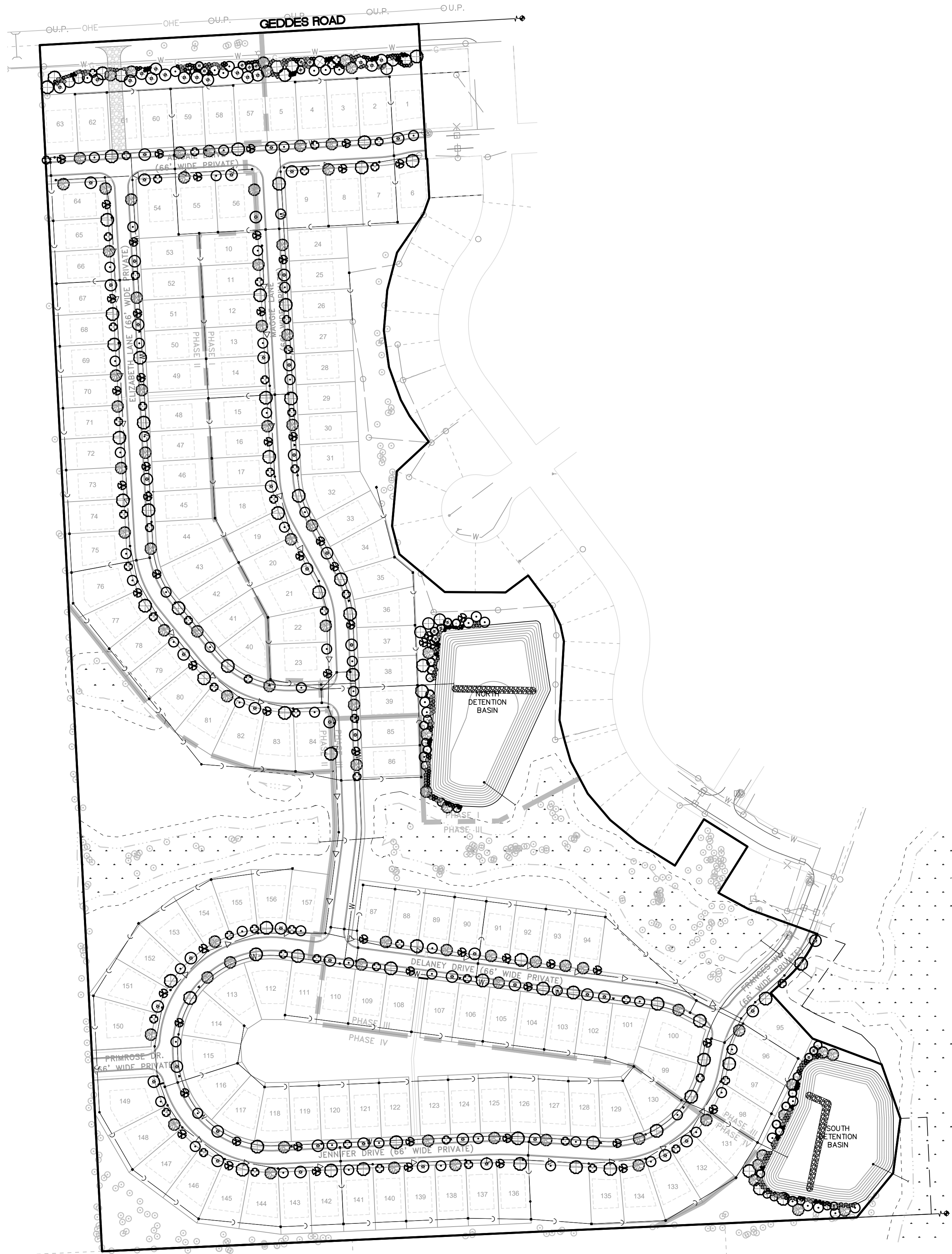
PERMANENT MAINTENANCE

TO BE PERFORMED BY OWNER OR OWNER'S REP.

TASKS	PAVED AREAS	PREVIOUS AREAS	RIP-RAP/SILT FENCE	STORM DRAINAGE SYSTEM	CATCH BASIN SWIMPS	CATCH BASIN INLET COVER	PERFORMED FOREBAY	SEDIMENT FOREBAY	DETENTION AREA	EMERGENCY OVERFLOW	SCHEDULE	ESTIMATED ANNUAL COST
INSPECT FOR SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	X	X	SEMI-ANNUALLY/AS NEEDED*	\$100
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	X	X	X	X	X	X	X	ANNUALLY/AS NEEDED*	\$300
INSPECT FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	X	X	X	ANNUALLY	\$50
CLEANING FOR FLOATABLES AND DEBRIS	X	X	X	X	X	X	X	X	X	X	ANNUALLY	\$100
INSPECTION FOR EROSION	X	X	X	X	X	X	X	X	X	X	SEMI-ANNUALLY	\$50
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	X	X	X	X	X	X	X	X	X	X	AS NEEDED	\$200
CLEAN DRIVES AND PARKING LOTS	X	X	X	X	X	X	X	X	X	X	ANNUALLY	\$300
INSPECT PRIVATE ROADS	X	X	X	X	X	X	X	X	X	X	ANNUALLY	\$100
CRACK SEALING / PAVEMENT REPAIR	X	X	X	X	X	X	X	X	X	X	AS NEEDED	\$200
MOWING	X	X	X	X	X	X	X	X	X	X	AS NEEDED, 0-2 TIMES/YEAR	\$200
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY A PROFESSIONAL ENGINEER, REPORTING TO THE OWNER)	X	X	X	X	X	X	X	X	X	X	ANNUALLY/AS NEEDED**	\$100
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY ANNUAL WET WEATHER INSPECTION	X	X	X	X	X	X	X	X	X	X	AS NEEDED**	\$100
KEEP RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITIES AND REPORT TO PROPERTY OWNER	X	X	X	X	X	X	X	X	X	X	ANNUALLY	\$50
KEEP RECORDS OF ALL COSTS FOR INSPECTIONS, MAINTENANCE AND REPAIRS. REPORT TO PROPERTY OWNER	X	X	X	X	X	X	X	X	X	X	ANNUALLY	\$50
PROPERTY OWNER REVIEWS COST EFFECTIVENESS OF THE PREVENTATIVE MAINTENANCE PROGRAM AND MAKES NECESSARY ADJUSTMENTS	X	X	X	X	X	X	X	X	X	X	ANNUALLY	\$50
OWNER TO HAVE A PROFESSIONAL ENGINEER CARRY OUT EMERGENCY INSPECTIONS UPON IDENTIFICATION OF SEVERE PROBLEMS	X	X	X	X	X	X	X	X	X	X	AS NEEDED	\$100

* AS NEEDED* MEANS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 6 INCHES OR GREATER
 ** DETENTION BASIN AND FOREBAY SHALL BE INSPECTED AND REPAIRED AS NEEDED FOLLOWING STORMS OF 1 INCH OR MORE.
 NOTE: NO CHEMICALS ARE ALLOWED IN STORMWATER FEATURES OR BUFFER ZONES WITH THE FOLLOWING EXCEPTION: INVASIVE SPECIES MAY BE TREATED WITH CHEMICALS BY A CERTIFIED APPLICATOR.

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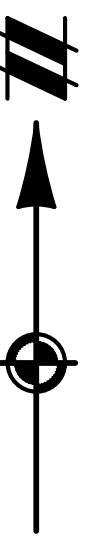


LEGEND

- BOUNDARY LINE
- EXIST. EASEMENT
- SECTION LINE
- BOUNDARY/PROPERTY LINE
- EXIST. SETBACK
- EXIST. CURB AND GUTTER
- EXIST. WETLAND
- EXIST. WETLAND BUFFER
- EXIST. STORM
- EXIST. WATER MAIN
- EXIST. SANITARY
- EXIST. UNSPECIFIED UTILITY
- EXIST. CULVERT
- EXIST. CATCH BASIN/INLET
- EXIST. HYDRANT
- EXIST. VALVE
- EXIST. SANITARY SEWER
- PROP. SETBACK
- PROP. BACK OF CURB
- PROP. ASPHALT
- PROP. STORM SEWER
- PROP. SANITARY
- PROP. WATER MAIN
- PROP. END SECTION
- PROP. CATCH BASIN/INLET
- PROP. WATER VALVE
- PROP. FIRE HYDRANT
- PROP. MANHOLE

LANDSCAPE LEGEND

- ARMSTRONG RED MAPLE
ACER X FREEMANII 'ARMSTRONG'
- GREEN MOUNTAIN SUGAR MAPLE
ACER SACCHARUM
- NORTHERN HACKBERRY
CELTIS OCCIDENTALIS
- RED OAK
QUERCUS RUBRA
- BLACK GUM
NYSSA SYLVATICA
- HOPHORNBEAM
OSTRYIA VIRGINIANA
- COMMON HORNBEAM
CARPINUS BETULUS 'FASTIGIATA'
- REGAL PRINCE OAK
QUERCUS X WAREI 'REGAL PRINCE'



LANDSCAPE REQUIREMENTS

1. STREET TREES:
 - 2 PER LOT OR A MAXIMUM OF 60' ON CENTER (ALSO GUIDED BY UTILITY LEADS AND DRIVEWAYS)
2. GREENBELT BUFFER:
 - 1 TREE AND 3 SHRUBS PER 15' OF GREENBELT LENGTH.
 - MIN. WIDTH = 10'
 - MIN. 3' HIGH BERM (EXISTING)
 - SITE REQUIREMENT: GEDDES RD BUFFER = (830LF/15) = 56 TREES AND 168 SHRUBS
3. DETENTION BASIN BUFFER:
 - NORTH DETENTION BASIN: SOUTH AND WEST SIDES: (500LF/15) = 34 TREES AND 102 SHRUBS
 - SOUTH DETENTION BASIN: SOUTH AND WEST SIDES: (470LF/15) = 32 TREES AND 96 SHRUBS

LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES.
2. LANDSCAPING OPERATIONS, INCLUDING PLANTING OF TREES AND SHRUBS, SHALL NOT DAMAGE ANY UTILITY OR INTERRUPT ANY UTILITY SERVICE, AND SHALL NOT DAMAGE OR CREATE A NUISANCE AFFECTING ADJACENT PROPERTY, PUBLIC STREETS, OR SIDEWALKS.
3. PLANT AND GRASS MATERIALS SHALL BE INSTALLED ACCORDING TO GENERALLY ACCEPTED PLANTING PROCEDURES.
4. ALL PARKING LOT ISLANDS, BOLLARDS, OPEN OR OTHERWISE DISTURBED AREAS THAT ARE NOT SPECIFIED WITH OTHER PLANTING, PAVING OR SEED MIXTURES SHALL BE PLANTED WITH A STANDARD PERMANENT GRASS SEED MIXTURE TO INDUSTRY STANDARDS.
5. LANDSCAPING MATERIALS THAT ARE UNSIGHTLY, DEAD, DYING, OR THAT BECOME UNHEALTHY BECAUSE OF DAMAGING, NEGLECT, DRAINAGE PROBLEMS, DISEASE, INSECT INFESTATION, OR OTHER CAUSES SHALL BE REPLACED WITHIN ONE YEAR, OR THE NEXT PLANTING PERIOD, WHICHEVER OCCURS FIRST. REPLACEMENT MATERIALS SHALL MEET ALL STANDARDS OF THE ORIGINAL INSTALLATION.
6. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN ADEQUATE WATER SUPPLY. IF AUTOMATIC IRRIGATION IS PROVIDED, IT MUST HAVE A RAIN SENSOR TO SHUT OFF SO AS NOT TO SATURATE INFILTRATION BASINS.
7. THE PROPERTY OWNER (OR ANY APPLICABLE OWNER'S ASSOCIATION) SHALL BE RESPONSIBLE TO ENSURE THE PROPER CARE AND MAINTENANCE OF LANDSCAPE AREAS, INCLUDING KEEPING ALL LANDSCAPE MATERIALS IN A HEALTHY AND GROWING STATE. ALL LANDSCAPE ELEMENTS SUCH AS, BUT NOT LIMITED TO, FENCES, SCREENS, WALLS, OR LIGHTING SHALL BE KEPT IN GOOD REPAIR.
8. TOPSOIL REMOVED DURING CONSTRUCTION SHALL BE STOCKPILED IN AN APPROPRIATE MANNER TO PREVENT EROSION, AND SHALL BE REDISTRIBUTED ON RE-GRADED SURFACES TO BE LANDSCAPED, TO PROVIDE A MINIMUM OF FOUR INCHES OF EVEN COVER. THE TOPSOIL SHALL THEN BE PERMANENTLY STABILIZED BY GRASS, GROUND COVER, OR OTHER PLANTINGS.
9. NO PLANT MATERIAL SHALL BE PLANTED CLOSER THAN 4 FEET FROM ANY PROPERTY LINE.
10. REMOVE ALL TWINE, WIRE, NURSERY GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALL. PEEL BACK THE BURLAP FROM EARTH BALLS AND REMOVE ANY BURLAP, TWINE OR WIRE AROUND THE TRUNK FLARE AND ABOVE.
11. ALL PLANTING AREAS ARE TO BE EXCAVATED OF ALL BUILDING / CONSTRUCTION AND FILL MATERIALS AND BACKFILLED WITH GOOD MEDIUM TEXTURED PLANTING SOIL. SEEDING AREAS ARE TO BE TREATED WITH 4" OF NEW TOPSOIL AND ROTOTILLED OR OTHERWISE SCARIFIED TO BREAK UP COMPACTION AT LEAST 8" BELOW THE TOPSOIL.
12. TOPSOIL SHALL BE SCREENED AND SUITABLE FOR GROWING VEGETATION AND MEET AT A MINIMUM ASTM D-5268 AND MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
13. RECOMMENDED PLANTING DATES ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
14. ALL DISTURBED SOIL IN STORMWATER SYSTEMS MUST BE PLANTED WITH PERENNIAL PLANTINGS TO PROVIDE FOR PERMANENT SOIL STABILIZATION AS CALLED FOR IN THE SOIL EROSION CONTROL PERMIT.
15. WITHIN AREAS ABOVE THE INFILTRATION STORAGE ELEVATION OF THE PROPOSED DETENTION BASIN, SEEDING AND/OR LIVE PLANTINGS ARE ALLOWED. ONLY NATIVE SEEDS (AS DEFINED BY MICHIGAN FLORA, MICHIGANFLORA.NET) ARE ALLOWED FOR PERMANENT SOIL STABILIZATION. ANNUAL SEEDS ARE ALLOWED IN AN AMOUNT NECESSARY TO TEMPORARILY STABILIZE THE LIMITS OF DISTURBANCE.
16. BELOW THE INFILTRATION STORAGE ELEVATION WITHIN THE DETENTION BASIN, LIVE PLANTINGS MUST COVER THE ENTIRE AREA. THE INFILTRATION STORAGE ELEVATION SHOULD BE NOTED ON THE DETAILS. NATIVE PLANTS ARE PREFERRED. CULTIVARS AND NON-NATIVE PERENNIALS ARE ALLOWABLE IF APPROVED BY MICHIGAN. PLANTS LISTED ON THE MICHIGAN PAIN GARDEN PLANT LIST ARE ACCEPTABLE. INVASIVE SPECIES ARE NOT ALLOWED (SEE THE CITY OF ANN ARBOR'S INVASIVE SPECIES LIST).
 - A. PLANTINGS SHOULD BE LOCALLY ADAPTED AND APPROPRIATE TO HYDRIC CONDITIONS PROPOSED. FOR MORE INFORMATION ON INDIVIDUAL SPECIES, SEE "PLANTS FOR STORMWATER DESIGN: SPECIES SELECTION FOR THE UPPER MIDWEST" BY DANIEL SHAW & RUSTY SCHMIDT.
 - B. PLANTINGS SHOULD BE SPACED ACCORDING TO EACH SPECIES SIZE AND GROWTH POTENTIAL TO ALLOW FOR SUFFICIENT COVERAGE AS REQUIRED BY THE SOIL EROSION PERMIT.
17. PLANTING SOILS MUST BE AMENDED WITH A COMPOSTED ORGANIC MATERIAL. SOILS MUST BE FREE OF CONSTRUCTION DEBRIS AND SUBSOILS. A RECOMMENDED SOIL BLEND INCLUDES 20 TO 30 PERCENT COMPOST.
18. AT THE TIME OF PLANT AND SEED DELIVERY, A WORKING LANDSCAPE REVIEWER MUST BE PRESENT. THE QUANTITY AND SPECIES DELIVERED WILL BE REVIEWED ON SITE. CONTACT CATIE WYTYCHAK AT WYTYCHAK@WASHTENAW.ORG OR (734) 222-6813 TO COORDINATE.

811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SECTION 33
TOWN 2 SOUTH, RANGE 7 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

DIVERSE REAL ESTATE LLC
PROSPECT POINTE WEST
SITE PLAN
LANDSCAPE PLAN

CLIENT: DIVERSE REAL ESTATE LLC
DATE: OCTOBER 2, 2019
2019-10-30 PER TWP.
2020-7-28 PER CLIENT

REVISIONS
SCALE 0 75 150
1" = 150 FEET
DR. KS | CH. JK
P.M. J. ACKERMAN
BOOK ---
JOB 16000819
SHEET NO. 15

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SECTION 33
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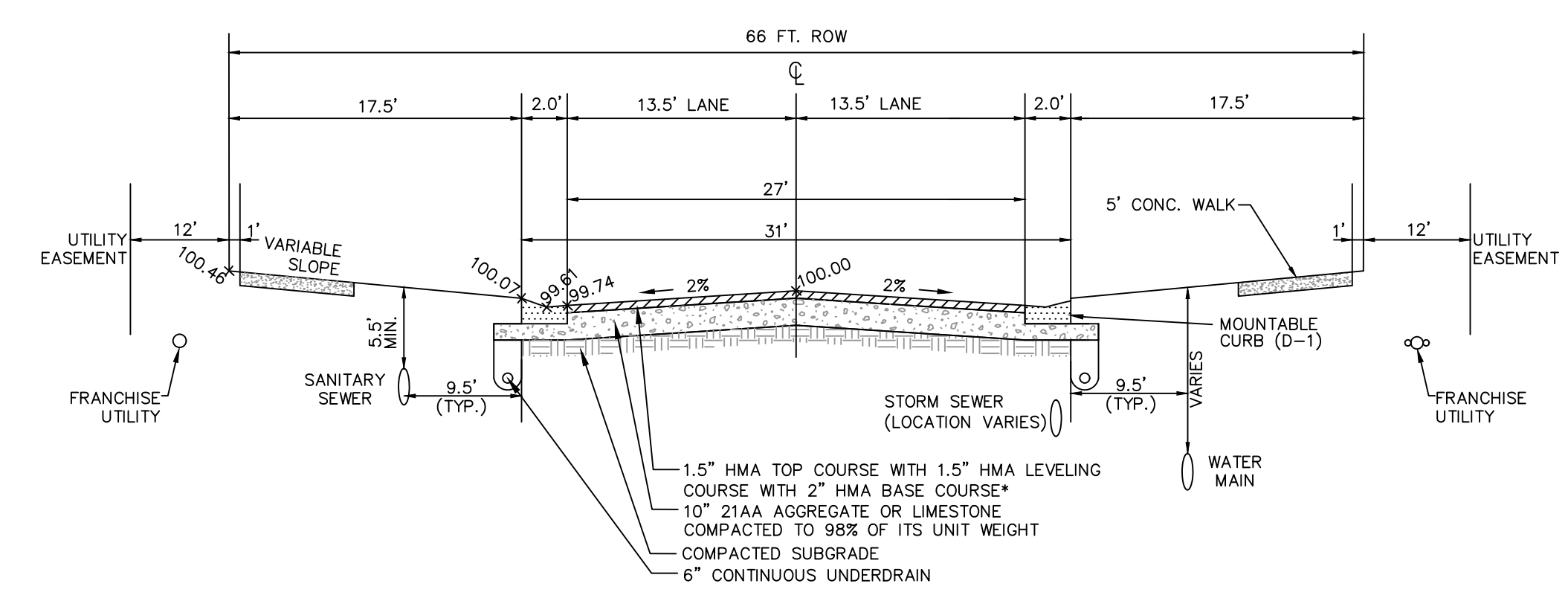
CLIENT
 DIVERSE REAL ESTATE LLC
 PROSPECT POINTE WEST
 SITE PLAN
 TYPICAL DETAILS

DATE
 OCTOBER 2, 2019

2019-10-30 PER TWP.
 2020-7-28 PER CLIENT

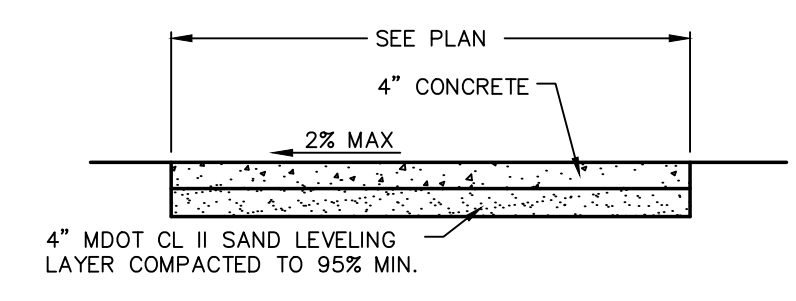
REVISIONS

SCALE	0	--	--
NO SCALE			
DR.	KS	CH.	JK
P.M. J. ACKERMAN			
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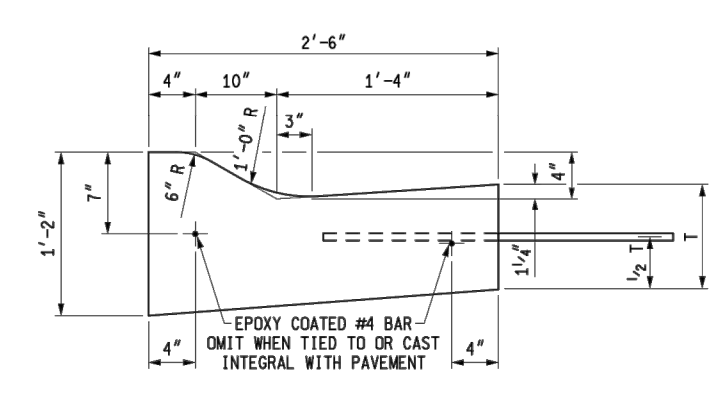


RESIDENTIAL ROADWAYS (PRIVATE)
 NOT TO SCALE

- * NOTES:
 1. REFER TO CURRENTLY APPROVED WRC HMA MIX DESIGNS AND BINDER REQUIREMENTS PRIOR TO CONSTRUCTION.
 2. ALL PROPOSED UTILITIES SHALL BE WITHIN THE RIGHT-OF-WAY OR WITHIN AN EASEMENT OUTSIDE OF THE RIGHT-OF-WAY.
- ASSUMED SECTION:
 1.5" LVSP WEARING COURSE WITH 3% MAX AIR VOIDS
 1.5" LVSP LEVELING COURSE
 2" 4E1 BASE COURSE
 All HMA shall limit RAP to 25%

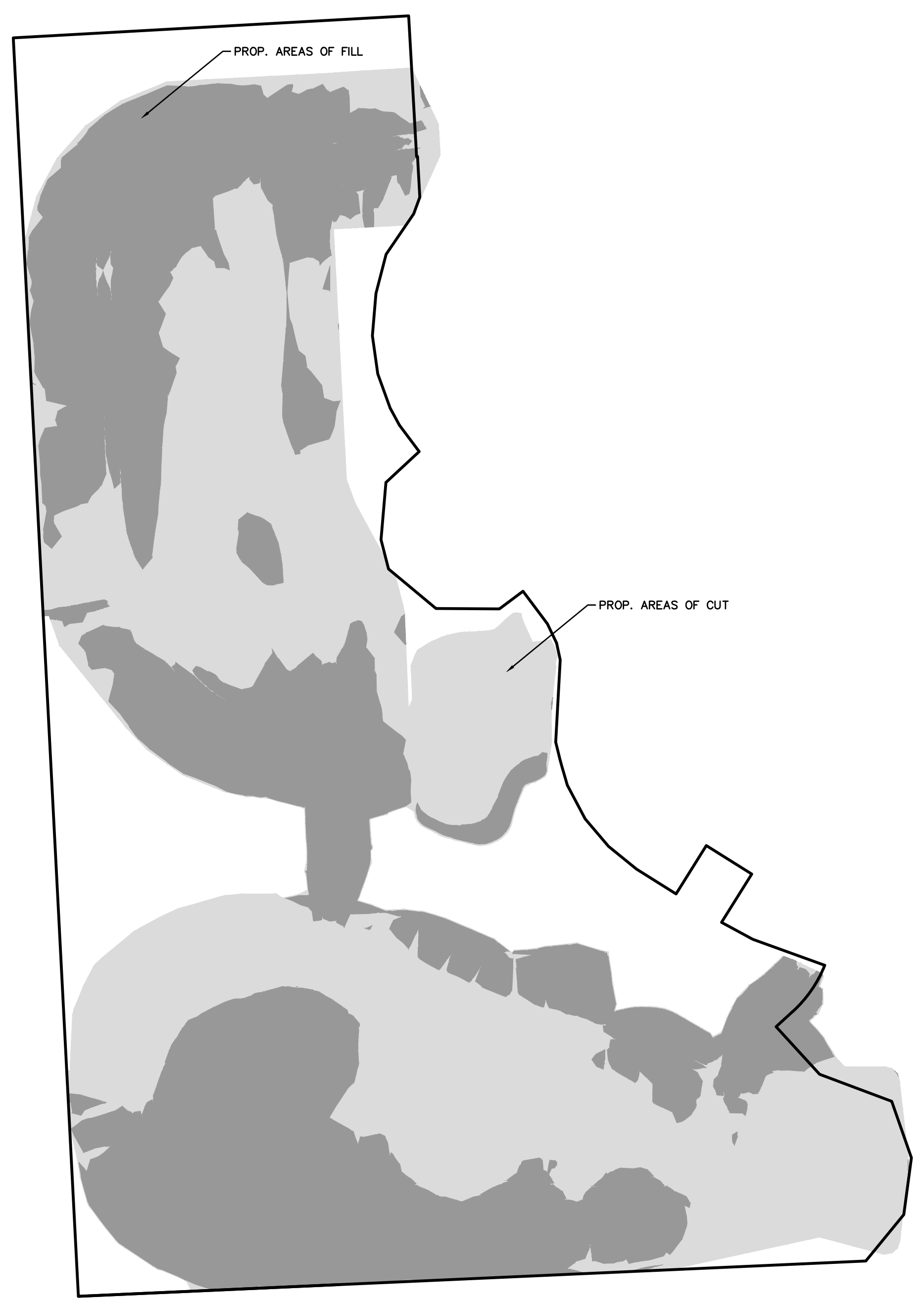


CONCRETE SIDEWALK SECTION
 NOT TO SCALE

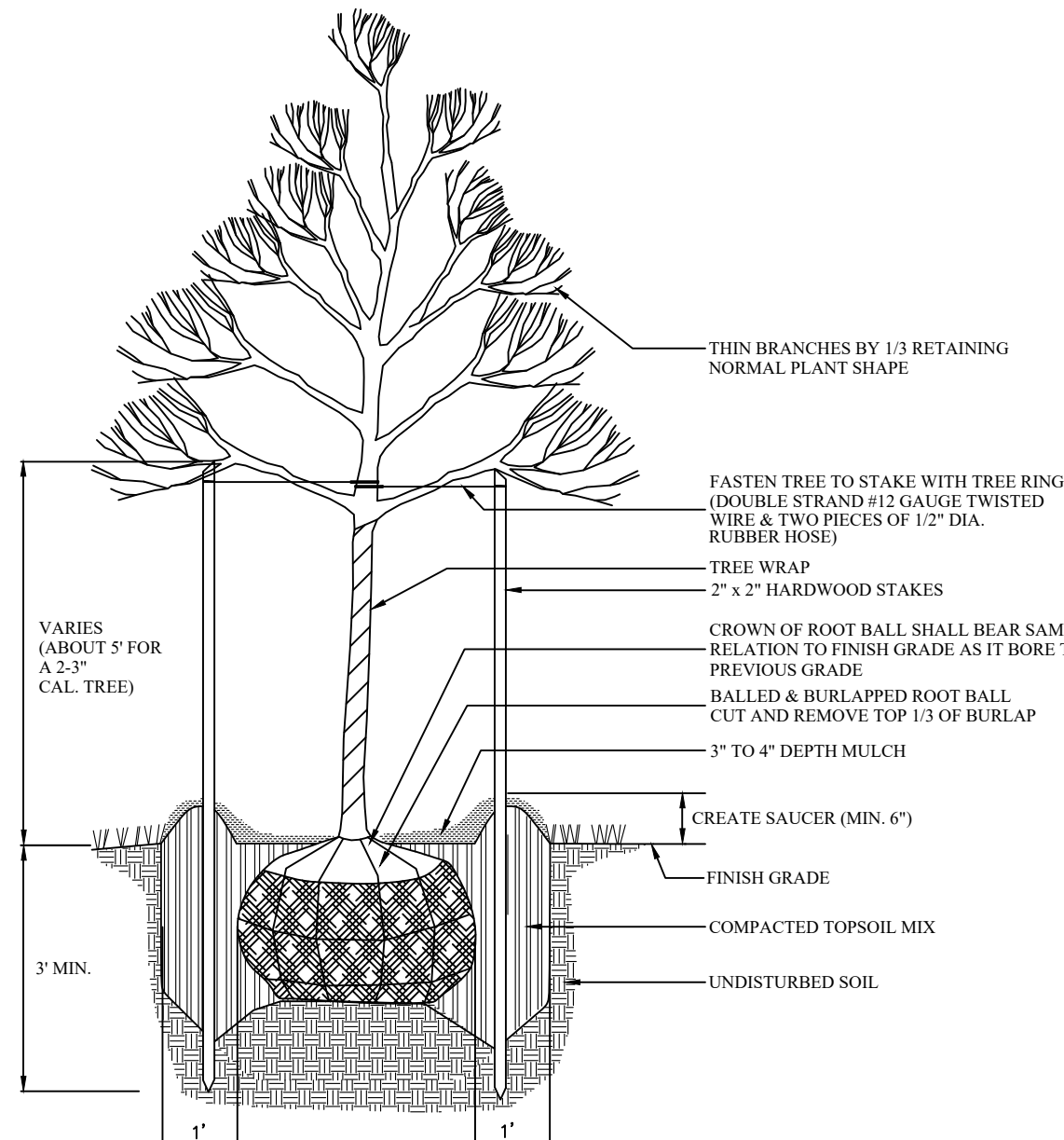


DETAIL	DIMENSION	LANE TIES	CONCRETE CY / LFT
D1	5"	AS SHOWN	0.0768
D2	5"	OMITTED	0.0768
D3	10"	AS SHOWN	0.0826

MOUNTABLE CURB & GUTTER
 NOT TO SCALE

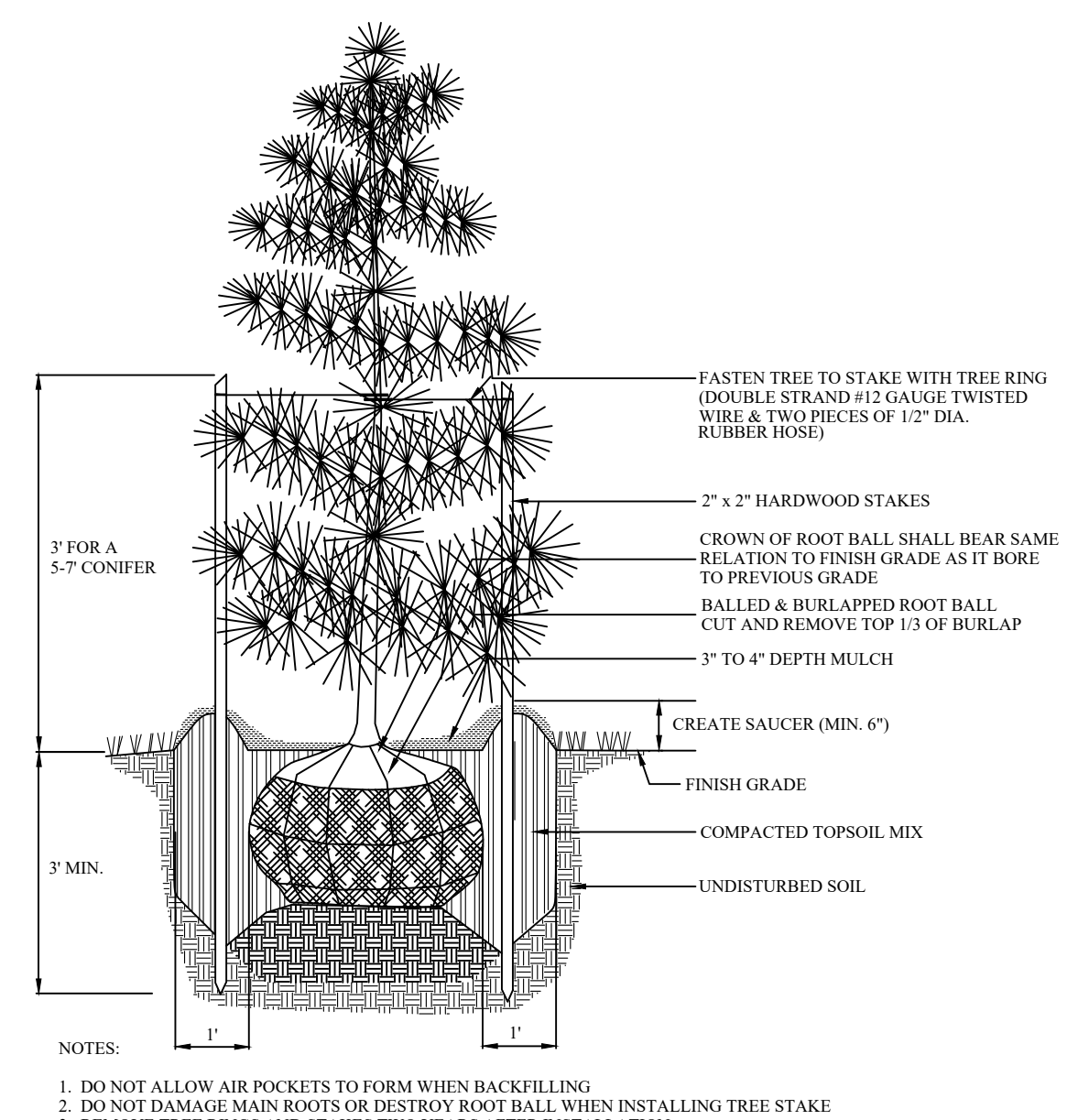


CUT AND FILL AREAS
 SCALE: 1" = 200 FEET



- NOTES:
 1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 2. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE
 3. REMOVE TREE RINGS, TREE WRAP AND STAKES TWO YEARS AFTER INSTALLATION
 4. WATER TREE THOROUGHLY SUBSEQUENT TO INSTALLATION

DECIDUOUS TREE PLANTING DETAIL
 NO SCALE



- NOTES:
 1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 2. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE
 3. REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATION
 4. WATER TREE THOROUGHLY SUBSEQUENT TO INSTALLATION

CONIFEROUS TREE PLANTING DETAIL
 NO SCALE