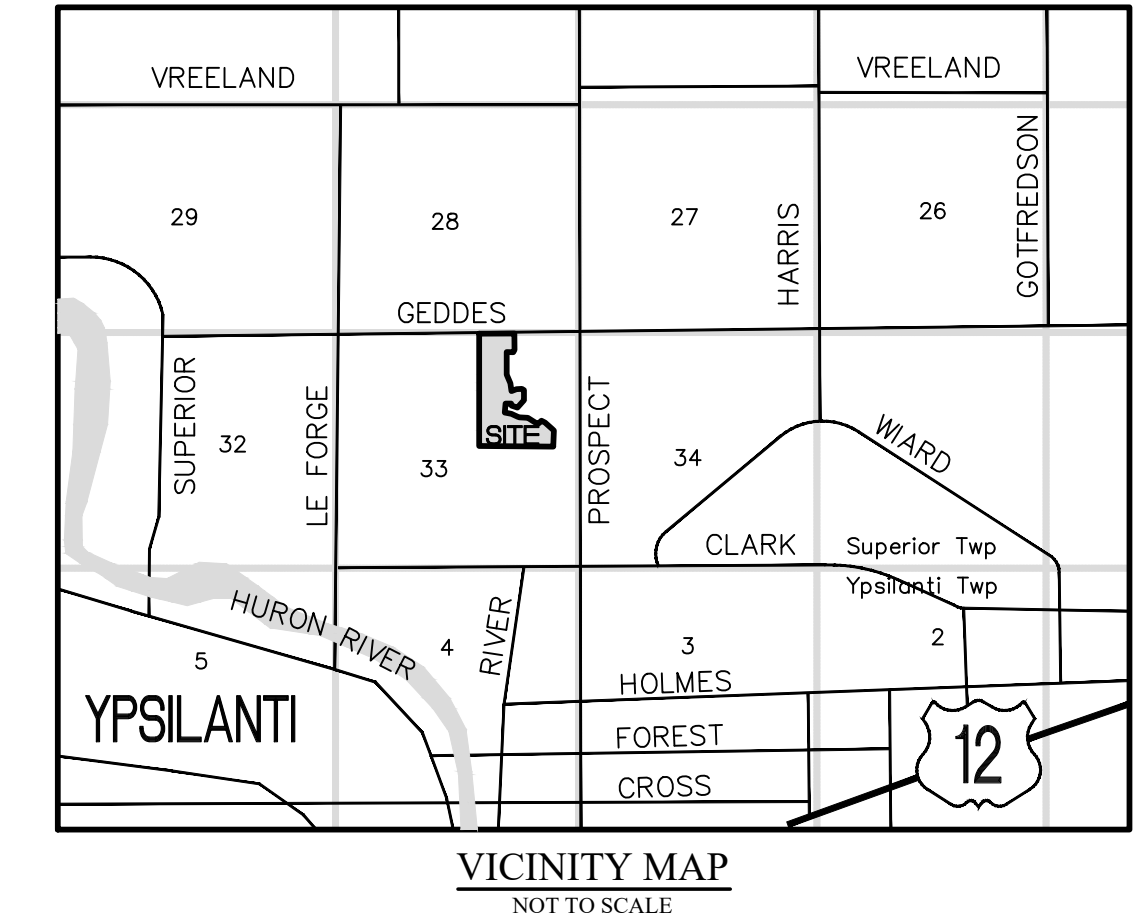


PROSPECT POINTE WEST

A SINGLE FAMILY DEVELOPMENT

SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN

PRELIMINARY SITE PLAN



811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY IN THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2020 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

PROJECT CONTACTS

DEVELOPER / APPLICANT
DIVERSE REAL ESTATE LLC
13001 23 MILE ROAD, SUITE 200
SHELBY TWP, MICHIGAN 48315
CONTACT: GREG WINDINGLAND
PHONE: (586) 781-2364

CIVIL ENGINEER
ATWELL, LLC
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MICHIGAN 48076
CONTACT: JOHN ACKERMAN
PHONE: (248) 447-2000

LEGAL DESCRIPTION

DESCRIPTION OF 67.63 ACRE OF LAND LOCATED IN THE NORTHWEST 1/4 OF SECTION 33, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN: (AS SURVEYED BY ATWELL)

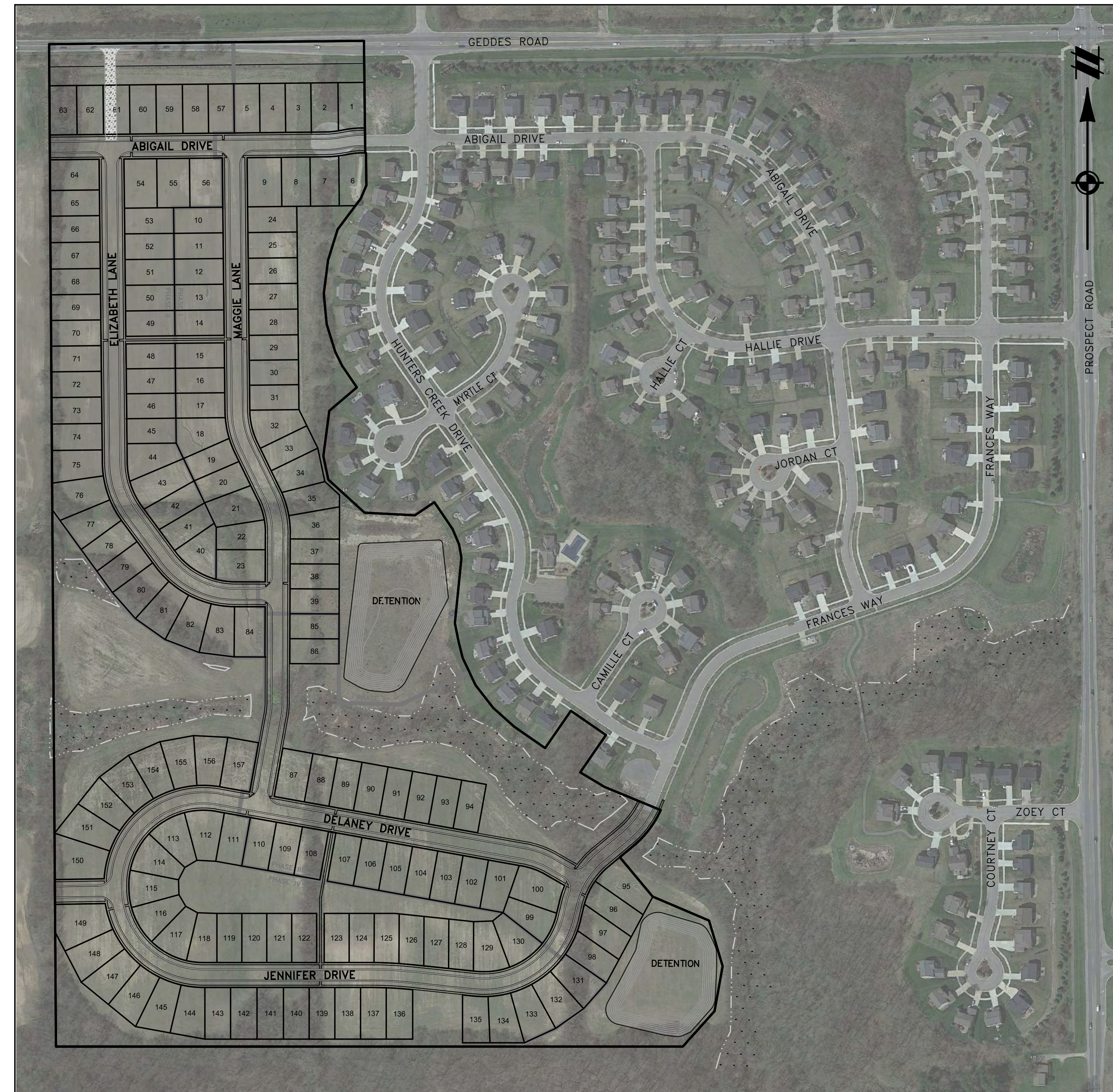
COMMENCING AT THE EAST 1/4 CORNER OF SECTION 33, TOWN 2 SOUTH, RANGE 7 EAST, SUPERIOR TOWNSHIP, WASHTENAW COUNTY, MICHIGAN; THENCE S87°25'50"W (RECORDED AS S87°41'00"W) 1079.06 FEET ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 33 FOR A PLACE OF BEGINNING; THENCE CONTINUING S87°25'50"W (RECORDED AS S87°41'00"W) 1658.89 FEET ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 33 TO THE CENTER OF SAID SECTION 33; THENCE N02°57'34"W (RECORDED AS N02°42'24"W) 2652.37 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 33 TO THE NORTH 1/4 CORNER OF SAID SECTION 33; THENCE N86°48'36"E (RECORDED AS N87°03'46"E) 833.32 FEET ALONG THE NORTH LINE OF SAID SECTION 33 AND THE CENTERLINE OF GEDDES ROAD (VARIABLE WIDTH); THENCE ALONG THE WESTERLY LINE OF PROSPECT POINTE SUBDIVISION NO. 1, AS RECORDED IN LIBER 35 OF PLATS, PAGE 67, WASHTENAW COUNTY RECORDS, FOR THE FOLLOWING 3 COURSES: S03°12'30"E (PLATTED AS S02°57'20"E) 296.61 FEET, N86°47'30"E (PLATTED AS N87°02'40"E) 2.00 FEET AND S03°12'30"E (PLATTED AS S02°57'20"E) 86.00 FEET; THENCE ALONG THE WESTERLY LINE OF PROSPECT POINTE SUBDIVISION NO. 2, AS RECORDED IN LIBER 35 OF PLATS, PAGE 99, WASHTENAW COUNTY RECORDS, FOR THE FOLLOWING 30 COURSES: S20°03'11"W (PLATTED AS S20°18'21"W) 37.01 FEET, S34°16'37"W (PLATTED AS S34°31'47"W) 103.24 FEET, S14°36'50"W (PLATTED AS S14°52'00"W) 85.12 FEET, S04°44'49"W (PLATTED AS S05°59'59"W) 89.33 FEET, S08°01'14"E (PLATTED AS S07°46'04"E) 81.01 FEET, S19°49'12"E (PLATTED AS S19°34'02"E) 76.46 FEET, S28°36'23"E (PLATTED AS S28°21'13"E) 40.86 FEET, S36°50'24"E (PLATTED AS S36°35'14"E) 69.56 FEET, S47°03'42"W (PLATTED AS S47°18'52"W) 95.59 FEET, S04°56'41"W (PLATTED AS S05°11'51"W) 120.87 FEET, S14°29'11"E (PLATTED AS S14°14'01"E) 63.68 FEET, S50°10'13"E (PLATTED AS S49°55'03"E) 129.94 FEET, S89°37'53"E (PLATTED AS S89°22'43"E) 133.38 FEET, N53°09'36"E (PLATTED AS N53°24'46"E) 62.06 FEET, S36°50'24"E (PLATTED AS S36°35'14"E) 85.67 FEET, S25°39'53"E (PLATTED AS S25°24'43"E) 44.78 FEET, S12°08'48"E (PLATTED AS S11°53'38"E) 36.45 FEET, S03°10'48"W (PLATTED AS S03°25'58"W) 173.12 FEET, S13°51'38"E (PLATTED AS S13°36'28"E) 37.88 FEET, S14°58'30"E (PLATTED AS S14°43'20"E) 14.00 FEET, S16°17'53"E (PLATTED AS S16°02'43"E) 42.30 FEET, S27°56'27"E (PLATTED AS S27°41'17"E) 80.08 FEET, S40°21'48"E (PLATTED AS S40°06'38"E) 75.94 FEET, S50°50'05"E (PLATTED AS S50°34'55"E) 75.85 FEET, S57°55'06"E (PLATTED AS S57°39'56"E) 98.34 FEET, N32°04'54"E (PLATTED AS N32°20'04"E) 120.00 FEET, S57°55'06"E (PLATTED AS S57°39'56"E) 112.81 FEET, S32°04'54"W (PLATTED AS S32°20'04"W) 120.00 FEET, S61°33'56"E (PLATTED AS S61°18'46"E) 74.87 FEET AND S70°08'30"E (PLATTED AS S69°53'20"E) 160.87 FEET; THENCE ALONG THE WESTERLY LINE OF SAID PROSPECT POINTE SUBDIVISION NO. 1 FOR THE FOLLOWING 7 COURSES: 118.83 FEET ALONG THE ARC OF A 263.00 FOOT RADIUS NON TANGENTIAL CIRCULAR CURVE TO THE RIGHT, CHORD BEARING S34°35'35"W 117.82 FEET, S47°32'14"W (PLATTED AS S47°47'24"W) 48.01 FEET, S42°27'46"E 135.80 FEET (RECORDED AS S42°12'36"E 135.08 FEET AND PLATTED AS S42°12'36"E 135.80 FEET), S69°28'35"E (PLATTED AS S69°13'25"E) 162.02 FEET, S19°15'30"E (PLATTED AS S19°00'20"E) 125.77 FEET, S07°37'05"W (PLATTED AS S07°52'15"W) 120.86 FEET, S39°20'09"W (PLATTED AS S39°35'19"W) 126.12 FEET TO THE PLACE OF BEGINNING, CONTAINING 67.63 ACRES OF LAND, MORE OR LESS, BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE NORTHERLY 33 FEET THEREOF AS OCCUPIED BY SAID GEDDES ROAD AND SUBJECT TO EASEMENTS, CONDITIONS, RESTRICTIONS AND EXCEPTIONS OF RECORD, IF ANY.

PROJECT NARRATIVE

PROSPECT POINTE WEST IS LOCATED AT THE SOUTHWEST CORNER OF GEDDES ROAD AND PROSPECT ROAD, WEST OF HUNTERS CREEK DRIVE IN SUPERIOR TOWNSHIP. THIS PARCEL WAS ORIGINALLY PART OF THE PROSPECT POINTE DEVELOPMENT, A PLATTED SUBDIVISION, WHICH WAS PERMITTED THROUGH SUPERIOR TOWNSHIP APPROXIMATELY 10 YEARS AGO. PROSPECT POINTE WEST IS 67.63 ACRES AND IS ZONED R-4, SINGLE FAMILY RESIDENTIAL DISTRICT, URBAN.

THE APPLICANT IS PROPOSING TO DEVELOP THE PROJECT AS A 157 - UNIT SITE CONDOMINIUM. THE PROPOSED LOT DIMENSIONS ARE 66' X 130' WITH A MINIMUM LOT SIZE OF 8,580 SF. THE HOMES WILL RANGE IN SIZE FROM 2,000 TO 3,200 SF. THE INTENT IS TO PREPARE ONE SITE PLAN FOR THE OVERALL DEVELOPMENT AND THEN THE DEVELOPMENT WILL BE CONSTRUCTED IN 4 PHASES. THERE ARE SOME TOPOGRAPHIC CHALLENGES WITH THE SITE AND, AS SUCH, THE ENTIRE SITE WILL BE REQUIRED TO BE MASS GRADED IN ORDER TO MINIMIZE IMPORT AND EXPORT OF MATERIAL FROM THE SITE. THE FULL GRADING WILL BE INCLUDED AS PART OF THE FIRST PHASE OF CONSTRUCTION DOCUMENTS.

PROSPECT POINTE WEST IS PROPOSED TO CONTAIN PRIVATE ROADS WITH SIDEWALKS ON BOTH SIDES, WHICH HAVE ALREADY RECEIVED APPROVAL FROM THE COUNTY ROAD COMMISSION BASED ON THE PREVIOUSLY APPROVED PLANS FOR THE PROJECT. THE DEVELOPMENT WILL BE SERVICED BY PUBLIC SANITARY SEWER WHICH WILL BE DESIGNED AS AN EXTENSION OFF OF THE EXISTING PROSPECT POINTE DEVELOPMENT. PUBLIC WATER WILL ALSO BE EXTENDED FROM THE EXISTING SUBDIVISION.



SHEET INDEX

SH. #	SHEET TITLE
01	COVER SHEET
02	OVERALL EXISTING CONDITIONS
03	EXISTING CONDITIONS - AREA 1
04	EXISTING CONDITIONS - AREA 2
05	EXISTING CONDITIONS - AREA 3
06	EXISTING CONDITIONS - AREA 4
07	NATURAL FEATURES PLAN
08	OVERALL LAYOUT PLAN
09	LAYOUT PLAN - NORTH
10	LAYOUT PLAN - SOUTH
11	UTILITIES PLAN - NORTH
12	UTILITIES PLAN - SOUTH
13	CONCEPTUAL DRAINAGE PLAN
14	DETENTION BASIN CALCULATIONS
15	LANDSCAPE PLAN
16	TYPICAL DETAILS

SITE DATA

GROSS AREA:	67.63 ACRES
GEDDES ROAD ROW:	1.15 ACRES
NET AREA:	66.48 ACRES
EXISTING ZONING:	R-4 SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING:	R-4 SINGLE FAMILY RESIDENTIAL
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL SITE CONDOMINIUM
NUMBER OF PROPOSED LOTS:	157
PROPOSED DENSITY (GROSS):	2.32
PROPOSED DENSITY (NET):	2.36
LOT AREA PER DWELLING UNIT:	66' X 130' = 8580 SF (TYPICAL)
MINIMUM LOT WIDTH:	66'
LOT SETBACKS:	FRONT- 25' SIDE- 6' MIN. (16' TOTAL) REAR- 35'
PROPOSED LOT COVERAGE:	MAX 25%
PROPOSED GENERAL COMMON ELEMENT (G.C.E.):	21.44 ACRES
WETLAND IMPACTS:	REGULATED 0.64 ACRES NON-REGULATED 0.51 ACRES

PHASING SCHEDULE

	CONSTRUCTION	COMPLETION
PHASE I (39 UNITS)	NOVEMBER 2021	JULY 2023
PHASE II (45 UNITS)	JUNE 2024	6 MONTHS +/- FROM START
PHASE III (26 UNITS)	JUNE 2025	6 MONTHS +/- FROM START
PHASE IV (47 UNITS)	JUNE 2026	6 MONTHS +/- FROM START

(SUBJECT TO ECONOMIC AND OTHER FACTORS)

ESTIMATED DATE OF FIRST OCCUPANCY FEBRUARY 2022

ATWELL
866.850.4200 www.atwell-group.com
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
248.447.2000

SECTION 33
TOWN 2 SOUTH, RANGE 7 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
DIVERSE REAL ESTATE LLC
PROSPECT POINTE WEST
SITE PLAN
COVER SHEET

DATE
OCTOBER 2, 2019
2019-10-30 PER TWP.
2020-7-28 PER CLIENT

REVISIONS
SCALE 0 100 200
1" = 200 FEET
DR. KS CH. JK
P.M. J. ACKERMAN
BOOK ---
JOB 16000819
SHEET NO. 01



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2019 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.



SECTION 33
TOWN 2 SOUTH, RANGE 7 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

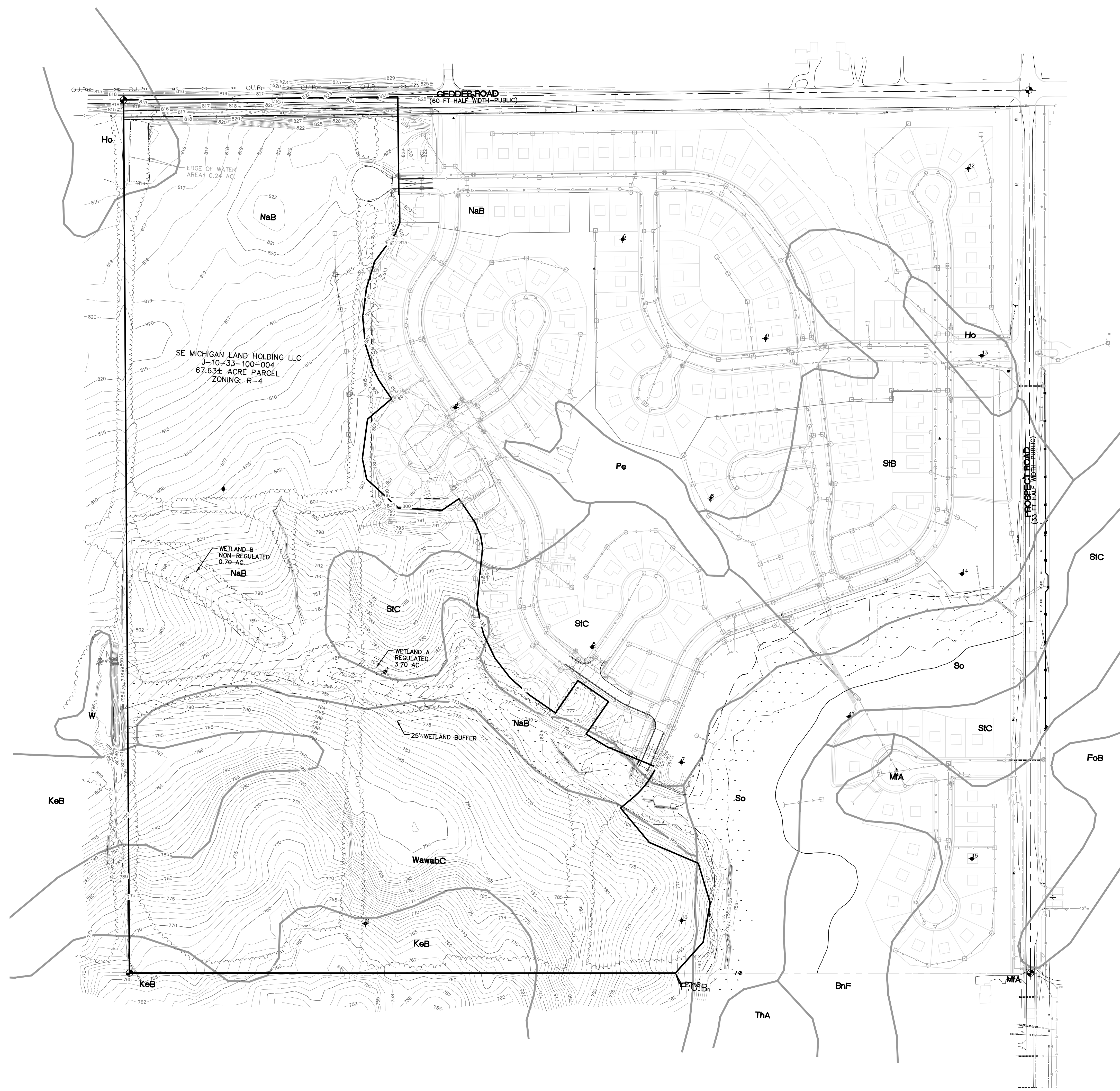
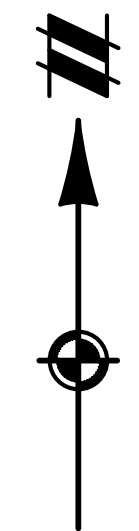
CLIENT
DIVERSE REAL ESTATE LLC
PROSPECT POINTE WEST
SITE PLAN
OVERALL EXISTING CONDITIONS

DATE
OCTOBER 2, 2019

2019-10-30 PER TWP.
2020-7-28 PER CLIENT

Table with 2 columns: REVISIONS, SCALE. Includes a graphic scale bar.

DR. KS CH. JK
P.M. J. ACKERMAN
BOOK
JOB 16000819
SHEET NO. 02



SOIL BORING LOG

Table with 4 columns: SOIL BORE ID, NORTHING (SPC MI S), EASTING (SPC MI S), ELEVATION (NAVD 88). Lists 12 soil borings with their respective coordinates and elevations.

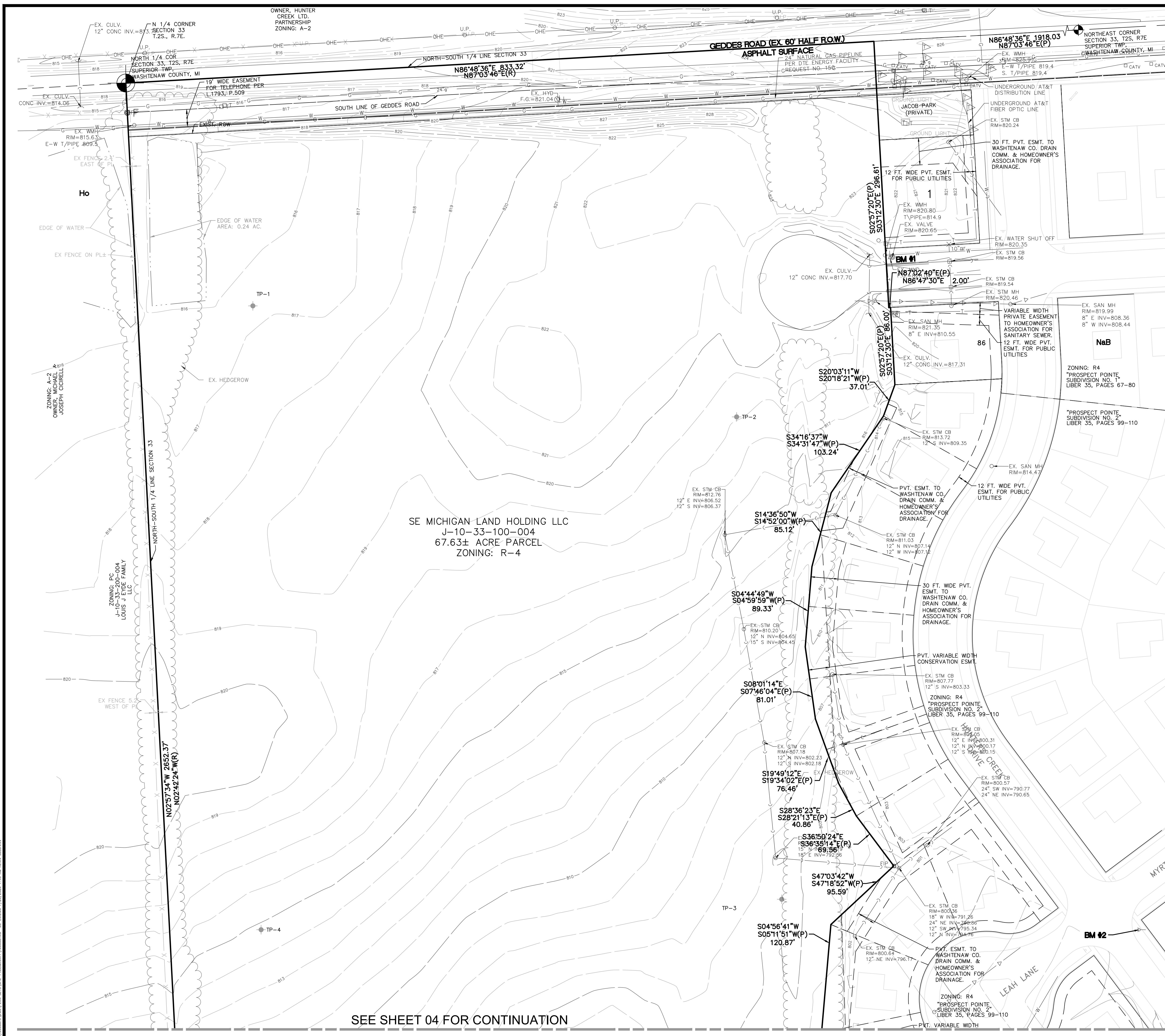
SOILS INFORMATION

- BNC BOYER LOAMY SAND, 6 TO 12 PERCENT SLOPES
BNF BOYER LOAMY SAND, 25 TO 50 PERCENT SLOPES
FOB FOX SANDY LOAM, TILL PLAIN, 2 TO 6 PERCENT SLOPES
HO HOYTVILLE SILTY CLAY LOAM
KEB KENDALLVILLE LOAM, 2 TO 6 PERCENT SLOPES
MDA MATHERTON SANDY LOAM, 0 TO 4 PERCENT SLOPES
MFA METAMORA SANDY LOAM, 0 TO 4 PERCENT SLOPES
NAB NAPPANEE SILTY CLAY LOAM, 2 TO 6 PERCENT SLOPES
OSB OSHTEMO LOAMY SAND, 0 TO 6 PERCENT SLOPES
PE PEWAMO CLAY LOAM, 0 TO 2 PERCENT SLOPES
SB SEBEWA LOAM, DISINTEGRATION MORAINES, 0 TO 2 PERCENT SLOPES
SO SLOAN SILT LOAM, WET
SPB SPINKS LOAMY SAND, 0 TO 6 PERCENT SLOPES
STB ST. CLAIR CLAY LOAM, 2 TO 6 PERCENT SLOPES
STC ST. CLAIR CLAY LOAM, 6 TO 12 PERCENT SLOPES
THA THETFORD LOAMY SAND, 0 TO 4 PERCENT SLOPES
W WATER
WAWABC WAWASEE LOAM, 6 TO 12 PERCENT SLOPES

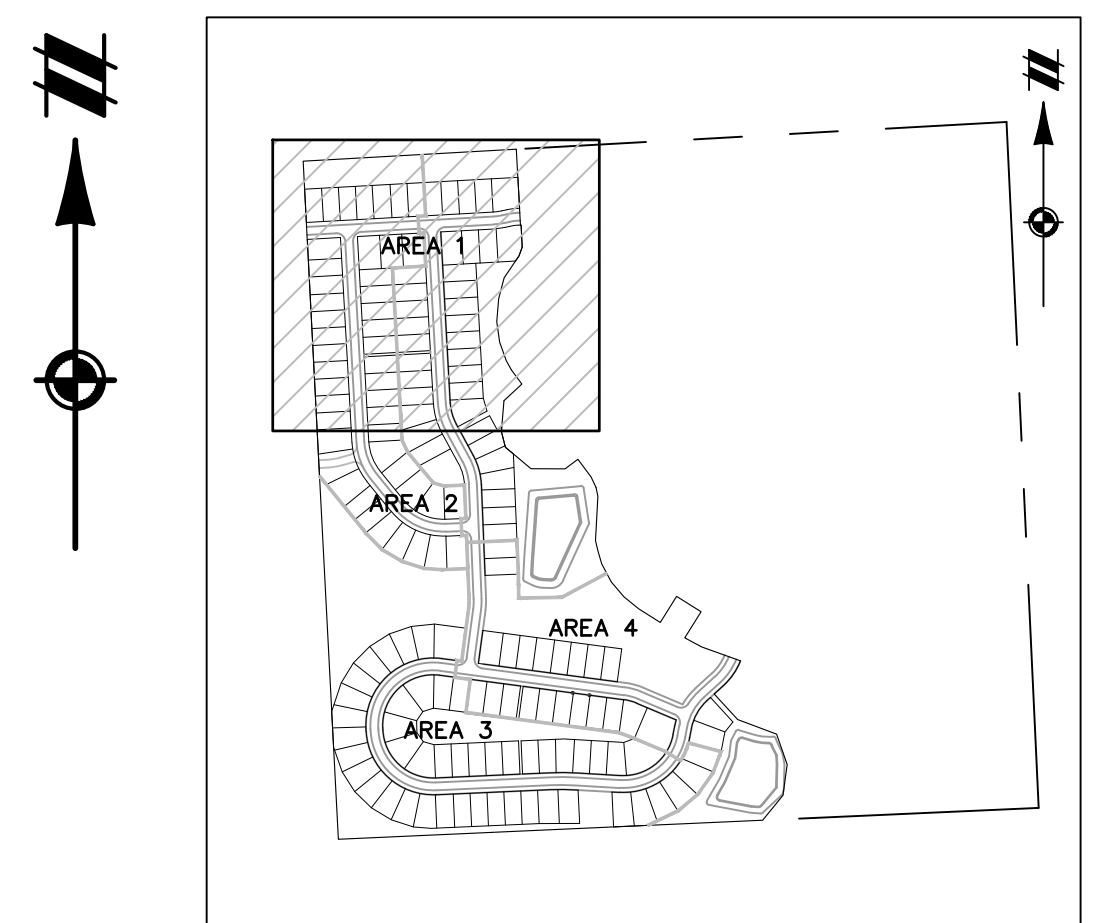
LEGEND

- BOUNDARY LINE
EXISTING EASEMENT
SECTION LINE
BOUNDARY/PROPERTY LINE
EXISTING CONTOUR
EXISTING TREE LINE
EXISTING CURB AND GUTTER
EXISTING FENCE
EXISTING BUILDING
EXISTING STRUCTURE
EXISTING WALL
EXISTING WATER MAIN
EXISTING SANITARY
EXISTING GAS
EXISTING STORM
EXISTING OVERHEAD ELECTRICAL LINE
EXISTING OVERHEAD TELEPHONE LINE
EXIST. CULVERT
EXIST. CATCH BASIN/INLET
EXIST. HYDRANT
EXIST. VALVE
EXIST. SANITARY SEWER
EXIST. UNSPECIFIED UTILITY
EXISTING WETLAND
EXISTING WETLAND BUFFER
FoB
EXISTING SOILS LIMIT
EXISTING SOILS TYPE
EXISTING SOIL BORING

Vertical text on the left margin: S:\V\080819\DWG\PLAN SET\SITE-PLAN\DWG\16000819-02-DC-2019-10-02.dwg 7:44 AM KJK BILUVAN



SEE SHEET 04 FOR CONTINUATION



- NOTES:**
- BEARINGS ARE BASED ON NAD83 MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, INTERNATIONAL FEET, GROUND DISTANCES. VERTICAL DATUM: NAVD88.
 - WATER MAIN, STORM SEWER, AND SANITARY SEWER UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANY, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY. FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE.
 - THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.
 - NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.I.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAN OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
 - SUBJECT PROPERTY AS SHOWN AND NOTED ON SURVEY DESCRIBES THE SAME PROPERTY AS SCHEDULE C PROPERTY DESCRIPTION (PER TITLE COMMITMENT ISSUED BY FIRST AMERICAN TITLE INSURANCE, FILE NO.: 755321, COMMITMENT DATE SEPTEMBER 07, 2016)
 - SUBJECT PROPERTY IS NOT LOCATED WITHIN A FLOODPLAIN PER FIRM MAP NUMBER 26161C0288E DATED APRIL 3, 2012.

BENCHMARK NOTES

- BM#1 ARROW ON HYDRANT SW CORNER OF LOT 1, NORTH SIDE OF ABIGAIL DR 150' WEST OF HUNTERS CREEK DR
ELEV=822.79 NAVD88
- BM#2 ARROW ON HYDRANT SE CORNER OF LEAH LANE AND HUNTERS CREEK DRIVE
ELEV=798.38 NAVD88
- BM#3 ARROW ON HYDRANT SW CORNER OF FRANCES WAY AND HUNTERS CREEK DRIVE
ELEV=771.22 NAVD88

LEGEND

	BOUNDARY LINE
	EXISTING EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXISTING SETBACK
	EXISTING CONTOUR
	EXISTING TREE LINE
	EXISTING CURB AND GUTTER
	EXISTING FENCE
	EXISTING BUILDING
	EXISTING WATER MAIN
	EXISTING SANITARY
	EXISTING GAS
	EXISTING STORM
	EXISTING OVERHEAD ELECTRICAL LINE
	EXISTING OVERHEAD TELEPHONE LINE
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. VALVE
	EXIST. SANITARY SEWER
	EXIST. UNSPECIFIED UTILITY
	EXIST. SIGN
	EXIST. LIGHT POLE
	EXISTING WETLAND
	EXISTING WETLAND BUFFER
	EXISTING EDGE OF WATER
	EXISTING TEST PIT LOCATION

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2019 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

ATWELL GROUP
866.850.4200 www.atwell-group.com
TWO ONE ONE SOUTH FIELDS DRIVE SUITE 700
WASHTENAW COUNTY, MICHIGAN 48076
248.447.2000

SECTION 33
TOWN 2 SOUTH, RANGE 7 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT: DIVERSE REAL ESTATE LLC
PROSPECT POINTE WEST
SITE PLAN
EXISTING CONDITIONS - AREA 1

DATE: OCTOBER 2, 2019

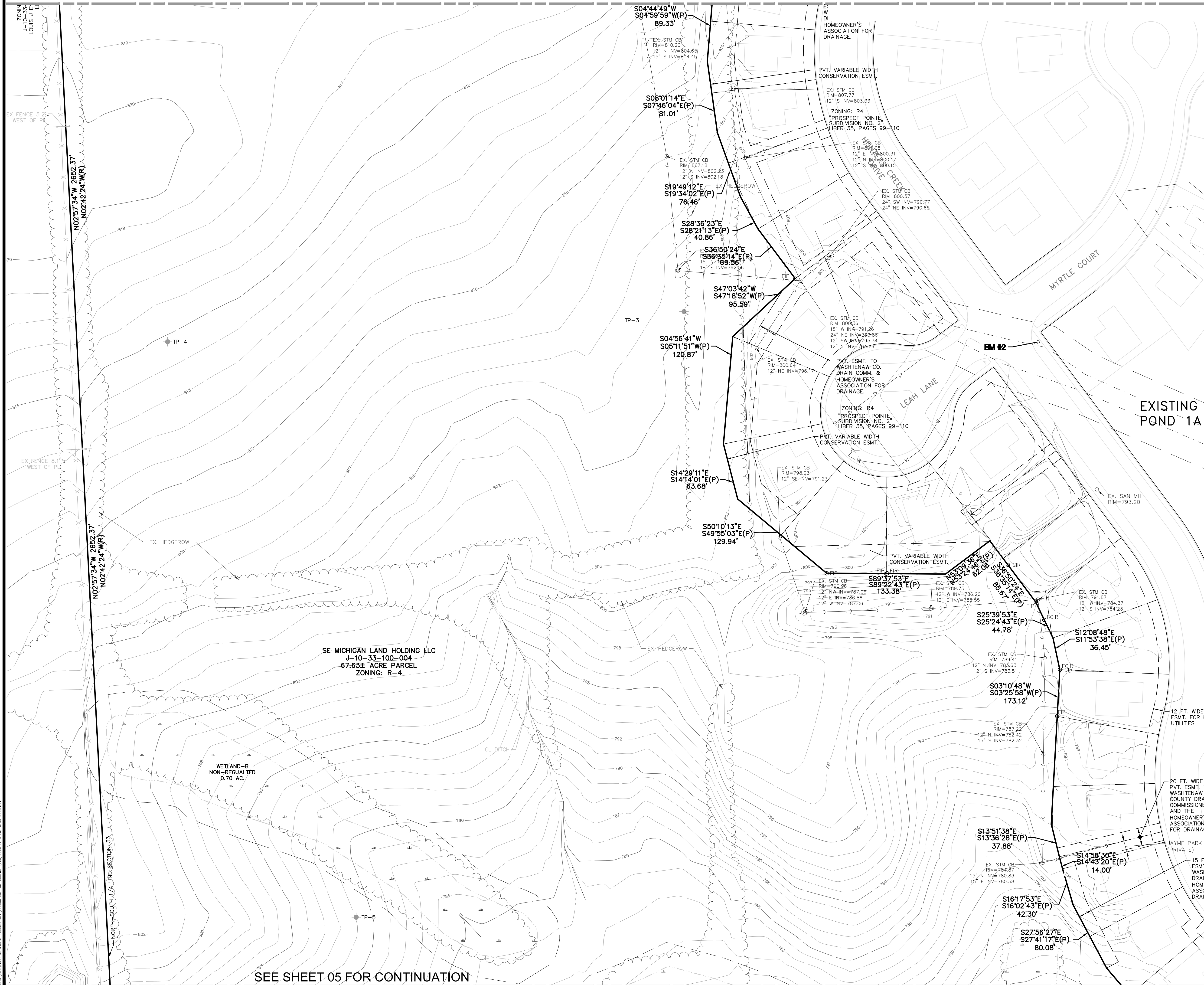
2019-10-30 PER TWP.
2020-7-28 PER CLIENT

REVISIONS

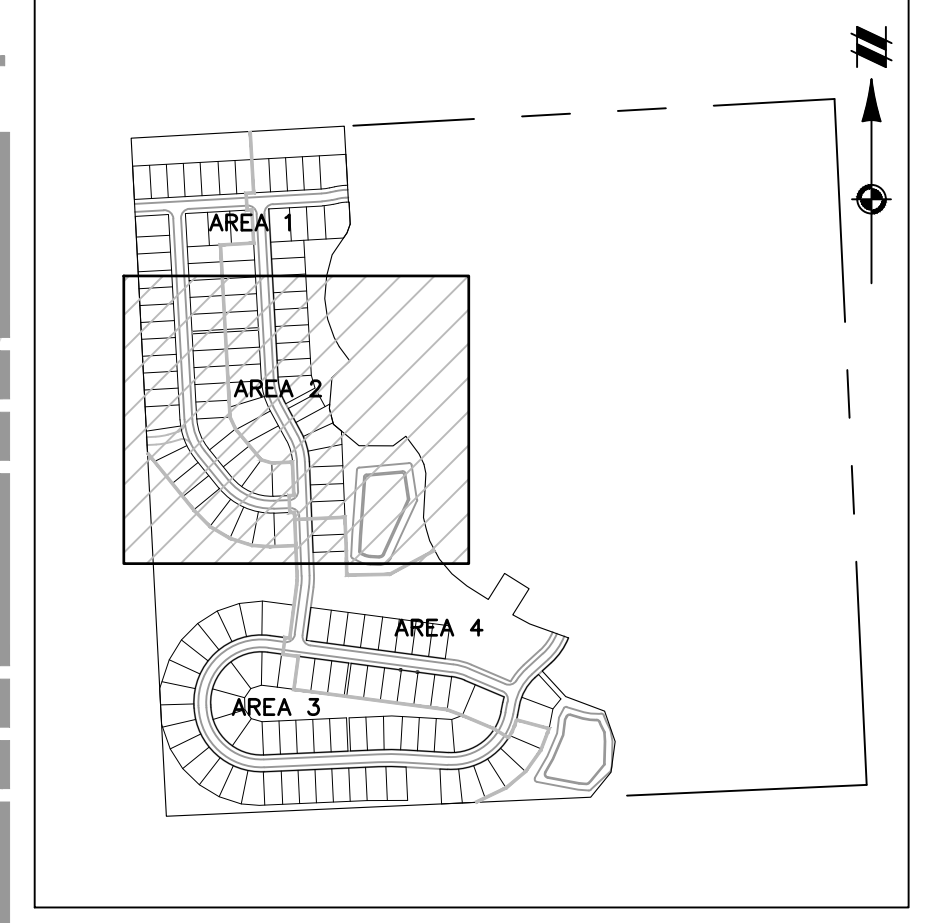
SCALE: 0 25 50
1" = 50 FEET

DR. AK CH. JK
P.M. J. ACKERMAN
BOOK ---
JOB 16000819
SHEET NO. 03

SEE SHEET 03 FOR CONTINUATION



SEE SHEET 05 FOR CONTINUATION



KEYMAP
SCALE: 1" = 750'

- BENCHMARK NOTES**
- BM#1 ARROW ON HYDRANT SW CORNER OF LOT 1, NORTH SIDE OF ABIGAIL DR 150' WEST OF HUNTERS CREEK DR
ELEV=822.79 NAVD88
 - BM#2 ARROW ON HYDRANT SE CORNER OF LEAH LANE AND HUNTERS CREEK DRIVE
ELEV=798.38 NAVD88
 - BM#3 ARROW ON HYDRANT SW CORNER OF FRANCES WAY AND HUNTERS CREEK DRIVE
ELEV=771.22 NAVD88

LEGEND

	BOUNDARY LINE
	EXISTING EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXISTING SETBACK
	EXISTING CONTOUR
	EXISTING TREE LINE
	EXISTING CURB AND GUTTER
	EXISTING FENCE
	EXISTING BUILDING
	EXISTING WATER MAIN
	EXISTING SANITARY
	EXISTING GAS
	EXISTING STORM
	EXISTING OVERHEAD ELECTRICAL LINE
	EXISTING OVERHEAD TELEPHONE LINE
	EXIST. CULVERT
	EXIST. CATCH BASIN/INLET
	EXIST. HYDRANT
	EXIST. SANITARY SEWER
	EXIST. UNSPECIFIED UTILITY
	EXIST. SIGN
	EXIST. LIGHT POLE
	EXISTING WETLAND
	EXISTING WETLAND BUFFER
	EXISTING EDGE OF WATER
	EXISTING TEST PIT LOCATION

SEE SHEET 06 FOR CONTINUATION



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY IN THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2019 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.



SECTION 33
TOWN 2 SOUTH, RANGE 7 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT
DIVERSE REAL ESTATE LLC
PROSPECT POINTE WEST
SITE PLAN
EXISTING CONDITIONS - AREA 2

DATE
OCTOBER 2, 2019

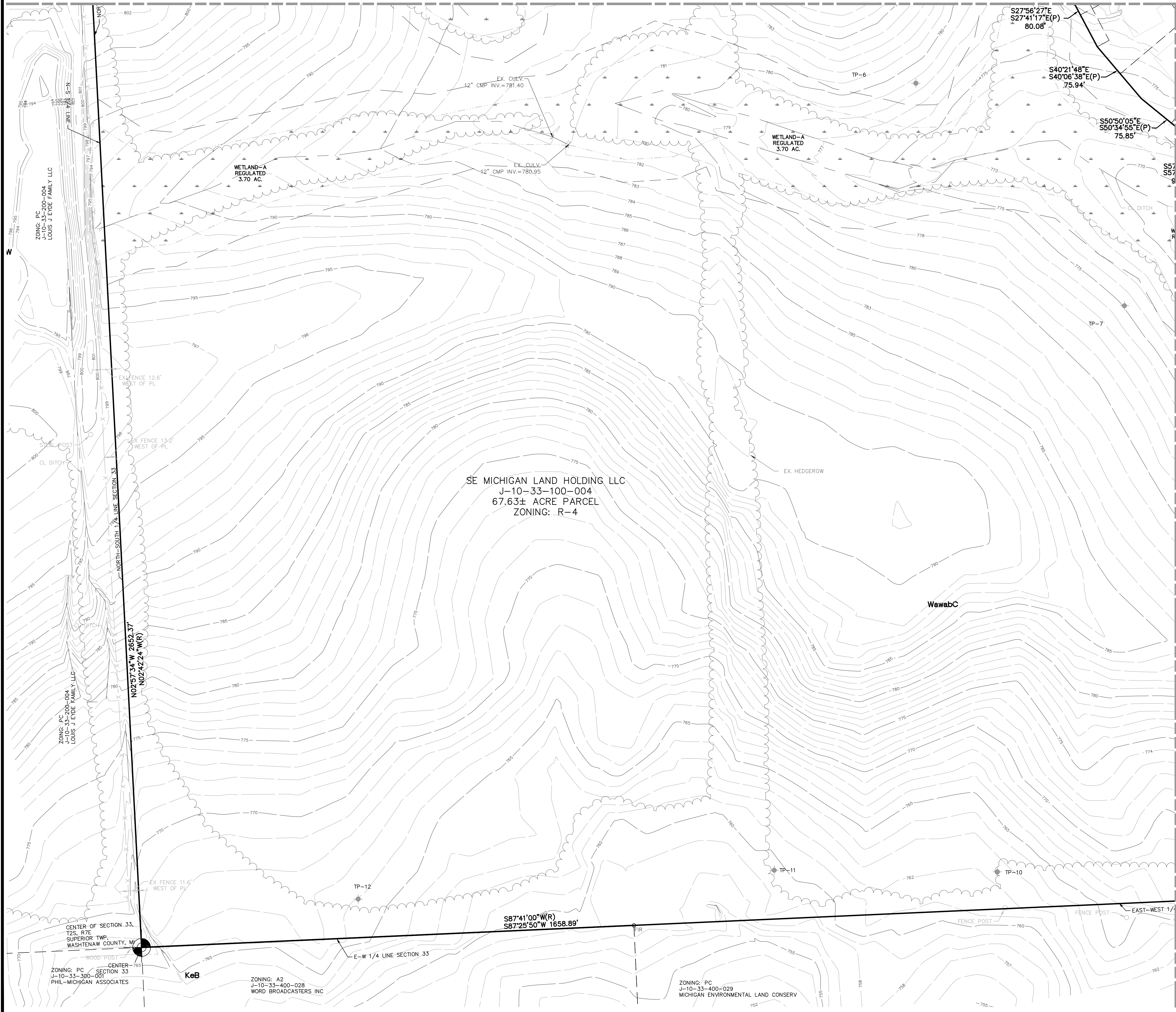
2019-10-30 PER TWP.
2020-7-28 PER CLIENT

REVISIONS

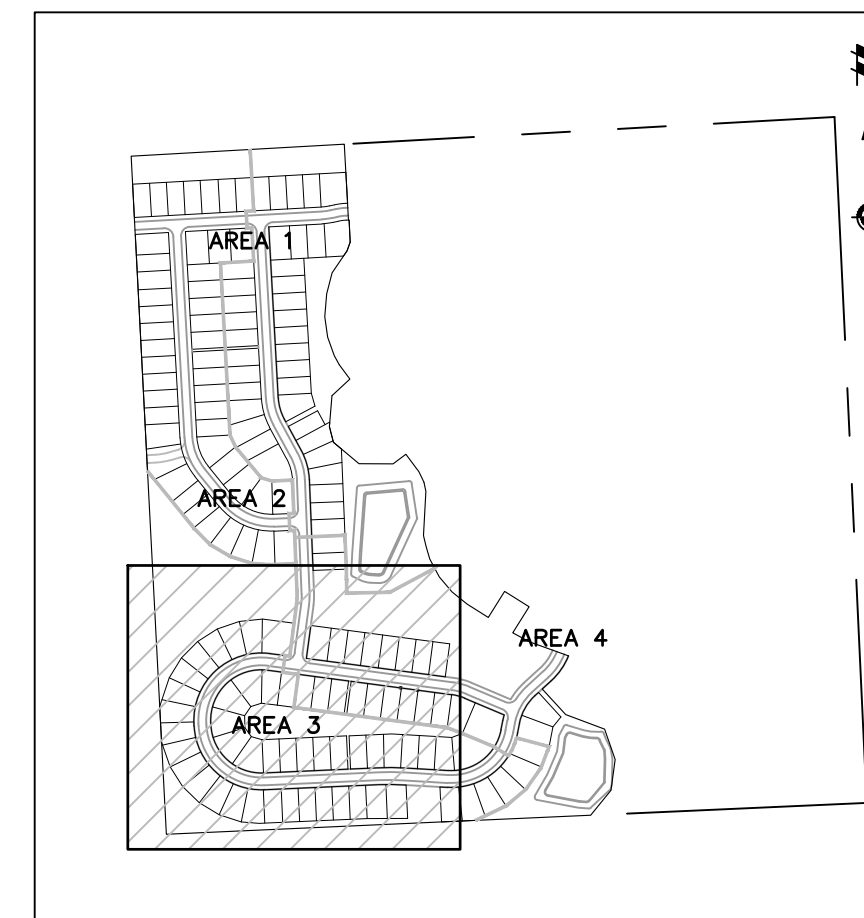
NO.	DATE	DESCRIPTION
0		
1		
2		
3		
4		
5		
6		
7		
8		
9		

SCALE 0 25 50
1" = 50 FEET
DR. AK CH. JK
P.M. J. ACKERMAN
BOOK ---
JOB 16000819
SHEET NO. 04

SEE SHEET 04 FOR CONTINUATION



SEE SHEET 06 FOR CONTINUATION



KEYMAP
SCALE: 1" = 750'

BENCHMARK NOTES

- BM#1 ARROW ON HYDRANT SW CORNER OF LOT 1, NORTH SIDE OF ABIGAIL DR 150' WEST OF HUNTERS CREEK DR
ELEV=822.79 NAVD88
- BM#2 ARROW ON HYDRANT SE CORNER OF LEAH LANE AND HUNTERS CREEK DRIVE
ELEV=798.38 NAVD88
- BM#3 ARROW ON HYDRANT SW CORNER OF FRANCES WAY AND HUNTERS CREEK DRIVE
ELEV=771.22 NAVD88

LEGEND

- BOUNDARY LINE
- - - EXISTING EASEMENT
- - - SECTION LINE
- - - BOUNDARY/PROPERTY LINE
- - - EXISTING SETBACK
- - - EXISTING CONTOUR
- - - EXISTING TREE LINE
- - - EXISTING CURB AND GUTTER
- - - EXISTING FENCE
- - - EXISTING BUILDING
- - - EXISTING WATER MAIN
- - - EXISTING SANITARY
- - - EXISTING GAS
- - - EXISTING STORM
- - - EXISTING OVERHEAD ELECTRICAL LINE
- - - EXISTING OVERHEAD TELEPHONE LINE
- - - EXIST. CULVERT
- - - EXIST. CATCH BASIN/INLET
- - - EXIST. HYDRANT
- - - EXIST. VALVE
- - - EXIST. SANITARY SEWER
- - - EXIST. UNSPECIFIED UTILITY
- - - EXIST. SIGN
- - - EXIST. LIGHT POLE
- - - EXISTING WETLAND
- - - EXISTING WETLAND BUFFER
- - - EXISTING EDGE OF WATER
- - - EXISTING TEST PIT LOCATION

SE MICHIGAN LAND HOLDING LLC
J-10-33-100-004
67.63± ACRE PARCEL
ZONING: R-4

Wawabc

KeB

ZONING: PC
J-10-33-400-029
MICHIGAN ENVIRONMENTAL LAND CONSERV

**Know what's below.
Call before you dig.**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY IN THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

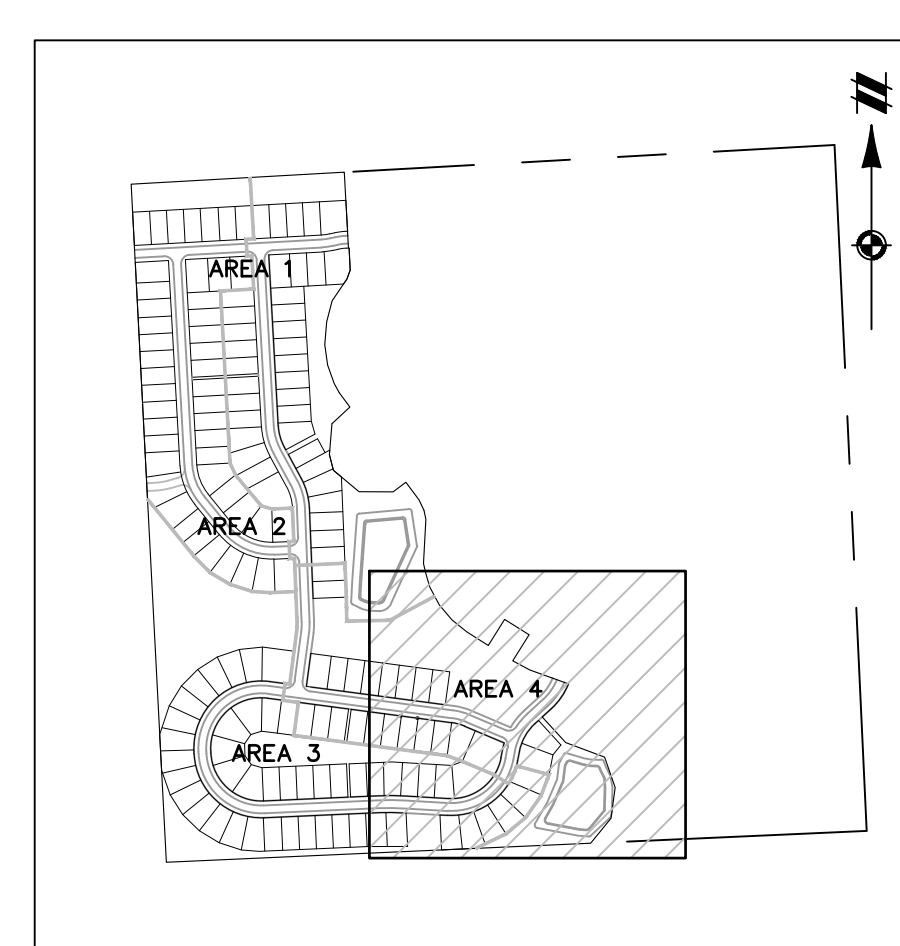
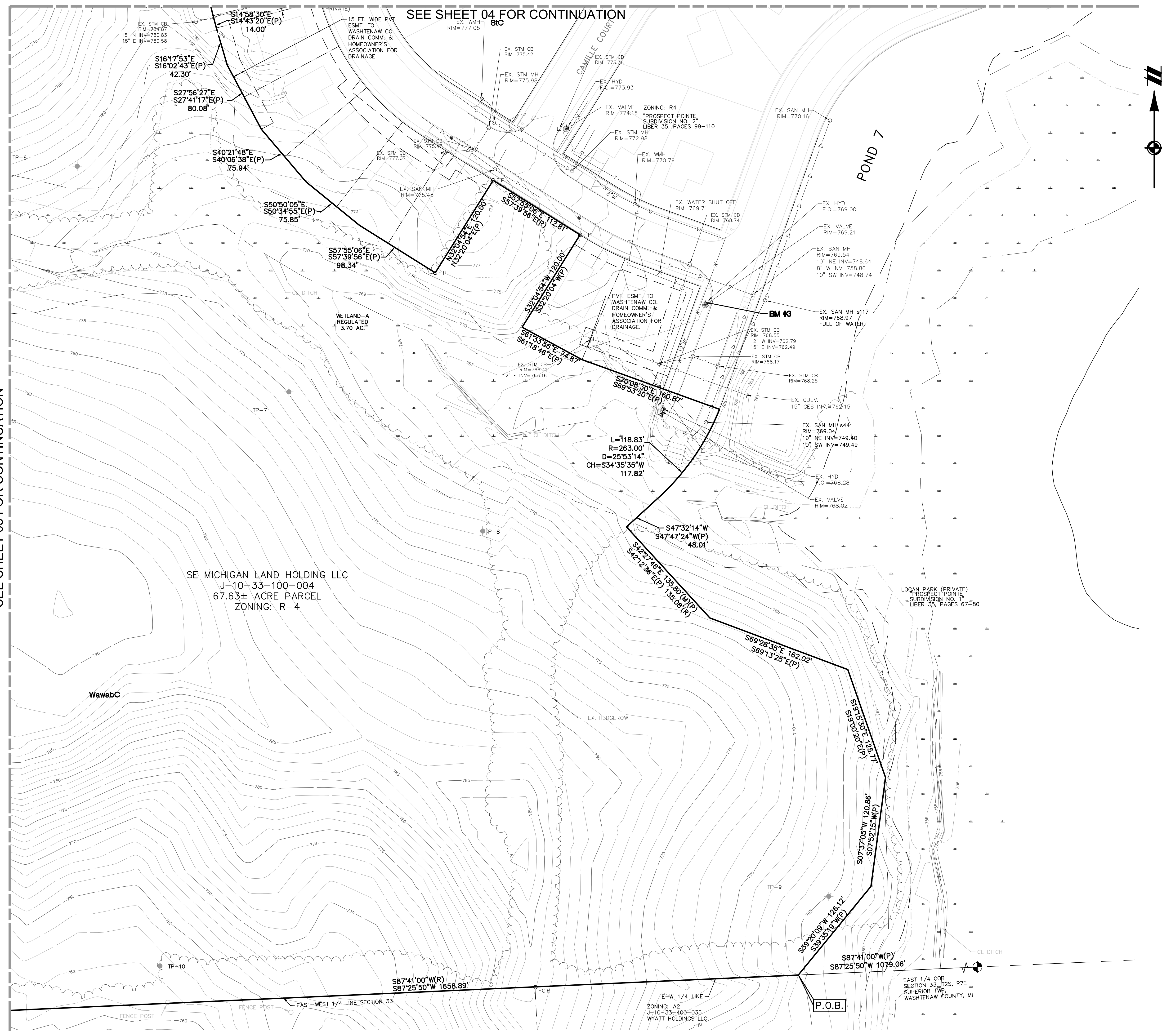
COPYRIGHT © 2019 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

ATWELL
www.atwell-group.com
866.850.4200
ONE SIDA DRIVE SUITE 700
TWO SOUTHFIELD, MI 48076
248.447.2000

CLIENT	DIVERSE REAL ESTATE LLC PROSPECT POINTE WEST SITE PLAN	SECTION 33 TOWN 2 SOUTH, RANGE 7 EAST SUPERIOR TOWNSHIP	EXISTING CONDITIONS - AREA 3
DATE	OCTOBER 2, 2019		
	2019-10-30 PER TWP.		
	2020-7-28 PER CLIENT		
REVISIONS	SCALE 0 25 50 1" = 50 FEET		
DR.	KS CH. JK		
P.M.	J. ACKERMAN		
BOOK	---		
JOB	16000819		
SHEET NO.	05		

SEE SHEET 05 FOR CONTINUATION

SEE SHEET 04 FOR CONTINUATION



KEYMAP
SCALE: 1" = 750'

BENCHMARK NOTES

- BM#1 ARROW ON HYDRANT
SW CORNER OF LOT 1, NORTH
SIDE OF ABIGAIL DR 150'
WEST OF HUNTERS CREEK DR
ELEV=822.79 NAVD88
- BM#2 ARROW ON HYDRANT
SE CORNER OF LEAH LANE
AND HUNTERS CREEK DRIVE
ELEV=798.38 NAVD88
- BM#3 ARROW ON HYDRANT
SW CORNER OF FRANCES WAY
AND HUNTERS CREEK DRIVE
ELEV=771.22 NAVD88

LEGEND

- BOUNDARY LINE
- EXISTING EASEMENT
- SECTION LINE
- BOUNDARY/PROPERTY LINE
- EXISTING SETBACK
- EXISTING CONTOUR
- EXISTING TREE LINE
- EXISTING CURB AND GUTTER
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING WATER MAIN
- EXISTING SANITARY
- EXISTING GAS
- EXISTING STORM
- EXISTING OVERHEAD ELECTRICAL LINE
- EXISTING OVERHEAD TELEPHONE LINE
- EXIST. CULVERT
- EXIST. CATCH BASIN/INLET
- EXIST. HYDRANT
- EXIST. VALVE
- EXIST. SANITARY SEWER
- EXIST. UNSPECIFIED UTILITY
- EXIST. SIGN
- EXIST. LIGHT POLE
- EXISTING WETLAND
- EXISTING WETLAND BUFFER
- EXISTING EDGE OF WATER
- EXISTING TEST PIT LOCATION

811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2019 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

ATWELL
www.atwell-group.com
866.850.4200
ONE SOUTHFIELD SQUARE, SUITE 700
TWO SOUTHFIELD, MI 48076
248.447.2000

SECTION 33
TOWN 2 SOUTH, RANGE 7 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

CLIENT	DIVERSE REAL ESTATE LLC
	PROSPECT POINT WEST
	SITE PLAN
	EXISTING CONDITIONS - AREA 4

DATE	OCTOBER 2, 2019
	2019-10-30 PER TWP.
	2020-7-28 PER CLIENT

REVISIONS	
SCALE	0 25 50
	1" = 50 FEET
DR.	AK CH. JK
P.M.	J. ACKERMAN
BOOK	
JOB	16000819
SHEET NO.	06

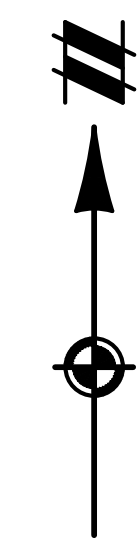
S:\V\080819\DWG\PLAN SET\SITE-PROSPECT POINT WEST-03-10-2019.dwg 2/26/2020 7:46 AM KCMR, SULLIVAN

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2020 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

ATWELL
 866.850.4200 www.atwell-group.com
 ONE SIOUX AVENUE SUITE 700
 TWO SOUTHFIELD, MI 48076
 248.447.2000



NATURAL FEATURES NOTE

NATURAL FEATURES ON THE SITE CONSIST OF WETLAND, TREES, SLOPES AND AGRICULTURAL FIELD. WITH TWO MAIN HIGH POINTS ON THE SITE, ONE IN THE NORTHERN PORTION AND THE SECOND ON THE FAR SOUTH SIDE, THE TOPOGRAPHY GENERALLY SLOPES TOWARD A WETLAND SWALE IN THE LOWER THIRD OF THE PROPERTY. THERE IS APPROXIMATELY 45 FEET OF TOPOGRAPHIC RELIEF ACROSS THE SITE. THERE ARE STEEP SLOPES ON THE SITE IN THE SOUTHERN PORTION IN THE AREA OF 18%.

THERE ARE TWO WETLANDS ON THE SITE. THE LARGE WETLAND (A) RUNNING EAST TO WEST ACROSS THE PROPERTY LEADS ALL THE WAY TO PROSPECT ROAD. THE SMALLER, CROSS SLOPE WETLAND JUST NORTH OF THE LARGER SYSTEM, IS DEPENDENT ON AGRICULTURAL TILE RUNOFF, WHICH WHEN DISTURBED THE TILE WILL BE REMOVED AND THE RESULTANT HYDROLOGICAL PATTERN WILL BE ALTERED. WETLAND A IS PREDOMINANTLY COTTONWOOD, ELM AND BOXELDER.

TREES ON THE SITE ALTHOUGH IN GOOD CONDITION, ARE NOT NECESSARILY HIGH QUALITY WITH RESPECT TO SPECIES. THE TREES EXIST LARGELY IN HEDGE ROWS AND SCATTERED CLUSTERS. THE PREDOMINANT SPECIES ARE ELM, BOXELDER AND POPLAR RANGING FROM 6"-24" WITH THE VAST MAJORITY IN THE 7"-13" RANGE.

SOILS INFORMATION

- BNC BOYER LOAMY SAND, 6 TO 12 PERCENT SLOPES
- BNF BOYER LOAMY SAND, 25 TO 50 PERCENT SLOPES
- FOB FOX SANDY LOAM, TILL PLAIN, 2 TO 6 PERCENT SLOPES
- HO HOYTVILLE SILTY CLAY LOAM
- KEB KENDALLVILLE LOAM, 2 TO 6 PERCENT SLOPES
- MDA MATHERTON SANDY LOAM, 0 TO 4 PERCENT SLOPES
- MFA METAMORA SANDY LOAM, 0 TO 4 PERCENT SLOPES
- NAB NAPPANEE SILTY CLAY LOAM, 2 TO 6 PERCENT SLOPES
- OSB OSHTIMO LOAMY SAND, 0 TO 6 PERCENT SLOPES
- PE PEWAMO CLAY LOAM, 0 TO 2 PERCENT SLOPES
- SB SEBEWA LOAM, DISINTEGRATION MORAINES, 0 TO 2 PERCENT SLOPES
- SO SLOAN SILT LOAM, WET
- SPB SPINKS LOAMY SAND, 0 TO 6 PERCENT SLOPES
- STB ST. CLAIR CLAY LOAM, 2 TO 6 PERCENT SLOPES
- STC ST. CLAIR CLAY LOAM, 6 TO 12 PERCENT SLOPES
- THA THETFORD LOAMY SAND, 0 TO 4 PERCENT SLOPES
- W WATER
- WAWABC WAWASEE LOAM, 6 TO 12 PERCENT SLOPES

LEGEND

- 12%-18% SLOPES
- 18%+ SLOPES
- REMOVE WOODS
- EXISTING WETLAND
- WETLAND IMPACTS

SECTION 33

TOWN 2 SOUTH, RANGE 7 EAST

SUPERIOR TOWNSHIP

WASHTENAW COUNTY, MICHIGAN

CLIENT
DIVERSE REAL ESTATE LLC

PROSPECT POINTE WEST
SITE PLAN

NATURAL FEATURES PLAN

DATE
OCTOBER 2, 2019

2019-10-30 PER TWP.
2020-7-28 PER CLIENT

REVISIONS

SCALE	0	75	150
1" = 150 FEET			
DR.	KS	CH.	JK
P.M. J. ACKERMAN			
BOOK	---		
JOB	16000819		
SHEET NO.	07		



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2020 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.



SECTION 33
TOWN 2 SOUTH, RANGE 7 EAST
SUPERIOR TOWNSHIP
WASHTENAW COUNTY, MICHIGAN

DIVERSE REAL ESTATE LLC
PROSPECT POINTE WEST
SITE PLAN
OVERALL LAYOUT PLAN

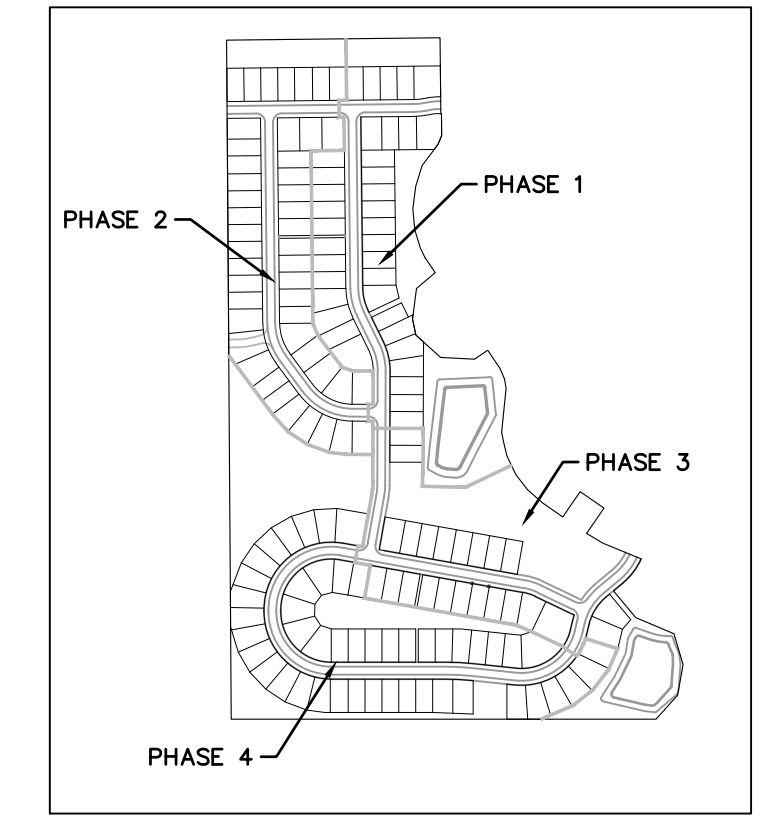
CLIENT
DATE
OCTOBER 2, 2019

2019-10-30 PER TWP.
2020-7-28 PER CLIENT

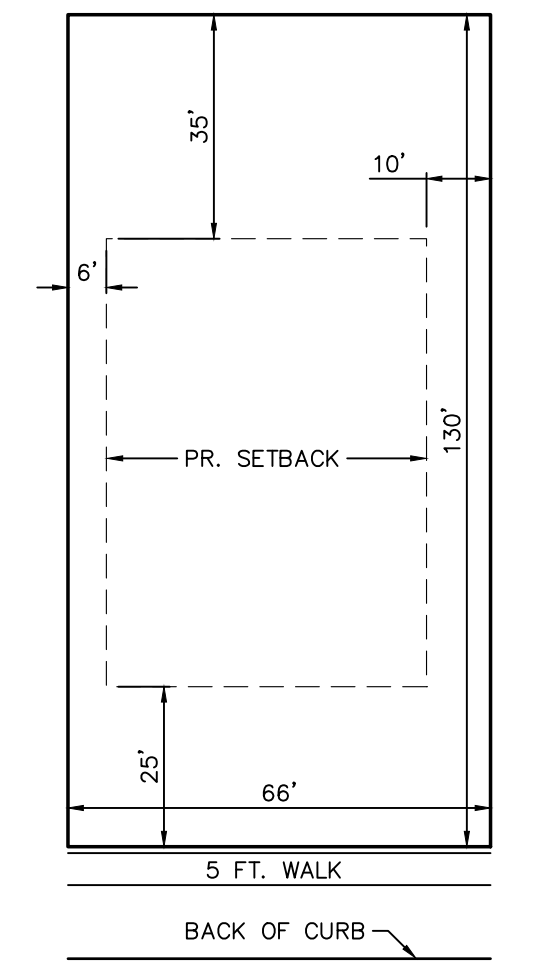
REVISIONS
SCALE 0 75 150
1" = 150 FEET
DR. KS CH. JK
P.M. J. ACKERMAN
BOOK
JOB 16000819
SHEET NO. 08

LEGEND

- BOUNDARY LINE
- EXIST. EASEMENT
- SECTION LINE
- BOUNDARY/PROPERTY LINE
- EXIST. SETBACK
- EXIST. TREE LINE
- EXIST. CURB AND GUTTER
- EXIST. BUILDING
- EXIST. WETLAND BUFFER
- PROP. SETBACK
- PROP. LOT LINE
- PROP. ROAD CENTERLINE
- PROP. BACK OF CURB
- PROP. WALK
- PROP. ASPH.
- GENERAL COMMENT ELEMENT
- EXISTING WETLAND
- WETLAND IMPACT
- PROP. PHASE LINE
- GENERAL COMMON ELEMENT



KEYMAP
SCALE: 1" = 750 FEET

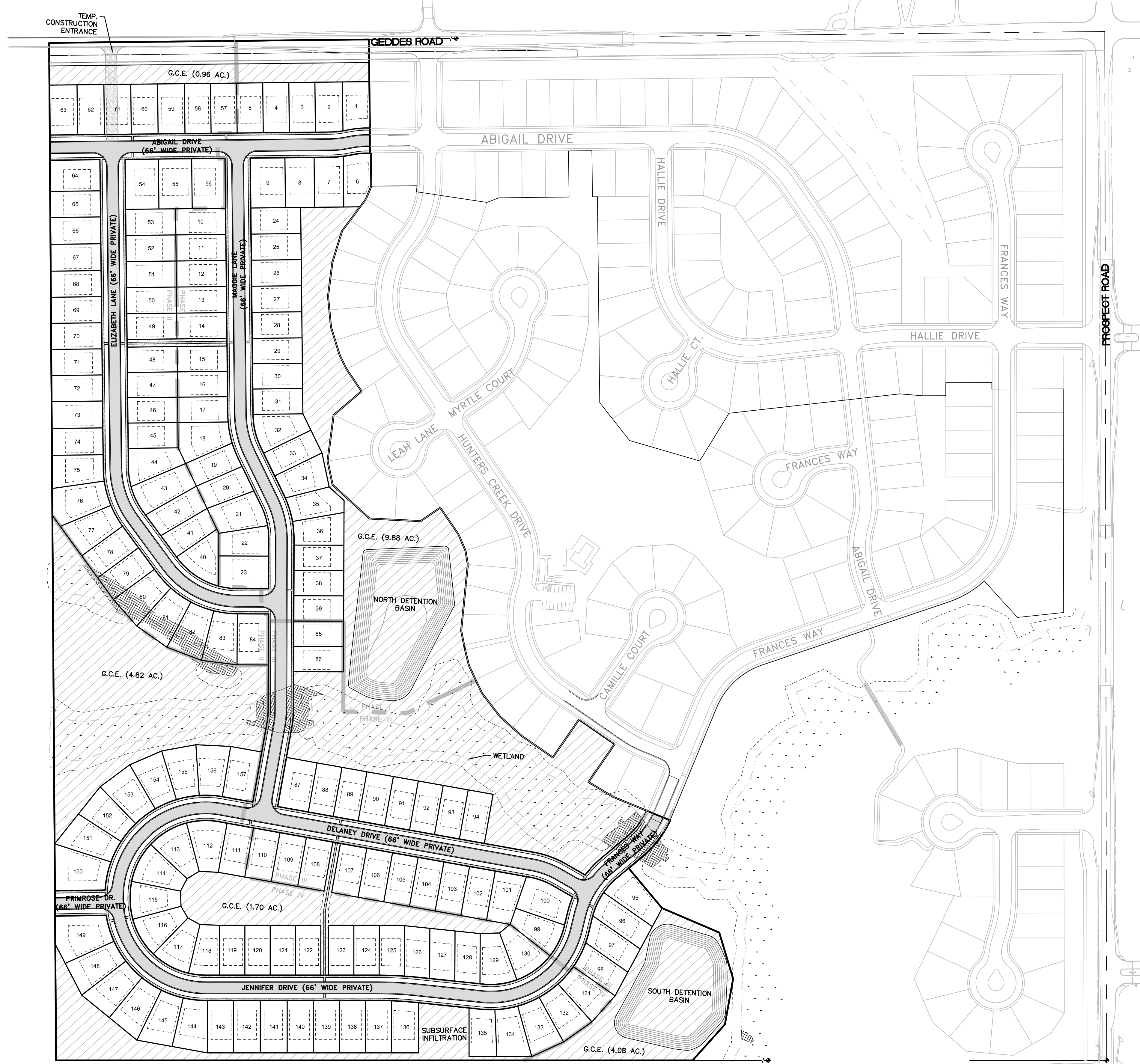
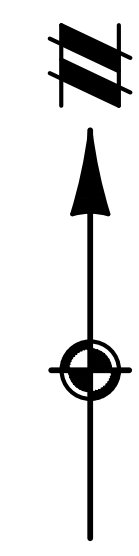


TYPICAL LOT DETAIL
SCALE: 1" = 30 FEET

SITE DATA

- GROSS AREA: 67.63 ACRES
- GEDDES ROAD ROW: 1.15 ACRES
- NET AREA: 66.48 ACRES
- EXISTING ZONING: R-4 SINGLE FAMILY RESIDENTIAL
- PROPOSED ZONING: R-4 SINGLE FAMILY RESIDENTIAL
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL SITE CONDOMINIUM
- NUMBER OF PROPOSED LOTS: 157
- PROPOSED DENSITY (GROSS): 2.32
- PROPOSED DENSITY (NET): 2.36
- LOT AREA PER DWELLING UNIT: 66' X 130' = 8580 SF (TYPICAL)
- MINIMUM LOT WIDTH: 66'
- LOT SETBACKS: FRONT 25', SIDE 6' MIN. (16' TOTAL), REAR 35'
- PROPOSED LOT COVERAGE (2,000 SF - 3200 SF HOMES): MAX 25%
- PROPOSED GENERAL COMMON ELEMENT (G.C.E.): 21.44 ACRES
- PROPOSED WETLAND IMPACTS REGULATED 0.64 ACRES, NON-REGULATED 0.51 ACRES

Parcel #	Area (S.F.)	Parcel #	Area (S.F.)	Parcel #	Area (S.F.)	Parcel #	Area (S.F.)	Parcel #	Area (S.F.)	Parcel #	Area (S.F.)
1	8,613	28	8,840	55	11,266	82	10,483	109	9,100	136	9,360
2	9,295	29	8,580	56	11,267	83	10,184	110	9,100	137	9,283
3	8,840	30	8,580	57	8,840	84	10,776	111	9,100	138	9,292
4	8,840	31	8,580	58	8,840	85	8,580	112	10,315	139	9,292
5	8,840	32	10,290	59	9,100	86	8,580	113	9,667	140	9,292
6	9,219	33	9,039	60	9,100	87	10,530	114	9,601	141	9,566
7	9,903	34	9,689	61	9,100	88	8,580	115	9,126	142	9,566
8	9,880	35	9,224	62	9,100	89	8,580	116	9,291	143	9,292
9	11,752	36	9,662	63	9,379	90	9,100	117	9,312	144	10,283
10	8,840	37	8,580	64	10,543	91	8,580	118	8,632	145	10,313
11	8,840	38	8,580	65	8,871	92	8,580	119	8,580	146	10,516
12	8,840	39	8,580	66	9,152	93	8,580	120	8,580	147	10,516
13	8,840	40	9,359	67	9,172	94	8,580	121	8,580	148	10,744
14	8,728	41	8,529	68	8,928	95	10,534	122	8,580	149	13,927
15	8,580	42	9,565	69	8,947	96	10,221	123	8,580	150	13,587
16	8,580	43	11,546	70	8,966	97	9,651	124	8,605	151	10,992
17	8,584	44	10,175	71	8,984	98	9,170	125	8,627	152	9,875
18	11,158	45	8,580	72	9,003	99	8,979	126	8,597	153	10,484
19	8,537	46	8,580	73	9,287	100	11,292	127	8,580	154	9,872
20	8,764	47	8,580	74	9,307	101	9,451	128	8,580	155	9,872
21	10,988	48	8,580	75	10,389	102	8,840	129	9,776	156	9,872
22	8,985	49	8,728	76	12,167	103	8,840	130	9,472	157	10,806
23	10,942	50	8,840	77	10,576	104	8,840	131	9,875		
24	8,840	51	8,840	78	9,254	105	8,840	132	9,872		
25	8,840	52	8,840	79	9,251	106	8,840	133	10,056		
26	8,840	53	8,840	80	10,257	107	9,100	134	9,591		
27	8,840	54	11,267	81	10,483	108	9,100	135	8,638		



S:\PROJECTS\2019\10\PROSPECT POINTE WEST\16000819\16000819-05-PLAN-2276-2020-7-27-AM-REVISED.DWG