



# Ypsilanti District Library

## Superior Township Branch

Preliminary Site Plan Approval

Review Package

February 21, 2020



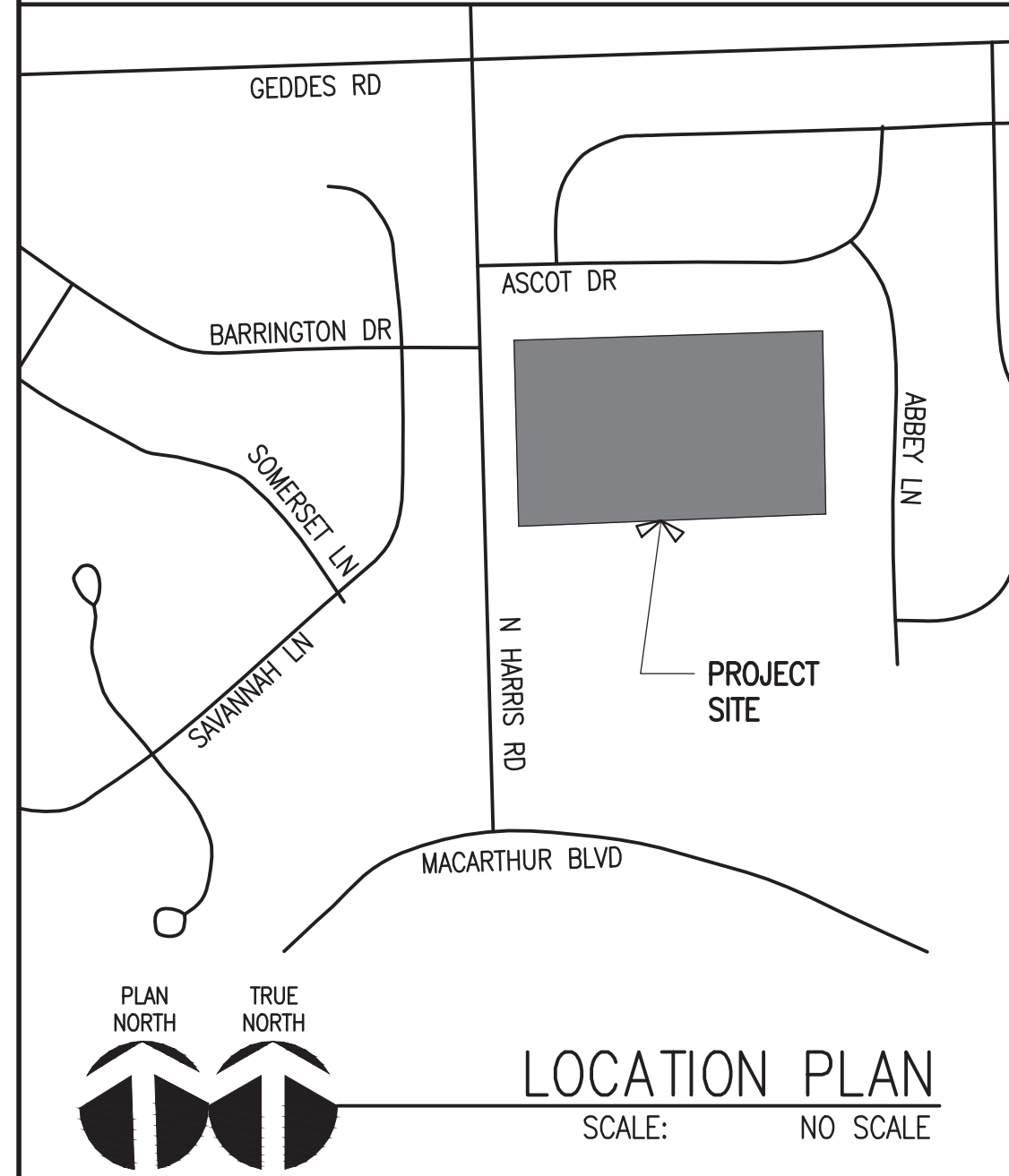




# Ypsilanti District Library

## Superior Township Branch

### LOCATION MAP



### PROJ. DESCRIP.

YPSILANTI DISTRICT LIBRARY – SUPERIOR TWP BRANCH  
 N HARRIS ROAD  
 SUPERIOR CHARTER TWP, MICHIGAN 48198

THE SITE IS PROPOSED TO BE DEVELOPED FOR A NEW 8,383 SF, SINGLE STORY PUBLIC LIBRARY BUILDING WITH ASSOCIATED PARKING AND SITE DEVELOPMENT.

### BUILDING DATA

USE GROUP: GROUP "A-3" ASSEMBLY

PROJECT AREA: 8,383 SQ FT +/- (GROSS); 7,735 SQ FT +/- (NET)

NUMBER OF STORIES: 1

BUILDING HEIGHT: 33'

CONSTRUCTION TYPE: II-B

OCCUPANT LOAD: 133

FIRE SUPPRESSION: YES

CONSTRUCTION SCHEDULE: ANTICIPATED START OF CONSTRUCTION: AUG 2020  
 ANTICIPATED COMPLETION OF CONSTRUCTION: OCT 2021

### DRAWING INDEX

- TO.1 COVER SHEET
- T1.1 TITLE SHEET
- C1.0 EXISTING CONDITIONS PLAN – OVERALL
- C1.1 EXISTING CONDITIONS PLAN
- C1.5 SITE PLAN – OVERALL
- C2.0 DEMOLITION & SESS PLAN
- C2.1 SESS DETAILS
- C3.0 LAYOUT & MATERIALS PLAN
- C4.0 GRADING PLAN
- C5.0 UTILITY PLAN
- C6.0 FIRE SAFETY PLAN
- C7.0 SITE DETAILS
- C7.1 SITE DETAILS
- C7.2 UTILITY DETAILS
- L1.0 LANDSCAPE PLAN
- L1.1 LANDSCAPE DETAILS
- ST1.1 ARCHITECTURAL SITE PLAN
- ST1.2 ARCHITECTURAL SITE DETAILS
- A1.1 FIRST FLOOR PLAN
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS

### CODE INFORMATION

MICHIGAN BUILDING CODE – 2015

MICHIGAN PLUMBING CODE – 2015

MICHIGAN MECHANICAL CODE – 2015

MICHIGAN ENERGY CODE – 2015

NATIONAL ELECTRIC CODE – 2017

FIRE CODE – NFPA 1

FIRE ALARM SYSTEMS – NFPA 72

ICC/ANSI A117.1 – MICHIGAN BARRIER FREE DESIGN LAW

### SITE DATA

PROPOSED USE: PUBLIC LIBRARY

ZONING DISTRICT: PSP PUBLIC/SEMI-PUBLIC SERVICES DISTRICT  
 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL SITE DATA

PROJECT SITE AREA: 134,989 SF (3.1 AC)

PERCENTAGE OF LOT COVERAGE: 7%

FLOOR AREA RATIO: 0.07

### LEGAL DESCRIP.

EXISTING PARENT PARCEL TO BE SPLIT FOR NEW LIBRARY PARCEL PER LIBRARY-TOWNSHIP AGREEMENT

REFER TO SHEET C1.1 PROPERTY LEGAL DESCRIPTION

### DIRECTORY

<b>GEOTECHNICAL CONSULTANT</b>	<b>CIVIL ENGINEER/LANSDSCAPE</b>	<b>CONSTRUCTION MANAGER</b>	<b>ARCHITECT</b>	<b>PROJECT OWNER</b>
G2 CONSULTING GROUP 1350 EISENHOWER PL ANN ARBOR, MI 48108 (734) 390-9330 FAX (734) 390-9331	BECKETT & RAEDER INC 535 W WILLIAM ST #101 ANN ARBOR, MI 48103 (734) 663-2622 FAX (734) 663-6759	O'NEAL CONSTRUCTION, INC 525 W WILLIAM ST ANN ARBOR, MI 48103 (734) 769-0770 FAX (734) 769-1736	DANIELS AND ZERMACK ARCHITECTS, LLC 2080 S STATE ST ANN ARBOR, MI 48104 (734) 761-2090 FAX (734) 761-6607	YPSILANTI DISTRICT LIBRARY 5577 WHITTAKER RD YPSILANTI, MICHIGAN 48197 (517) 333-2254 FAX (517) 333-2227
	<b>MECHANICAL/ELECTRICAL ENGINEER &amp; LIGHTING CONSULTANTS</b>	<b>STRUCTURAL ENGINEER</b>	<b>INTERIOR DESIGNER</b>	<b>PROJECT ADDRESS</b>
	STRATEGIC ENERGY SOLUTIONS 4000 W ELEVEN MILE RD BERKLEY, MI 48072 (248) 399-1900	SDI STRUCTURES 275 E LIBERTY RD. ANN ARBOR, MI 48104 (734) 213-6091 FAX (734) 213-6087	DANIELS AND ZERMACK ARCHITECTS, LLC 2080 S STATE ST ANN ARBOR, MI 48104 (734) 761-2090 FAX (734) 761-6607	YPSILANTI DISTRICT LIBRARY N HARRIS RD (BETWEEN GEDDES RD AND MACARTHUR BLVD) SUPERIOR CHARTER TWP, MI 48198

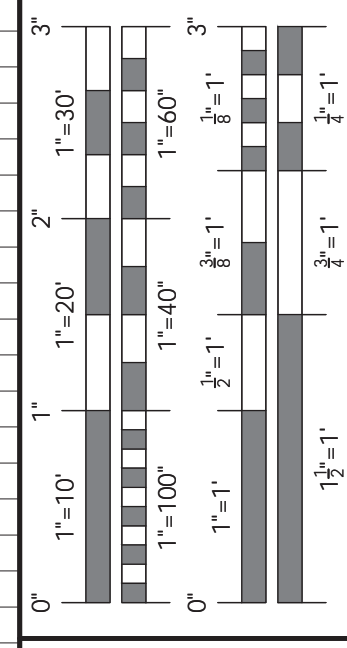
**PRELIMINARY**  
 NOT TO BE USED FOR CONSTRUCTION

**TITLE SHEET**

YPSILANTI DISTRICT LIBRARY  
 SUPERIOR TOWNSHIP BRANCH



2080 S. State Street  
 Ann Arbor, MI 48104  
 O 734.761.2090  
 F 734.761.6607



### REVISIONS

PRELIM. SITE PLAN APPROVAL  
 21 FEB 2020

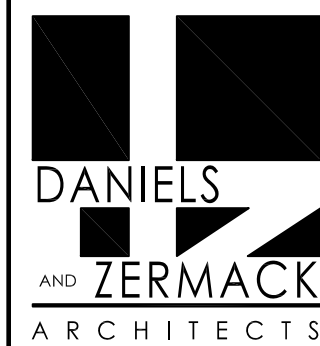
JOB 2017-55  
 DATE XX JAN 2020  
 DRAWN DSS  
 CHECKED DEW

DETAIL SYMBOL

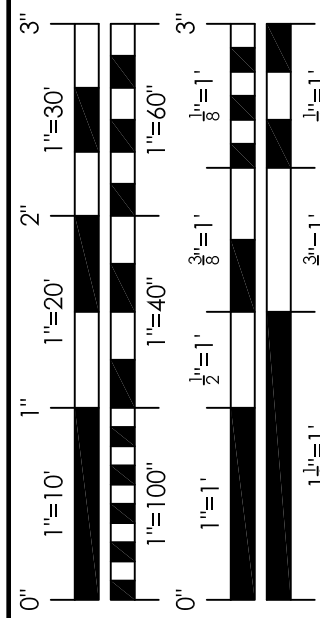
DETAIL NUMBER  
 REFERENCE SHEET

**T1.1**  
 YDL SUPERIOR





2080 S. State Street  
Ann Arbor, MI 48104  
O 734.761.2090  
F 734.761.6607



REVISIONS

NO.	DATE	DESCRIPTION
1	21 FEB 2020	PRELIM SITE PLAN APPROVAL

JOB 2017-55

DATE 21 FEB 2020

DRAWN BB

CHECKED BB

DETAIL SYMBOL

DETAIL NUMBER

REFERENCE SHEET

C1.0

YDL SUPERIOR

EXISTING CONDITIONS NOTES

- CONTRACTOR SHALL CALL MISS DIG (811) A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL INVESTIGATE EXTENT AND LOCATION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR PROTECTION AND RESTORATION OF SAME IF DAMAGED AS A RESULT OF CONTRACTOR'S OPERATIONS.
- CONTOUR INTERVAL SHOWN IS 1-FOOT.

EXISTING CONDITIONS LEGEND

---	PROPERTY LINE	□	PHONE RISER
---	RIGHT-OF-WAY / SETBACK LINE	○	SIGN
---	MINOR CONTOUR	○	STOP SIGN
---	MAJOR CONTOUR	○	SANITARY SEWER MANHOLE
△	BENCHMARK	□	TRANSFORMER
○	BORING LOCATION	○	UTILITY POLE
○	CATCH BASIN - ROUND	○	WATER MANHOLE
○	CATCH BASIN - SQUARE	○	WATER VALVE
○	CABLE RISER	---	GAS
○	DECIDUOUS TREE	---	OVERHEAD UTILITY
○	EVERGREEN TREE	---	FENCE
○	GAS RISER	---	SANITARY
○	HYDRANT	---	STORM
○	IRON - SET	---	UNDERGROUND TELEPHONE
○	IRON - FOUND	---	WATERMAIN
○	LIGHT POLE	---	CABLE TV
		---	UNDERGROUND ELECTRIC

SURVEY PREPARED BY:

DATE OF PLAT OR MAP: JANUARY 25, 2019

*Brandon G. Parrent*

BRANDON G. PARRENT  
PROFESSIONAL SURVEYOR NO. 63096  
NEDERVELD, INC.  
BPARRENT@NEDERVELD.COM

SURVEYOR'S NOTES

- ALTA TABLE "A" ITEM NO. 3 - FLOOD ZONE CLASSIFICATION: AN EXAMINATION OF THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP INDEX MAP NUMBER 26161C INDOA, WITH AN EFFECTIVE DATE OF APRIL 3, 2012, SHOWS FOR COMMUNITY NUMBER 26161C, PANEL NUMBER 0290E, THAT THE PANEL WAS NOT PRINTED. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.
- ALTA TABLE "A" ITEM NO. 4 - GROSS LAND AREA: 524,467 SQUARE FEET / 12.0 ACRES
- ALTA TABLE "A" ITEM NO. 6(A) - ZONING CLASSIFICATION - A-2 RURAL AGRICULTURAL DISTRICT, PER SUPERIOR TOWNSHIP BUILDING AND ZONING DEPT.
- ALTA TABLE "A" ITEM NO. 7(B)(1) - NO BUILDINGS OBSERVED.
- ALTA TABLE "A" ITEM NO. 7(C) - NO BUILDINGS OBSERVED.
- ALTA TABLE "A" ITEM NO. 9 - PARKING INFORMATION - NO PARKING SPACES OBSERVED.
- ALTA TABLE "A" ITEM NO. 16 - EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. NONE OBSERVED AT TIME OF SURVEY.
- ALTA TABLE "A" ITEM NO. 17 - PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, IF SUCH INFORMATION IS MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION. EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. NONE OBSERVED AT TIME OF SURVEY.
- EASEMENT FOR WATERMAIN RECORDED LIBER 1761, PAGE 417, WASHTENAW COUNTY RECORDS. THE EASEMENT DESCRIBED IN THIS DOCUMENT IS SHOWN ON THIS SURVEY.
- EASEMENT FOR UTILITIES RECORDED ON GEDDES RIDGE SUBDIVISION AND GEDDES RIDGE SUBDIVISION NO.2, WASHTENAW COUNTY RECORDS. THE EASEMENT DESCRIBED IN THIS DOCUMENT IS SHOWN ON THIS SURVEY
- BASIS OF BEARING: MICHIGAN STATE PLANE COORDINATES, SOUTH ZONE 2113.
- NOTE TO THE CLIENT, INSURER, AND LENDER - WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.EJV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
- NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
- THIS TOPOGRAPHIC SURVEY WAS PERFORMED DURING A PERIOD OF SNOW AND ICE COVERING. WHILE EVERY EFFORT WAS MADE TO LOCATE ALL FEATURES, SNOW AND/OR ICE MAY HAVE PREVENTED ALL FEATURES FROM BEING VISIBLE.

BENCHMARK DESCRIPTIONS

BENCHMARK #261 ELEV. = 767.03 (NAVD 88)  
TOP OF EAST BOLT ON HYDRANT, LOCATED 8'± EAST OF EDGE OF ASPHALT & 156'± NORTH OF CENTERLINE OF BARRINGTON DRIVE.

BENCHMARK #263 ELEV. = 764.31 (NAVD 88)  
TOP OF SOUTHEAST BOLT ON HYDRANT, LOCATED 14'± EAST OF EDGE OF ASPHALT & 84'± OF SOUTHERLY PROPERTY LINE OF OUR PROPERTY.



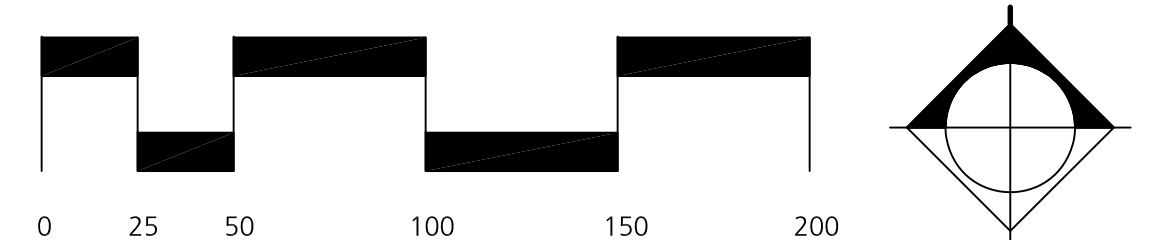
PROPERTY LEGAL DESCRIPTION

THE LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF WASHTENAW, TOWNSHIP OF SUPERIOR, PART OF THE NORTHWEST 1/4 SECTION OF 35, TOWN 2 SOUTH, RANGE 7 EAST.

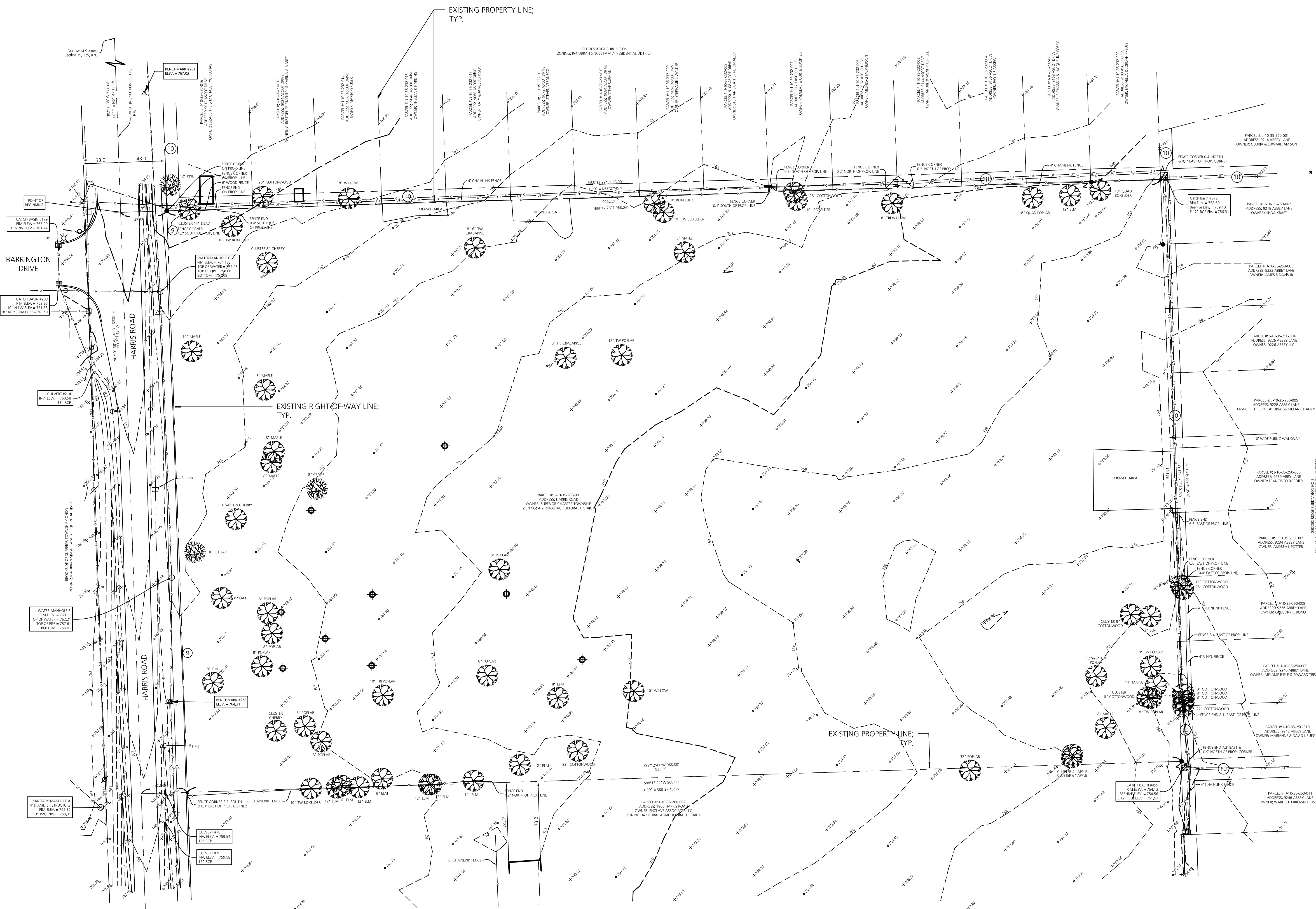
\*OLD SID - J 10-035-007-00 SU 35-58 COM AT NW COR OF SEC 35, TH S 1-47-15 E 753.28 FT ON W/L OF SEC TO POB, TH N 88-27-45 E 968 FT, TH S 1-47-15 E 541.81 FT TH S 88-27-45 W 968 FT, TH N 1-47-15 W 541.81 FT TO POB PART NW 1/4 SEC 35 T2S R7E 12.04 AC



CAUTION: FIELD VERIFY ALL UTILITIES PRIOR TO EXCAVATION.



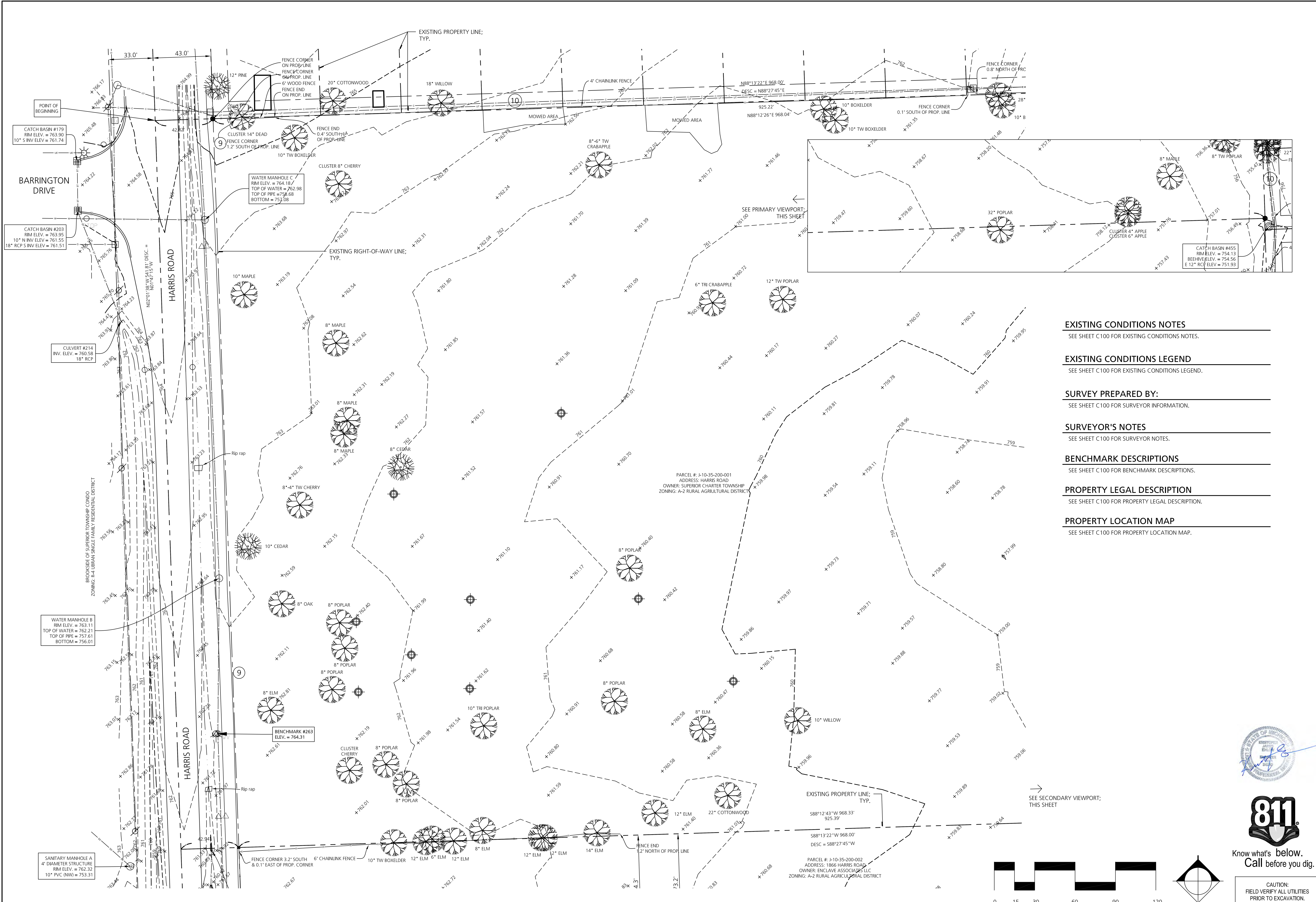
EXISTING CONDITIONS PLAN - OVERALL



PROPERTY LOCATION MAP







**EXISTING CONDITIONS NOTES**

SEE SHEET C100 FOR EXISTING CONDITIONS NOTES.

**EXISTING CONDITIONS LEGEND**

SEE SHEET C100 FOR EXISTING CONDITIONS LEGEND.

**SURVEY PREPARED BY:**

SEE SHEET C100 FOR SURVEYOR INFORMATION.

**SURVEYOR'S NOTES**

SEE SHEET C100 FOR SURVEYOR NOTES.

**BENCHMARK DESCRIPTIONS**

SEE SHEET C100 FOR BENCHMARK DESCRIPTIONS.

**PROPERTY LEGAL DESCRIPTION**

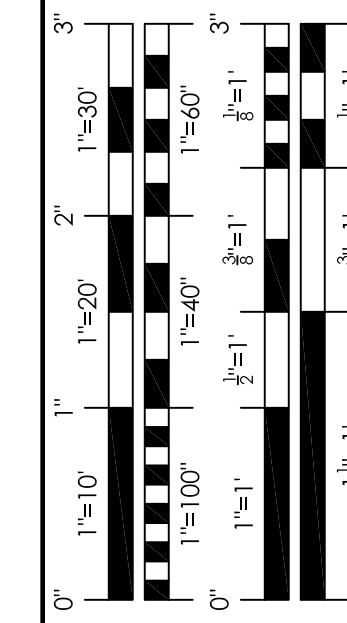
SEE SHEET C100 FOR PROPERTY LEGAL DESCRIPTION.

**PROPERTY LOCATION MAP**

SEE SHEET C100 FOR PROPERTY LOCATION MAP.



2080 S. State Street  
Ann Arbor, MI 48104  
O 734.761.2090  
F 734.761.6607



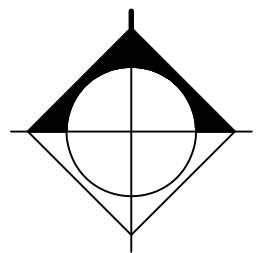
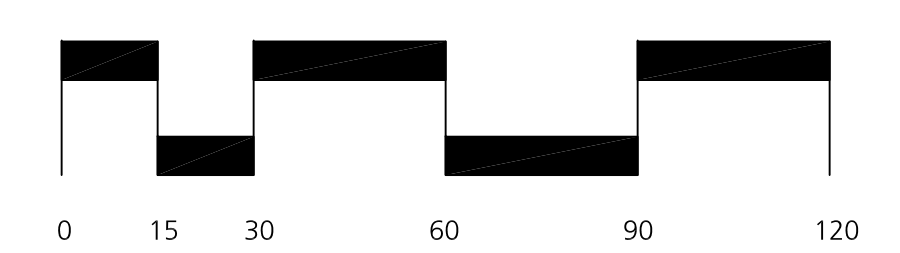
**REVISIONS**

1	PRELIM. SITE PLAN APPROVAL	21 FEB 2020
---	----------------------------	-------------



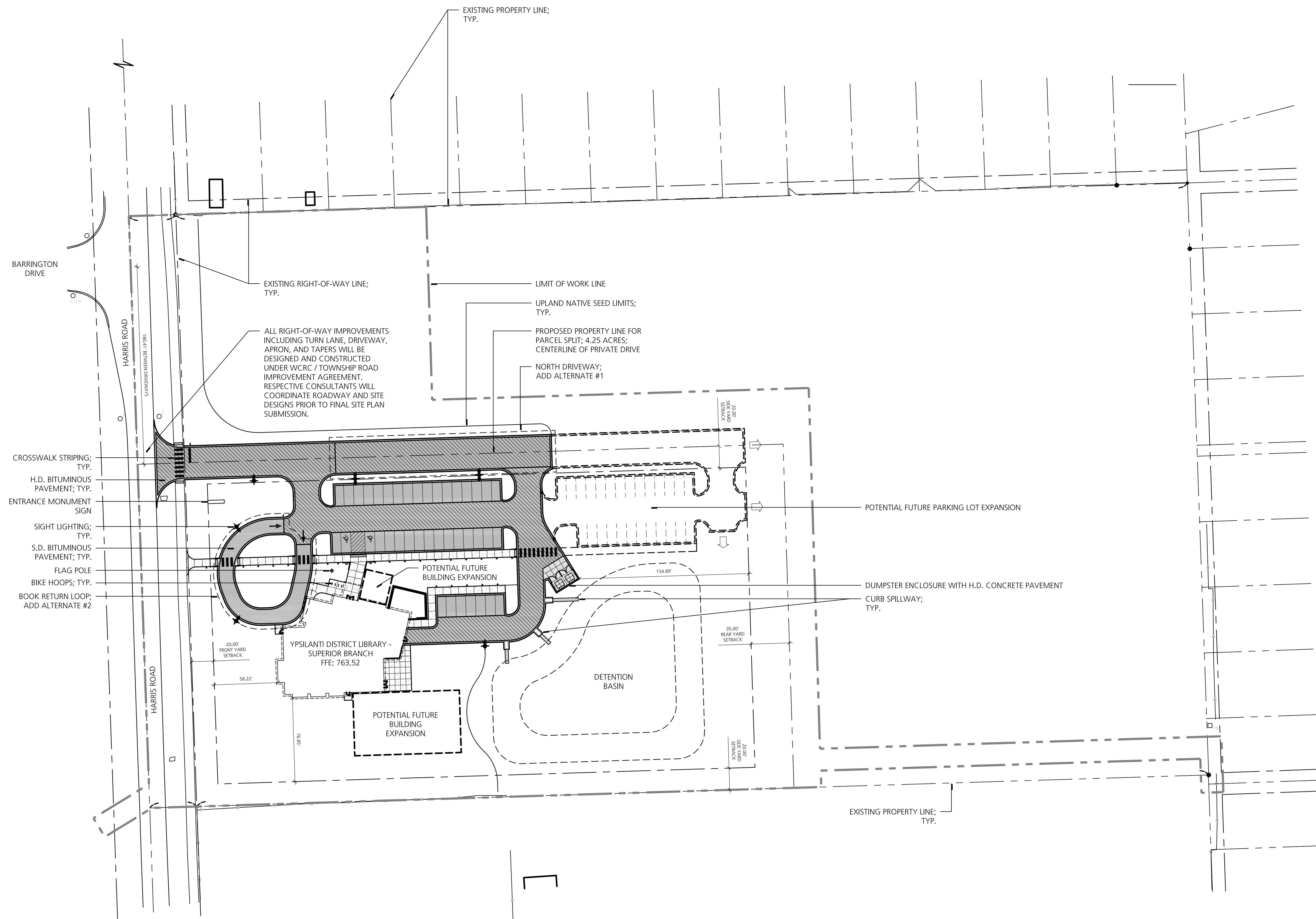
Know what's below.  
Call before you dig.

CAUTION:  
FIELD VERIFY ALL UTILITIES  
PRIOR TO EXCAVATION.



**EXISTING CONDITIONS PLAN**





**LAYOUT & MATERIALS NOTES**

SEE SHEET C3.0 FOR LAYOUT & MATERIALS NOTES.

**LAYOUT & MATERIALS LEGEND**

SEE SHEET C3.0 FOR LAYOUT & MATERIALS LEGEND.

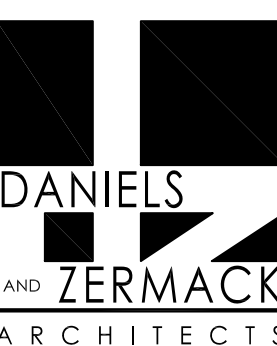
**PARKING SUMMARY**

SEE SHEET C3.0 FOR PARKING SUMMARY.

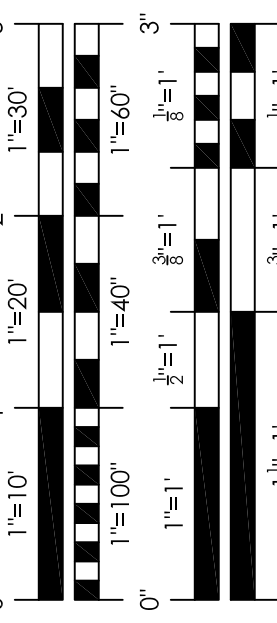
**FROST FREE PAD NOTE**

SEE SHEET C3.0 FOR FROST FREE PAD NOTE.

YPSILANTI DISTRICT LIBRARY  
SUPERIOR TOWNSHIP BRANCH



2080 S. State Street  
Ann Arbor, MI 48104  
O 734.761.2090  
F 734.761.6607



**REVISIONS**

PRELIM. SITE PLAN APPROVAL  
21 FEB 2020

JOB 2017-55

DATE 21 FEB 2020

DRAWN BB

CHECKED BB

DETAIL SYMBOL

DETAIL NUMBER  
REFERENCE SHEET

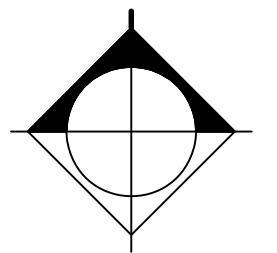
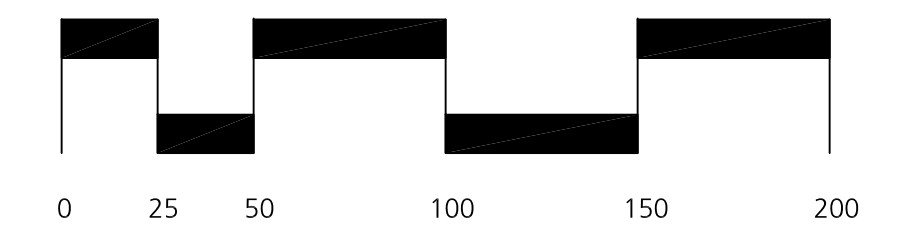
C1.5

YDL SUPERIOR



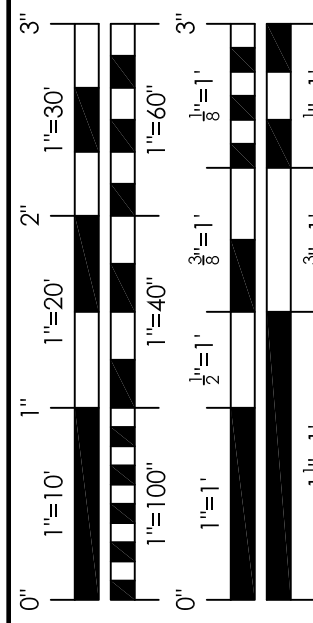
Know what's below.  
Call before you dig.

CAUTION:  
FIELD VERIFY ALL UTILITIES  
PRIOR TO EXCAVATION.



SITE PLAN - OVERALL





REVISIONS

PRELIM SITE PLAN APPROVAL  
21 FEB 2020

JOB #	2017-55
DATE	21 FEB 2020
DRAWN	BB
CHECKED	BB
DETAIL SYMBOL	
DETAIL NUMBER	
REFERENCE SHEET	

**NATURAL FEATURES NOTES**

1. SITE CONTAINS SUCCESSIONAL SCRUB GROWTH OF < 8" DBH EXCEPT WHERE INDIVIDUAL TREES > 8" DBH ARE SURVEYED. SCRUB GROWTH SHALL BE CLEARED TO LIMITS INDICATED ON PLANS.
2. STEEP SLOPES, WATER BODIES, WATER COURSES, WETLANDS, 100-YEAR FLOODPLAIN, AND GROUNDWATER RECHARGE AREAS ARE NOT PRESENT ON SITE.

**DEMOLITION NOTES**

1. CONTRACTOR SHALL CALL MISS DIG (811) A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL INVESTIGATE EXTENT AND LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR PROTECTION AND RESTORATION OF SAME IF DAMAGED AS A RESULT OF CONTRACTOR'S OPERATIONS.
3. ALL ITEMS NOT INDICATED FOR REMOVAL SHALL REMAIN UNDISTURBED AND PROTECTED. CONTRACTOR SHALL FULLY RESTORE ANY ITEMS/MATERIALS DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
4. ALL CONCRETE PAVEMENT AND CURB REMOVALS SHALL BE TO THE NEAREST JOINT BEYOND INDICATED EXTENT.
5. CONTRACTOR SHALL MAINTAIN CLEAN SAW CUT EDGES FOR PROPOSED WORK TO ABUT. BROKEN EDGES RESULTING FROM CONTRACTOR'S FAILURE TO PROTECT THE EDGE WILL BE SAW CUT BEYOND THE BREAKS AT THE NEAREST JOINT, AT THE CONTRACTOR'S EXPENSE.
6. ALL REMOVALS SHALL BE SAW CUT FULL DEPTH AND COORDINATED WITH LAYOUT / GRADING PLANS.
7. REMOVALS SHALL INCLUDE SUBSOIL / EXISTING BASE MATERIALS TO FULL DEPTH REQUIRED FOR INSTALLATION OF NEW WORK INCLUDING BASE COURSE. ALL EXCAVATIONS SHALL PROVIDE ADEQUATE SOIL SUPPORT THROUGH THE USE OF ADEQUATE CUT SLOPES OR STRUCTURAL SHORING.
8. OWNER SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANY FOR REMOVAL OF EXISTING TRANSFORMER, ELECTRICAL, CABLE, TELEPHONE AND FIBER OPTIC LINES.
9. CONTRACTOR SHALL REPAIR ALL DISTURBED TURF AREAS OUTSIDE OF PROJECT LIMITS DAMAGED DURING CONSTRUCTION.
10. ALL TOPSOIL AND ORGANIC MATERIAL SHALL BE REMOVED FROM UNDER PROPOSED BUILDING, FOOTINGS, SLABS, AND PAVED AREAS.
11. ALL SPOIL MATERIAL, INCLUDING TOPSOIL, TO BE REMOVED OFF SITE AND DISPOSED IN A LEGAL MANNER.
12. CONTRACTOR SHALL RELOCATE TREE PROTECTION FENCE WITH LANDSCAPE ARCHITECT/ENGINEER'S APPROVAL IN ORDER TO ACCOMPLISH WORK.
13. LAWN AND TOPSOIL REMOVALS AROUND EXISTING TREES SHALL BE PERFORMED WITH EXTREME CARE. REMOVALS TO BE COMPLETED BY HAND. NO HEAVY EQUIPMENT ALLOWED BENEATH TREE CANOPY.
14. DISCHARGE OF WATER, DUST, OR DEBRIS FROM CONCRETE AND ASPHALT WORK TO STORM OR SANITARY SYSTEMS IS PROHIBITED.
15. STORM DRAINS MUST BE PROTECTED FROM DUST AND DEBRIS.
16. ANY WATER USED DURING CONCRETE AND ASPHALT WORK (INCLUDING SWEEPING AND SAWCUTTING) MUST BE CONTAINED AND COLLECTED FOR PROPER DISPOSAL. SUGGESTED CONTROLS INCLUDE WET VACUUM OR ABSORBENTS.

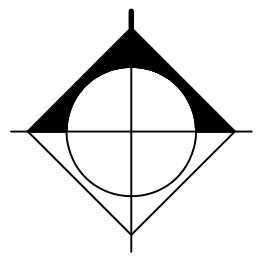
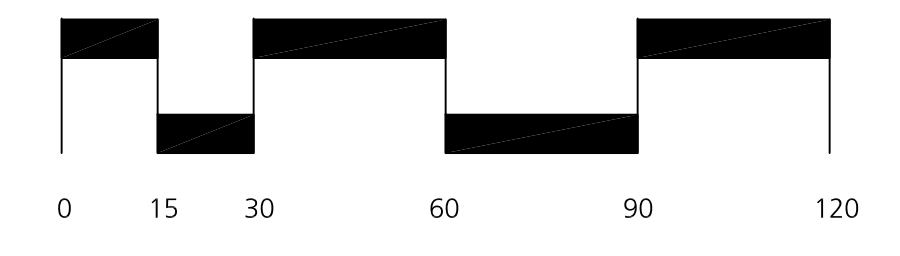
**DEMOLITION LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY / SETBACK LINE
	LIMIT OF WORK LINE
	FILTER FABRIC FENCE
	TREE PROTECTION FENCE
	MUD TRACKING MAT
	REMOVE EXISTING BITUMINOUS PAVEMENT
	REMOVE EXISTING VEGI (TREES, LAWN, BRUSH; I)
	INLET FILTER
	REMOVE ITEM
	PROTECT ITEM
	SALVAGE ITEM TO OWNER
	REMOVE TREE

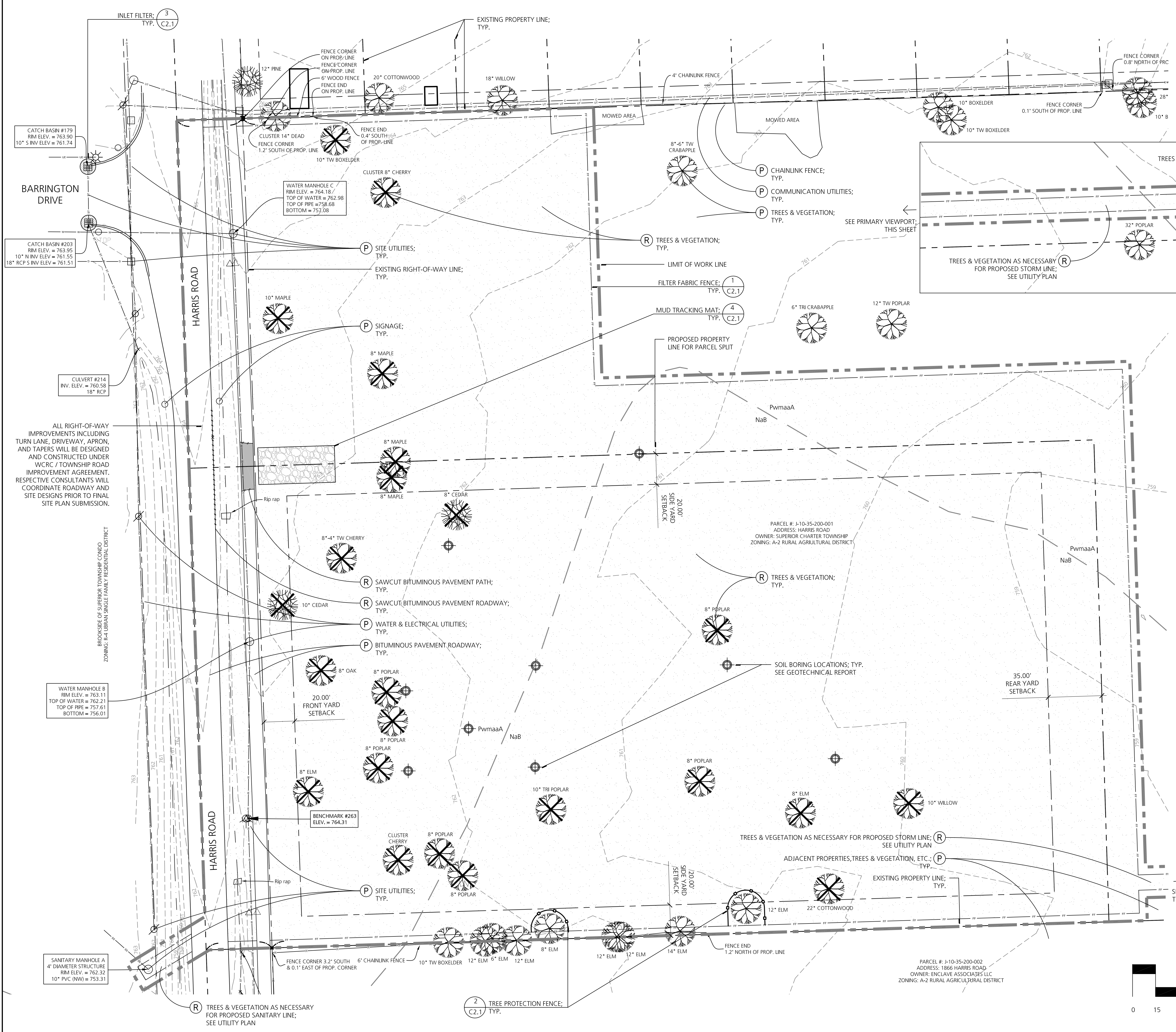


Know what's below.  
Call before you dig.

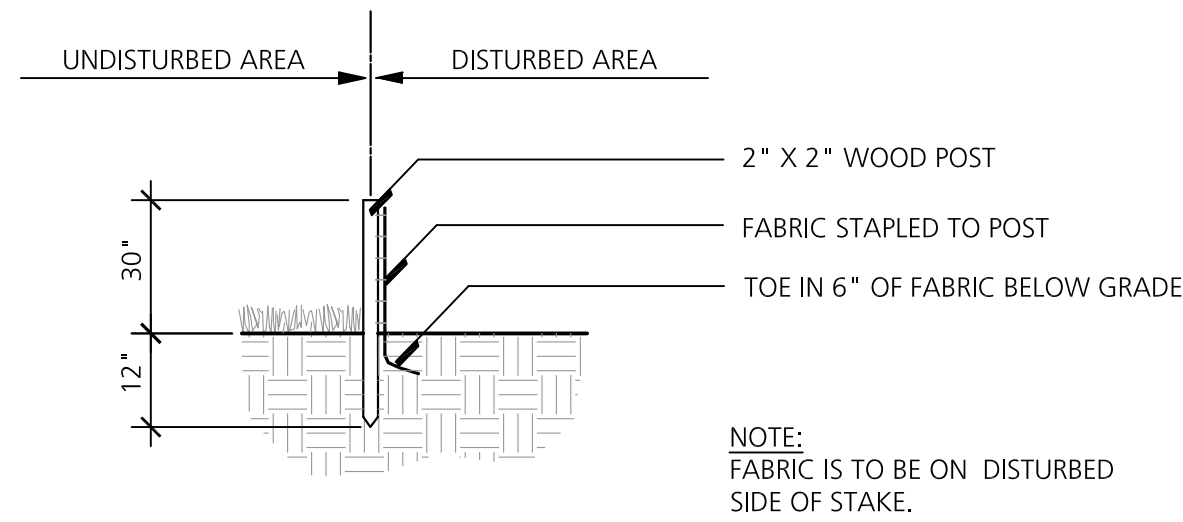
CAUTION:  
FIELD VERIFY ALL UTILITIES  
PRIOR TO EXCAVATION.



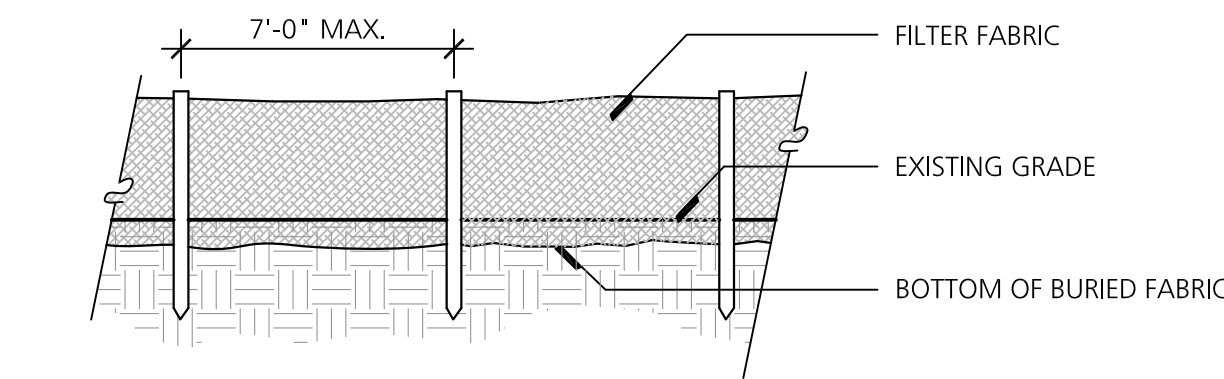
**DEMOLITION & SESC PLAN**





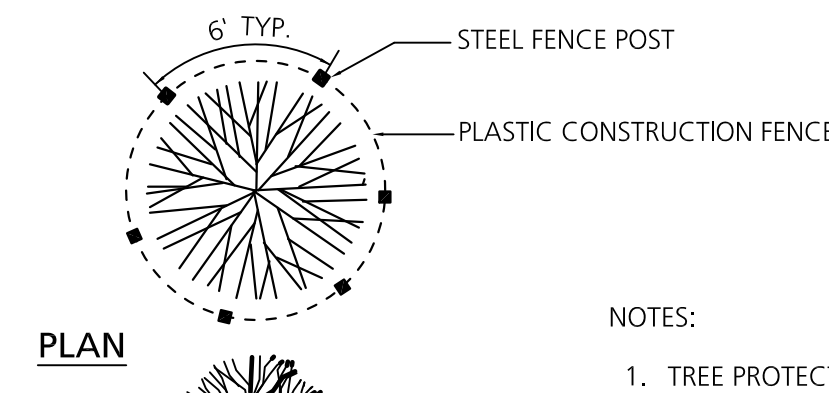


SECTION

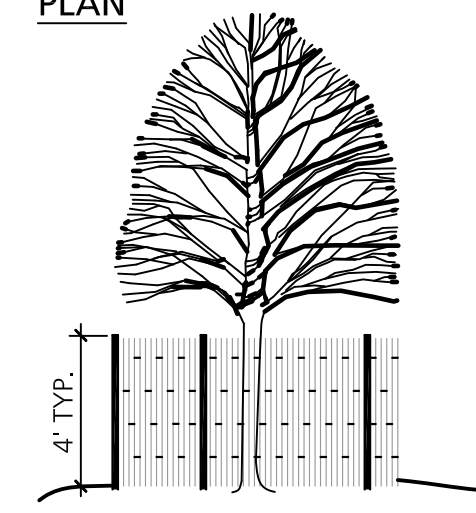


ELEVATION

1 Filter Fabric Fence  
NO SCALE



PLAN

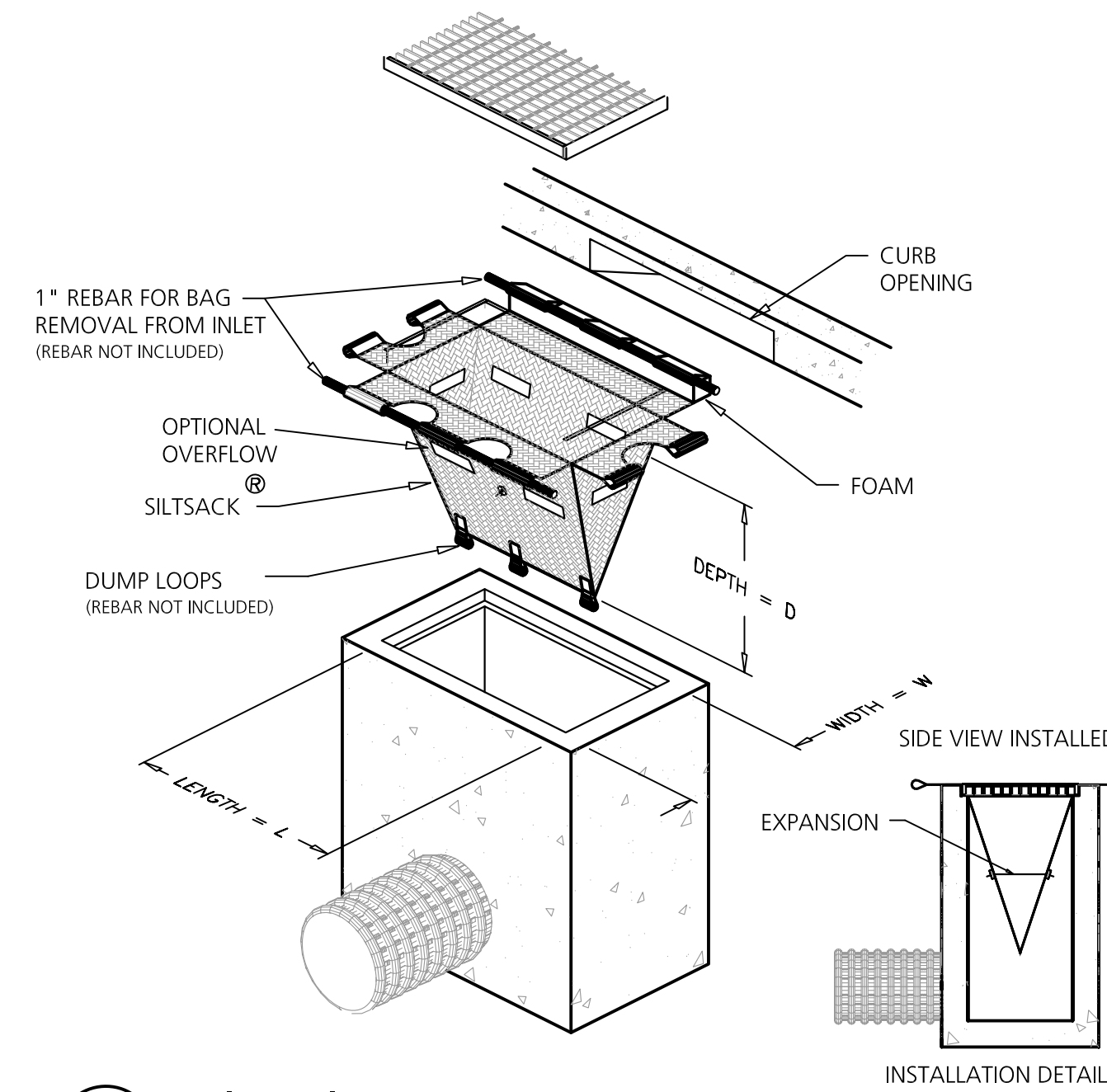


ELEVATION

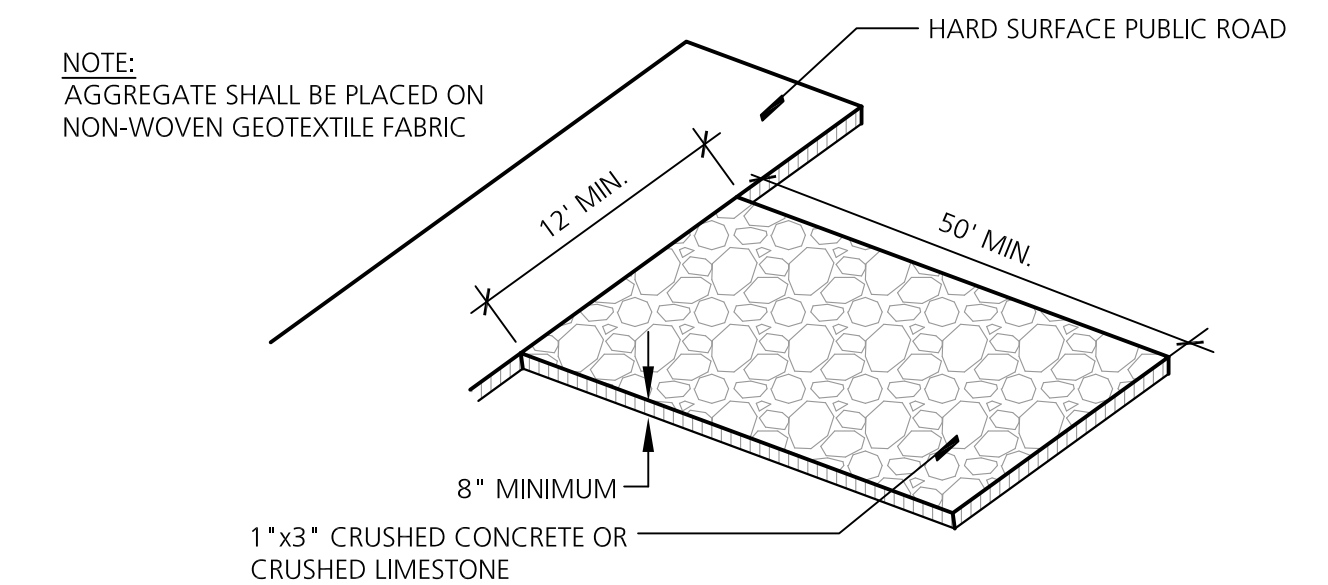
2 Tree Protection Fence  
NO SCALE

NOTES:

1. TREE PROTECTION FENCING SHALL BE ERECTED PRIOR TO ANY EARTHWORK OR CONSTRUCTION AND IS TO REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
2. FENCE SHALL BE LOCATED AT THE OUTER PERIMETER OF THE SPREAD OF THE BRANCHES OR CLOSER ONLY AT THE DIRECTION OF THE PROJECT LANDSCAPE ARCHITECT.
3. ALL DEBRIS, FILL, EQUIPMENT AND MATERIAL SHALL BE KEPT CLEAR OF AREA WITHIN PROTECTIVE FENCE. NO CLEANING, STORAGE, OR DISPOSAL OF ANY MATERIAL ALLOWED WITHIN THE DRIP LINE OF TREES TO BE SAVED.
4. TREE PROTECTION FENCING SHALL BE INSTALLED WHERE DIRECTED BY LANDSCAPE ARCHITECT AND SHALL BE PAID ON A UNIT PRICE BASIS.



3 Inlet Filter  
NO SCALE



4 Mud Tracking Mat  
NO SCALE

SESC NOTES

1. THIS PROJECT MUST BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF MICHIGAN NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT 451 OF 1994, AS AMENDED, THE SOIL EROSION AND SEDIMENT CONTROL ACT.
2. PRIOR TO ANY SITE DISTURBANCE, INCLUDING DEMOLITION, CONTRACTOR SHALL PLACE EROSION CONTROL MEASURES ON ALL EXISTING STORM SEWER STRUCTURES AFFECTED BY WORK IN THIS CONTRACT. SUCH EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE.
3. CONTRACTOR SHALL PLACE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED AND SHOWN ON PLANS.
4. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EROSION CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL GOVERNING AUTHORITIES.
5. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES. ANY NECESSARY REPAIRS SHALL BE MADE WITHOUT DELAY.
6. ALL EROSION AND SEDIMENT RESULTING FROM WORK ON SITE SHALL BE CONTAINED ON SITE AND NOT ALLOWED TO COLLECT IN ANY OFF-SITE AREAS OR WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, RIVERS, OR PONDS.
7. CONTRACTOR SHALL PLACE INLET FILTER PROTECTION ON ALL STORM STRUCTURES AFFECTED BY THIS PROJECT.
8. ALL TEMPORARY SEDIMENT BASINS USED DURING CONSTRUCTION SHALL BE CLEANED AND ALL SEDIMENT LEGALLY DISPOSED OF PRIOR TO STABILIZATION. REMOVAL OF ALL FINES AND SEDIMENT IS CRITICAL IN AREAS WHERE INFILTRATION PRACTICES SHALL BECOME PERMANENT BEST MANAGEMENT PRACTICE.
9. CONTRACTOR SHALL CLEAN DEBRIS FROM STREETS ON A DAILY BASIS AS NEEDED. STREETS SHALL BE SWEEPED WEEKLY.

SESC DATA NOTES

PARCEL IDENTIFICATION: J-10-35-200-001  
 LEGAL DESCRIPTION: SEE EXISTING CONDITIONS SHEET C 100  
 TOTAL PARCEL AREA: 12.04 ACRES  
 TOTAL DISTURBED AREA: 6.45 ACRES  
 PROXIMITY TO NEAREST WATER BODY/DRAIN: 205' TO DETENTION BASIN SOUTHWEST OF PROPERTY

PARCEL SOILS DESCRIPTION:  
 Bntaab: BLOUNT LOAM; 2 TO 6 PERCENT SLOPES  
 Nab: NAPPANEE SILTY CLAY LOAM; 2 TO 6 PERCENT SLOPES  
 PwmaaA: PEWAMO CLAY LOAM, DENSE SUBSTRATIUM; 0 TO 1 PERCENT SLOPES

SOILS ARE BASED ON USDA WEB SOIL SURVEY.

ESTIMATED SESC COST: \$10,000  
 ESTIMATED STABILIZATION COST: \$10,000

APPROXIMATE START DATE: AUGUST 2020  
 APPROXIMATE COMPLETION DATE: OCTOBER 2021  
 PERSON RESPONSIBLE FOR TEMPORARY AND PERMANENT SOIL EROSION CONTROL:  
 MATHEW RATZOW, SENIOR PROJECT MANAGER  
 O'NEAL CONSTRUCTION, INC.  
 525 WEST WILLIAM  
 ANN ARBOR, MI 48103  
 PHONE 734.769.0770

MAINTENANCE SCHEDULES

MAINTENANCE SCHEDULE  
(DURING CONST. BY SITE CONTRACTOR)

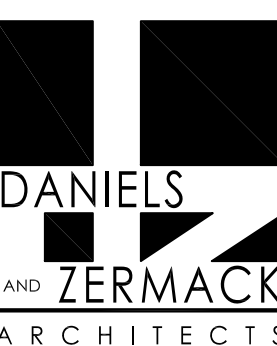
TASK	COMPONENT	SCHEDULE
INSPECT FOR SEDIMENT ACCUMULATION	STORM SEWER & CULVERTS	X WEEKLY
REMOVAL OF SEDIMENT ACCUMULATION	STORM SEWER & CULVERTS	X AS NEEDED AND PRIOR TO TURNOVER
INSPECT FOR FLOATABLES AND DEBRIS	STONE LAYDOWN BED	X QUARTERLY
REMOVAL OF FLOATABLES AND DEBRIS	STONE LAYDOWN BED	X QUARTERLY AND AT TURNOVER
INSPECT FOR EROSION	STONE LAYDOWN BED	X WEEKLY
REPLACEMENT OF STONE	STONE LAYDOWN BED	X AS NEEDED*
CLEAN STREETS, DRIVES AND PARKING AREAS		0 TO 2 TIMES PER YEAR
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY PROFESSIONAL ENGINEER)		X ANNUALLY AND PRIOR TO TURNOVER
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY PRE-TURNOVER INSPECTION		X AS NEEDED

MAINTENANCE SCHEDULE  
(POST CONST. BY OWNER)

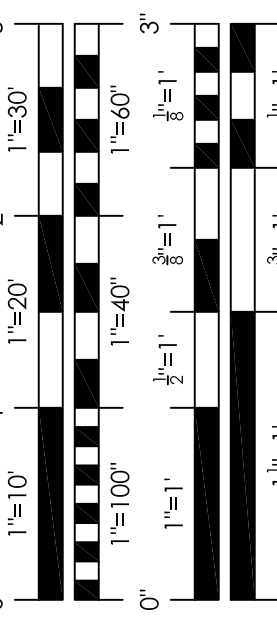
TASK	COMPONENT	SCHEDULE
INSPECT FOR SEDIMENT ACCUMULATION	STORM SEWER & CULVERTS	X ANNUALLY
REMOVAL OF SEDIMENT ACCUMULATION	STORM SEWER & CULVERTS	X ANNUALLY AS NEEDED
INSPECT FOR FLOATABLES AND DEBRIS	STONE LAYDOWN BED	X ANNUALLY
REMOVAL OF FLOATABLES AND DEBRIS	STONE LAYDOWN BED	X ANNUALLY AS NEEDED
REPLACEMENT OF STONE	STONE LAYDOWN BED	EVERY 3-5 YEARS AS NEEDED
CLEAN STREETS, DRIVES AND PARKING AREAS		0 TO 2 TIMES PER YEAR
INSPECT STRUCTURAL ELEMENTS DURING WET WEATHER AND COMPARE TO AS-BUILT PLANS (BY PROFESSIONAL ENGINEER)		X ANNUALLY
MAKE ADJUSTMENTS OR REPLACEMENTS AS DETERMINED BY INSPECTION		X AS NEEDED

CONSTRUCTION SEQUENCE

CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE (2020-2021)														
	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER	JANUARY	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER
TEMPORARY CONTROL MEASURES	[Bar spanning all months]														
LAYOUT AND STACKING	[Bar spanning all months]														
BUILDING FOUNDATIONS	[Bar spanning all months]														
MASS GRADING	[Bar spanning all months]														
SITE UTILITIES	[Bar spanning all months]														
SITE PAVEMENTS	[Bar spanning all months]														
FINISH GRADING	[Bar spanning all months]														
SEEDING AND SITE RESTORATION	[Bar spanning all months]														



2080 S. State Street  
Ann Arbor, MI 48104  
O 734.761.2090  
F 734.761.6607



REVISIONS

PRELIM SITE PLAN APPROVAL  
21 FEB 2020

JOB: 2017-58

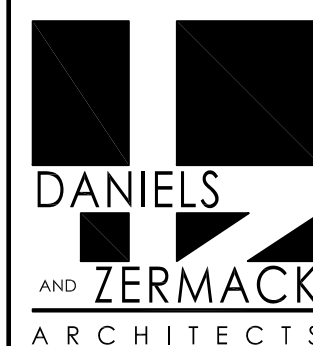
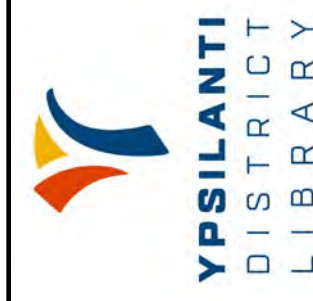
DATE: 21 FEB 2020

DRAWN: BB  
CHECKED: BB

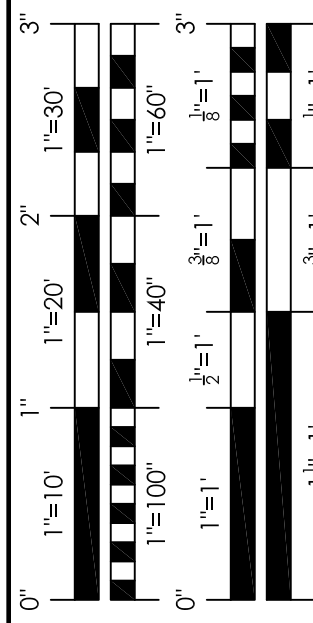
DETAIL SYMBOL  
DETAIL NUMBER  
REFERENCE SHEET

C2.1  
YDL SUPERIOR





2080 S. State Street  
Ann Arbor, MI 48104  
O 734.761.2090  
F 734.761.6607



REVISIONS

PRELIM SITE PLAN APPROVAL  
21 FEB 2020

NO.	DESCRIPTION	DATE

JOB: 2017-55  
DATE: 21 FEB 2020

DRAWN: BB  
CHECKED: BB

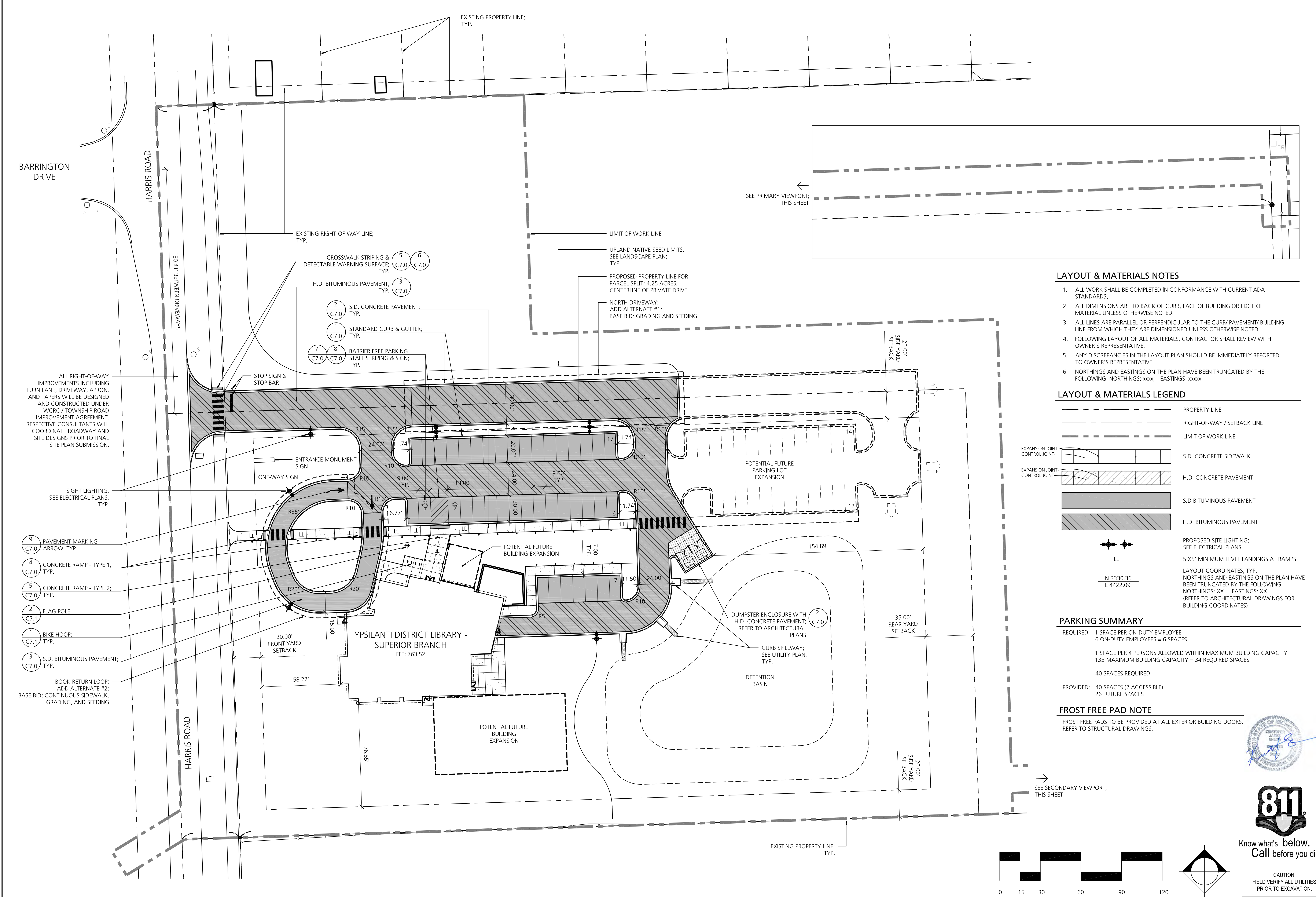
DETAIL SYMBOL

DETAIL NUMBER

REFERENCE SHEET

C3.0

YDL SUPERIOR



LAYOUT & MATERIALS NOTES

- ALL WORK SHALL BE COMPLETED IN CONFORMANCE WITH CURRENT ADA STANDARDS.
- ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF BUILDING OR EDGE OF MATERIAL UNLESS OTHERWISE NOTED.
- ALL LINES ARE PARALLEL OR PERPENDICULAR TO THE CURB/ PAVEMENT/ BUILDING LINE FROM WHICH THEY ARE DIMENSIONED UNLESS OTHERWISE NOTED.
- FOLLOWING LAYOUT OF ALL MATERIALS, CONTRACTOR SHALL REVIEW WITH OWNER'S REPRESENTATIVE.
- ANY DISCREPANCIES IN THE LAYOUT PLAN SHOULD BE IMMEDIATELY REPORTED TO OWNER'S REPRESENTATIVE.
- NORTHINGS AND EASTINGS ON THE PLAN HAVE BEEN TRUNCATED BY THE FOLLOWING: NORTHINGS: xxxxx; EASTINGS: xxxxx

LAYOUT & MATERIALS LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY / SETBACK LINE
	LIMIT OF WORK LINE
	S.D. CONCRETE SIDEWALK
	H.D. CONCRETE PAVEMENT
	S.D. BITUMINOUS PAVEMENT
	H.D. BITUMINOUS PAVEMENT
	PROPOSED SITE LIGHTING; SEE ELECTRICAL PLANS
	5'X5' MINIMUM LEVEL LANDINGS AT RAMPS

PARKING SUMMARY

REQUIRED: 1 SPACE PER ON-DUTY EMPLOYEE  
6 ON-DUTY EMPLOYEES = 6 SPACES

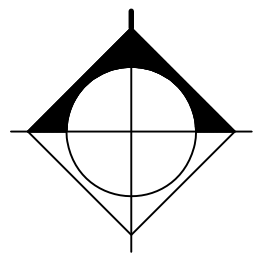
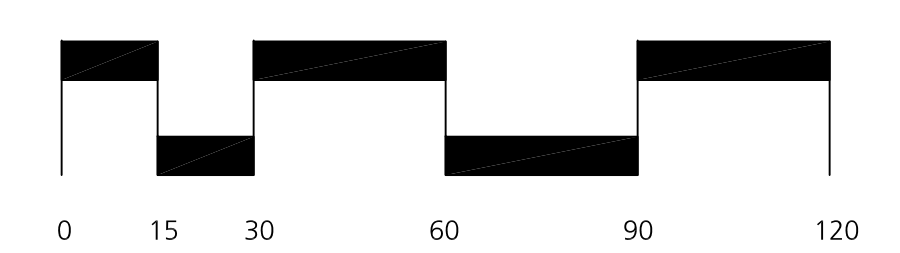
1 SPACE PER 4 PERSONS ALLOWED WITHIN MAXIMUM BUILDING CAPACITY  
133 MAXIMUM BUILDING CAPACITY = 34 REQUIRED SPACES

40 SPACES REQUIRED

PROVIDED: 40 SPACES (2 ACCESSIBLE)  
26 FUTURE SPACES

FROST FREE PAD NOTE

FROST FREE PADS TO BE PROVIDED AT ALL EXTERIOR BUILDING DOORS. REFER TO STRUCTURAL DRAWINGS.

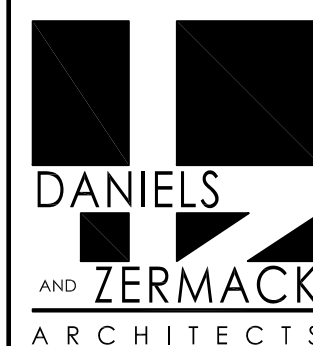


Know what's below.  
Call before you dig.

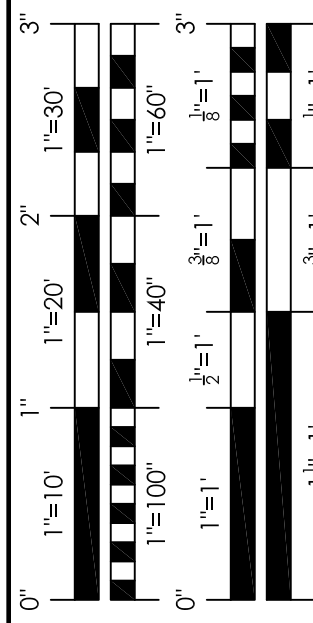
CAUTION:  
FIELD VERIFY ALL UTILITIES  
PRIOR TO EXCAVATION.

LAYOUT & MATERIALS PLAN





2080 S. State Street  
Ann Arbor, MI 48104  
O 734.761.2090  
F 734.761.6607



REVISIONS

PRELIM. SITE PLAN APPROVAL  
21 FEB 2020

NO.	DATE	DESCRIPTION
1	2017-05	PRELIM. SITE PLAN APPROVAL
2	21 FEB 2020	DATE
3	BB	DRAWN
4	BB	CHECKED
5		DETAIL SYMBOL
6		DETAIL NUMBER
7		REFERENCE SHEET

JOB: 2017-05

DATE: 21 FEB 2020

DRAWN: BB

CHECKED: BB

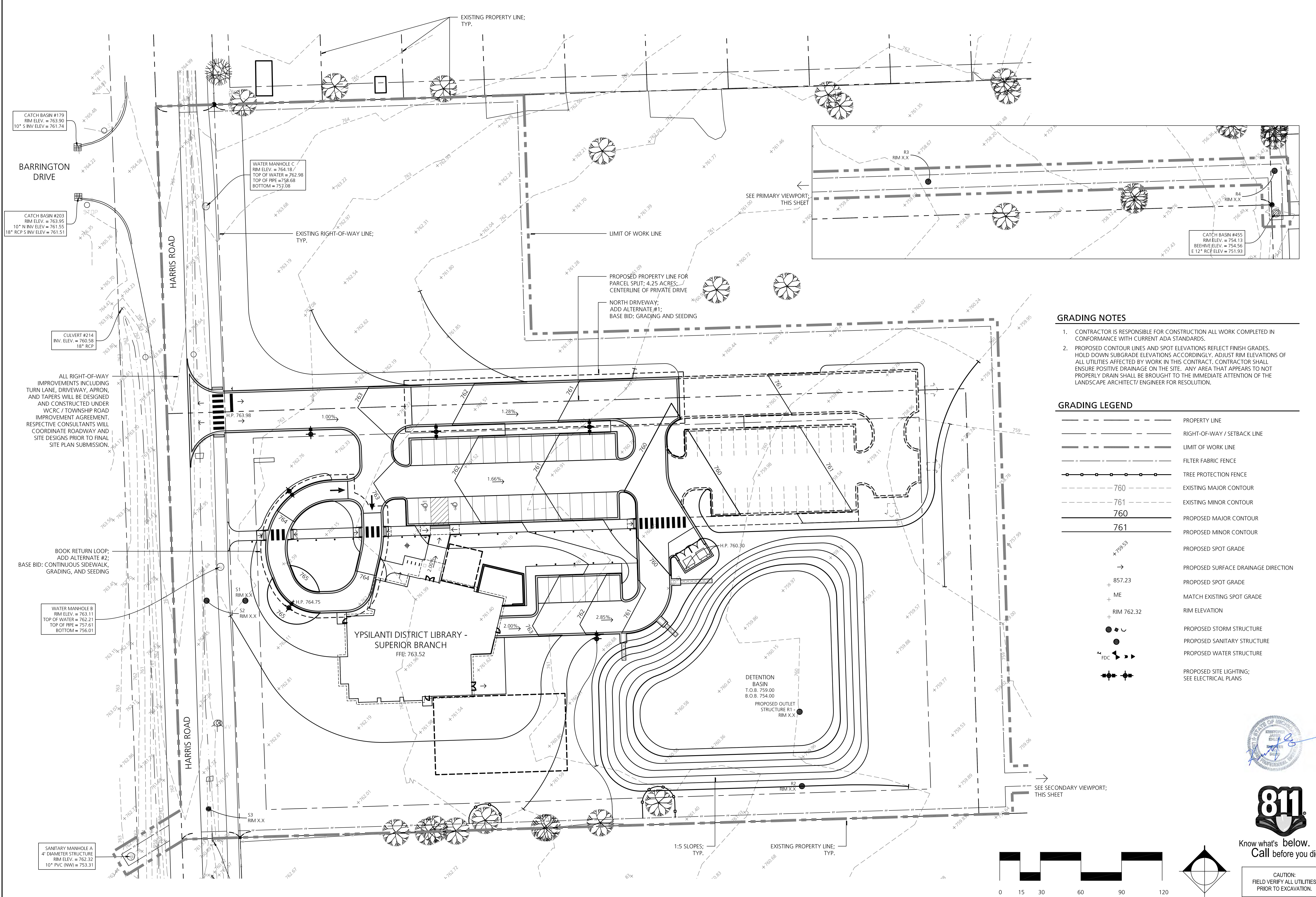
DETAIL SYMBOL

DETAIL NUMBER

REFERENCE SHEET

C4.0

YDL SUPERIOR

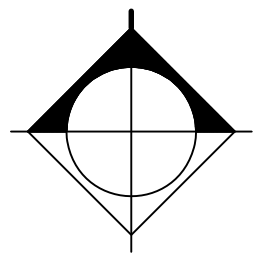
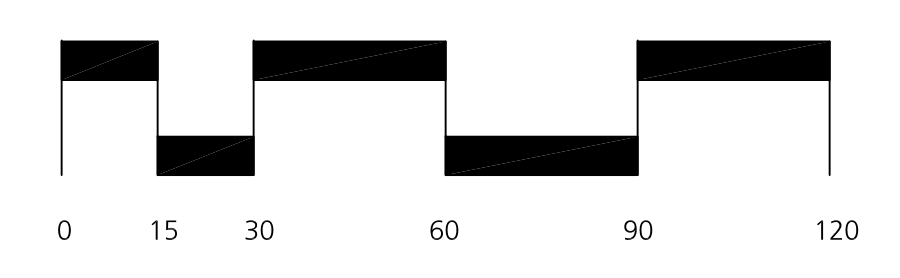


GRADING NOTES

- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION ALL WORK COMPLETED IN CONFORMANCE WITH CURRENT ADA STANDARDS.
- PROPOSED CONTOUR LINES AND SPOT ELEVATIONS REFLECT FINISH GRADES. HOLD DOWN SUBGRADE ELEVATIONS ACCORDINGLY. ADJUST RIM ELEVATIONS OF ALL UTILITIES AFFECTED BY WORK IN THIS CONTRACT. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ON THE SITE. ANY AREA THAT APPEARS TO NOT PROPERLY DRAIN SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT/ ENGINEER FOR RESOLUTION.

GRADING LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY / SETBACK LINE
	LIMIT OF WORK LINE
	FILTER FABRIC FENCE
	TREE PROTECTION FENCE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED SURFACE DRAINAGE DIRECTION
	PROPOSED SPOT GRADE
	MATCH EXISTING SPOT GRADE
	RIM ELEVATION
	PROPOSED STORM STRUCTURE
	PROPOSED SANITARY STRUCTURE
	PROPOSED WATER STRUCTURE
	PROPOSED SITE LIGHTING; SEE ELECTRICAL PLANS

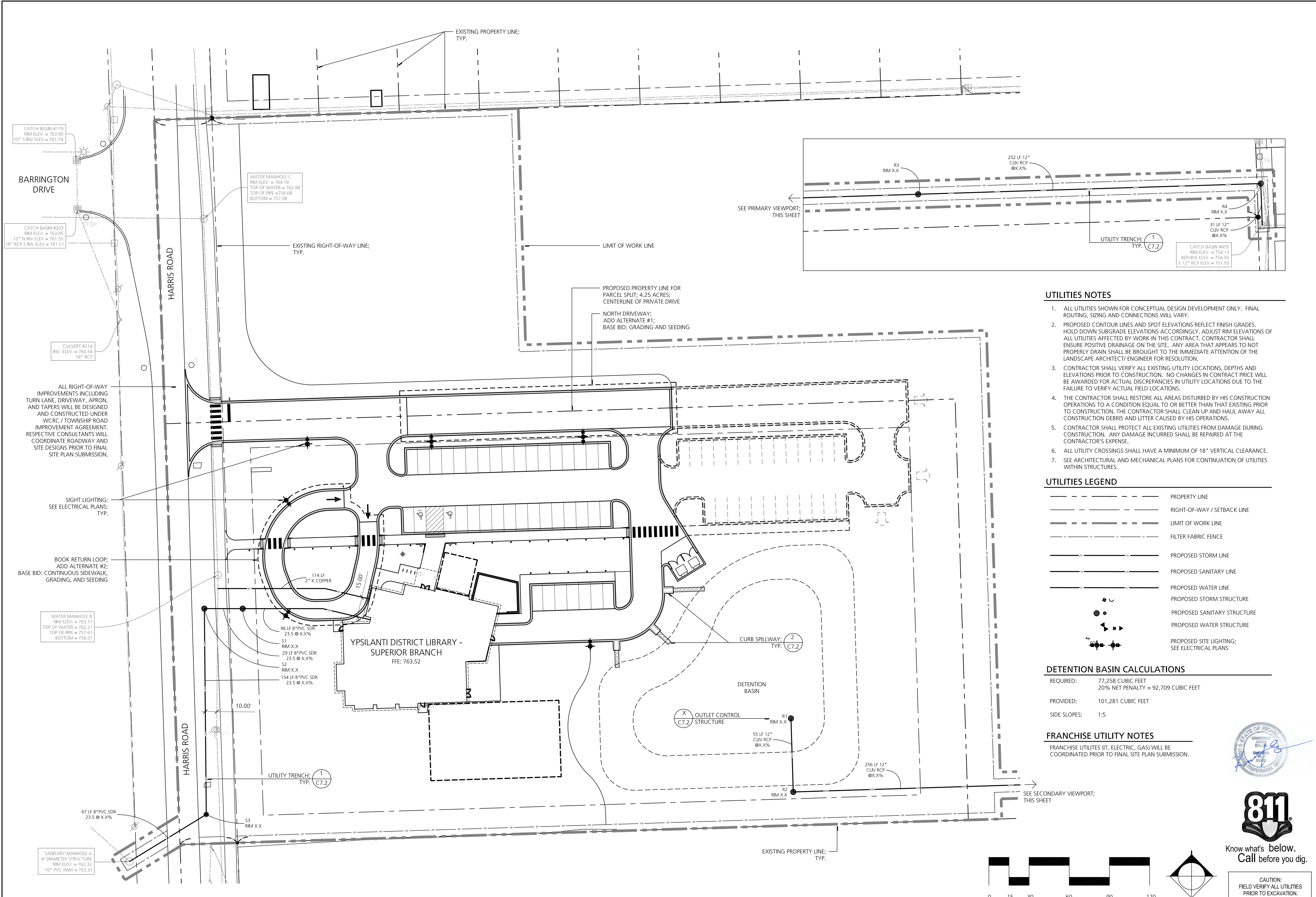


Know what's below.  
Call before you dig.

CAUTION:  
FIELD VERIFY ALL UTILITIES  
PRIOR TO EXCAVATION.

GRADING PLAN





**UTILITIES NOTES**

1. ALL UTILITIES SHOWN FOR CONCEPTUAL DESIGN DEVELOPMENT ONLY. FINAL ROUTING, SIZING AND CONNECTIONS WILL VARY.
2. PROPOSED CONTOUR LINES AND SPOT ELEVATIONS REFLECT FINISH GRADES. HOLD DOWN SUBGRADE ELEVATIONS ACCORDINGLY. ADJUST RIM ELEVATIONS OF ALL UTILITIES AFFECTED BY WORK IN THIS CONTRACT. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ON THE SITE. ANY AREA THAT APPEARS TO NOT PROPERLY DRAIN SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT/ ENGINEER FOR RESOLUTION.
3. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, DEPTHS AND ELEVATIONS PRIOR TO CONSTRUCTION. NO CHANGES IN CONTRACT PRICE WILL BE AWARDED FOR ACTUAL DISCREPANCIES IN UTILITY LOCATIONS DUE TO THE FAILURE TO VERIFY ACTUAL FIELD LOCATIONS.
4. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY HIS CONSTRUCTION OPERATIONS TO A CONDITION EQUAL TO OR BETTER THAN THAT EXISTING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CLEAN UP AND HAUL AWAY ALL CONSTRUCTION DEBRIS AND LITTER CAUSED BY HIS OPERATIONS.
5. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE INCURRED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. ALL UTILITY CROSSINGS SHALL HAVE A MINIMUM OF 18" VERTICAL CLEARANCE.
7. SEE ARCHITECTURAL AND MECHANICAL PLANS FOR CONTINUATION OF UTILITIES WITHIN STRUCTURES.

**UTILITIES LEGEND**

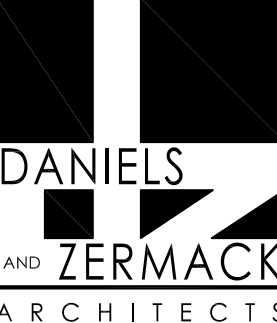
	PROPERTY LINE
	RIGHT-OF-WAY / SETBACK LINE
	LIMIT OF WORK LINE
	FILTER FABRIC FENCE
	PROPOSED STORM LINE
	PROPOSED SANITARY LINE
	PROPOSED WATER LINE
	PROPOSED STORM STRUCTURE
	PROPOSED SANITARY STRUCTURE
	PROPOSED WATER STRUCTURE
	PROPOSED SITE LIGHTING; SEE ELECTRICAL PLANS

**DETENTION BASIN CALCULATIONS**

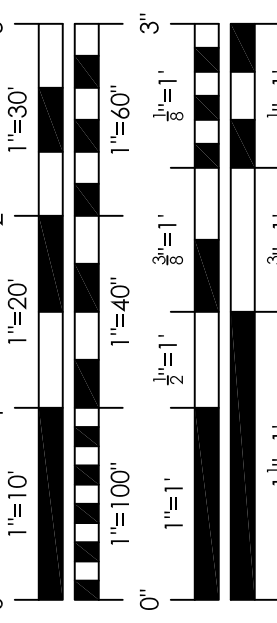
REQUIRED:	77,258 CUBIC FEET 20% NET PENALTY = 92,709 CUBIC FEET
PROVIDED:	101,281 CUBIC FEET
SIDE SLOPES:	1:5

**FRANCHISE UTILITY NOTES**

FRANCHISE UTILITIES (IT, ELECTRIC, GAS) WILL BE COORDINATED PRIOR TO FINAL SITE PLAN SUBMISSION.



2080 S. State Street  
Ann Arbor, MI 48104  
O 734.761.2090  
F 734.761.6607



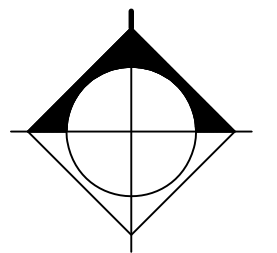
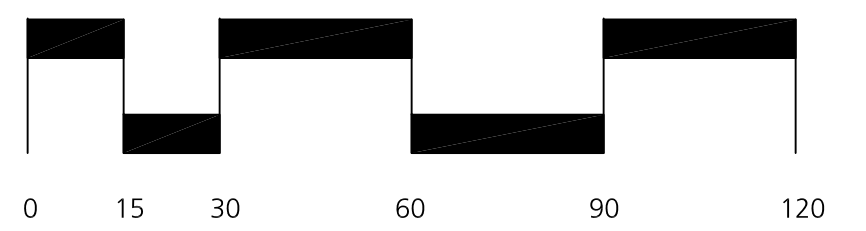
**REVISIONS**

PRELIM. SITE PLAN APPROVAL  
21 FEB 2020

JOB:	2017-55
DATE:	21 FEB 2020
DRAWN:	BB
CHECKED:	BB
DETAIL SYMBOL:	
DETAIL NUMBER:	
REFERENCE SHEET:	



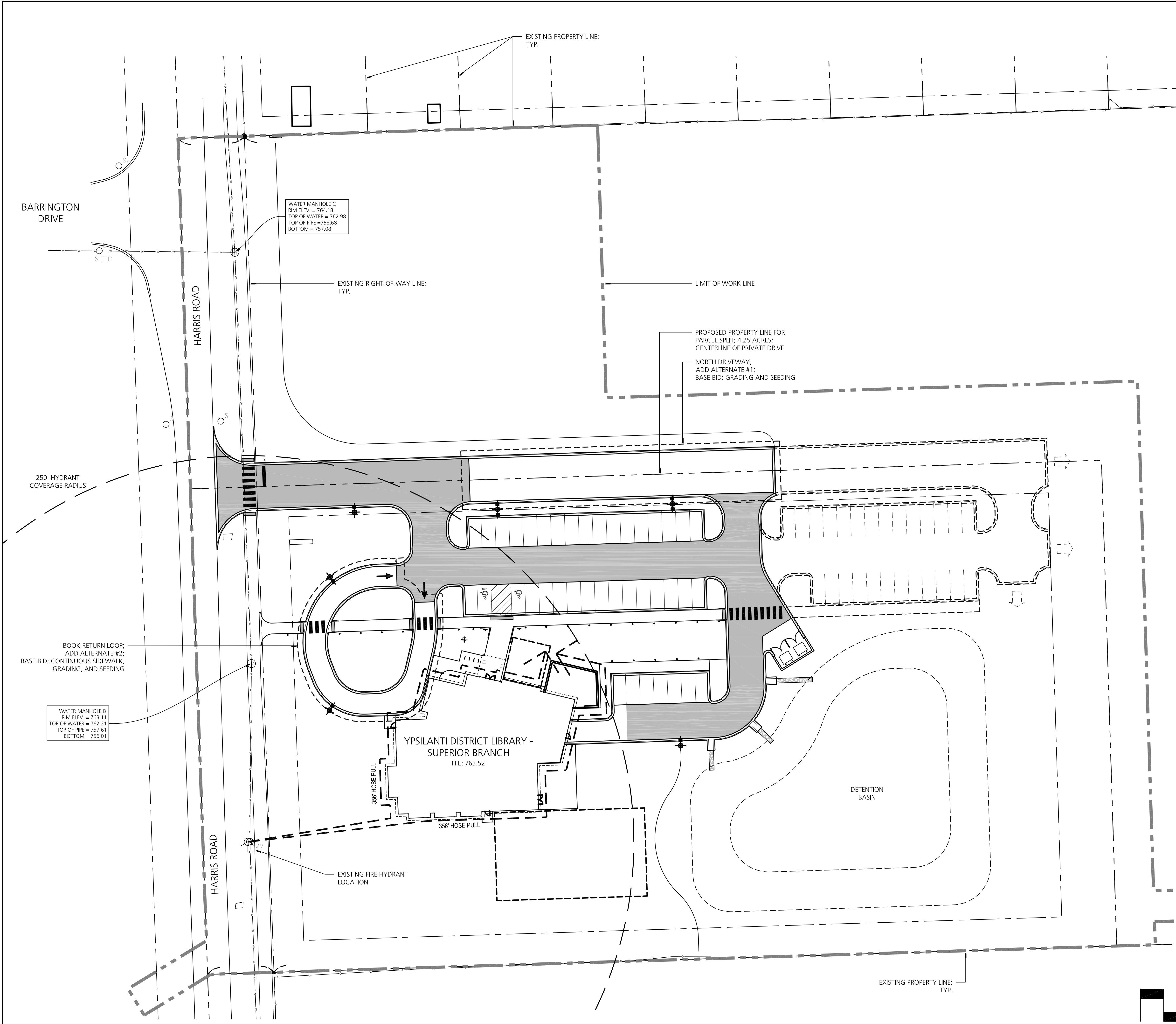
CAUTION: FIELD VERIFY ALL UTILITIES PRIOR TO EXCAVATION.



**UTILITY PLAN**

C5.0  
YDL SUPERIOR





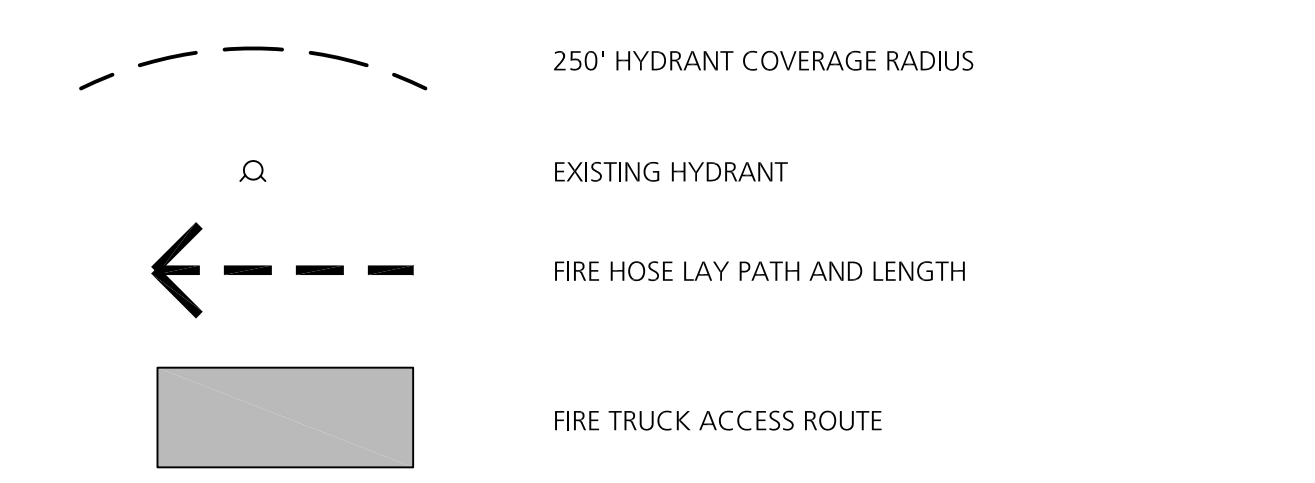
**FIRE SAFETY NOTES**

1. ENTIRE BUILDING FOOTPRINT IS WITHIN 250' RADIUS OF A HYDRANT.
2. BUILDING ADDITION WILL BE CONSTRUCTION TYPE IIB.
3. EXISTING HYDRANT IS LOCATED SUCH THAT THE HOSE LAY TO ANY EXTERNAL PORTION OF A STRUCTURE WILL NOT EXCEED 400 FEET.
4. EXISTING HYDRANT IS LOCATED WITHIN 100 FEET OF THE EXISTING FIRE DEPARTMENT CONNECTION.
5. ALL BUILDING FACADES ARE WITHIN 150' OF A FIRE TRUCK ACCESS ROUTE.
6. PROPOSED BUILDING WILL BE FULLY FIRE SUPPRESSED.

**CONSTRUCTION SEQUENCE NOTES**

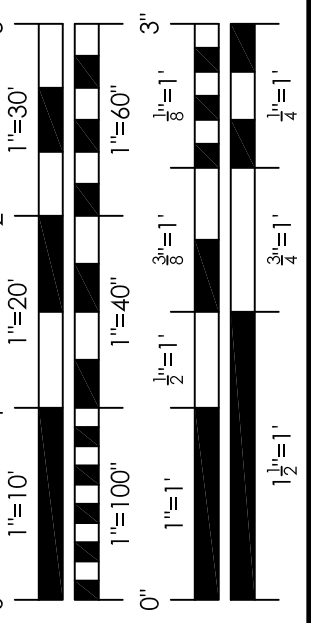
1. HYDRANTS PROVIDING PROTECTION COVERAGE FOR THE BUILDING SHALL BE IN SERVICE AND APPROVED BY BOTH CITY ENGINEERING AND FIRE DEPARTMENT PRIOR TO PERMIT ISSUANCE FOR NEW CONSTRUCTION AND PRIOR TO COMBUSTIBLE MATERIALS BEING PLACED ON SITE.
2. STORAGE AREA FOR CONSTRUCTION MATERIALS SHALL NOT INTERFERE WITH FIRE / EMERGENCY SITE ACCESS.

**FIRE SAFETY LEGEND**



**DANIELS AND ZERMACK ARCHITECTS**

2080 S. State Street  
Ann Arbor, MI 48104  
O 734.761.2090  
F 734.761.6607



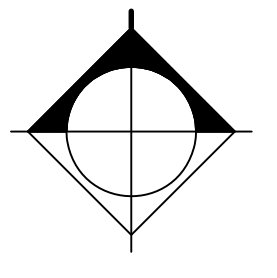
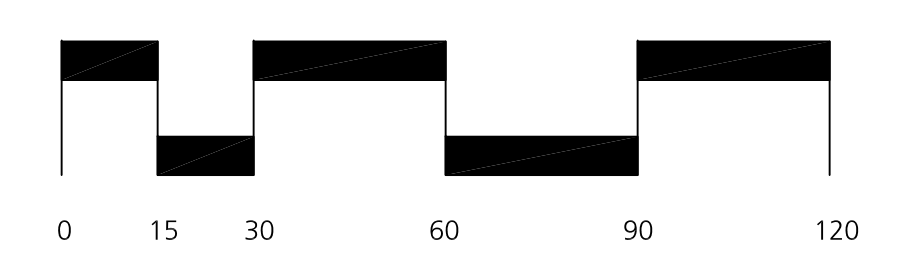
**REVISIONS**

PRELIM. SITE PLAN APPROVAL	21 FEB 2020
----------------------------	-------------



Know what's below.  
Call before you dig.

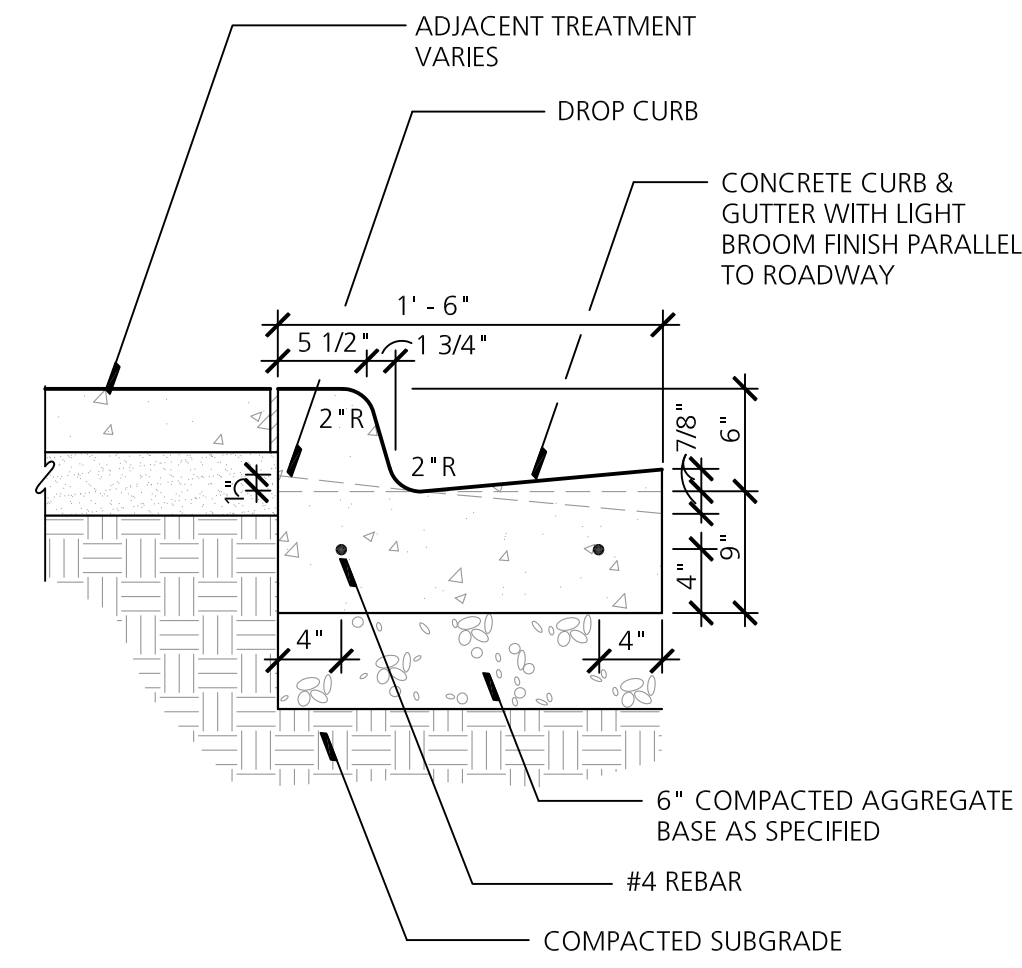
CAUTION:  
FIELD VERIFY ALL UTILITIES  
PRIOR TO EXCAVATION.



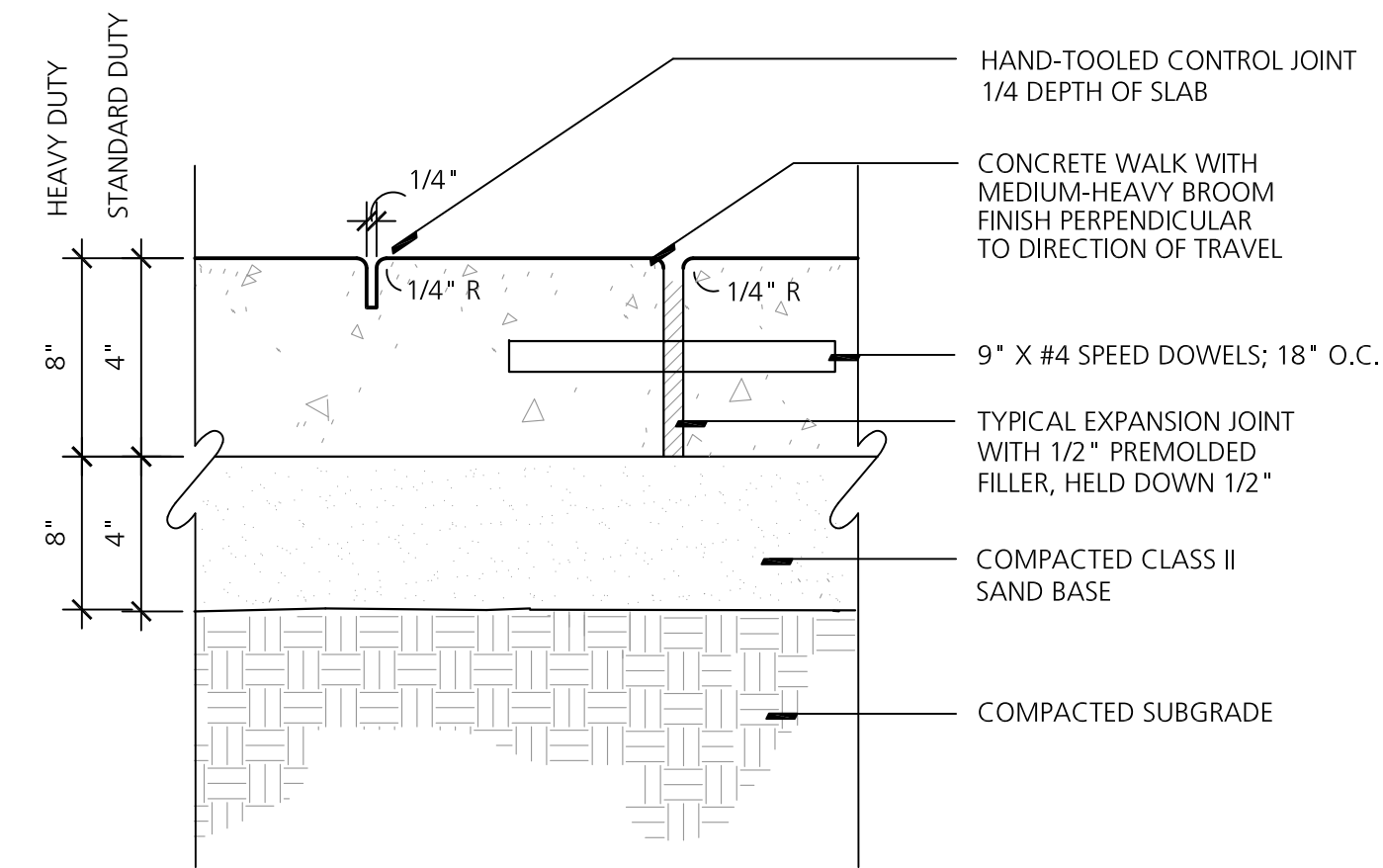
**FIRE SAFETY PLAN**

**C6.0**  
YDL SUPERIOR

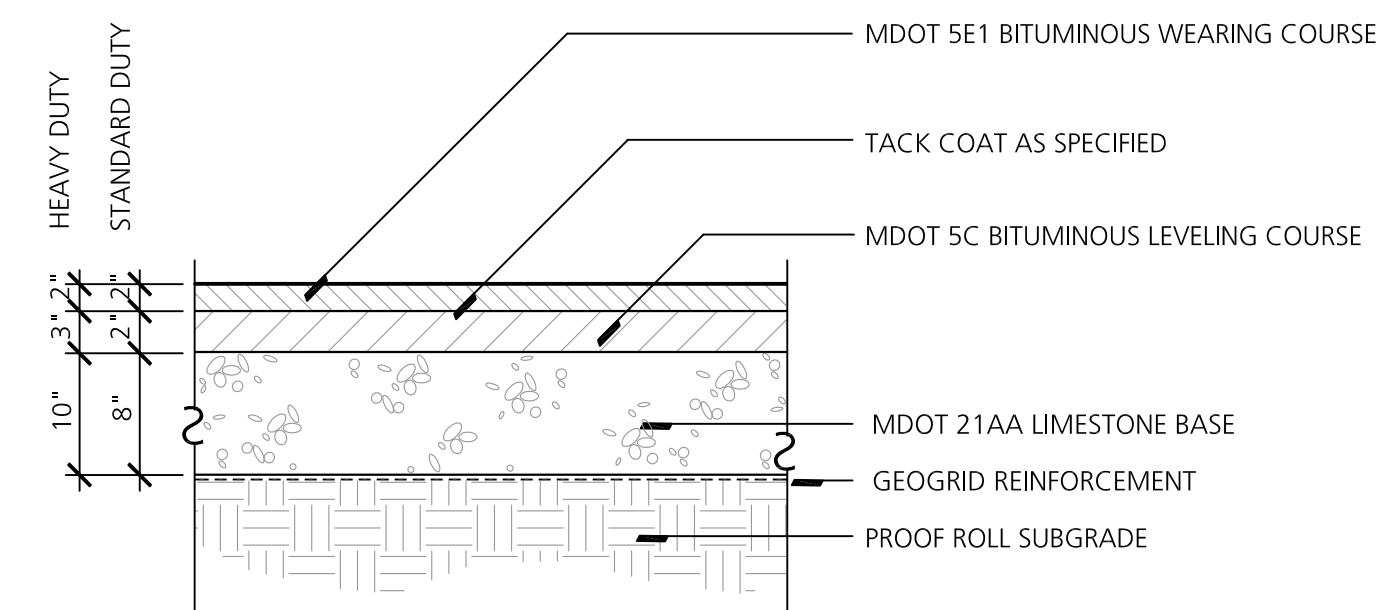




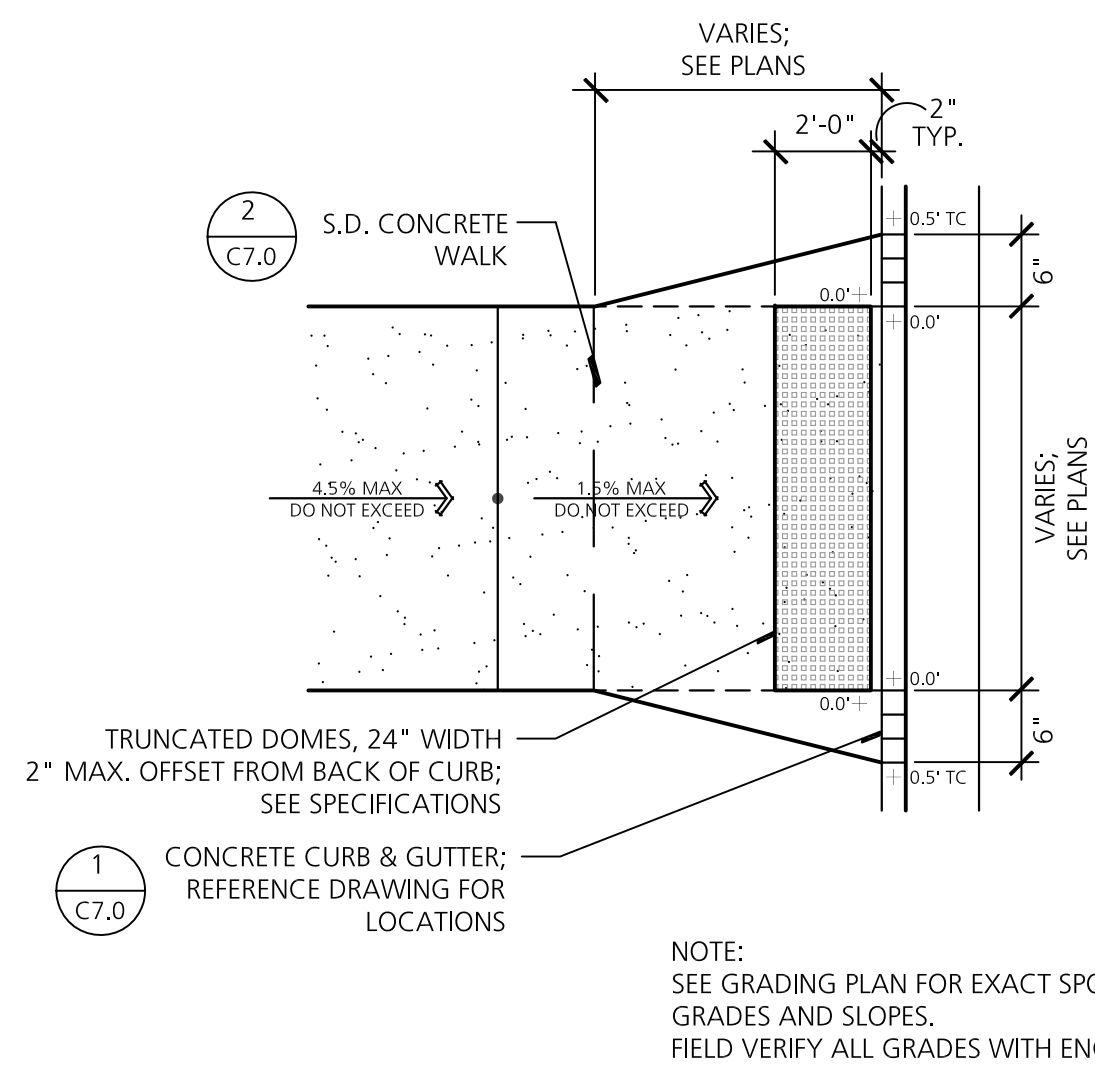
**1 Standard Curb & Gutter / MDOT F2**  
NO SCALE



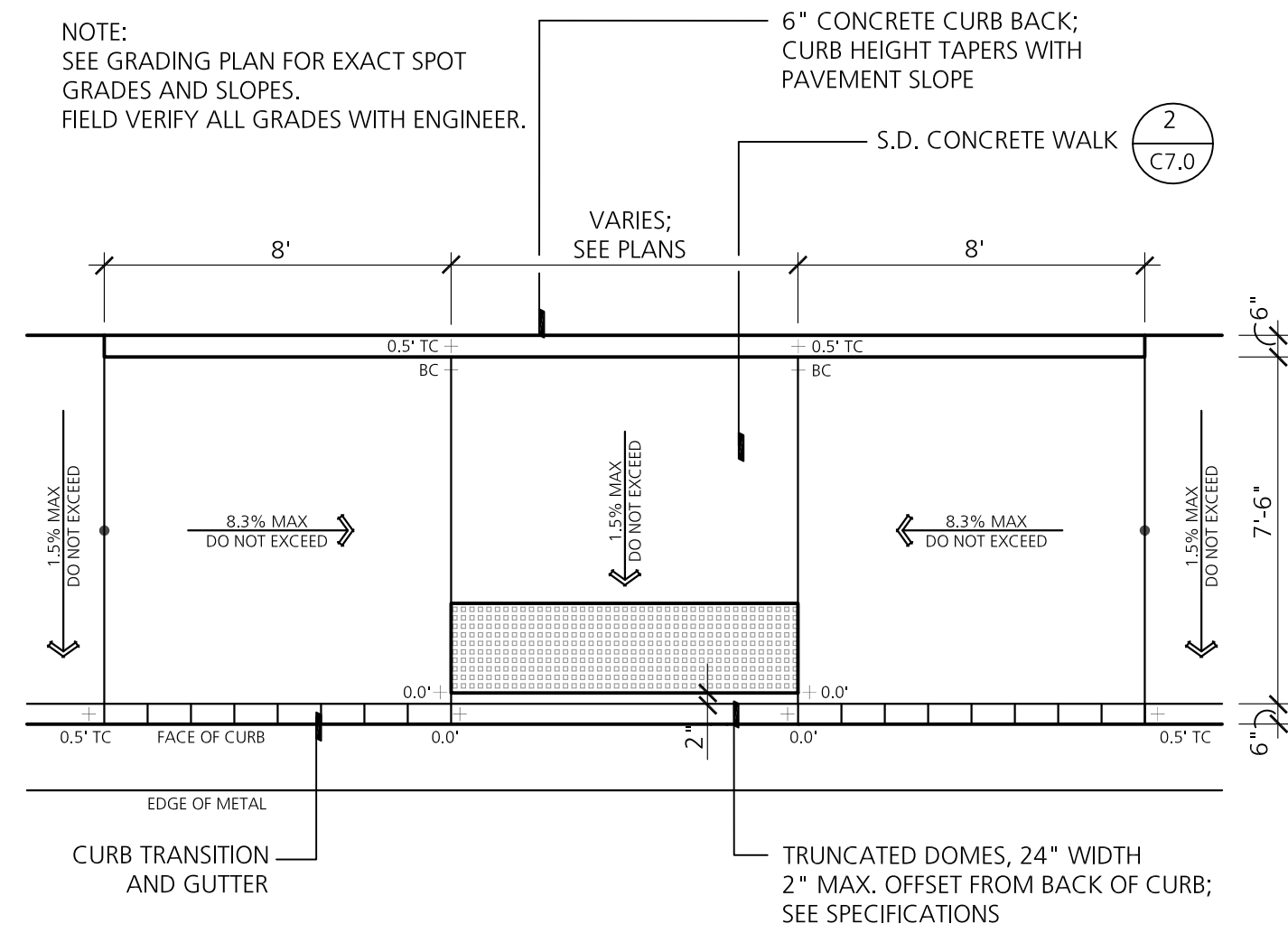
**2 Concrete Pavement**  
NO SCALE



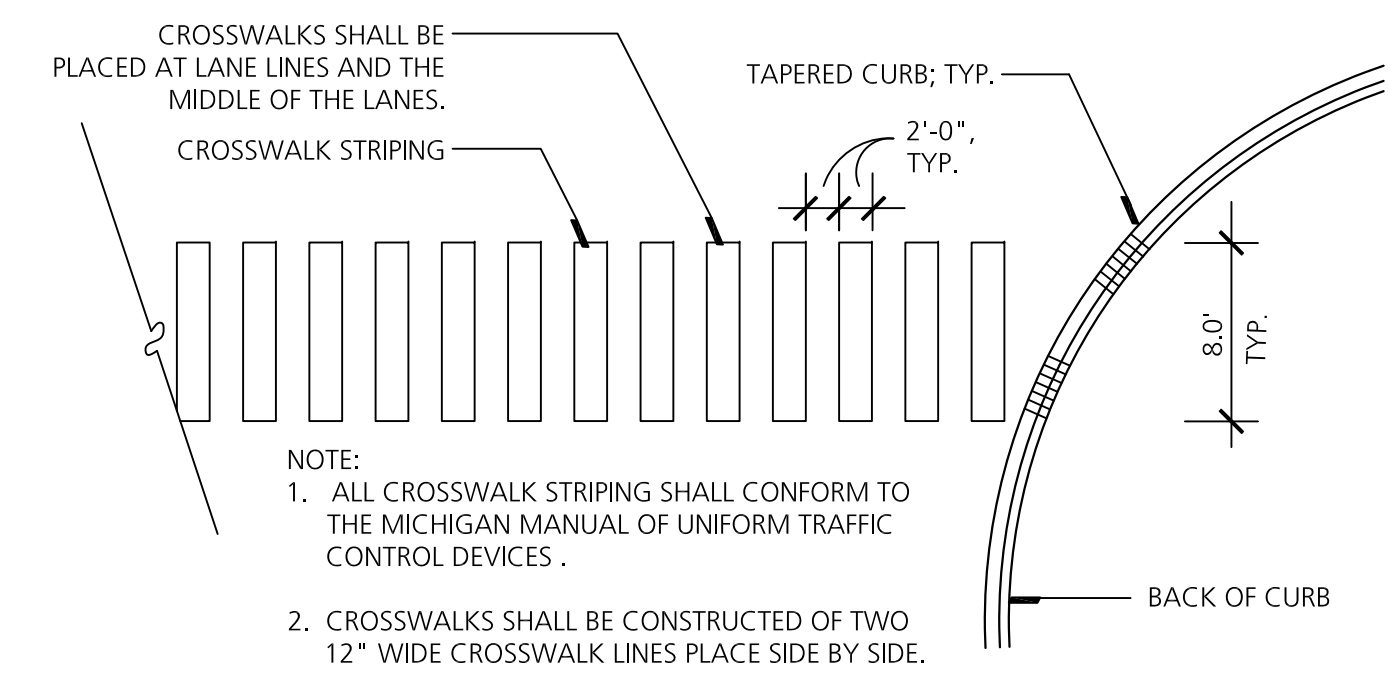
**3 Bituminous Pavement**  
NO SCALE



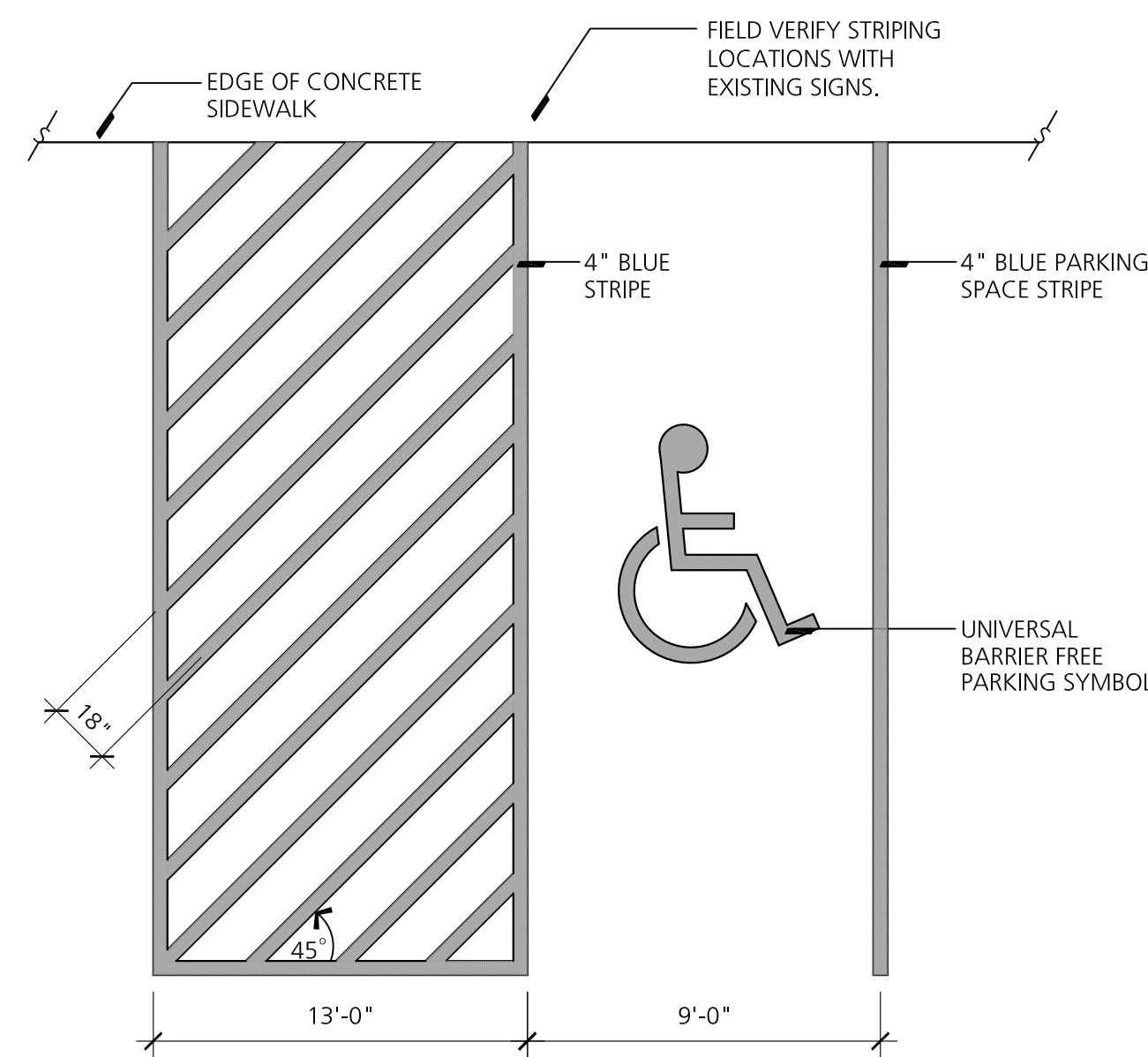
**4 Concrete Ramp - Type 1**  
NO SCALE



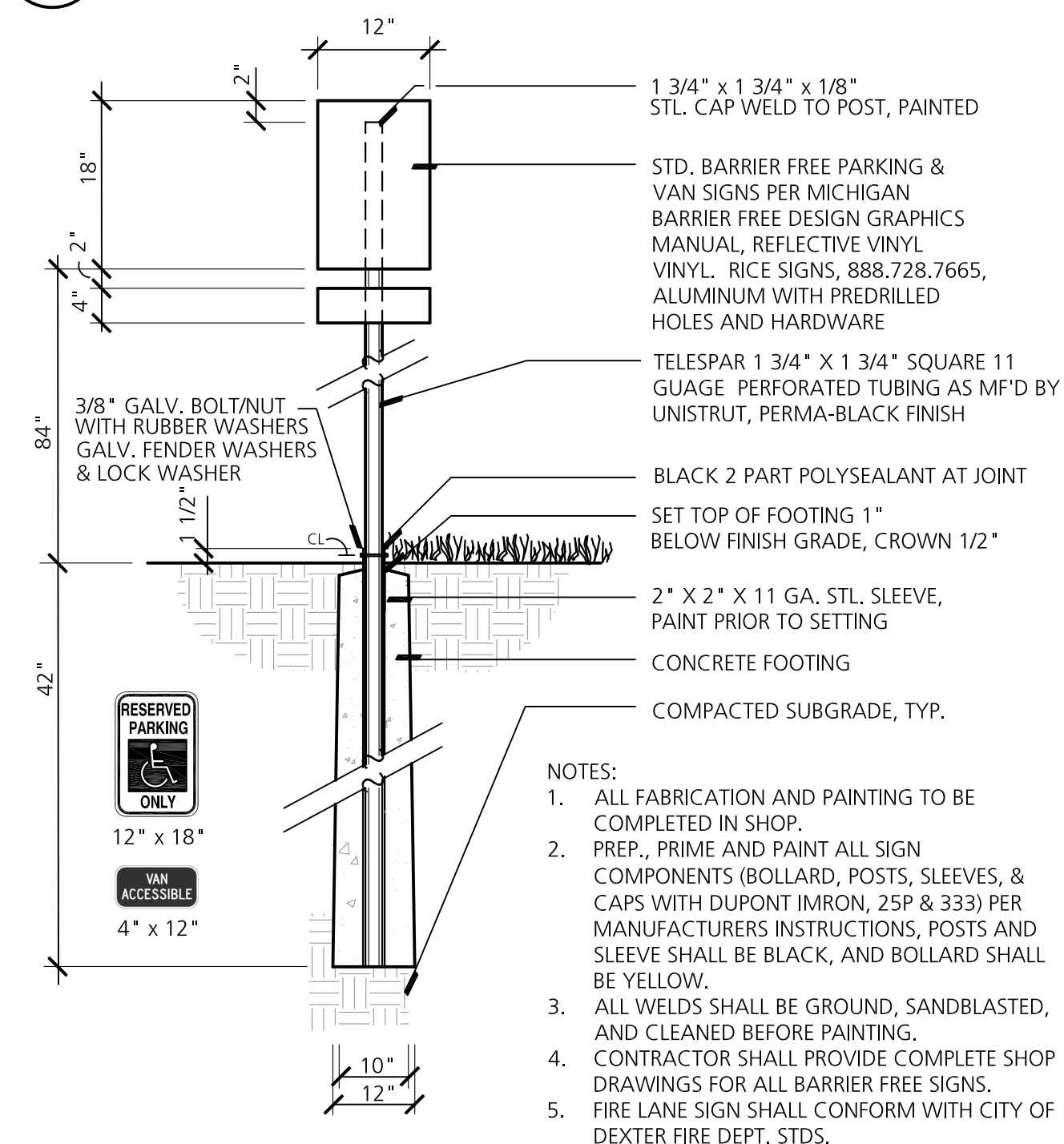
**5 Concrete Ramp - Type 2**  
NO SCALE



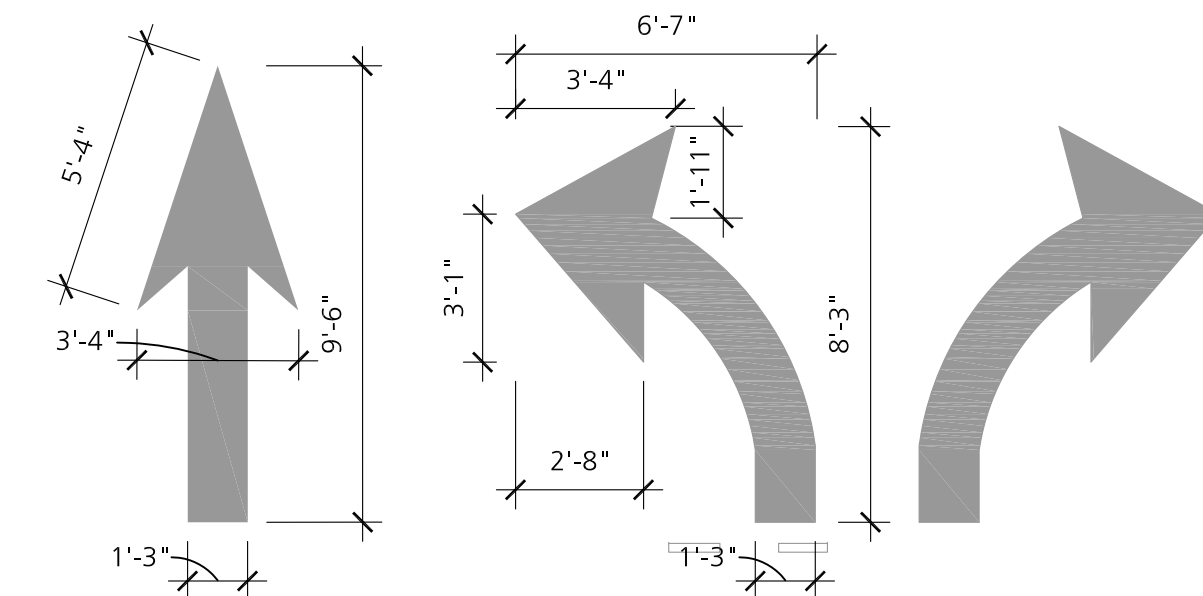
**6 Crosswalk Striping**  
NO SCALE



**7 Barrier Free Parking Stall Striping**  
NO SCALE



**8 Barrier Free Sign**  
NO SCALE



**9 Pavement Markings Arrows**  
NO SCALE



REVISIONS

PRELIM. SITE PLAN APPROVAL	21 FEB 2020
----------------------------	-------------

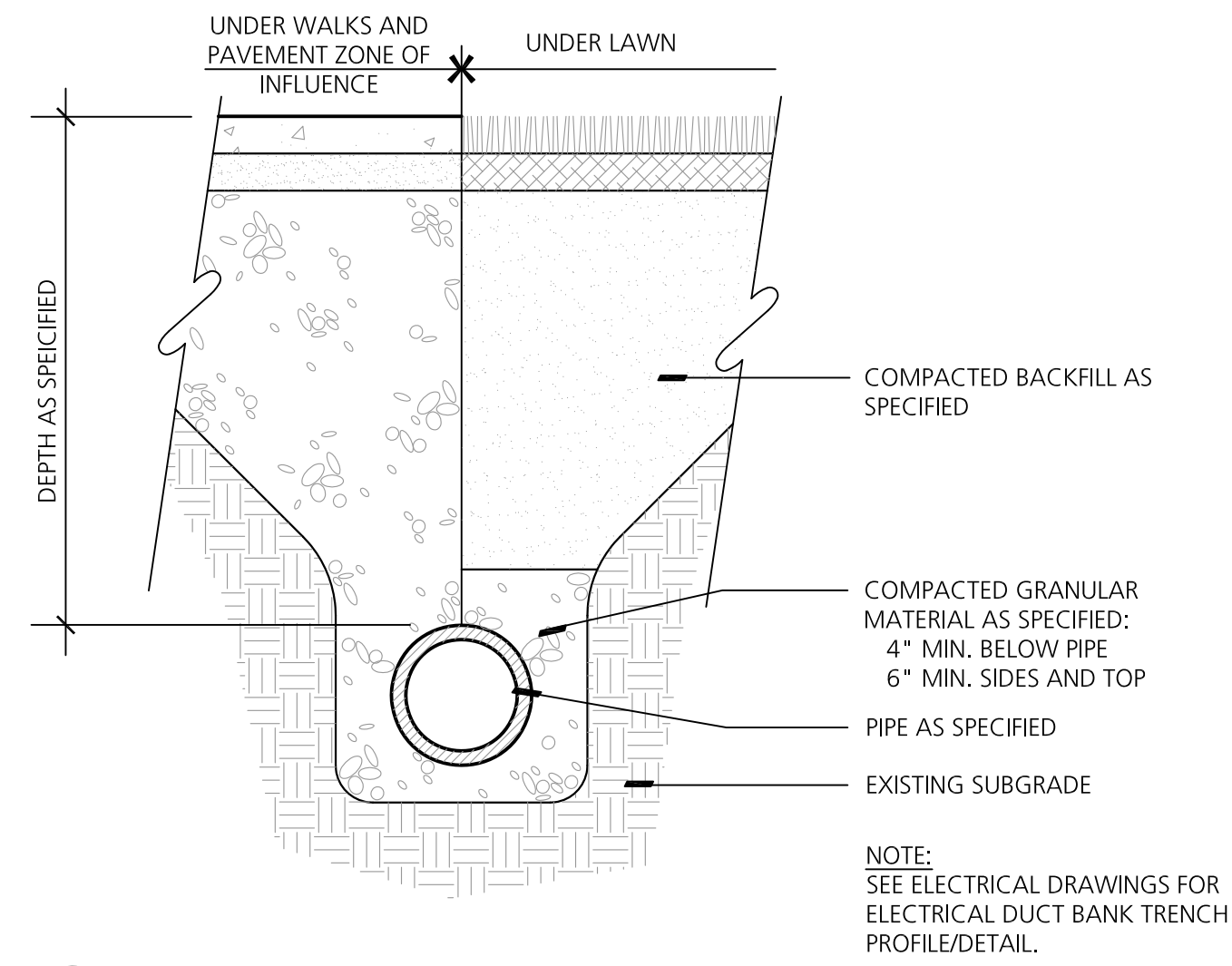
JOB	2017-55
DATE	21 FEB 2020
DRAWN	BB
CHECKED	BB
DETAIL SYMBOL	
DETAIL NUMBER	
REFERENCE SHEET	



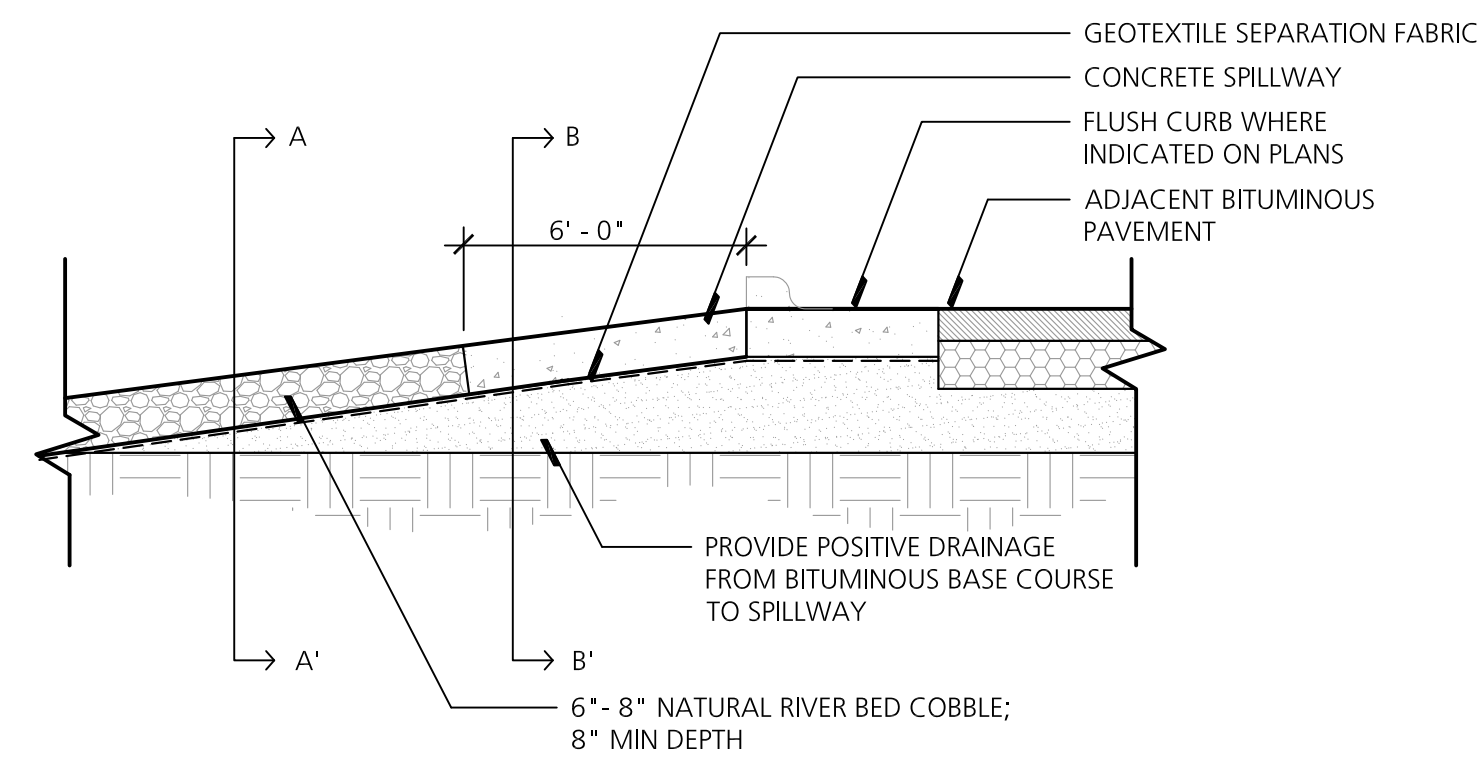




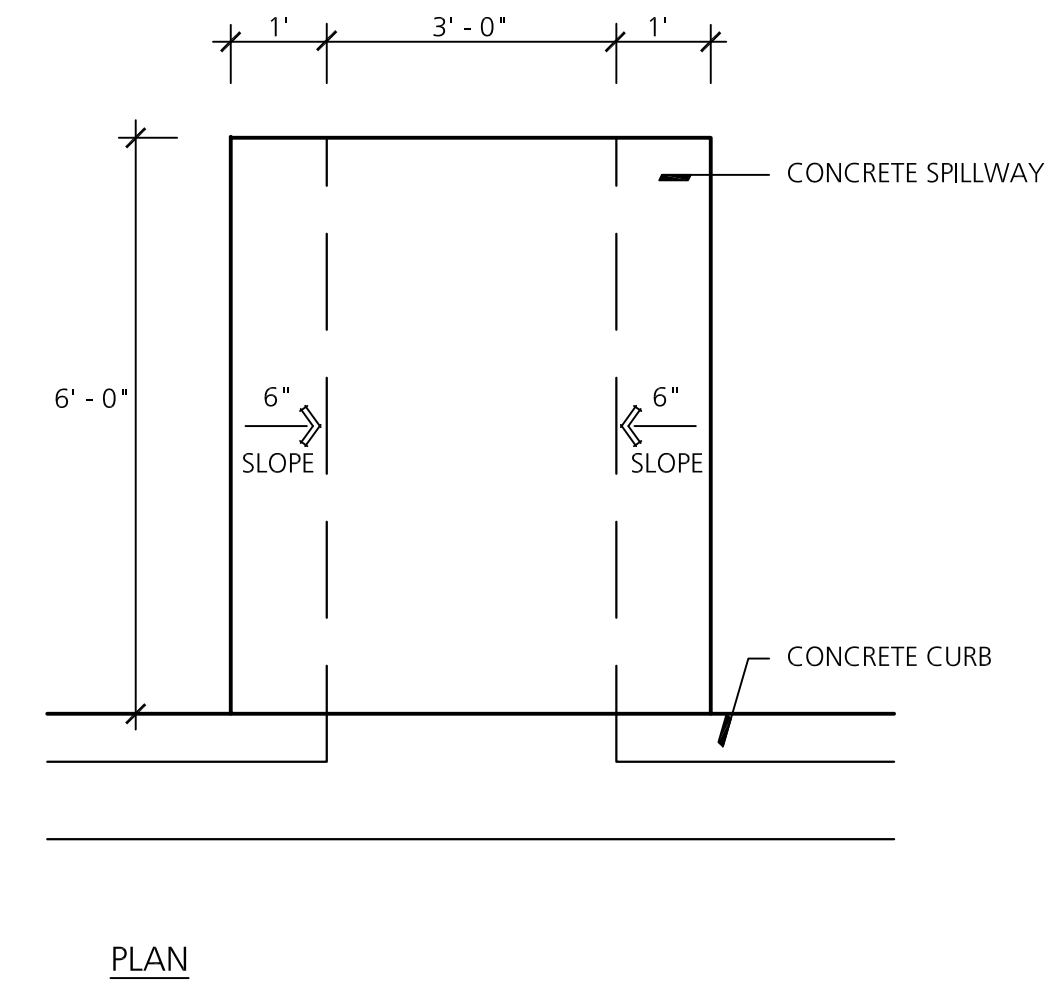
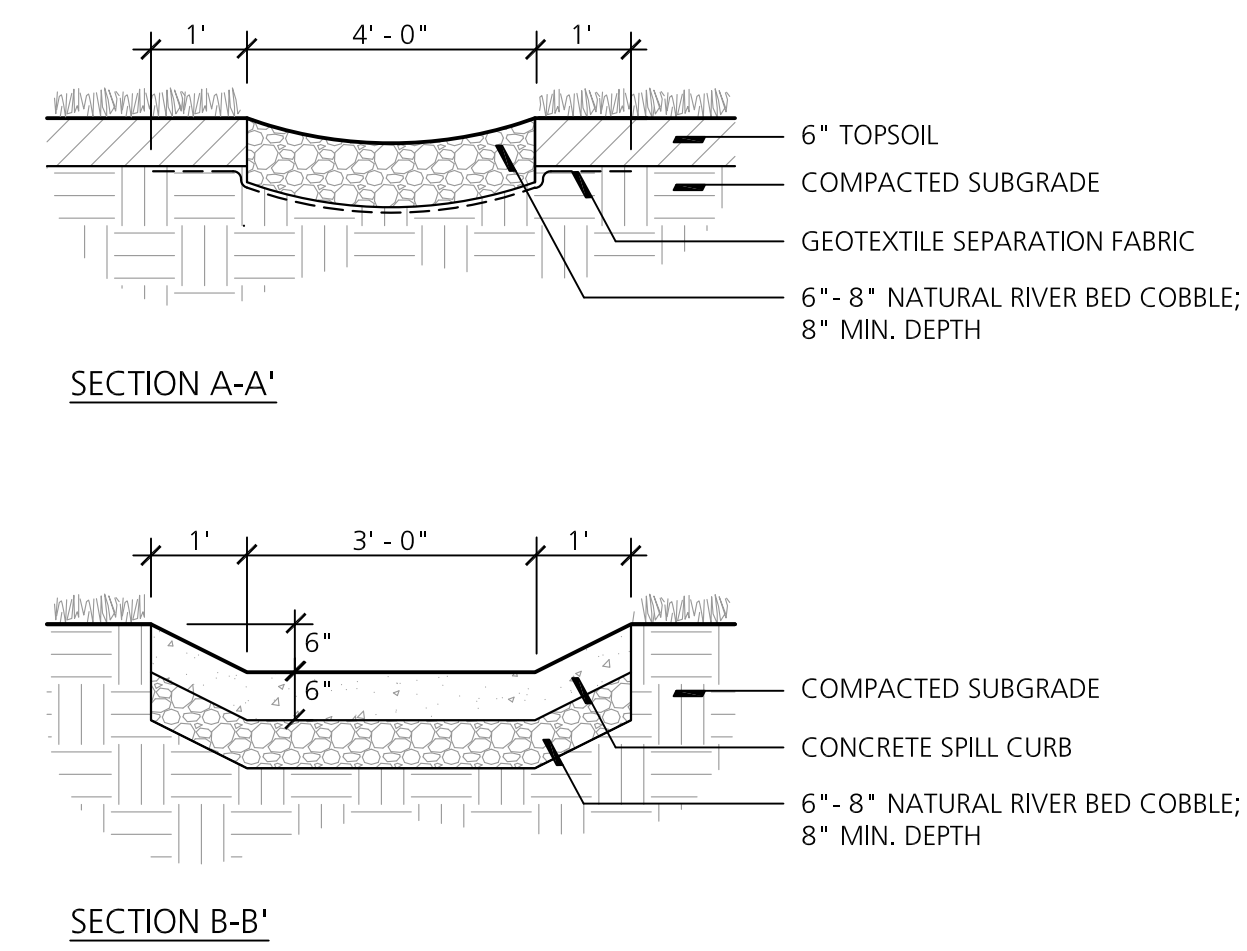




**1 Trench Detail**  
NO SCALE



**2 Curb Spillway**  
NO SCALE



1	1"=10'	1"=20'	1"=40'	1"=60'	1"=80'	1"=100'	1"=120'	1"=150'	1"=200'
---	--------	--------	--------	--------	--------	---------	---------	---------	---------

REVISIONS

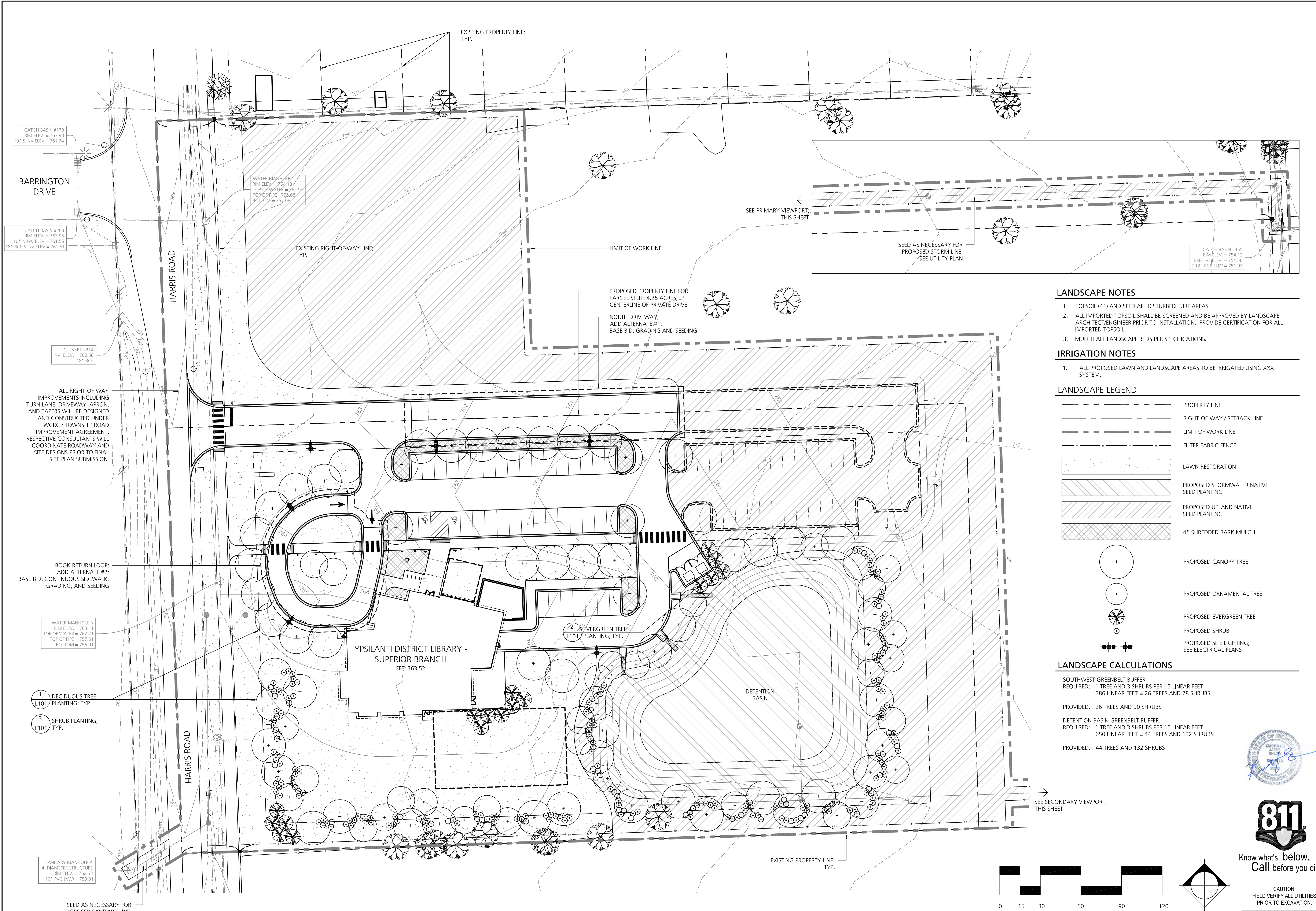
1	PRELIM SITE PLAN APPROVAL	21 FEB 2020
---	---------------------------	-------------



JOB	2017-55
DATE	21 FEB 2020
DRAWN	BB
CHECKED	BB

DETAIL SYMBOL	DETAIL NUMBER
	REFERENCE SHEET





**LANDSCAPE NOTES**

1. TOPSOIL (4") AND SEED ALL DISTURBED TURF AREAS.
2. ALL IMPORTED TOPSOIL SHALL BE SCREENED AND BE APPROVED BY LANDSCAPE ARCHITECT/ENGINEER PRIOR TO INSTALLATION. PROVIDE CERTIFICATION FOR ALL IMPORTED TOPSOIL.
3. MULCH ALL LANDSCAPE BEDS PER SPECIFICATIONS.

**IRRIGATION NOTES**

1. ALL PROPOSED LAWN AND LANDSCAPE AREAS TO BE IRRIGATED USING XXX SYSTEM.

**LANDSCAPE LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY / SETBACK LINE
	LIMIT OF WORK LINE
	FILTER FABRIC FENCE
	LAWN RESTORATION
	PROPOSED STORMWATER NATIVE SEED PLANTING
	PROPOSED UPLAND NATIVE SEED PLANTING
	4" SHREDDED BARK MULCH
	PROPOSED CANOPY TREE
	PROPOSED ORNAMENTAL TREE
	PROPOSED EVERGREEN TREE
	PROPOSED SHRUB
	PROPOSED SITE LIGHTING; SEE ELECTRICAL PLANS

**LANDSCAPE CALCULATIONS**

**SOUTHWEST GREENBELT BUFFER -**  
 REQUIRED: 1 TREE AND 3 SHRUBS PER 15 LINEAR FEET  
 386 LINEAR FEET = 26 TREES AND 78 SHRUBS  
 PROVIDED: 26 TREES AND 90 SHRUBS

**DETENTION BASIN GREENBELT BUFFER -**  
 REQUIRED: 1 TREE AND 3 SHRUBS PER 15 LINEAR FEET  
 650 LINEAR FEET = 44 TREES AND 132 SHRUBS  
 PROVIDED: 44 TREES AND 132 SHRUBS

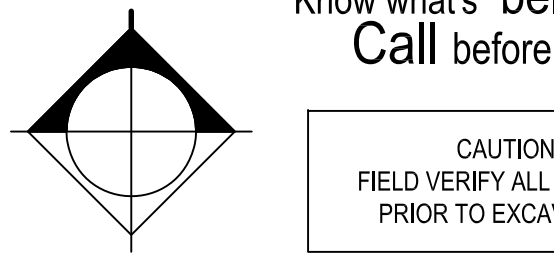
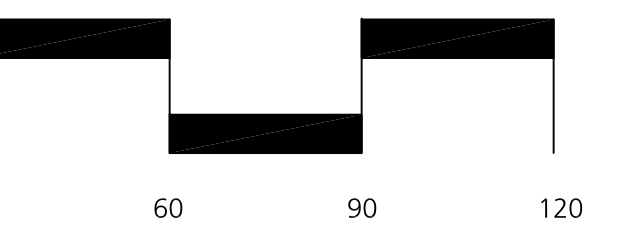
**LANDSCAPE NOTES**

SEE PRIMARY VIEWPORT; THIS SHEET

SEE SECONDARY VIEWPORT; THIS SHEET

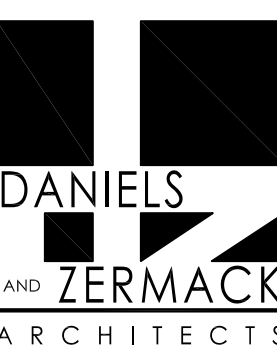
SEE UTILITY PLAN

SEE UTILITY PLAN

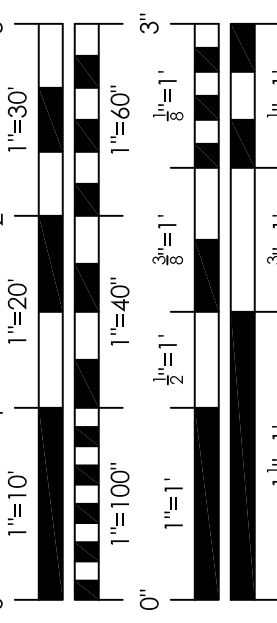


CAUTION: FIELD VERIFY ALL UTILITIES PRIOR TO EXCAVATION.

**LANDSCAPE PLAN**



2080 S. State Street  
Ann Arbor, MI 48104  
O 734.761.2090  
F 734.761.6607



**REVISIONS**

PRELIM SITE PLAN APPROVAL  
21 FEB 2020

NO.	DATE	DESCRIPTION

JOB: 2017-58  
DATE: 21 FEB 2020

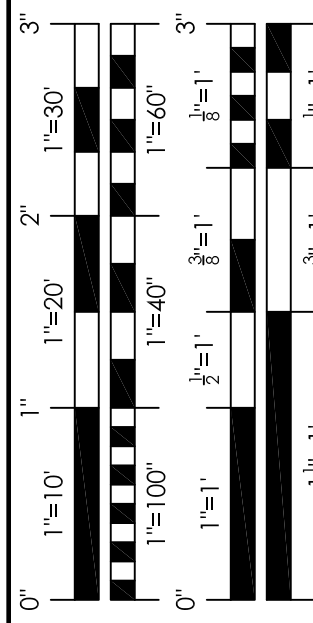
DRAWN: BB  
CHECKED: BB

DETAIL SYMBOL  
DETAIL NUMBER  
REFERENCE SHEET

L1.0

YDL SUPERIOR

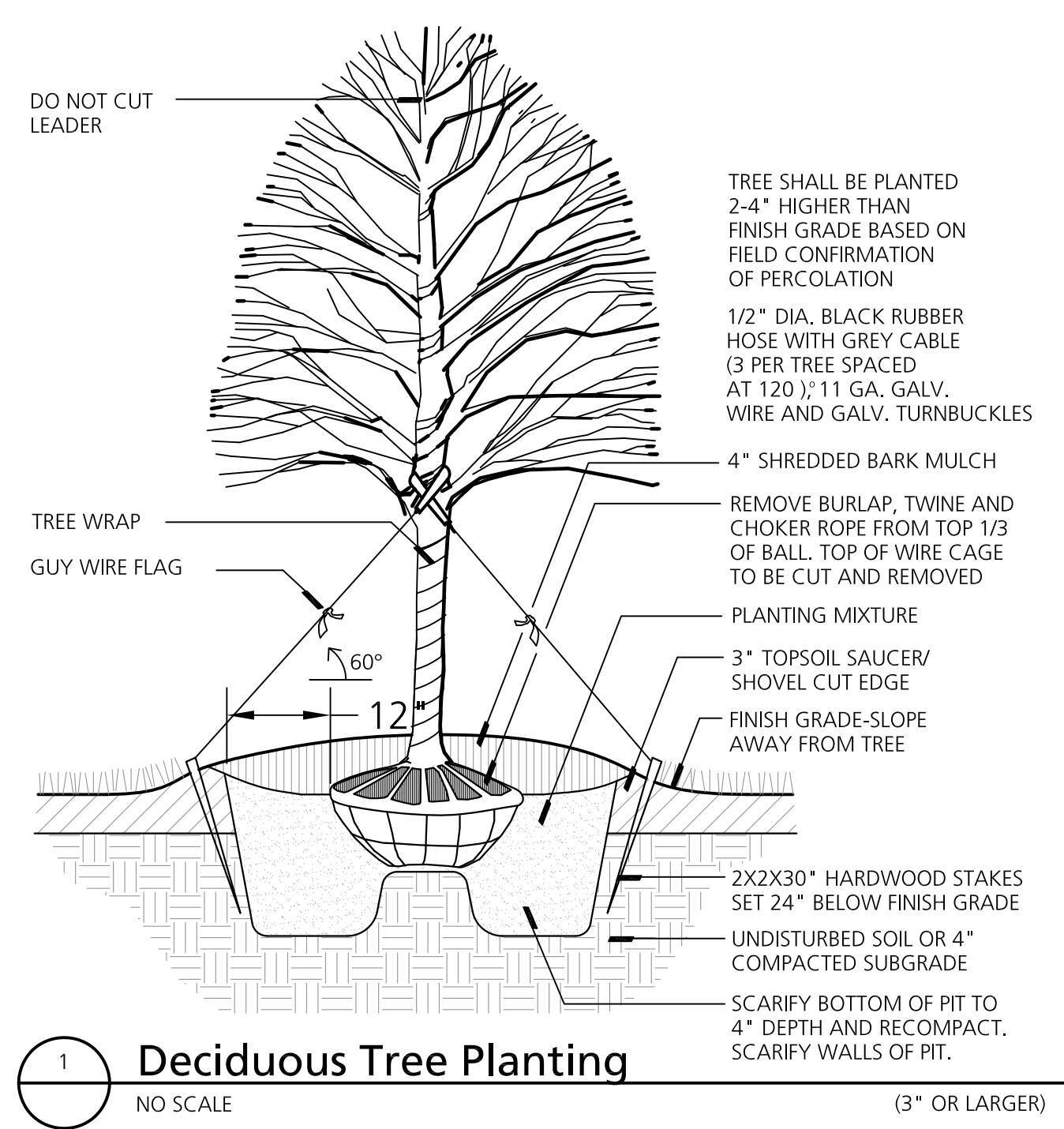




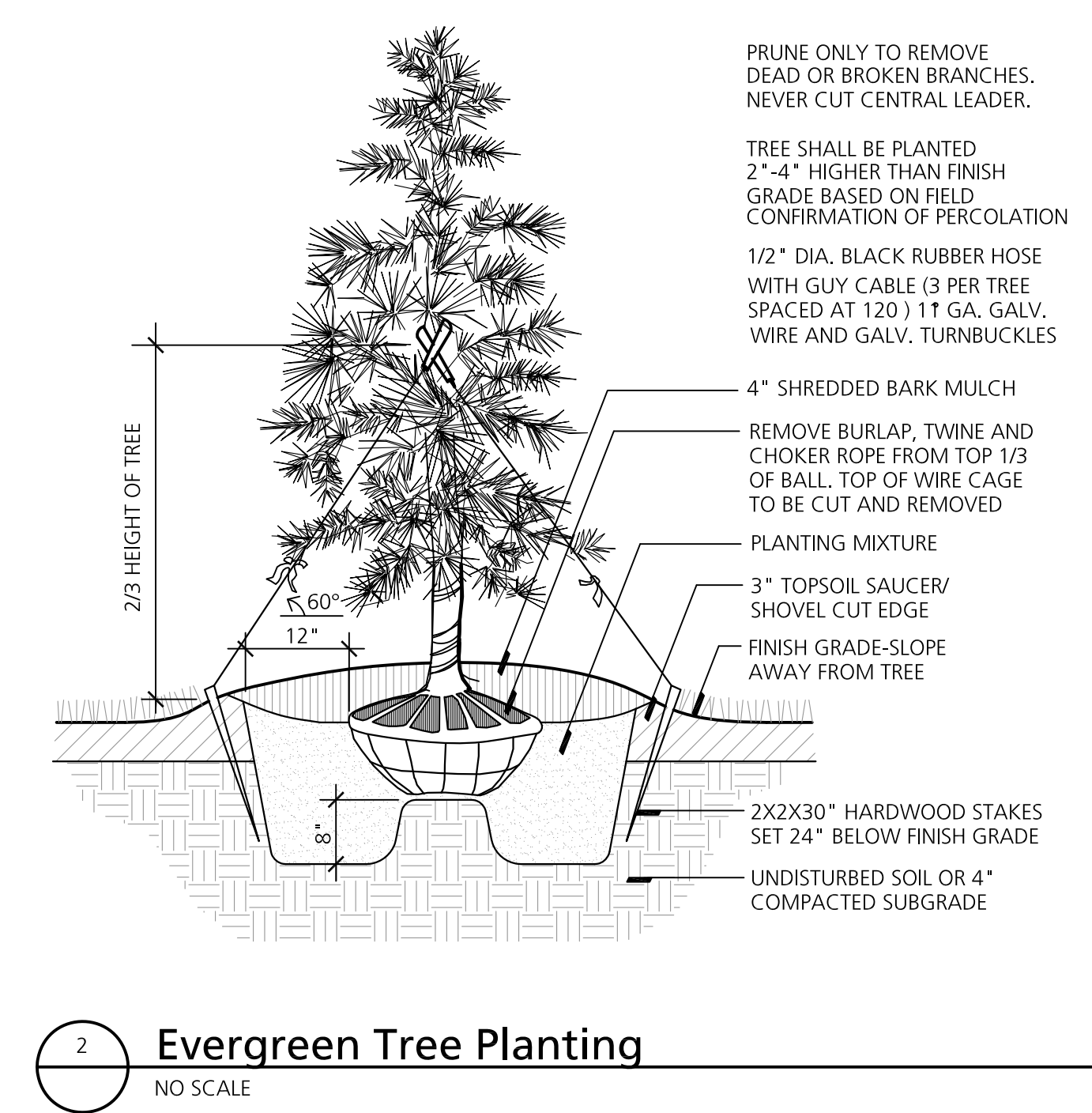
REVISIONS

PRELIM SITE PLAN APPROVAL	21 FEB 2020
---------------------------	-------------

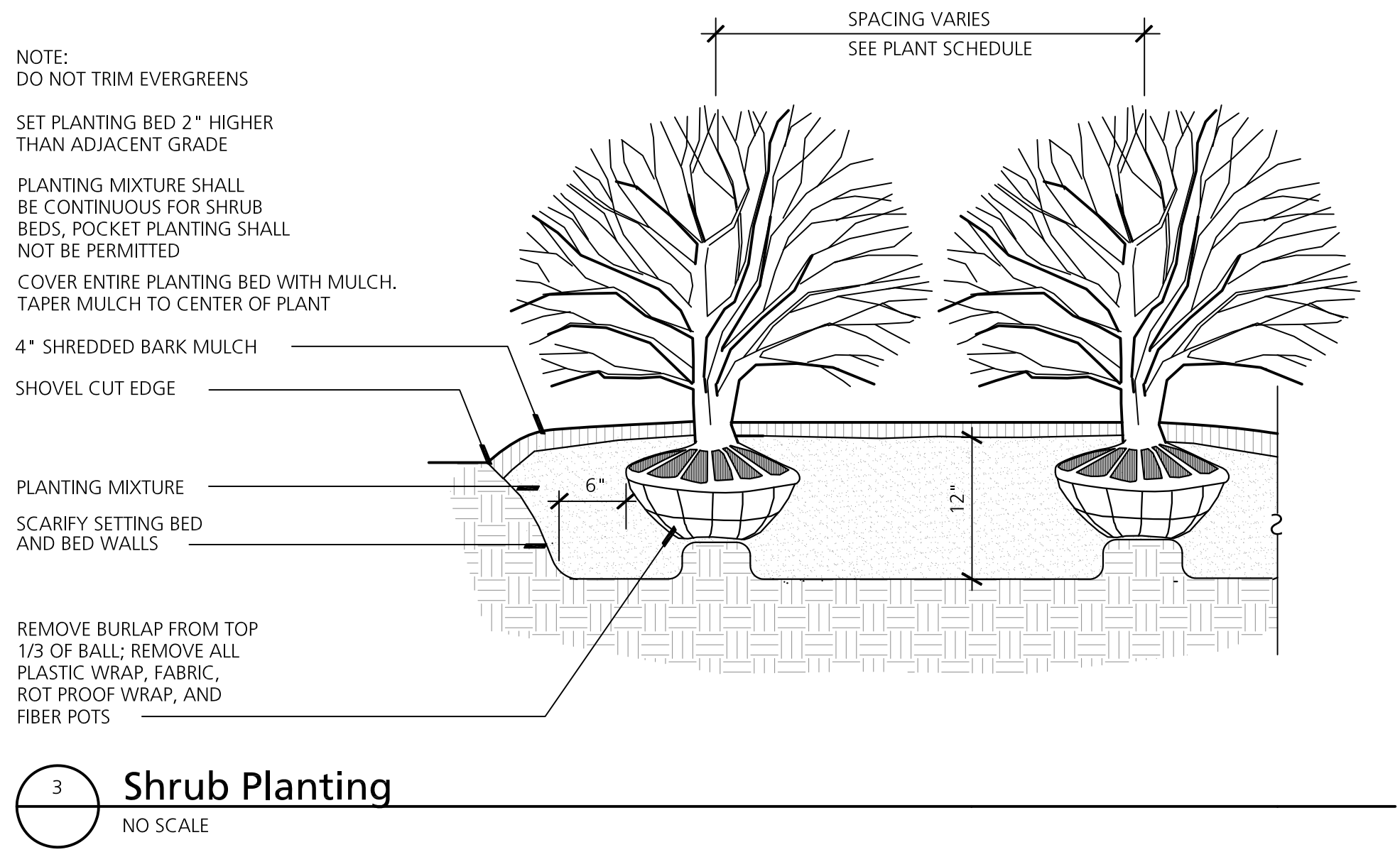
JOB	2017-55
DATE	21 FEB 2020
DRAWN	BB
CHECKED	BB
DETAIL SYMBOL	
DETAIL NUMBER	
REFERENCE SHEET	



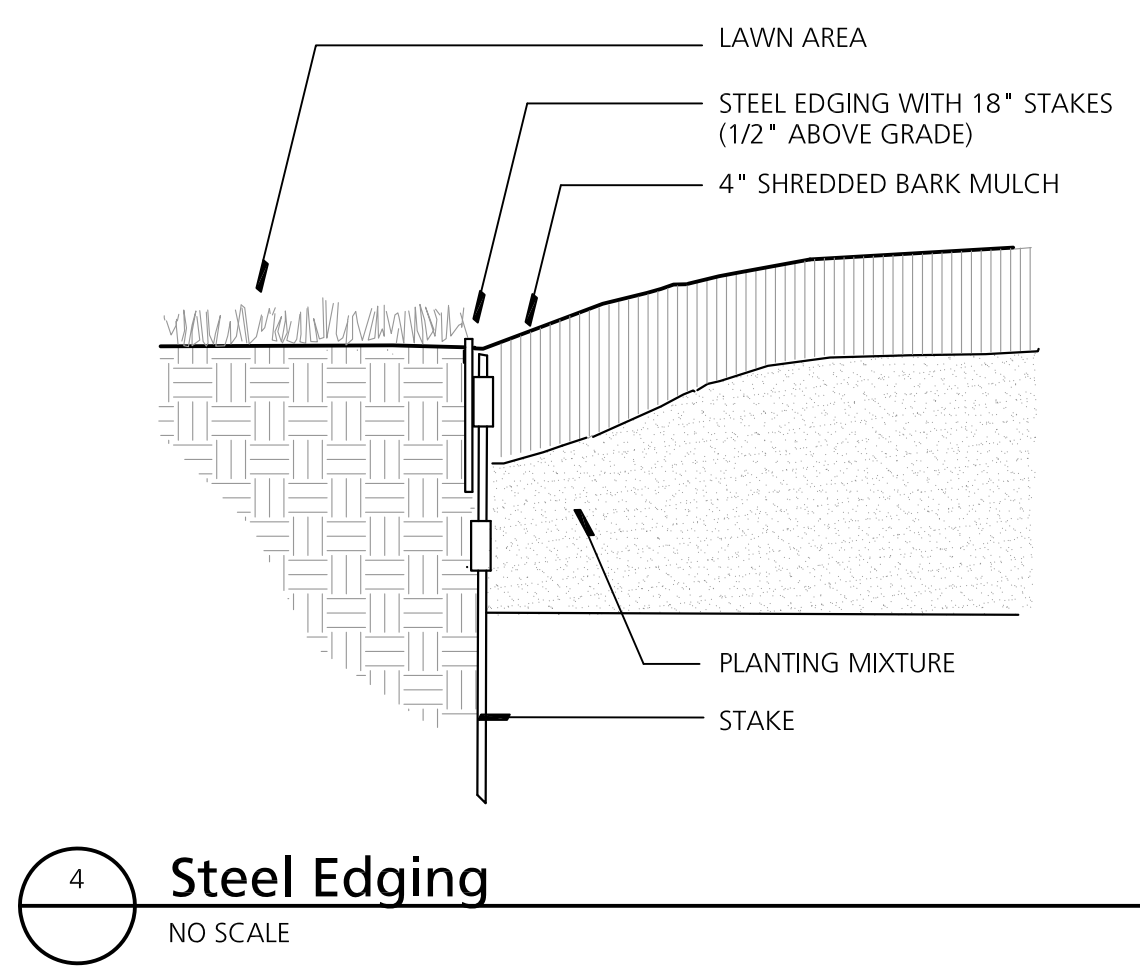
1 Deciduous Tree Planting  
NO SCALE (3" OR LARGER)



2 Evergreen Tree Planting  
NO SCALE



3 Shrub Planting  
NO SCALE



4 Steel Edging  
NO SCALE

PLANT LIST

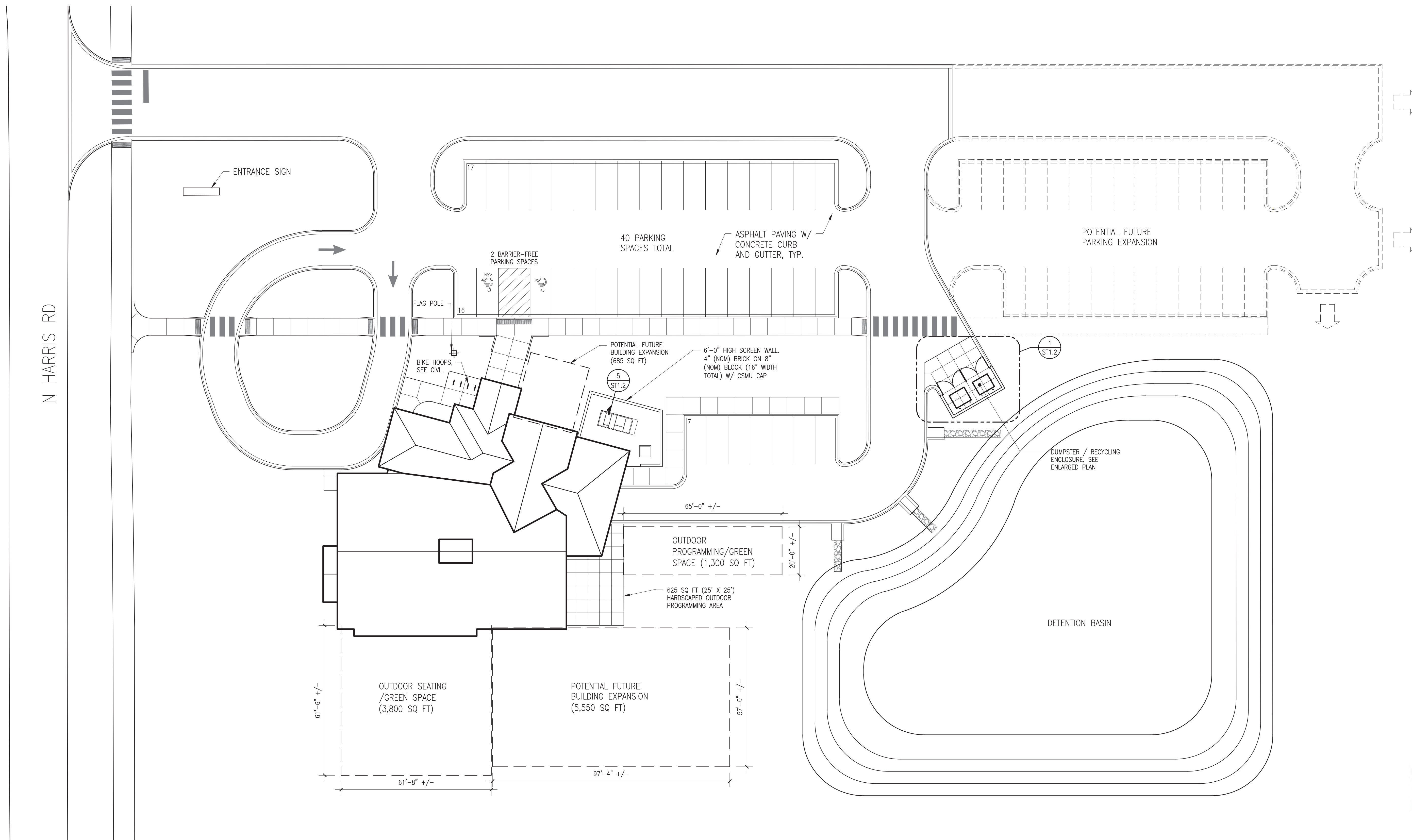
TREES						
QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	
SHRUBS & PERENNIALS						
QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	





GENERAL NOTES

1. REFER TO CIVIL DRAWINGS FOR SITE LAYOUT AND GRADING.

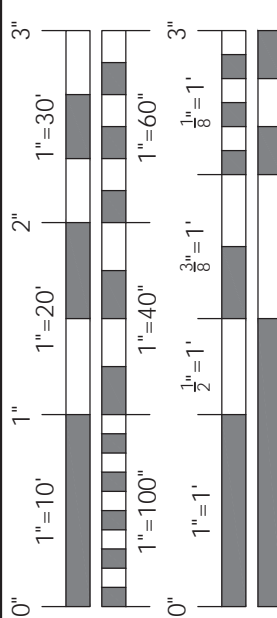


YPSILANTI DISTRICT LIBRARY  
SUPERIOR TOWNSHIP BRANCH



DANIELS  
AND ZERMACK  
ARCHITECTS

2080 S. State Street  
Ann Arbor, MI 48104  
O 734.761.2090  
F 734.761.6607

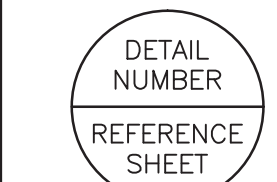


REVISIONS

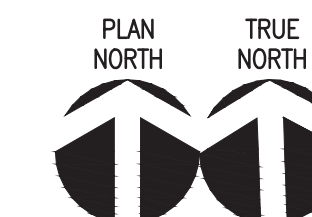
PRELIM. SITE PLAN APPROVAL  
21 FEB 2020

JOB 2017-55  
DATE XX JAN 2020  
DRAWN DSS  
CHECKED DEW

DETAIL SYMBOL



ST1.1  
YDL SUPERIOR



FIRST FLOOR PLAN  
SCALE: 1" = 20'-0"

ARCHITECTURAL SITE PLAN



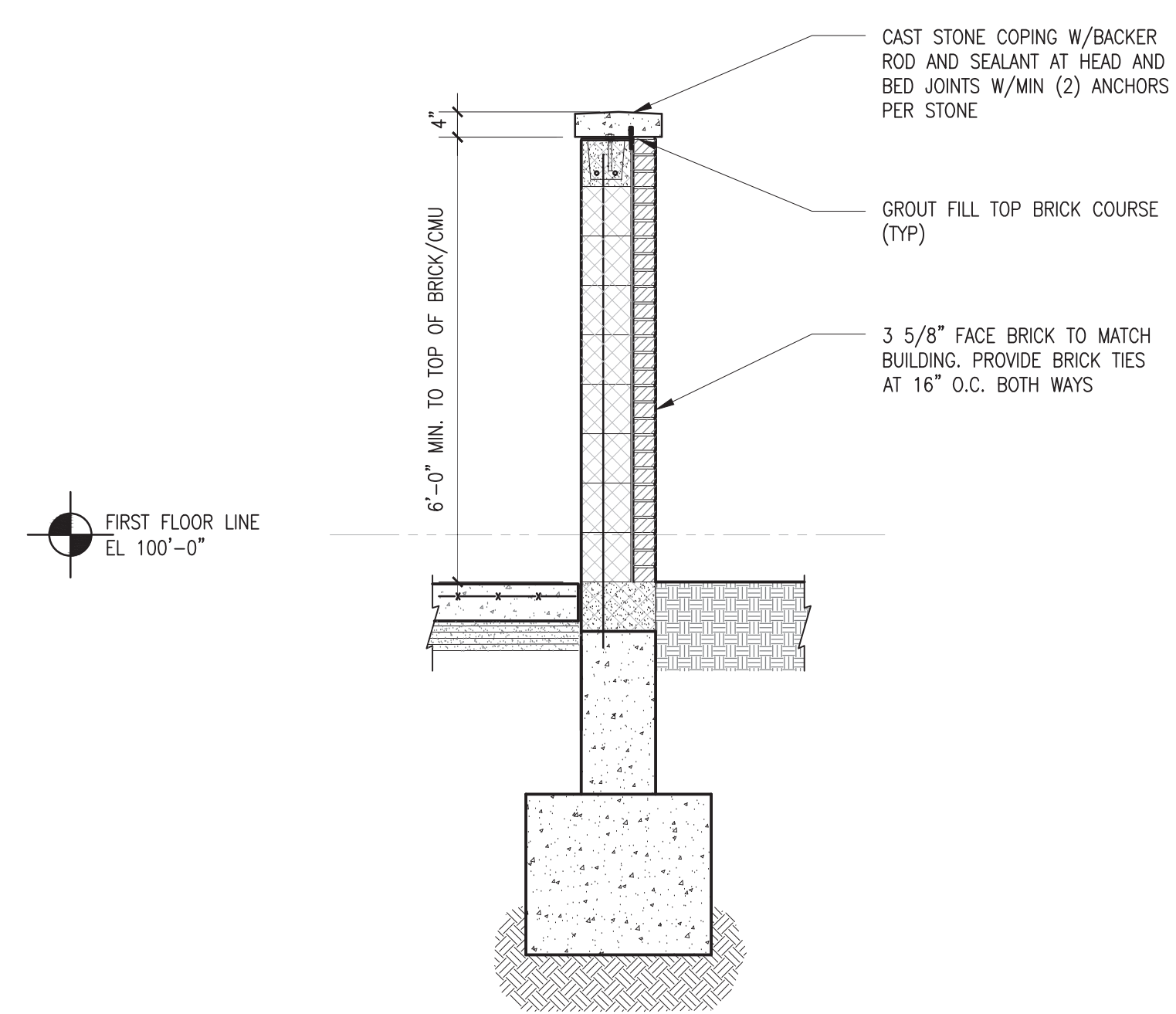
REVISIONS

PRELIM. SITE PLAN APPROVAL  
21 FEB 2020

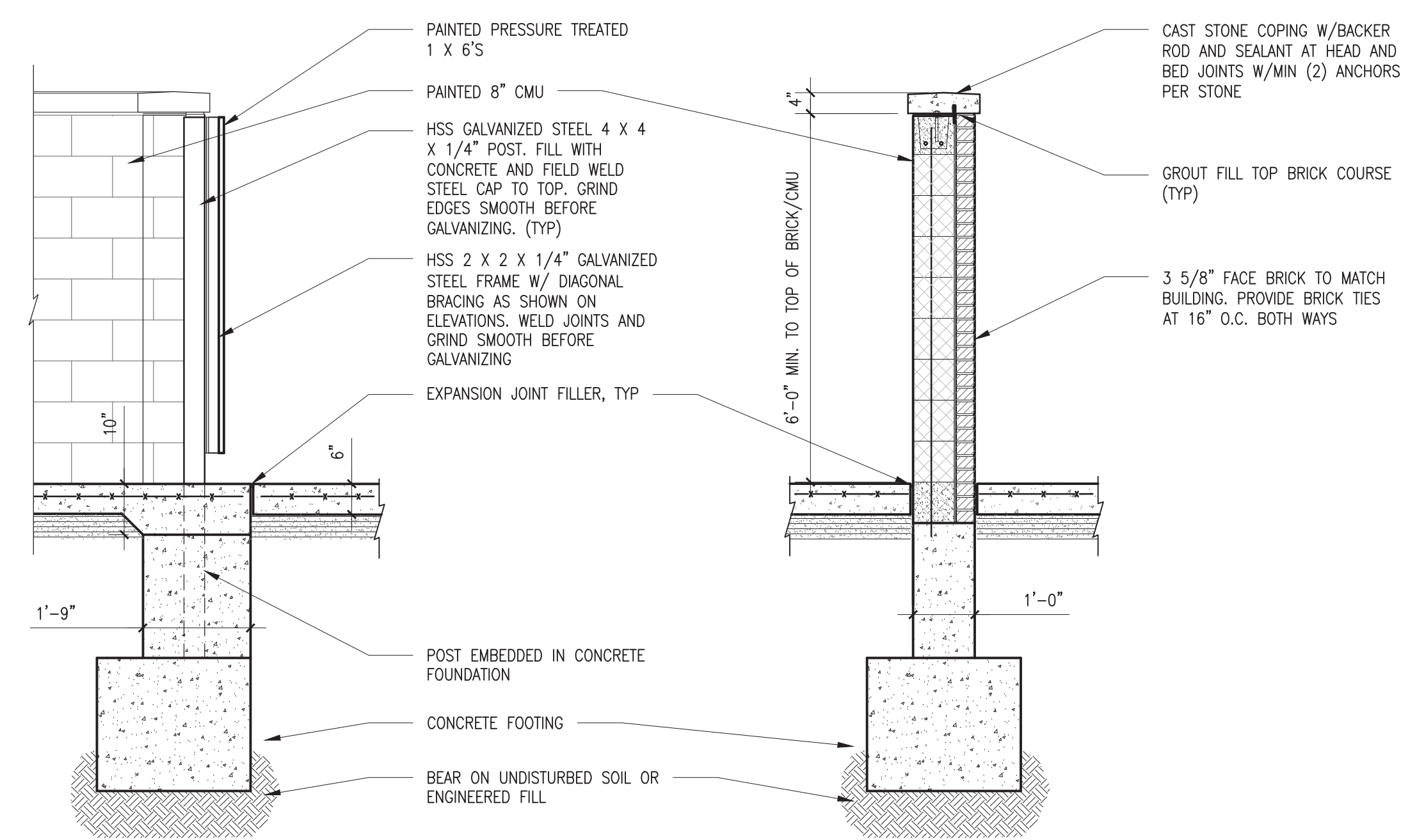
JOB 2017-55  
DATE XX JAN 2020  
DRAWN DSS  
CHECKED DEW

DETAIL SYMBOL  
DETAIL NUMBER  
REFERENCE SHEET

ST1.2  
YDL SUPERIOR

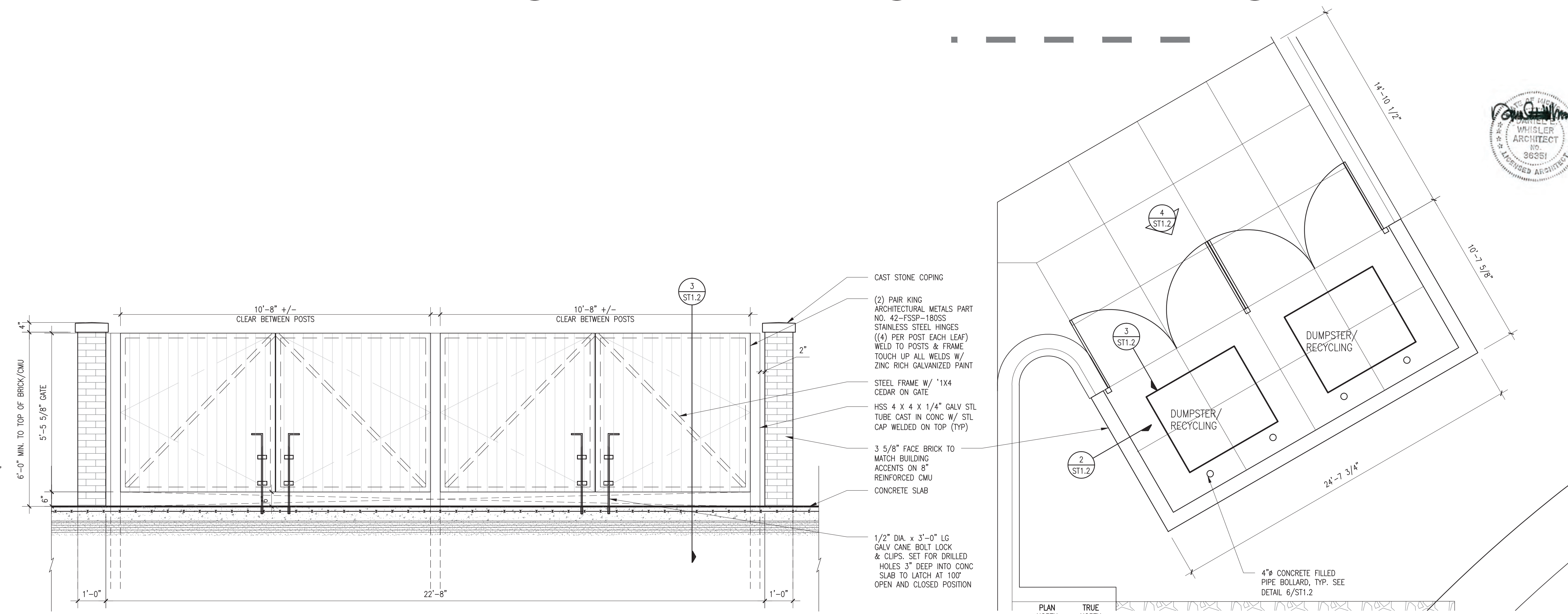


5  
ST1.2  
DETAIL AT EQUIPMENT SCREEN WALL  
SCALE: 1/2" = 1'-0"



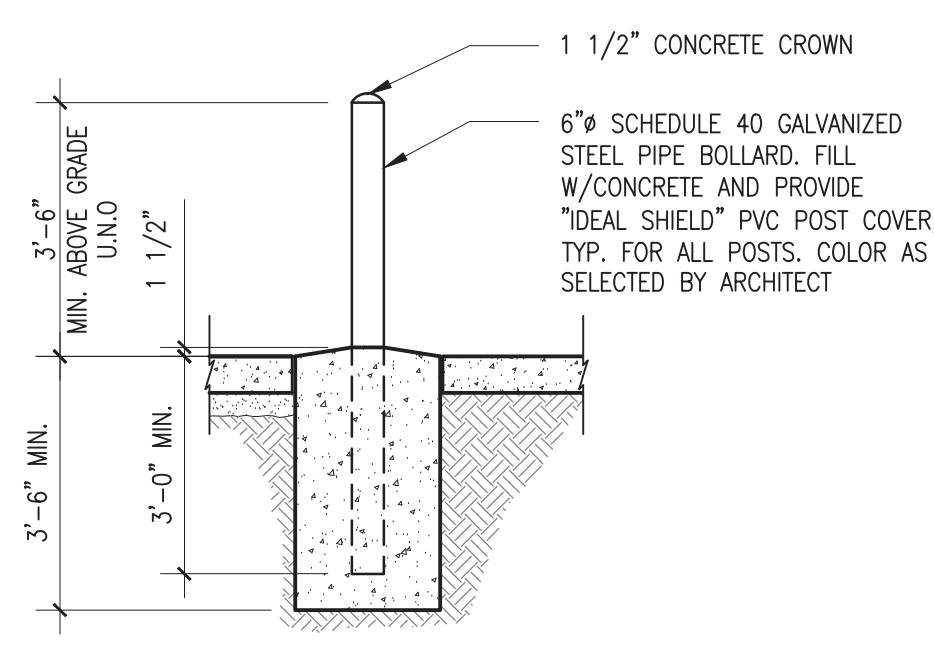
3  
ST1.2  
DETAIL AT DUMPSTER ENCLOSURE GATE  
SCALE: 1/2" = 1'-0"

2  
ST1.2  
DETAIL AT DUMPSTER ENCLOSURE WALL  
SCALE: 1/2" = 1'-0"



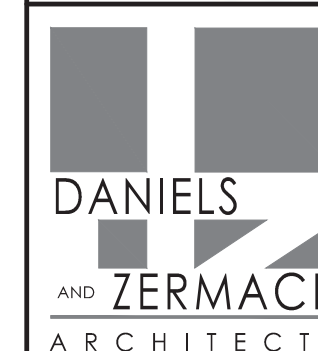
4  
ST1.2  
FIRST FLOOR PLAN  
SCALE: 1/2" = 1'-0"

1  
ST1.2  
DETAIL PLAN AT DUMPSTER ENCLOSURE  
SCALE: 1/4" = 1'-0"

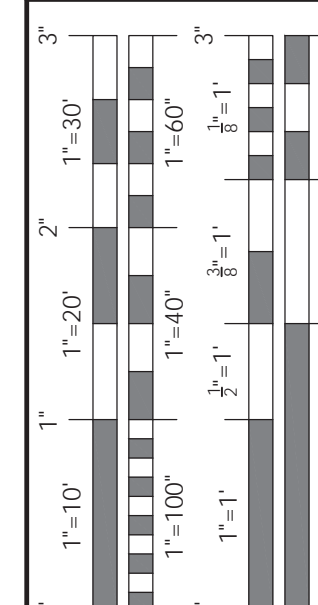


6  
ST1.2  
PIPE BOLLARD DETAIL  
SCALE: 1/2" = 1'-0"





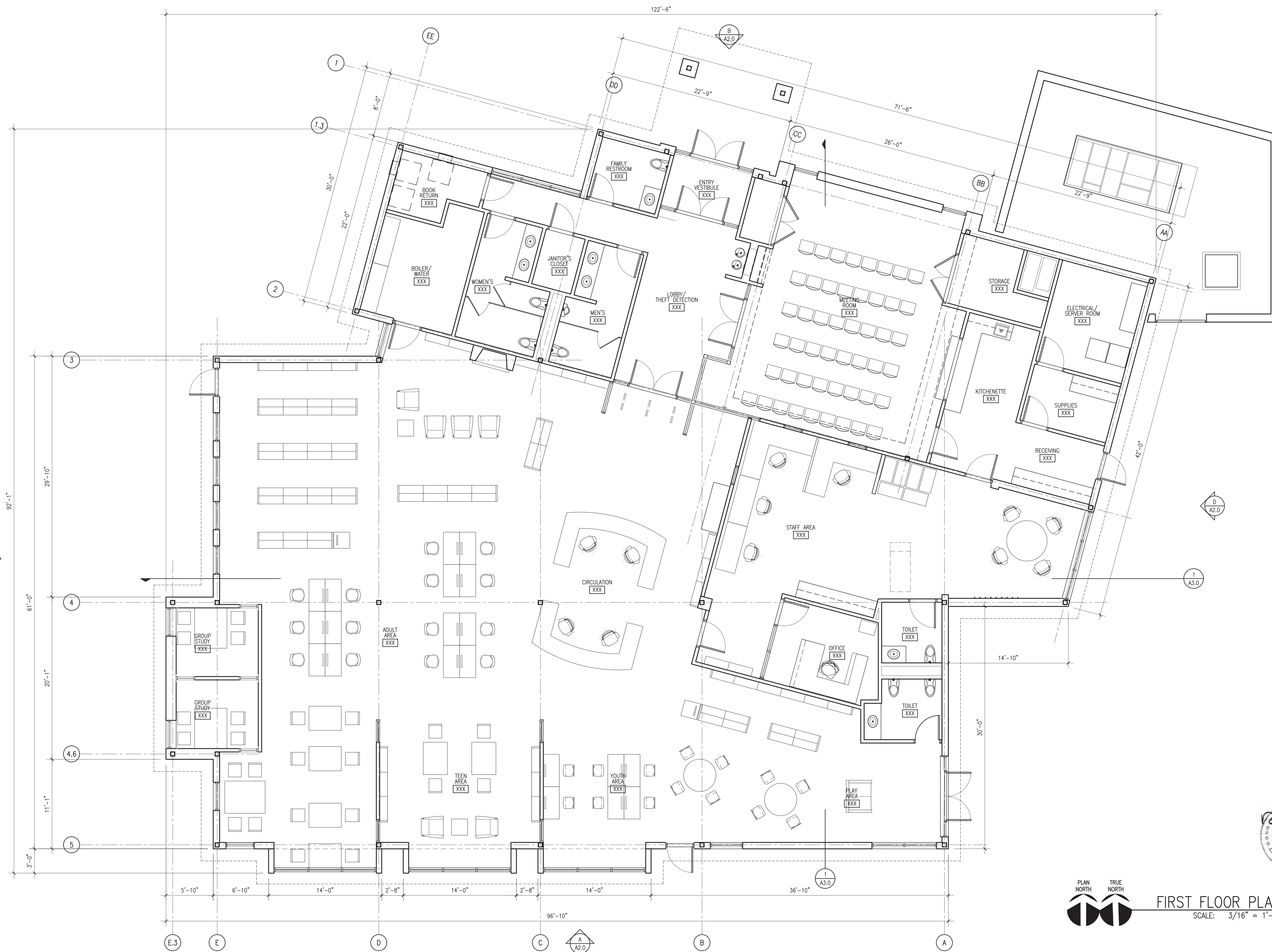
2080 S. State Street  
Ann Arbor, MI 48104  
O 734.761.2090  
F 734.761.6607



NO.	DESCRIPTION	DATE
1	PRELIM. SITE PLAN APPROVAL	21 FEB 2020

JOB	2017-55
DATE	XX JAN 2020
DRAWN	DSS
CHECKED	DEW

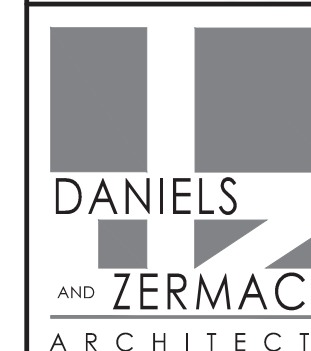
DETAIL SYMBOL	DETAIL NUMBER	REFERENCE SHEET
(Symbol)		



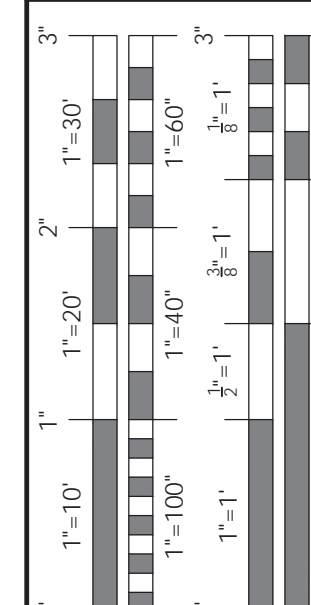
PLAN NORTH TRUE NORTH  
**FIRST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

**FIRST FLOOR PLAN**





2080 S. State Street  
Ann Arbor, MI 48104  
O 734.761.2090  
F 734.761.6607



REVISIONS

PRELIM. SITE PLAN APPROVAL  
21 FEB 2020

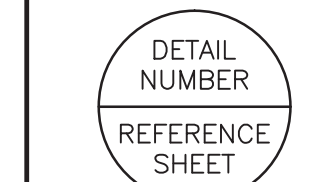
JOB 2017-55

DATE XX JAN 2020

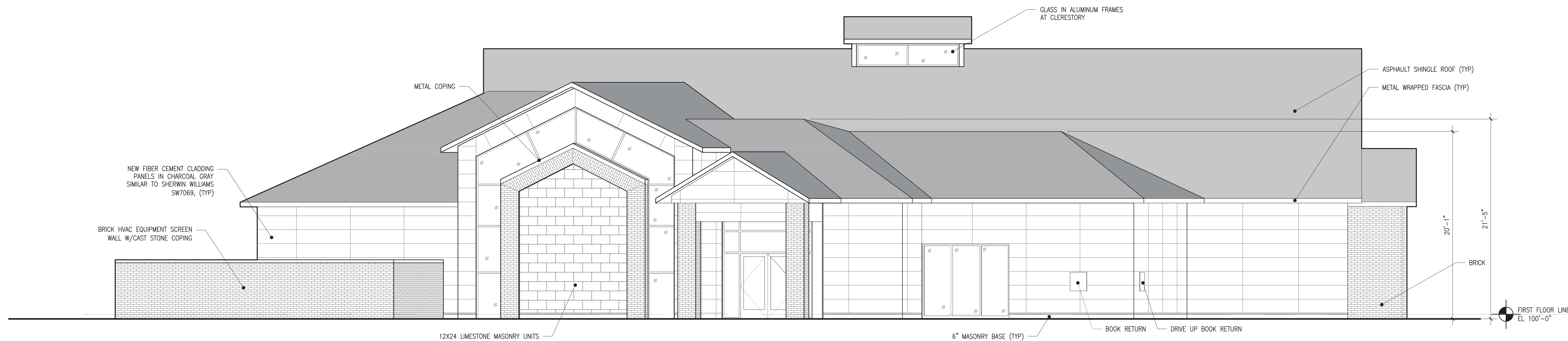
DRAWN DSS

CHECKED DEW

DETAIL SYMBOL



**A2.1**  
YDL SUPERIOR



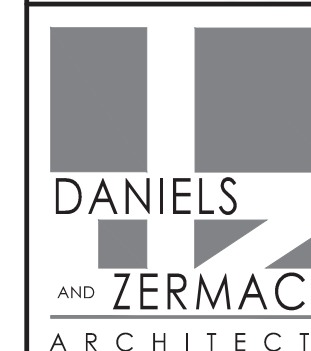
**B**  
A1.1 ELEVATIONS  
SCALE: 3/16" = 1'-0"



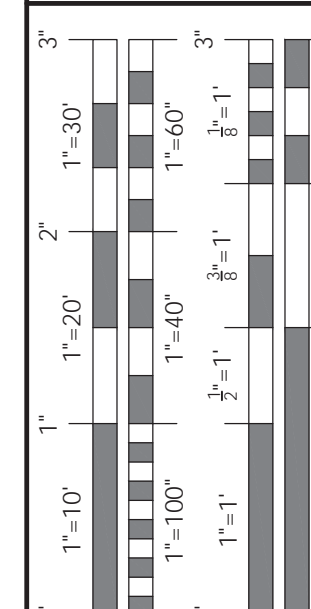
**A**  
A1.1 ELEVATIONS  
SCALE: 3/16" = 1'-0"

TITLE SHEET





2080 S. State Street  
Ann Arbor, MI 48104  
O 734.761.2090  
F 734.761.6607



REVISIONS

PRELIM. SITE PLAN APPROVAL  
21 FEB 2020

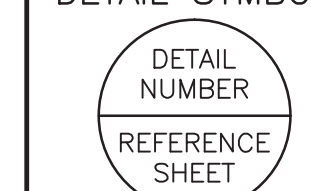
JOB 2017-55

DATE XX JAN 2020

DRAWN DSS

CHECKED DEW

DETAIL SYMBOL

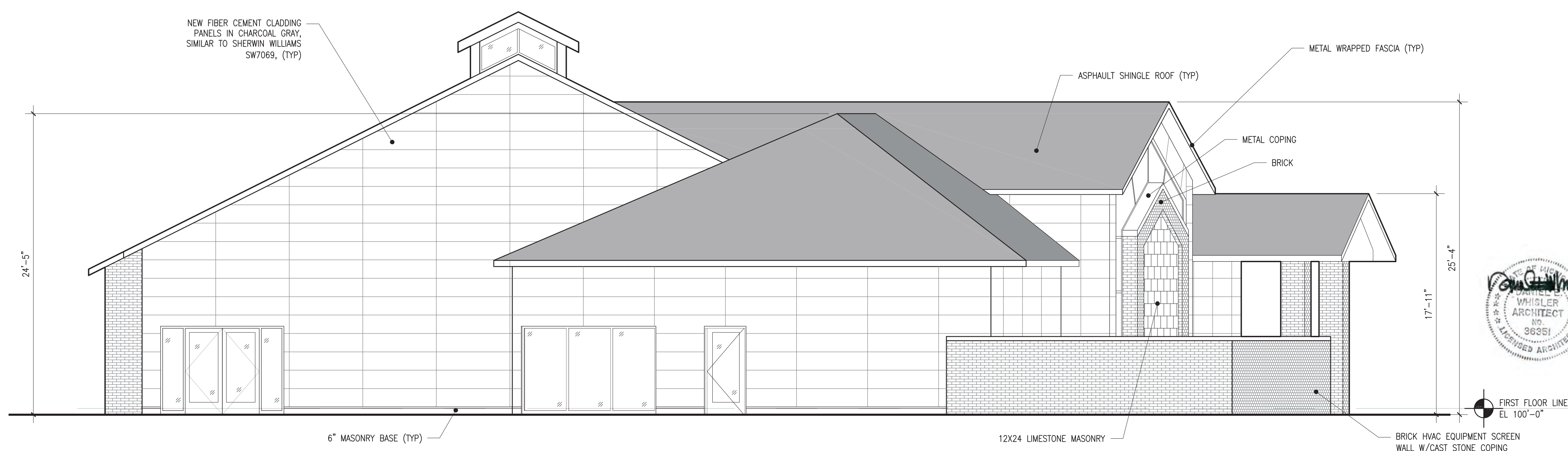


A2.2  
YDL SUPERIOR



D  
A1.1

ELEVATIONS  
SCALE: 3/16" = 1'-0"



C  
A1.1

ELEVATIONS  
SCALE: 3/16" = 1'-0"