

**SUPERIOR CHARTER TOWNSHIP PLANNING COMMISSION
SUPERIOR TOWNSHIP HALL
3040 N. PROSPECT, YPSILANTI, MI 48198
SPECIAL MEETING
AGENDA
JUNE 12, 2018
7:30 p.m.**

1. CALL TO ORDER
2. ROLL CALL
3. DETERMINATION OF QUORUM
4. ADOPTION OF AGENDA
5. APPROVAL OF MINUTES
 - A. Approval of the May 23, 2018 regular meeting minutes
6. CITIZEN PARTICIPATION
7. CORRESPONDENCE
8. PUBLIC HEARINGS, DELIBERATIONS AND ACTIONS
9. REPORTS
10. OLD BUSINESS
 - A. STPC #18-08 Dixboro House Restaurant – Final Site Plan
 - B. STPC #18-09 Dixboro Village Green Pavilion – Minor Site Plan
11. NEW BUSINESS
12. POLICY DISCUSSION
13. ADJOURNMENT

Thomas Brennan III, Commission Secretary
3040 N. Prospect, Ypsilanti, MI 48198

Laura Bennett, Planning Clerk
734-482-6099

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5-1 CALL TO ORDER

Chairperson Guenther called the regular meeting to order at 7:30 p.m.

5-2 ROLL CALL

The following members were present: Brennan, Findley, Guenther, and Sani-Yahyai. Also present were Rodney Nanney, Township Planner, George Tsakoff, Township Engineer, and Rick Mayernik, Building/Zoning Administrator.

5-3 DETERMINATION OF QUORUM

A quorum was present.

5-4 ADOPTION OF AGENDA

A motion was made by Commissioner Findley and supported by Commissioner Brennan to adopt the agenda as presented. The motion carried.

5-5 APPROVAL OF MINUTES

A. Minutes of the April 25, 2018 Meeting

A motion was made by Commissioner Brennan and supported by Commissioner Sani-Yahyai to approve the minutes as revised. The motion carried.

5-6 CITIZEN PARTICIPATION

David Kubiske, Project Engineer for Dixboro House, inquired as to why Dixboro House was not on the evening's Planning Commission agenda. He added that final site plans were delivered to the Township on April 24, 2018 and although the applicant had received comments from WCRC, WCWRC and the Health Department, comments had not been received from the Township.

He went on to state that he does not understand why the project was not included on the agenda when the project still needs to go through the engineering review process. He stated that he felt the Township was not working with the applicant.

Commissioner Guenther replied that the Planning Commission does not make the decision of what is included on the agenda. Additionally, the last time

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Dixboro House was on the agenda, the Planning Commission bent over backwards to accelerate the site plan approval process.

Mr. Mayernik discussed past practices of the Planning Commission and how the Township granted authority to consultants allowing them to decide whether a project was ready for Planning Commission action. Additionally, the applicant has the ability to appeal the decision to the Township Board of Trustees.

Commissioner Findley suggested that a Special Planning Commission meeting be held to get the applicant back on track.

Commissioner Guenther stated that he supports the idea of a Special Meeting.

Mr. Nanney explained that last week the decision was made to not include Dixboro House on the agenda for this meeting. With Final Site Plan, standards have to be followed and there are details that need to be addressed. One of the standards of Final Site Plan approval is that outside agency approvals are either in-hand or are assured, meaning the outside agency is comfortable with the overall design. That was not the case in this situation. He added that a letter from the WCRC was received stating approval of the applicant encroaching into the right-of-way. That is an issue that will affect the design of the site and had a significant impact on the report.

Mr. Tsakoff stated that the biggest issue was the non-assurance of outside agency permits.

Mr. Kubiske replied that the WCRC stated they were fine with the applicant being in the right-of-way.

Mr. Nanney explained that the decision is based on the Zoning Ordinance, which states that site plan items cannot be in the right-of-way.

Commissioner Guenther stated that this is not an agenda item this evening and the Planning Commission cannot take action on it. He added that he supports scheduling a special meeting and suggested that in the future the applicant call the Township rather than waiting for the Township to call.

Kenneth Schmidt, Superior Township property owner, expressed concerns with the Planning Commission agenda not being posted on the Township webpage.

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Mr. Mayernik replied that the Planning Commission agendas are typically on the webpage prior to the meeting. He stated that subsequent agendas would be posted.

5-7 CORRESPONDENCE

A motion was made by Commissioner Brennan and supported by Commissioner Sanii-Yahyai to receive and file a Site Plan Review Report from the Superior Township Fire Chief regarding the SBA Cellular Tower.

5-8 PUBLIC HEARINGS, DELIBERATIONS AND ACTIONS

- A. STPC #18-10 SBA Cellular Tower Conditional Use Permit
1. Public Hearing

The public hearing was opened by Commissioner Findley and supported by Commissioner Brennan.

Jonathan Crane, applicant on behalf of SBA Towers, presented several alternate locations that were looked at for the cellular tower site, but were ultimately too close to existing sites. Mr. Crane showed Commissioners a map of the proposed cellular tower site and explained the need for Conditional Use Approval.

A motion was made by Commissioner Brennan and supported by Commissioner Sanii-Yahyai to close the public hearing.

Mr. Nanney reviewed the Planner's Report dated 5/16/2018.

Mr. Tsakoff review the Engineer's report dated 5/16/2018.

Discussion was held regarding waiving the screening requirement for the applicant.

Motion by Commissioner Brennan, supported by Commissioner Findley to approve STPC #18-10 SBA Cellular Tower Conditional Use Permit to construct a new, 180-foot tall wireless communication tower and ground equipment enclosure in the M-14 state highway right-of-way at the M-153 interchange, finding that there are no reasonable and suitable alternatives for location of equipment on an existing tower within the proposed tower's service area, and that the proposed tower complies with

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the applicable Zoning Ordinance requirements, including Section 14.02 (Wireless Communication Facilities), subject to the following conditions:

(1) The Planning Commission waives requirement for the ground equipment enclosure area and fencing to be screened with a dense evergreen screen around the fence perimeter.

(2) Planning Commission approval of STPC #18-11 SBA Cellular Tower Combined Preliminary and Final Site Plan.

5-9 REPORTS

A. Ordinance Officer

A motion was made by Commissioner Findley and supported by Commissioner Sanii-Yahyai to receive the report. The motion carried.

B. Building Inspector

A motion was made by Commissioner Sanii-Yahyai and supported by Commissioner Brennan to receive the report. The motion carried.

C. Zoning Administrator

A motion was made by Commissioner Findley and supported by Commissioner Steele to receive the report. The motion carried.

5-10 OLD BUSINESS

None.

5-11 NEW BUSINESS

A. STPC #18-11 SBA Cellular Tower – Combined Preliminary and Final Site Plan.

A motion was made by Commissioner Findley, supported by Commissioner Sanii-Yahyai, to approve STPC #18-11 SBA Cellular Tower Combined Preliminary and Final Site Plan dated April 24, 2018, to construct a new, 180-foot tall wireless communication tower and ground equipment enclosure in the M-14 state highway right-of-way at the M-153 interchange, finding that it complies with the applicable Zoning

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Ordinance requirements, including Section 14.02 (Wireless Communication Facilities), subject to the following conditions:

(1) All items noted in the Township Engineer's report dated 5/16/2018 shall be addressed by the applicant during the detailed engineering review of the construction plans.

(2) All items noted in the Fire Chief report dated 5/18/2018 shall be addressed by the applicant during the detailed engineering review of the construction plans.

B. STPC #18-09 Dixboro Village Green Pavilion – Minor Site Plan

Commissioner Guenther explained that in addition to being the Chair of the Planning Commission, he was also on the board of the Dixboro Village Green and would need to recuse himself from this agenda item.

Because there are only three remaining Planning Commission members, no vote can be taken on this item.

Richard Mitchell, Architect for the project, understood that there would be no vote taken. He presented renderings of the location and explained parallel parking at the site as well the need to relocate a door on the building.

It was explained that the pavilion is 17x22 ft² and is narrower than the schoolhouse, but everything will be within the boundaries defined by the schoolhouse. Drawings were presented showing where the pavilion would sit on the site and decking materials were discussed.

Mr. Mitchell stated that there were some minor engineering comments that would be addressed at the site prior to the next meeting. Additionally, comments from consultants were minor and the applicant feels that they are on the right track. The plan is to start construction during this building season.

Tom Freeman explained that the Dixboro Village Green was formed in 2012 and is a nonprofit. Additionally, they were the recipients of grants from the Visitors Bureau which will be a good source of the funding for the project.

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Mr. Tsakoff noted concerns with the ADA compliance and grades at the site and wants to make sure that it meets requirements.

Mr. Mitchell replied that they will be addressed.

Commissioner Findley stated that she has been a part of the project since the first meeting and is looking forward to seeing the project completed and believes it is an excellent addition to the community.

5-12 POLICY DISCUSSION

None.

5-13 ADJOURNMENT

A motion was made by Commissioner Brennan supported by Commissioner Findley to adjourn at 8:47 p.m. The motion carried.

Respectfully submitted,
Thomas Brennan III, Planning Commission Secretary

Laura Bennett, Recording Secretary
Superior Charter Township
3040 N. Prospect Rd.
Ypsilanti, MI 48198 (734) 482-6099

SITE PLAN REVIEW APPLICATION

(This application must be typewritten or printed. All questions must be answered.)

APPLICANT NAME FF Acres Holdings, LLC, Sava Lelcaj Farah, Member

NAME OF PROPOSED DEVELOPMENT Dixboro House

APPLYING FOR PRELIMINARY SITE PLAN
 FINAL SITE PLAN
 COMBINED PRELIMINARY AND FINAL SITE PLAN
(Combination is at discretion of Planning Commission)
 MINOR SITE PLAN

WILL PROJECT BE PHASED? YES NO

IF PROJECT IS PHASED COMPLETE THE FOLLOWING:

- Total Number of phases _____
- Phase Number of current application _____
- Name and Date of Preliminary Site Plan Approval _____

- Date of Previous Phase Approvals:
Phase # _____ Date _____
Phase # _____ Date _____
Phase # _____ Date _____
Phase # _____ Date _____

SEEKING ADDITIONAL APPROVAL FOR A CONDITIONAL USE YES NO

Savana Bennett
Signature of the Clerk or Designee

4/25/2018
Date of Receipt of Application

\$5,900
Amount of Fee

GENERAL INFORMATION

- Name of Proposed Development Dixboro House
- Address of Property 5400 Plymouth Road, Ann Arbor, Michigan 48105
- Current Zoning District Classification of Property Village Center

Is the zoning classification a Special District as defined by Article 7 ? YES NO

- Has this property been the subject of a rezoning request, Zoning Board of Appeals petition or other Township action with the past five (5) years? YES NO

Please explain _____

- Tax ID Number(s) of property J-10-18-100-014
- Site Location - Property is located on (circle one) N S E W side of S Road between Cherry Hill and Ford Roads.
- Legal Description of Property (please attach a separate sheet)
Where a metes and bounds description is used, lot line angles or bearings shall be indicated on the plan. Lot line dimensions and angles or bearings shall be based upon a boundary survey prepared by a registered surveyor and shall correlate with the legal description.

Site Area (Acreage) and Dimensions 6.141±, 650' x 445'

- Are there any existing structures on the property? YES NO
Please explain: _____

The original Lord Fox restaurant building along with a storage garage

PROPOSED LAND USE

- Residential Office Commercial Other

If other, please specify _____

- Number of units _____
- Total floor area of each unit _____
- Give a complete description of the proposed development.
Renovation of the existing restaurant building with several additions for indoor and outdoor seating, and kitchen upgrades, with additional required parking and vehicle circulation, new storm water management system

ESTIMATED COSTS

- Buildings and other structures \$900,000
- Site improvements \$520,000
- Landscaping \$100,000
- Total \$1,520,000.00

ESTIMATED DATES OF CONSTRUCTION

- Initial construction June 2018
- Project completion November 2018
- Initial construction of phases (IF APPLICABLE) _____
- Completion of subsequent phases. (IF APPLICABLE) _____
- Estimated date of first occupancy Fall 2018

IDENTIFY EACH DRAWING SUBMITTED BY NAME OF PLAN OR DRAWING, DATE AND DRAWING NUMBER (ATTACH ADDITIONAL SHEET IF NECESSARY)

Site plan drawings: C.101 (Cover), C.102 (Demolition/Area of Cut & Fill), C.103 (Site Plan), C.104 (Overall Grading plan), C.105 (Grading Details), C.106 (Details), C.107 (Lighting Plan), C.108 (Lighting Cut Sheets), C.109 (Soil Erosion Control Plan), C.110 (Drainage Area Plan), C.111 (Storm Profiles & ADS Details), C.112 (ADS Underground Detention), C.113 (WCWRC Calc. Rain Garden A), C.114 (WCWRC Calc. Rain Garden B), C.115 (WCWRC Calc. Rain Garden C), C.116 (WCWRC Calc. Rain Garden D)
Landscape drawing: L-1 (Natural Features), L-2 (Landscape & Mitigation Plan), L-3 (Landscape Details)
Architectural drawings: A1.0 (Basement Plan), A1.1 (Floor Plan), A3.0 (North & West Elevations), A3.1 (South & East Elevations)

APPLICANT INFORMATION

- APPLICANTS NAME Sava Lelcaj Farah, Member
Company FF Acres Holdings LLC
Address 301 E. Liberty Street Suite 200, Ann Arbor, Michigan 48104
Telephone Number (734) 669-3310 Email sava@savcohospitality.com

- PROPERTY OWNER'S NAME Same as above
Company _____
Address _____
Telephone Number _____ Email _____

- DEVELOPER'S NAME Same as above
Company _____
Address _____
Telephone Number _____ Email _____

- ENGINEER'S NAME David A. Kubiske, P.E.
Company David Arthur Consultants, Inc.
Address 110 Main Street, Dundee, Michigan 48131
Telephone Number (734) 823-5080 Email dac@daceng.com

- ARCHITECT/~~PLANNER~~'S NAME Richard Mitchell
Company Mitchell and Mouat Architects
Address 113 S. Fourth Street, Ann Arbor, Michigan 48104
Telephone Number (734) 662-6070 Email rmitchell@mitchellandmouat.com

The applicant indicated on page 4 must sign this application. All correspondence regarding the application and plan will be directed to the applicant. If the applicant is not the property owner, the owner's signed consent must also be provided with this application.

APPLICANT'S DEPOSITION

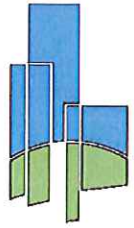
I hereby depose and certify that all information contained in this application, all accompanying plans and all attachments are complete and accurate to the best of my knowledge.

APPLICANT'S PRINTED NAME: _____

APPLICANT'S SIGNATURE _____ DATE _____

PROPERTY OWNER'S PRINTED NAME _____

PROPERTY OWNER'S SIGNATURE Sally Turah DATE 04/25/18



DAVID
ARTHUR
CONSULTANTS, INC.

110 MAIN STREET, DUNDEE, MI 48131
PHONE: (734) 823-5080

April 24th, 2018

Rodney Nanney, AICP
Donald N. Pennington Land Use Planning and Consulting
5427 Pine View Drive
Ypsilanti, Michigan 48197

Re: Dixboro House
5400 Plymouth Road
Final Site Plan Approval

Dear Mr. Nanney,

Pursuant to our coordination meeting at the township on March 28th, and in response to your comment letter regarding the Preliminary Site Plan Report dated February 21, 2018, below is a response summary as part of submittal for final site plan approval for the project.

- 2.01 Ground Sign – existing to remain
- 2.02 + 2.03 Use of Plymouth Road Right-of-way and Parking – Per several discussions with the road commissions, per Matt Macdonell, we have verbal approval for use of the parcel. We are currently waiting for written confirmation.
- 2.04 Tree replacement – as discussed, a portion of the trees will be replaced as required per the ordinance with the remaining trees being supplemented through other site improvements. These items have been noted on the landscape plans.
- 2.05 The existing gazebo and deck are noted to be removed
- 3.
 - a. net lot area has been added
 - b. The Use narrative was included on the original cover but relocated to the site plan sheet
 - c. Wetland setback has been replaced with 50' open space setback
 - d. Additional zoning labels have been added
 - e. Existing conditions plan has been added to Sheet C.102
 - f. Right-of-way width has been verified with the road commission and shown correctly
 - g. Snow storage area has been added to the landscape drawings
 - h. Additional building information has been added
 - i. A basement floor plan has been included
 - j. Exterior building elevations are included
 - k. Outdoor activities and events are not currently planned on site.

1. Cutting and filling has been added to Sheet C.102
- 4.03 The sidewalk within the flood plain has been removed
- 4.04 Landscaping changes have been updated on the landscaping drawings
- 4.05 Preservation of natural feature comments have been addressed and updated on the landscaping sheets.

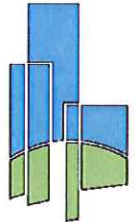
Let us know if you have any questions or further comments.

Sincerely,
DAVID ARTHUR CONSULTANTS, INC.



David A. Kubiske, P.E., P.S., LEED AP
President/CEO

DAK:jrn



DAVID
ARTHUR
CONSULTANTS, INC.

110 MAIN STREET, DUNDEE, MI 48131
PHONE: (734) 823-5080

April 24, 2018

George A. Tsakoff, PE
OHM Advisor
34000 Plymouth Rd
Livonia, MI 48160

RE: Dixboro House
Preliminary Site Plan Review Comments
OHM Job No. 0140-18-1011

Dear Mr. Tsakoff,

We have received your comments regarding the above noted project from your office dated February 21, 2018. The following is our response to your comments:

General Comments

1. Hatching & line styles have been updated
2. Dimensions have been added
3. These notes have been removed and will be referenced on the landscaping sheets
4. Well notes are included
5. HM has been added to the detail
6. The note has been removed
7. We have included an Existing Conditions/Demolition Plan, Sheet C.102.

Engineering Comments

8. The outlet has been noted
9. We have been in discussion with WCWRC for their review and approval in the immediate future.
10. Note has been adjusted
11. The plan has been updated with the proposed storm information
12. The underground detention basin is shown for clarity
13. The proposed inlet and outlets are indicated on drawings
14. All septic field hatching is consistent
15. The reference line has been removed
16. Proposed grading has been included with the revised drawings
17. A soils report is included with the submittal

- 18. Walks have been removed from the flood plain
- 19. Walkway widths are shown

Agency Permit Requirements

- 20. A summary table has been added to the cover
- 21. According to my discussion with Jennifer Conn of the Washtenaw County Health Department, the existing well(s) can remain in operation and approval of the well will be evaluated once construction is completed. The email correspondence has been included with this submittal

Let us know if you have any questions or further comments.

Sincerely,
DAVID ARTHUR CONSULTANTS, INC.



David A. Kubiske, P.E., P.S., LEED AP
President/CEO

DAK/jrn



From: Jason Nolff [mailto:jnolff@daceng.com]
Sent: Thursday, March 29, 2018 11:38 AM
To: Jennifer Conn <connj@ewashtenaw.org>
Cc: David Kubiske <davek@daceng.com>
Subject: 5400 Plymouth Road

Jenni,

Thank you for taking the time this morning to discuss the existing wells at the above noted property.

As we discussed, the current wells, 2 total - #1 east of the existing building and #2 to the north of the existing building, were installed properly and were both active for the previous establishments, Lord Fox and Roger Monks. The wells can continue in operation for the new establishment with no changes at this time.

As requested, each well will have a sample tap installed for individual testing purposes. As discussed, this is an item of current non-compliance.

As we discussed accessibility of the wells for maintenance and testing, having a deck is not strictly forbidden, but not encouraged. You mentioned the possibility of one of the wells being abandoned, assuming #1 due to accessibility according to the new building addition and plan. I will discuss with the owner the option of hiring a well contractor to verify the capacity of well #2 to determine its capacity and upgrades that may be needed so we can utilize only that well to service the building. Would there be anyone at your office whom we could talk with regarding why there were two wells installed and servicing the existing building?

Also as discussed, the wells will be sampled after all construction is complete to ensure water quality is in accordance with your standards.

Let me know if there is anything I missed from our conversation.

Thanks again,

Jason Nolff, AIA | LEED AP BD+C

Project Manager

David Arthur Consultants Inc.

110 Main Street

Dundee, MI 48131

V 734.823.5080

F 734.823.5085

C 734.777.1584

jnolff@daceng.com

www.daceng.com



SAVE A TREE - print responsibly

Jason Nolff

From: Jennifer Conn <connj@ewashtenaw.org>
Sent: Thursday, March 29, 2018 3:38 PM
To: Jason Nolff
Cc: David Kubiske
Subject: RE: 5400 Plymouth Road

Hi Jason,

I double-checked the Act 399 minimum isolation distances for a Type II well, and the wells must be at least 3 feet away from a building foundation or projection thereof. Thus, a deck cannot be built overtop the well. This isolation was implemented so that the wells are accessible for service. The isolation distances are available here: https://www.michigan.gov/documents/deq/DEQ-ODWMA_Minimum_Isolation_Distances-Private_and_Public_491026_7.pdf

The existing wells met minimum construction requirements to be used for the previous restaurants and can continue to be used for restaurant service in the future as long as the integrity of the wells are maintained and they continue to produce safe water. There are no remaining staff at WCEH that know why 2 wells were drilled at Roger Monks. The wells are from the 1970's, are shallow, and neither well has a protective clay layer. If the deck is built as proposed, the east well would need to be properly abandoned and would not be allowed to serve as a back-up. Ideally the restaurant will be able to function off of only one well and a well driller should be contacted to see what the capacity of the wells are. We can use a fixture count to determine the maximum water usage the restaurant should demand from the well(s) and see if the one well is adequate.

The other points are correct. Prior to granting approval of the water supply to serve the public again our office will conduct an inspection to make sure that there are no cross-connections that could contaminate the water supply and you will be required to submit safe bacteria, nitrate and arsenic samples. The inspection and collection of water samples will be done after all plumbing work is complete.

Please let me know if you have additional questions or if anything above is unclear.

Have a Happy Easter!

Jenni

Jennifer Conn, PE, REHS

Environmental Quality Analyst
Non-Community Water Supply Coordinator
[Washtenaw County Environmental Health](#)
705 N. Zeeb Road | Ann Arbor, MI 48107
(Office) 734.222.3855 | (Fax) 734.222.3930



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FINAL SITE PLAN REPORT
Superior Charter Township Planning Commission

Dixboro House Restaurant
5400 Plymouth Road

Report Date: May 25, 2018

1. Description

1.01 Action requested. The applicant is requesting final site plan approval for a restaurant serving alcoholic beverages and an outdoor eating area, in accordance with Article 10.0 (Site Plan Review) of the Superior Charter Township Zoning Ordinance No. 174.

1.02 Owner and Applicant. FF Acres Holdings LLC (Sava Lelcaj Farah), 301 E. Liberty St., Ann Arbor, MI 48104.

1.03 Area and location. 6.14 acres in the VC (Village Center) Special District on the south side of Plymouth Road east of Cherry Hill Road in the northeast quarter of section 18; parcel no. J-10-18-100-014.

2. Site Plan Review

We have reviewed the final site plan dated 4/25/2018, based upon the applicable Zoning Ordinance standards, including Section 10.10 (Standards for Site Plan Approval):

2.01 Final site plan information requirements. The site plan conforms to the minimum requirements of Section 10.07 (Required Site Plan Information). However, some details and corrections will need to be addressed by the applicant, as noted below in our report.

2.02 Dimensional standards. The required yard setbacks are depicted on the final site plan, and the building location is consistent with the applicable dimensional standards of the VC District. Comments regarding compliance with required setbacks for parking, landscaping, and other site improvements are noted below in our report.

2.03 Detailed use statement. A “*Project Use Narrative*” has been included on sheet C.103, which summarizes the scope of improvements and notes the restaurant and outdoor seating area land uses. However, some items of required information are missing. Consistent with the requirements of Section 10.07, the following details need to be added to a revised use statement:

- Revise the use statement to add details of the planned scope of outside activities on the site, which need to be consistent with the following provision of the Planning Commission’s 2/28/2018 conditional use permit approval action: “*Use of the outdoor wedding and small event space shall be limited in character and land use intensity to an accessory use, secondary and*

subordinate to the principal restaurant facility, with details subject to Planning Commission review and approval....”

- Clarify that this is a restaurant facility “*servicing alcoholic beverages*” consistent with the approved conditional use permit.
- Add a note confirming that the hours of operation for the restaurant serving alcoholic beverages shall be limited to: “*Sunday through Thursday 8:00 a.m. until 10:00 p.m. and Friday and Saturday 8:00 a.m. until 12:00 a.m.,*” consistent with the approved conditional use permit.

2.04 Pedestrian access. The internal concrete sidewalks are consistent with Zoning Ordinance standards for pedestrian accessibility. There are no existing public sidewalks along this portion of Plymouth Road, so a sidewalk connection to the road is not required at this time.

2.05 Vehicular circulation. The proposed site layout includes consolidation of the existing vehicle ingress/egress from Plymouth Road into one new driveway approach. The internal vehicular circulation layout is generally consistent with applicable Zoning Ordinance requirements. Although they are not called out on the site plan, the proposed circulation pattern creates two natural pick-up and drop-off locations for restaurant patrons. To minimize conflicts and circulation bottlenecks, we recommend that the following details be addressed by the applicant on a revised site plan:

- We recommend that the 15.0-foot wide driveway at the southwest corner of the east parking lot be widened to 24.0 feet to allow vehicles to safely bypass a vehicle stopped temporarily to pick-up or drop-off a patron.
- The main front entrance to the restaurant is proposed to include an 11.0-foot wide lane outside of the driveway, which would be another natural pick-up and drop-off location. However, the dead-end circulation pattern for the central and west parking lots is not conducive to this arrangement. At a minimum, we recommend that adjustments be made in the west parking area to establish an adequate turnaround area for vehicles entering these lots, or otherwise address this issue on the revised site plan.
- Any changes within the Plymouth Road right-of-way required by the county Road Commission, including a new turn lane or deceleration taper, need to be incorporated into the revised final site plan.

2.06 Parking and loading improvements. A total of 72 parking spaces are provided, including four (4) barrier-free spaces. A dedicated loading zone is also shown near the southwest corner of the building, consistent with Section 8.07 (Off-Street Loading Requirements). The updated layouts of the east, central, and west parking lots are consistent with Section 8.06 (Design Requirements for Parking Areas), and the number of spaces exceeds the minimum requirements of Section 8.05 (Schedule of Off-Street Parking...).

Some of the proposed parking is located within or adjacent to the Plymouth Road right-of-way. Section 8.06C (Setback) requires off-street parking to be set back a minimum of 20.0 feet from the road right-of-way in the VC District. To fully

conform to applicable Ordinance standards, the following parking-related details need to be addressed by the applicant on a revised site plan:

- Correct the “(13)” label above the easternmost row of parking to correctly identify the twelve (12) spaces in the row.
- Adjust the proposed arrangement of parking spaces so that all spaces are outside of the Plymouth Road right-of-way and the required 20.0-foot wide front yard setback area (see additional comments in part 2.15 below).

2.07 Building layout and design. The architectural details and proposed mix of exterior finish materials for the renovated building and additions are shown on sheets A3.0 and A3.1, and are subject to Planning Commission acceptance as part of any final site plan approval. The historic structure and additions will be clearly differentiated by contrasting design and exterior material treatments that will give the additions a more contemporary character. Although some of the exterior treatments for the building additions are unusual when compared to other buildings in Dixboro, we would have no objection from a planning perspective to a determination by the Planning Commission that the overall scope of building improvements are consistent with the requirements of Section 14.09C (Non-Residential Building Exteriors).

2.08 Exterior lighting. The proposed exterior lighting improvements depicted on sheets C.107 and C.108 are consistent with Section 14.11 (Exterior Lighting) requirements, with the exception of the following details that needs to be addressed by the applicant on a revised site plan:

- Relocate the two (2) pole fixtures “G-4” and “B-2” outside of the Plymouth Road right-of-way (see additional comments in part 2.15 below).
- Correct the elevation drawings of the pole fixtures on sheet C.108 to show the flat lenses as called for on the fixture specifications.

2.09 Ground sign. The existing ground sign location is noted on the site plan, along with a note indicating that a separate administrative sign permit will be submitted at a later date for proposed site signage. The following sign-related detail needs to be corrected by the applicant on a revised plan:

- Correct the note #6 reference on sheet C.103 to the “*Dundee Village Sign Ordinance*,” which should instead refer to Article 9.0 (Sign Regulations) of the Superior Charter Township Zoning Ordinance No. 174.

2.10 Grade changes and retaining walls. Sheet C.104 details the significant cut and fill changes to the existing topography of the site that will be required for parking and drainage improvements. Approximately 2/3 of the east parking lot is proposed to be constructed on fill with a depth of three (3) to ten (10) feet. This fill depth is significant, but appears to be necessary to establish proper drainage within the parking lot. Up to three (3) feet of additional fill is also proposed for part of the west parking lot for similar reasons. Three (3) types of retaining walls are proposed to resolve the grade changes:

- (1) **A concrete retaining wall** is proposed along the south side of the east parking lot, which will be up to ten (10) feet high at its greatest extent. A

wall detail is depicted on sheet L-3. No additional screening is proposed, and the wall will primarily be visible from the parcel's interior.

- (2) **A rock retaining wall** around the dripline perimeter of two (2) existing trees on the west side of the site (#2501 & #2507), which will be up to 5.5 feet high at its greatest extent. A wall detail is depicted on sheet L-3.
- (3) **A unit block decorative landscaping wall** up to 2.5 feet in height is proposed across the front of the building to provide safe barrier-free ramp accessibility. A wall detail is depicted on sheet L-3.

The proposed grade changes and retaining walls are subject to Planning Commission acceptance as part of any final site plan approval. The following wall details need to be addressed by the applicant on a revised plan:

- The rock retaining wall is depicted around tree #2501 on sheets C.104 and L-2, but the equivalent wall around tree #2507 is missing from these sheets.
- Add labels for each retaining wall to the landscape plan sheet L-2.
- Add a detail of the handrail/fence proposed for the top of the concrete wall.

2.11 Landscaping and screening. A detailed landscaping plan has been provided on sheets L-2 and L-3. Existing mature trees have been incorporated into the landscaping wherever possible. Adequate snow storage area has been depicted on the plan at a location convenient for snowplows. Greenbelt buffers and screening have been provided around the parking area and adjacent to the north lot line to buffer a neighboring residence. A six (6) foot high, steel-reinforced wood enclosure is proposed to screen the trash dumpsters to the rear of the building. These screening improvements are consistent with Section 14.10D (Methods of Screening) standards. The following detail needs to be corrected on a revised landscape plan sheet L-2:

- Correct the "TC" label in the "Plant Schedule" to match the "TA" labels on the landscape plan.

2.12 Natural features – wetlands and Fleming Creek. The applicant has taken significant steps to protect the Fleming Creek floodplain and wetland areas from development-related impacts, and has proposed a mitigation plan on sheet L-1 that is designed to improve biodiversity, encourage growth of native plant species, and control invasive species along Fleming Creek. These proposed actions are well in excess of any applicable Ordinance requirements.

2.13 Natural features – plan for invasive species eradication and control. Section 14.05F.3. requires that a plan for eradication and control of five (5) invasive species be included as part of any final site plan submittal. In this case, the only development area of the parcel subject to this requirement is a limited strip along the north property line, where existing buckthorn will be removed by site grading and parking/landscaping improvements. The applicant has also proposed a sustained program of natural area enhancements along Fleming Creek, including a detailed plan for eradication and control of various invasives that is well in excess of applicable Ordinance requirements.

2.14 Natural features – woodlands and tree preservation. Sixteen (16) existing mature trees will be removed to facilitate the proposed development activity, of which eleven (11) are subject to the mitigation and replacement standards of Section 14.05F (Woodlands and Tree Preservation). The tree replacement calculations on sheet L-1 are consistent with Ordinance requirements, and would require a total of 59 replacement trees. 14 replacements are satisfied by landscaping-related tree plantings, and an additional 20 replacement trees are depicted on the site plan sheet L-2.

For the remaining 25 replacement trees, the applicant has proposed in the “*Tree Mitigation and Restoration Plan*” narrative on sheet L-1 to substitute their proposed Fleming Creek-related natural area enhancements (summarized in parts 2.12 & 2.13 of our report) for the remaining tree replacements. Additional details are depicted on sheet L-2 as part of the overall landscape plan.

Section 14.05.5. includes a provision allowing the Township to accept off-site tree plantings or “*a deposit into a tree-planting fund...in an amount acceptable to the Township, based on the current retail market value for the tree replacement*” to satisfy tree replacement requirements. While the applicant’s proposal does not directly fit either of those alternatives, we have evaluated the proposal and found that the cost of the work and the potential benefits to the Fleming Creek watershed would both be well in excess of the retail value of the 20 additional replacement trees.

If the Planning Commission is in agreement with this conclusion, we would have no objective from a planning perspective to a Commission determination that the applicant’s “*Tree Mitigation and Restoration Plan*” fully satisfies the tree replacement requirements of the Zoning Ordinance.

2.15 Use of the Plymouth Road Right-of-Way. As part of our preliminary site plan review, and during staff meetings with the applicant, we noted that Township Board approval of a VC Special District Area Plan and associated ordinance deviations [as allowed under Section 7.003 (Regulatory Flexibility)] would be necessary, along with county Road Commission authorization, to allow the proposed landscaping, parking, signage, and drainage improvements to encroach into the triangular-shaped expanded right-of-way area adjacent to Plymouth Road.

During the Planning Commission's 2/28/2018 review of the preliminary site plan, the Commission was assured that the project engineers were working to resolve this matter without the need for the Area Plan option. The Commission was also told that all improvements would fully conform to applicable Zoning Ordinance requirements on the final site plan, and that they were already working with the county Road Commission to adjust the location of the right-of-way on the parcel.

In late April, around the time the final site plan was going to be submitted, the project engineers again assured us that their request for a change to the right-of-way was proceeding favorably at the Road Commission. Unfortunately, while not objecting to the encroachments, the 5/22/2018 Road Commission response from Mr. Gary Streight, Project Manager, also confirms that no change has been made to the existing Plymouth Road right-of-way.

During a follow up telephone call on 5/24/2018, Mr. Streight explained the process for applying to remove land from a road right-of-way, and confirmed that the applicant had not made a formal request for Road Commission consideration of a right-of-way line adjustment on the subject parcel.

Mr. Streight's letter alone cannot eliminate the Zoning Ordinance requirements prohibiting these improvements from being constructed or maintained within the established road right-of-way. At a minimum, a Road Commission action would need to include confirmation of a geographic adjustment to the location of the right-of-way boundary on the subject parcel, to the extent that the proposed improvements would conform to applicable Zoning Ordinance standards.

- 2.16 Outside agency permits and approvals.** Section 10.10 (Standards for Site Plan Approval) requires documentation that “*necessary outside agency approvals have been obtained or are assured.*” This assurance is necessary for the Planning Commission to be able to make a determination that any remaining details needed for an outside agency approval will not impact the final site design. While some correspondence has been received, the Township has not yet received the required documentation from all outside agencies with jurisdiction.

Pending actions by the county Road Commission, Water Resources Commissioner's office, and Environmental Health Division (septic system) all have potential to significantly impact elements of the final site design.

3. Standards for Final Site Plan Approval

The minimum site plan information requirements are found in Section 10.07 of the Zoning Ordinance, and the standards for final site plan approval are listed in Section 10.10 of the Ordinance. Based upon our review of the final site plan dated 4/25/2018, we would offer the following findings and conclusions for the Commission's consideration:

- 3.01** The minimum required information for a final site plan has been provided, but a number of details and corrections remain to be addressed by the applicant.
- 3.02** Any Planning Commission action should be in the form of a motion to approve, deny or approve with conditions, per Section 10.05 (Planning Commission Action). As part of your review, the Commission should identify findings of fact regarding consistency with applicable Ordinance standards as noted in our report and the Twp. Engineer's report, which should be incorporated into any motion.
- 3.03** Per Section 10.05, any conditions imposed by the Commission on an approval shall be limited to that necessary to “*address necessary modifications; ensure that public services and facilities can accommodate the proposed use; protect significant natural resources or site features; ensure compatibility with adjacent land uses; or otherwise meet the intent and purposes of this Ordinance.*”

Respectfully submitted,

Donald N. Pennington
Rodney C. Nanney, AICP
Land Use Planning Consultants

May 25, 2018

CHARTER TOWNSHIP OF SUPERIOR

3040 N. Prospect Road
Ypsilanti, MI 48198

Attention: **Lynette Findley, Township Clerk**

Regarding: **Dixboro House**
Final Site Plan Review No. 1
OHM Job No. 0140-18-1012

Dear Ms. Findley,

On the Township's behalf, we have reviewed the Final Site Plan material prepared and submitted by David Arthur Consultants, Inc., and dated April 25, 2018 for the above referenced project. The site plan materials are for the renovation and expansion of an existing restaurant. Plans for the site include restoration of the existing building, expansion of seating areas, expanded parking facilities, additional pathways, as well as on-site stormwater management. The site is located in the northeast quarter of Section 18 at 5400 Plymouth Road. Fleming Creek routes through the southeast corner of the property. The property has three (3) existing septic fields which are under evaluation by the Washtenaw County Environmental Health Department. There are also two existing groundwater wells, one of which is shown on the site plan to be utilized in the future. Based on the information presented, we offer the following comments for your consideration:

Final Site Plan and Site Engineering Comments

1. The proposed sanitary sewer and electric service should be shown with the appropriate line type indicated in the legend. This should be corrected on Sheets C.101, C.103, C.104, C.109, and C.110.
2. In general, swales should not be constructed underneath decks, as they would be difficult to maintain. These areas under decks should be graded to sheet drain to swale areas, located outside of the limits of a deck structure.
3. On Sheets C.102, C.103, and C.104, there is an unidentified dashed line type on Plymouth Road within the "Edge of Pavement" limits. Add a note callout or legend symbol to clarify this line.
4. The following comments apply to Sheet C.102, and should be address as necessary:
 - a. The building footprint shown on the "Existing Conditions/Demolition Plan" does not match the footprint shown on Sheets C.103, C.104, C.109, and C.110.
 - b. The hatching pattern used on this sheet shows the existing building to be removed. It is our understanding that the building is to remain (with updates and addition). Additionally, the callout note for the existing building should indicate whether it will remain or be removed.
 - c. The hatching pattern for "Ex. Asphalt To Be Removed" indicated in the legend does not match the pattern used on the drawing.
 - d. The "setback wetland boundary" callout text and leader should be removed as it does not point to any line (limit), and the 99-foot dimension line should be relocated to refer to the accurate setback line limits.
 - e. There are four (4) line types in the ROW northwest of the property between the existing gas line and the property boundary that are unidentified. They should either be identified in the legend or with individual callout labels.



5. The following comments apply to Sheet C.103, and should be addressed as necessary:
 - a. The hatching patterns for the “100 Yr Floodplain” and “Ex. To Be Removed” are illegible. Please update line types as necessary for future prints of the plan set.
 - b. The dimension text used on the drawing around the building and decks are illegible and should be enlarged for clarity. In addition, the line type size used for proposed utility lines on the drawing are also illegible, and should be modified for clarity purposes.
 - c. The callout identifying the trash enclosure detail is not consistent with the actual detail number, and should be revised to note Detail 6 on Sheet C.106. Detail 7 appears to be for the bollards.
 - d. There is an erroneous callout leader pointing to a handicap parking sign in the central parking bay that should be removed.
 - e. On the far-east bay of the proposed parking lot, there is a label to indicate 13 parking spaces although only 12 spaces are present. Review and revise as necessary.
 - f. The application of concrete bumper blocks on the site plan should be consistent.
 - g. There is a callout indicating a detail for concrete bumper blocks as Detail 11, which is not present on the plan set. This detail should be added to Sheet C.106, or add a standard note for this item for future reference during construction.
 - h. In “General Note 2”, sidewalk thickness should be changed to 4 inches to correspond with the sidewalk detail on Sheet C.106.
 - i. In “General Note 4”, building downspouts should be routed underground, preferably to a drainage structure in lieu of surface discharge.
 - j. In “General Note 5”, the sanitary sewer lead pipe material should be changed to SDR 23.5 in accordance with Township Standards, or as required by WCEHD.
 - k. General Note 6 refers to the “Dundee Village Sign Ordinance,” which should be corrected to reflect Superior Township and/or Dixboro Hamlet/Village Standards.
 - l. The location of the existing water service line from the existing well to the building should be shown on the site plan.
 - m. On the proposed concrete walks in front of the building, there should be dimension labels where the walkways are 5 feet wide, to differentiate from other proposed walk widths.
6. On Sheets C.103 and C.104, the extent of the driveway culvert work is unclear. We would anticipate a culvert crossing at the drive only, with ditches in the ROW greenbelt, unless a ditch enclosure is being required by WCRC. In addition, the existing driveway culvert should have a label indicating whether it is to remain or be removed/replaced.
7. The following comments apply to Sheet C.104:
 - a. In general, greenbelt slopes shall not exceed 33% (1 on 3) on the site. Slopes less than 25% (1 on 4) are preferable.
 - b. Detailed grading review will occur in the future during the final engineering plan stage.
 - c. The top and bottom elevations of proposed retaining walls should be labeled.
 - d. Proposed Storm Structure table has not been reviewed at this time. This will be reviewed at the final engineering stage.
8. The following comments apply to Sheet C.106:
 - a. In Detail 1 and 10, all labels for “25A stone backfill” should be revised to be 6A stone bedding per MDOT Specifications.
 - b. In Details 1, 2, 3, 8, and 10, any instances where "21-AA stone" is labeled should be revised to note 21-AA limestone per MDOT Specifications.
 - c. On the bottom of Sheet C.106, a note should be added to indicate “Shop drawing submittals are required to be approved by design engineer and Township Engineer prior to construction.”



9. The following comments apply to Sheet C.110:
 - a. Rain Garden design is subject to WCWRC comment and approval.
 - b. The “50’ Septic Field Setback” callout is not referencing a setback line. This line should be shown and identified by a callout on the drainage area plan and the site plan.
10. The review of storm sewer profiles on Sheet C.111 will be reviewed in the future during the engineering plan submittal, in case any changes are made to the plans after final site plan.

Status of Permits and/or Approvals

11. Approval and permit from the Washtenaw County Road Commission (WCRC) is required. Our latest correspondence on file is from March 9, 2018 with comments to be addressed.
12. Approval and permit from the Washtenaw County Environmental Health Department (WCEHD) is required for status or improvement of existing septic fields. Our latest correspondence on file was received on April 18, 2018 with comments to be addressed.
13. Approval and permit from the Washtenaw County Water Resources Commission (WCWRC) is required. Our latest correspondence on file is from May 10, 2018 with comments to be addressed.
14. Approval and permit from the WCWRC for soil erosion control is required.
15. Township Building Department and Fire Department approval is required.
16. Comments from the Township Planner should be addressed on any future resubmittal.

Typically, outside agency approvals (in writing) are required (or to be reasonably assured based on written reviews) at the time of final site plan approval. We understand that a Special Planning Commission Meeting will be scheduled in the near future to further discuss the status of the final site plan for this project. We plan to attend that meeting to answer any questions in regard to our review comments outlined above.

If you have any immediate questions regarding our review, please feel free to contact me at (734) 466-4439.

Sincerely,

OHM Advisors

George A. Tsakoff, PE

cc: Ken Schwartz, Township Supervisor (via e-mail)
Richard Mayernik, CBO, Building Department (via e-mail)
Laura Bennett, Planning Coordinator (via e-mail)
Rodney Nanne, Township Planning Consultant (via e-mail)
Sava Lelcaj Farah, FF Acres Holdings LLC (via e-mail)
David Kubiske, David Arthur Consultants, Inc. (via e-mail)
Rhett Gronevelt, OHM Advisors (via e-mail)
file

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COUNTY HIGHWAY ENGINEER
JAMES D. HARMON, P.E.
DIRECTOR OF OPERATIONS
TELEPHONE (734) 761-1500
FAX (734) 761-3737

May 22, 2018

David Arthur Consultants
110 Main Street
Dundee, MI, 48131

Attention: David Kubiske, P.E.

**Regarding: WCRC Permit Application #14530 for Dixboro House
Superior Township**

Dear Mr. Kubiske:

This letter is provided in response to the applicant's site plan for the above referenced project. Please address the comments listed below in accordance with the WCRC Procedures & Regulations for Permit Activities (PRPA):

1. The site will require a left turn lane installation at the driveway. Plymouth Road is currently operating at capacity and any turning movements will disrupt traffic flow and create a safety hazard.
2. The driveway deceleration taper length must be 130 feet based on the posted speed limit of 45 MPH.
3. The driveway shall be sloped away from the road edge to prevent runoff from entering Plymouth Road.
4. Include a 4' shoulder with 6" of 23A limestone for the tapers and left turn lane.
5. The proposed ditch grades will hold water. Revise the ditch and culvert invert grades to provide positive drainage.
6. Provide a cost estimate for all work within the Plymouth Road right-of-way.
7. An inspection deposit equal to 3% of the approved estimate must be deposited and escrow in the full amount of the approved estimate must be submitted in a letter of credit or certified check.
8. Provide the name, contact information and certificate of insurance of the contractor who will be performing the work within the right-of-way.

Once the above comments have been addressed, re-submit 3 sets of plans for review. No work within the right-of-way shall occur until a permit has been issued. If you have any questions, please do not hesitate to contact me at (734) 327.6692.

Sincerely,



Gary Streight, P.E.
Project Manager

Cc: Bree Stilwell / FF Acres Holdings
Lynette Findley / Superior Township Clerk

Matt MacDonell, P.E. / WCRC Asst Dir of Engineering
Brent Schlack, P.E. / WCRC Asst Dir of Engineering

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BOARD OF COUNTY ROAD COMMISSIONERS
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May 22, 2018

ROY D. TOWNSEND, P.E.
MANAGING DIRECTOR
SHERYL SODERHOLM SIDDALL, P.E.
COUNTY HIGHWAY ENGINEER
JAMES D. HARMON, P.E.
DIRECTOR OF OPERATIONS
TELEPHONE (734) 761-1500
FAX (734) 761-3737

David Arthur Consultants

110 Main Street
Dundee, MI, 48131

Attention: David Kubiske, P.E.

**Regarding: WCRC Permit Application #14530 for Dixboro House
Superior Township**

Dear Mr. Kubiske:

The site plan submitted for the above project shows parking and internal drives within the WCRC's Plymouth Road right-of-way. The use of the right-of-way by the applicant for the shown parking and internal drives is not objected to by the WCRC.

If you have any questions regarding the Plymouth Road right-of-way use, please do not hesitate to contact me at (734) 327.6692.

Sincerely,



Gary Streight, P.E.
Project Manager

Cc: Bree Stilwell / FF Acres Holdings
Lynette Findley / Superior Township Clerk
Matt MacDonell, P.E. / WCRC Assistant Dir of Engineering



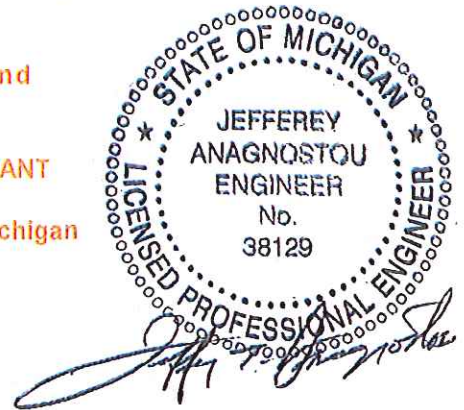
**GEOTECHNICAL EXPLORATION and
ENGINEERING REPORT**

PROPOSED DIXBORO HOUSE RESTAURANT
5400 Plymouth Road
Superior Township, Washtenaw County, Michigan

David Arthur Consultants, Inc.
Dundee, Michigan

AGS Project No. 18-1049

April 19, 2018





April 19, 2018

Mr. Charles Nolff, AIA
David Arthur Consultants, Inc.
110 Main Street
Dundee, Michigan 48131

Re: Geotechnical Exploration and Engineering Report
Proposed Dixboro House Restaurant
5400 Plymouth Road
Superior Township, Washtenaw County, Michigan
AGS Project No. 18-1049

Dear Mr. Nolff:

We have completed the geotechnical exploration and engineering report for the Proposed Dixboro House Restaurant project in Superior Township, Washtenaw County, Michigan. This report presents the results of our observations and analysis and our recommendations for subgrade preparation, foundation, basement, and pavement design, and construction considerations. We recommend the proposed additions to the existing structure be supported on conventional shallow spread footing foundations. In addition, we recommend AGS be retained to observe the subgrade preparation and foundation construction. Our representative will perform the appropriate type and number of field tests to verify compliance with the project specifications and that the foundation bearing material is suitable for the design bearing pressure.

We appreciate the opportunity to assist you and the design team on this project. If you have any questions regarding this report, please do not hesitate to contact us.

Respectfully,

APPLIED GEOTECHNICAL SERVICES, INC.

Jeffery T. Anagnostou
Jeffery T. Anagnostou, P.E., C.P.G.
Geotechnical Engineer/Principal

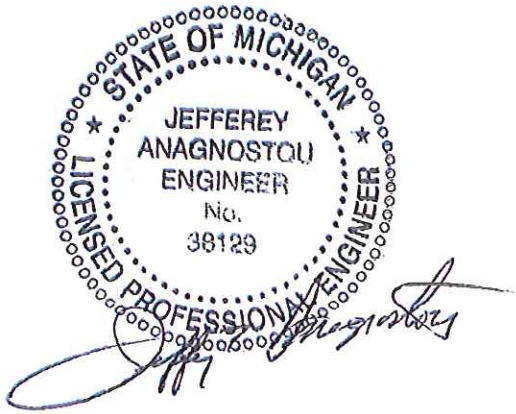


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APPENDIX

EXECUTIVE SUMMARY

Approximately 3 inches of asphalt over 3 to 7 inches of sand and gravel base was encountered at the location of Borings B, D, and E performed within the existing pavement areas. Approximately 12 to 18 inches of topsoil was encountered at the locations of Borings C and F, performed within the existing lawn areas. Silty or clayey fine to coarse sand fill was encountered at the locations of Borings B through E to depths of approximately 3 to 7½ feet below the existing ground surface (approximate Elevations 816 to 810½ feet). The subsoils typically consisted of silty and fine to medium sands that extended to approximate depths of 10½ to 13 feet. Below these depths, fine to coarse sands were encountered to the maximum explored depth of 20 feet.

During drilling, groundwater seepage was reported in Borings A through C and D at depths ranging from 2½ to 17 feet below the existing ground surface (approximate Elevations 806½ to 801 feet). Upon completion of the drilling, groundwater seepage was reported in these borings at depths ranging from 2 to 17 feet below the existing ground surface (approximate Elevations 807 to 801 feet).

We recommend the use of a spread footing type foundation system for support of the proposed slab on grade (south) and basement area (east) additions. The shallow spread footings supporting the south addition must be extended below the existing clayey fine to medium sand fill to bear on the underlying native medium dense silty fine sands or be placed on engineered fill after removal and replacement of the existing clayey sand fill. Size the south addition foundations for a maximum net allowable soil pressure of 2,500 pounds per square foot (psf) bearing on the native medium dense silty fine sands or engineered fill. The basement level foundations for the east addition can be sized for a maximum net allowable soil pressure of 3,500 psf on the native medium dense fine to medium sands. Total spread footing foundation settlement is estimated to be in the range of ½ to 1 inch. Differential settlement is estimated to be approximately ½ the total settlement.

Recommendations for subgrade preparation for floor slab and pavement support are presented in Section 4.1 of this report.

Seepage from perched water accumulations within the existing fill materials may be encountered during shallow foundation and basement excavations. However, we estimate seepage from this source may be relatively light and can likely be controlled through normal sump pit and pumping procedures. Care must be taken during excavation and construction not to undermine or disturb the existing foundations or floor slabs. Excavations should not be extended below the level of the existing foundations unless underpinning of the foundations is first performed.

Do not consider this summary separate from the entire text of this report, with all the conclusions and qualifications mentioned herein. Details of our analysis and recommendations are discussed in the following sections and in the Appendix of this report.

*David Arthur Consultants, Inc.
Proposed Dixboro House Restaurant
5400 Plymouth Road
Superior Township, Washtenaw County, Michigan
AGS Project No. 18-1049*

1. INTRODUCTION

We have completed the geotechnical exploration and engineering report for the Proposed Dixboro House Restaurant project located in Superior Township, Washtenaw County, Michigan. SavCo, DBA Dixboro House, retained Applied Geotechnical Services, Inc. (AGS) to perform this exploration. This report presents the results of the exploration, including the boring logs and our recommendations for floor slab, foundation, basement and pavement design and construction.

1.1 Project Description

We understand the proposed development includes performing extensive renovations and additions to the former Lord Fox/Roger Monk's restaurant for the proposed Dixboro House restaurant. No architectural or structural drawings were provided to our office during the preparation of this report. However, it was reported to our office that the renovated building will be a single-story structure with the existing basements and crawl spaces remaining. A proposed addition with full depth basement will be constructed along the east side of the existing building. We anticipate the basement finished floor will match that of the existing building at an approximate depth of 8 feet below the existing ground surface. An addition with slab on grade floor and no basement will also be constructed along the south side of the existing building. We anticipate the finished floor elevation for the south addition will be at or slightly above the existing grade.

No structural loading information was provided to our office. However, based on our experience with similar structures, we estimate maximum column and wall loads will be on the order of 50 kips and 3 kips per lineal foot, respectively.

*David Arthur Consultants, Inc.
Proposed Dixboro House Restaurant
5400 Plymouth Road
Superior Township, Washtenaw County, Michigan
AGS Project No. 18-1049*

The proposed development will also include associated new asphalt parking and drive areas.

1.2 Scope of Geotechnical Services

Our scope of services for this project is as follows:

- A) Performing a total of six (6) soil borings; three (3) to a depth of 20 feet within the proposed building addition areas and three (3) to a depth of 5 feet within the proposed pavement areas;
- B) Performing appropriate testing; including visual engineering classification, natural moisture content determinations, and unconfined compressive strength estimates on representative cohesive split-spoon samples; and
- C) Geotechnical engineering analysis and preparation of this written engineering report. The written report includes recommendations regarding foundation types suitable for the soil conditions encountered, allowable bearing capacity of the foundations, estimated settlement, and construction considerations related to foundation, basement, floor slab, and pavement construction.

The field operations, laboratory testing, and engineering report preparation were performed under the direction and supervision of a professional engineer licensed to practice in the State of Michigan. These services were performed according to generally accepted standards and procedures in the practice of geotechnical engineering. If changes occur in the design, location, or concept of the project, the conclusions and recommendations contained in this report are not valid unless AGS reviews the changes. AGS will then confirm our recommendations or make changes in writing. Our scope of services does not include any environmental sampling or environmental assessment of the project site.

*David Arthur Consultants, Inc.
Proposed Dixboro House Restaurant
5400 Plymouth Road
Superior Township, Washtenaw County, Michigan
AGS Project No. 18-1049*

2. FIELD AND LABORATORY PROGRAM

2.1 Field Program

David Arthur Consultants, Inc. (DAC) determined the number, depth, and location of the borings. The soil borings were located in the field by DAC. The ground surface elevation at the boring locations was also obtained by DAC.

A truck-mounted rotary drilling rig was used to perform the soil borings. Continuous flight, augers were used to advance the bore holes and split-spoon samplers were used to obtain the soil samples by the Standard Penetration Test (SPT) method in general conformance with ASTM Standard D-1586. The number of blows required to drive the sampler 12 inches, after an initial seating of 6 inches, with a 140-pound hammer falling 30 inches is termed the Standard Penetration Resistance, N-value. A graphical representation of the N-values is given on the boring logs.

During the field operations, the drill crew maintained the log of the subsurface conditions, including changes in stratigraphy and observed groundwater levels. After completion of the drilling operations, the boreholes were backfilled with auger cuttings.

2.2 Laboratory Testing

The soil samples were placed in sealed containers in the field and brought to the laboratory for testing and classification. A geotechnical engineer classified the samples in general conformance with the Unified Soil Classification System.

*David Arthur Consultants, Inc.
Proposed Dixboro House Restaurant
5400 Plymouth Road
Superior Township, Washtenaw County, Michigan
AGS Project No. 18-1049*

Laboratory testing included determining natural moisture content and estimating unconfined compressive strength of the split-spoon samples with a calibrated hand penetrometer. With a hand penetrometer, the unconfined compressive strength of a soil sample is estimated by measuring the resistance of the soil sample to penetration of a small, calibrated spring-loaded cylinder. The penetrometer can measure a maximum unconfined compressive strength of 4½ tons per square foot (tsf).

The results of the laboratory tests are indicated on the boring logs at the depths the samples were obtained. In cases where the hand penetrometer indicates the unconfined compressive strength is in excess of 4½ tsf, the results are plotted to the right of the 4½ tsf line with a "+" sign to indicate the actual strength is greater than 4½ tsf. Similarly, in cases where the unconfined compressive strength is less than ¼ tsf, the results are plotted to the left of the ¼ tsf line to indicate the actual strength is less than ¼ tsf.

We will hold the soil samples for 60 days from the date of this report. If you would like the samples, please contact us within this time frame.

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3. SITE AND SUBSURFACE CONDITIONS

3.1 Site Conditions

The subject site covers an area of approximately 6 acres and is located at 5400 Plymouth Road, along the south side of Plymouth Road between Short and Church Streets in the Village of Dixboro, Superior Township, Washtenaw County, Michigan. At the time of our site visit, the subject site was occupied by a vacant structure that formerly housed the Lord Fox and Roger Monk's restaurants and associated garage structure. Existing asphalt parking and drive areas were present north, west, and south of the existing structure.

The topography of the ground surface at the site was generally gently rolling. Within the southern portion of the site, the ground surface sloped downward towards Fleming Creek that traverses the site. No site topographic survey plan for the subject site was provided to AGS the exploration.

3.2 Soil Conditions

Approximately 3 inches of asphalt over 3 to 7 inches of sand and gravel base was encountered at the location of Borings B, D, and E performed within the existing pavement areas. Approximately 12 to 18 inches of topsoil was encountered at the locations of Borings C and F, performed within the existing lawn areas. Silty or clayey fine to coarse sand fill was encountered at the locations of Borings B through E to depths of approximately 3 to 7½ feet below the existing ground surface (approximate Elevations 816 to 810½ feet). The subsoils typically consisted of silty and fine to medium sands that

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extended to approximate depths of 10½ to 13 feet. Below these depths, fine to coarse sands were encountered to the maximum explored depth of 20 feet. A layer of lean clay was encountered below an approximate depth of 4 feet at the location of Boring F.

The silty to clayey sand fill was typically very loose to loose with N-values generally ranging from 4 to 8 blows per foot. The native silty and fine to medium sands were loose to medium dense with N-values ranging from 5 to 28 blows per foot. The underlying fine to coarse sands were medium dense to dense with N-values ranging from 18 to 43 blows per foot. The lean clays encountered at the location of Boring F were very stiff with a calibrated penetrometer unconfined compressive strength value of 2 tsf and a natural moisture content of approximately 22 percent.

The stratification depths shown on the soil boring logs represent the soil conditions at the boring locations. Variations may occur between the borings. Additionally, the stratigraphic lines represent the approximate boundary between soil types; the transition may be more gradual than what is shown. We have prepared the boring logs based on the laboratory classification and testing as well as field logs of the explored soils.

The soil boring logs and a schematic soil boring location plan are presented in the Appendix. The soil profiles described above are generalized descriptions of the conditions encountered at the boring location. Please consult the boring logs for more specific information.

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3.3 Groundwater Conditions

The driller looked for indications of groundwater during and after the performance of the soil borings. During drilling, groundwater seepage was reported in Borings A through C and D at depths ranging from 2½ to 17 feet below the existing ground surface (approximate Elevations 806½ to 801 feet). Upon completion of the drilling, groundwater seepage was reported in these borings at depths ranging from 2 to 17 feet below the existing ground surface (approximate Elevations 807 to 801 feet). Based on the available soil and groundwater level information, we estimate the prevailing groundwater level within the proposed building addition areas may be in the range of 15 to 17 feet below the existing ground surface (i.e., approximate Elevations 802 to 801 feet).

Expect the prevailing groundwater level, as well as perched water accumulations, to vary due to changes in precipitation, evaporation, surface run-off, and other factors. The groundwater levels discussed herein, and shown on the boring logs, represent the conditions at the time of the measurements.

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4. ANALYSIS AND RECOMMENDATIONS

We have made our analysis based on the information developed during this exploration. The resulting recommendations are given in the following sections. If our assumptions or understandings are not correct or if conditions during construction are significantly different from those found in the site exploration, contact AGS immediately. AGS may need to re-evaluate the recommendations.

4.1 Subgrade Preparation

The existing fill materials encountered at the locations of boring locations is not considered suitable for foundation support. At the location of Boring C, performed within the proposed basement addition area east of the existing structure, we anticipate the basement excavation will extend through the existing fill to the underlying native medium dense fine to medium sands. At the location of Boring B, performed within the area of the south addition, the clayey fine to medium sand fill contained topsoil and concrete debris. The clayey fine to medium sand fill is not considered suitable for floor slab or foundation support. We recommend the existing clayey sand fill below the proposed south addition area be removed and replaced with engineered fill.

After stripping of the topsoil and any other deleterious near surface materials, the resulting subgrade should be thoroughly proofrolled with a heavily loaded single axle dump truck or fully loaded rubber-tired front-end loader and compacted to a minimum of 95 percent of the maximum dry density according to ASTM Standard D1557 (Modified Proctor). Within the basement areas, the subgrade soils can be proofrolled with a walk-behind drum roller. Loose, soft, or unstable areas revealed during proofrolling should be

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stabilized by additional compaction, or removed and replaced with engineered fill.

If significant instability of the subgrade occurs at isolated locations, it may be necessary to undercut the loose or soft fill material and stabilize the subgrade surface with a woven geotextile, such as SI Geosolutions 250 ST or equivalent, and a layer of coarse, crushed aggregate. We recommend MDOT 21AA crushed limestone or crushed concrete aggregate for this purpose. The thickness of the crushed aggregate layer will depend on the condition of the subgrade at the time of subgrade preparation. In general, we anticipate approximately 12 to 18 inches of MDOT 21AA crushed aggregate may be required for subgrade stabilization.

Care should be taken during proofrolling and/or undercutting operations adjacent to the existing building, so as not to undermine any existing floor slabs or foundations.

We recommend AGS be retained to observe the subgrade proofrolling and stabilization operations.

4.2 Engineered Fill Placement and Compaction

Any fill placed beneath on-grade structures should be an approved, environmentally clean material meeting the requirements for MDOT Class II or Class III sand. The fill should also be free of organic matter, frozen soil, clods, or other harmful material. The fill material should not be placed on frozen subgrade. Spread the fill in level lifts, not exceeding 9 inches in loose thickness, and compact the soil to a minimum of 95 percent of the maximum dry density according to ASTM Standard D1557 (Modified Proctor). All engineered fill should be placed at or near the optimum moisture content.

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We estimate the silty fine to medium sand fill and native silty fine sand encountered above the anticipated basement level at the locations of Borings A and C can generally be used as engineered fill.

4.3 Foundations

Based on the anticipated finished floor and basement area finished floor elevations and the soil conditions encountered at the boring locations, we recommend the use of a spread footing type foundation system for support of the proposed slab on grade and basement area additions. The shallow spread footings supporting the south addition must be extended below the existing clayey fine to medium sand fill to bear on the underlying native medium dense silty fine sands or placed on engineered fill after removal and replacement of the existing clayey sand fill. Size the south addition foundations for a maximum net allowable soil pressure of 2,500 pounds per square foot (psf) bearing on the native medium dense silty fine sands or engineered fill. The basement level foundations for the east addition can be sized for a maximum net allowable soil pressure of 3,500 psf on the native medium dense fine to medium sands. Total spread footing foundation settlement is estimated to be in the range of ½ to 1 inch. Differential settlement is estimated to be approximately ½ the total settlement.

Adjacent existing footings and the new footings should bear at the same elevation. If it is planned to place the new footings at different elevations, the least lateral distance between the new and the adjacent footings should be equal to, or larger than, twice the difference in their bearing elevations. To achieve a change in the level of the strip footings, the footings should be stepped at a grade no steeper than 2 units horizontal to 1

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unit vertical.

All strip footings should be suitably reinforced to reduce the effects of differential settlement associated with local variations in subsoil conditions.

Footings exposed to the outside, or in unheated areas should be embedded a minimum of 42 inches below final grade for protection against problems related to frost penetration during normal winters. Interior footings not exposed to frost effects during or after construction may be founded at shallower depths on suitable native bearing soils.

We recommend site preparation activities, engineered fill placement, and foundation construction of the proposed addition be observed by a AGS representative. Our representative will perform the appropriate type and number of field tests to verify compliance with construction specifications and that the foundation bearing material is suitable.

4.4 Seismic Site Classification

Based on the results of the soil borings and our knowledge of the local seismic and geologic conditions, the site may be classified as "Site Class D – Stiff Soil Profile" per the criteria presented in Section 1615 of the 2012 Michigan Building Code.

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4.5 Basement Design Considerations

We recommend an equivalent fluid active earth pressure of 40 pounds per cubic foot (pcf) per foot depth of the wall be used for basement wall design. This lateral pressure assumes the use of a free draining granular backfill and is predicated on the development of the full active earth pressure condition behind the basement wall.

The development of the active, or minimum earth pressure condition requires movement of the wall away from the backfill. For a flexible wall to develop active pressure conditions, the outward movement at the top of the wall should be on the order 0.001 times the wall height. Under the above conditions, and if precautions are taken not to overstress the walls (i.e., by temporarily bracing the walls during backfilling), the walls can be designed for an equivalent fluid active earth pressure of 40 pcf per foot depth of the wall. If the full active earth pressure condition will not be developed, we recommend the basement walls be designed for a minimum equivalent fluid earth pressure of 60 pcf per foot depth of the wall. Additional lateral loads, such as those resulting from surrounding surcharge loads, should be added to the above-recommended pressures.

We recommend MDOT Class II granular material be used as basement wall backfill. The top 2 feet of the basement wall backfill along the outside perimeter of the wall should be a compacted cohesive material, sloped to drain away from the building wall, to reduce surface water infiltration into the drainage system.

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4.6 Basement Drainage Considerations

We recommend a perimeter foundation drainage system consisting of perforated drain tiles, set in an aggregate drainage layer, be installed at the foundation bearing elevation. The aggregate surrounding the drain tile should be a clean, highly permeable, open graded material with a proper filter to reduce the risk of loss of fines into the drainage system.

4.7 Slab-On-Grade Support

Following the recommendations described in the "Subgrade Preparation" section of this report, we anticipate the basement subgrade soils will be suitable for support of the basement slab on grade floors. We recommend the floor slabs be structurally isolated from the foundation system to allow for independent movement.

We recommend the slab on grade floor be supported on a minimum 6-inch thick layer of an approved granular material such as MDOT Class II sand or MDOT 21AA crushed limestone. We also recommend the use of plastic sheeting as a vapor retarder below the floor slabs in areas that will receive a relatively impermeable floor finish or sealer.

Following successful completion of the subgrade preparation operations previously described, we recommend a modulus of subgrade reaction value of 150 pounds per cubic inch (pci) for design of the slab on grade floors on the native medium dense to dense sands or engineered fill. The recommended estimated subgrade reaction value is based on published typical values for 30-inch plate load testing (ASTM D1196).

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4.8 Construction Considerations

Seepage from perched water accumulations within the existing fill materials may be encountered during shallow foundation and basement excavations. However, we estimate seepage from this source may be relatively light and can likely be controlled through normal sump pit and pumping procedures.

Care must be taken during excavation and construction not to undermine or disturb the existing foundations or floor slabs. Excavations should not be extended below the level of the existing foundations unless underpinning of the foundations is performed prior to excavation.

All excavations should be safely sheeted, shored, sloped, or braced in accordance with local, state, and federal requirements. If material is stored or equipment is operated near an excavation, stronger shoring must be used to resist the extra pressure due to the superimposed loads. Care should always be exercised when excavating near existing buildings, roadways, or utilities to avoid undermining. Abandoned utilities in the area of the proposed foundations should be removed or completely filled with grout.

4.9 General Comments

AGS prepared this report according to generally accepted geotechnical engineering standards and procedures. The purpose of this report is to aid in the evaluation of this property and to help the design team of this project. If changes occur in the design, location, or concept of the project, the conclusions and recommendations contained in

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this report are not valid. The changes must be reviewed by AGS with the recommendations of this report modified or affirmed in writing by AGS.

We base the analyses and recommendations submitted in this report upon the data from the soil borings performed at the approximate location shown on the Schematic Soil Boring Location Plan. This report does not reflect variations that may occur between the actual boring location and the actual structure location. The nature and extent of any such variations may not become clear until the time of construction. If significant variations then become evident, it may be necessary for us to re-evaluate our report recommendations.

We base the analyses and recommendations submitted in this report upon the data from the soil borings performed at the approximate location shown on the Schematic Soil Boring Location Plan. This report does not reflect variations that may occur between the actual boring location and the actual structure location. The nature and extent of any such variations may not become clear until the time of construction. If significant variations then become evident, it may be necessary for us to re-evaluate our report recommendations.

When obtaining and testing samples and preparing this report, we followed procedures that represent reasonable and accepted practice in the geotechnical engineering profession. The field log is prepared during the drilling and sampling operations to describe the field observations, sampling depths, and other information. We frequently subject the samples from the field to additional testing and reclassification in the laboratory. Differences may exist between the field log and the final log. The engineer preparing the report reviews the field log, laboratory classifications, and test data, and

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then prepares the final boring log. We base our recommendations on the contents of the final log.

We recommend AGS be retained to review the final design plans and specifications as they relate to the recommendations presented in this report. The review is necessary to verify the report conclusions and recommendations have been interpreted according to our intent and are properly incorporated into the design. Further, the review will verify subsequent changes to the project have not affected our recommendations. Without this review, we cannot be held responsible for misinterpretation of our data, analysis and/or our recommendations, nor how these are incorporated in the final design.

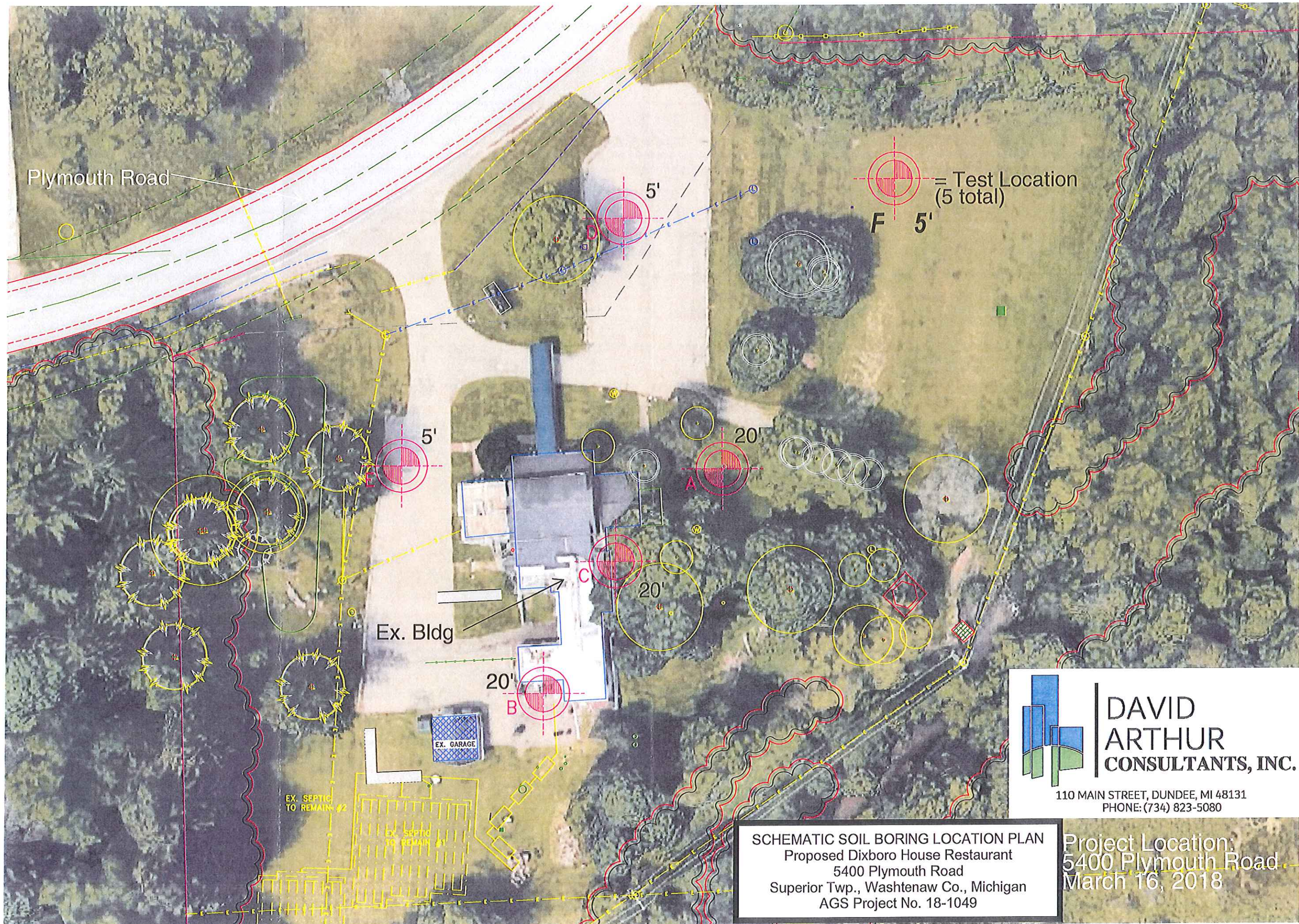
We also recommend AGS observe all geotechnical related work, including foundation construction, subgrade preparation, and engineered fill placement. AGS will perform the appropriate testing to confirm the geotechnical conditions given in the report are found during construction.

The contract specifications should include the following:

"The contractor will, upon becoming aware of subsurface or latent physical conditions differing from those disclosed by the original soil investigation work, promptly notify the owner verbally to permit verification of the conditions, and in writing, as to the nature of the differing conditions. No claim by the contractor for any conditions differing from those anticipated in the plans and specifications and disclosed by the soil studies will be allowed unless the contractor has so notified the owner, verbally and in writing, as required above, of such differing subsurface conditions."

APPENDIX

- 1. FIGURE 1 – SCHEMATIC SOIL BORING LOCATION PLAN**
- 2. GENERAL NOTES**
- 3. BORING LOGS A THROUGH F**
- 4. UNIFIED SOIL CLASSIFICATION SYSTEM**



Plymouth Road

= Test Location
(5 total)

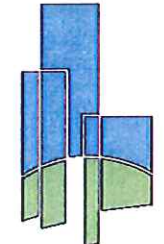
F 5'

Ex. Bldg

EX. GARAGE

EX. SEPTIC TO REMAIN #2

EX. SEPTIC TO REMAIN #1



**DAVID
ARTHUR
CONSULTANTS, INC.**

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SCHEMATIC SOIL BORING LOCATION PLAN
Proposed Dixboro House Restaurant
5400 Plymouth Road
Superior Twp., Washtenaw Co., Michigan
AGS Project No. 18-1049

Project Location:
5400 Plymouth Road
March 16, 2018

GENERAL NOTES

Drilling & Sampling Symbols

SS – Split Spoon (1 ³ / ₈ " I.D., 2" O.D., except where noted)	HA – Hand Auger Boring
ST – Shelby Tube (3" O.D., except where noted)	BS – Bag Sample
PA – Power Auger	RC – Rock Core with diamond bit, NX size, except where noted
PS – Piston Sample (3" diameter)	RB – Roller Bit
WB – Wash Boring	N/A – Not applicable or available
WS – Wash Sample	

Standard Penetration Test "N" Value – Blows per foot after an initial 6-inch seating of a 140-pound hammer falling 30 inches on a 2-inch O.D. split spoon, except where noted.

Water Level Measurement Notation

First—	When noted during drilling or sampling process.
Completion—	After all drilling tools are removed from borehole.
HR—	Number of hours after completion.
N/R—	Not recorded.
Dry—	No measurable water level found in borehole.

Particle Sizes

Boulders—	Greater than 6" (152 mm)
Cobbles –	3" to 6" (76 to 152 mm)
Gravel –	<i>Coarse:</i> ¼ to 3" (19 to 76 mm) <i>Fine:</i> No.4 to ¼" (4.75 to 19 mm)
Sand –	<i>Coarse:</i> No.10 to No.4 (2 to 4.75 mm) <i>Medium:</i> No.40 to No.10 (.425 to 2 mm) <i>Fine:</i> No.200 to No.40 (.074 mm to .425mm)
Silt –	Minus No.200 (.005 mm to .074 mm)
Clay –	Less than .005 mm

Water levels indicated on the boring logs are the levels measured in the boring at the time indicated. The accurate determination of groundwater levels may not be possible with short term observations, especially in impervious soils. The level shown may fluctuate throughout the year with variations in precipitation, evaporation, runoff, and other hydrogeologic features.

CLASSIFICATION

Cohesionless Soil

<u>Relative Density</u>	<u>"N" Value (Blows/ft)</u>
Very Loose	0 to 4
Loose	5 to 9
Medium Dense	10 to 29
Dense	30 to 49
Very Dense	50 to 79
Extremely Dense	Over 80

Soil Constituents

"Trace"	Less than 10%
"Trace to Some"	10% to 19%
"Some"	20% to 34%
"And"	35% to 50%

Cohesive Soil

<u>Unconfined Compressive Strength (tons per ft²)</u>	<u>Consistency</u>
Less than 0.25	Very Soft
0.25 to 0.49	Soft
0.49 to 0.99	Medium
1.00 to 1.99	Stiff
2.00 to 3.99	Very Stiff
Greater than 4.00	Hard

If clay content is sufficient so that clay dominates soil properties, then clay becomes the primary noun with other major soil constituent as modifier, i.e. silty clay. Other minor soil constituents may be added according to estimates of soil constituents present, i.e. silty clay, trace to some sand, trace gravel.

Project: Proposed Dixboro House Restaurant		Applied Geotechnical Services, Inc. 15798 Riverside Livonia, MI 48154 Tel: 734-679-0379
Client: SavCo, DBA Dixboro House		
Location: Superior Township, Washtenaw County, Michigan		
Project #: 18-1049	Boring Log #: B-A	

Sample No./Type	Recovery (in.)	Depth (ft.)	Description of Material	Moisture Content (%) - circles N-Value (blows/ft) - squares	Unconfined Compressive Strength (tsf) - triangles
		0	Ground Surface Elevation = ± 816.14'		
SS-1	18	1	<i>SILTY FINE SAND</i> - loose to medium dense - moist - brown (SM)		
		2			
		3			
SS-2	18	4	<i>FINE TO MEDIUM SAND</i> - trace silt - medium dense - moist - brown (SP-SM)		
		5			
		6			
SS-3	18	7	<i>FINE TO COARSE SAND</i> - trace silt - trace to some gravel - medium dense to dense - wet - brown (SP-SM)		
		8			
		9			
SS-4	18	10	<i>FINE TO COARSE SAND</i> - trace silt - trace to some gravel - medium dense to dense - wet - brown (SP-SM)		
		11			
		12			
SS-5	18	14	<i>FINE TO COARSE SAND</i> - trace silt - trace to some gravel - medium dense to dense - wet - brown (SP-SM)		
		15			
		16			
SS-6	18	19	<i>FINE TO COARSE SAND</i> - trace silt - trace to some gravel - medium dense to dense - wet - brown (SP-SM)		
		20			
		21			
		22	<i>FINE TO COARSE SAND</i> - trace silt - trace to some gravel - medium dense to dense - wet - brown (SP-SM)		
		23			
		24			
		25	End of Boring (ft.): 20		

Water Level Observations: While Drilling: 10.5' At Completion: 15' Cave-In At:	Boring Started: 4/12/2018 Boring Completed: 4/12/2018 Rig: CME 55 Driller: Fairlane Drilling	Remarks:	Approved: JTA
			Drawn By: NJA

Project: Proposed Dixboro House Restaurant		Applied Geotechnical Services, Inc. 15798 Riverside Livonia, MI 48154 Tel: 734-679-0379
Client: SavCo, DBA Dixboro House		
Location: Superior Township, Washtenaw County, Michigan		
Project #: 18-1049	Boring Log #: B-B	

Sample No./Type	Recovery (in.)	Depth (ft.)	Description of Material	Moisture Content (%) - circles N-Value (blows/ft) - squares		Unconfined Compressive Strength (tsf) - triangles
		0	Ground Surface Elevation = ± 817.82'			
			See Note 1 Below			
SS-1	18	1-2	<i>CLAYEY FINE TO MEDIUM SAND FILL</i> - trace gravel and topsoil - occasional concrete debris - very loose to medium dense - moist - dark brown (SC-FILL)	4		
SS-2	18	2-4				
		5-6	<i>SILTY FINE SAND</i> - occasional clay seams - loose - moist - brown (SM)	11		
SS-3	18	6-7				
		8-10	<i>FINE TO MEDIUM SAND</i> - trace silt and gravel - medium dense - moist - brown (SP-SM)	5		
SS-4	18	10-11				
		11-13				
SS-5	18	14-15	<i>FINE TO COARSE SAND</i> - trace silt - trace to some gravel - dense to medium dense - moist to wet below 17' - brown (SP-SM)	43		
		15-17				
		17-18				
SS-6	18	19-20		24		
		21-22	Note 1: Driller Reported ±3" of Asphalt Pavement Over ±3" Sand & Gravel Base			
		23-24				
		25				
			End of Boring (ft.): 20			

Water Level Observations: While Drilling: 17' At Completion: 17' Cave-In At:	Boring Started: 4/12/2018 Boring Completed: 4/12/2018 Rig: CME 55 Driller: Fairlane Drilling	Approved: JTA
		Remarks: Drawn By: NJA

Project: Proposed Dixboro House Restaurant
Client: SavCo, DBA Dixboro House
Location: Superior Township, Washtenaw County, Michigan
Project #: 18-1049 **Boring Log #:** B-C

Applied Geotechnical Services, Inc.
15798 Riverside
Livonia, MI 48154
Tel: 734-679-0379

Sample No./Type	Recovery (in.)	Depth (ft.)	Description of Material	Moisture Content (%) - circles N-Value (blows/ft) - squares		Unconfined Compressive Strength (tsf) - triangles	
				Moisture Content (%) - circles N-Value (blows/ft) - squares		Unconfined Compressive Strength (tsf) - triangles	
		0	Ground Surface Elevation = ± 817.84'				
		0	Driller Reported ± 12" Sandy Topsoil				
SS-1	18	1	Driller Reported ± 12" Clayey Fine To Medium Sand Fill				
		2	<i>SILTY FINE TO MEDIUM SAND FILL</i> - occasional clay layers - loose to medium dense - moist - brown and gray (SM FILL WITH CL LAYERS)				
		3					
SS-2	18	4					
		5	<i>FINE TO MEDIUM SAND</i> - trace silt and gravel - medium dense - moist - brown (SP-SM)				
		6					
SS-3	18	7					
		8	<i>FINE TO COARSE SAND</i> - trace silt - trace to some gravel - dense to medium dense - wet - brown (SP-SM)				
SS-4	18	9					
		10					
		11					
		12					
SS-5	18	13					
		14					
		15					
		16					
SS-6	18	17					
		18					
		19					
		20					
		21					
		22					
		23					
		24					
		25					
End of Boring (ft.): 20							

Water Level Observations: While Drilling: 12' At Completion: 16' Cave-In At: D	Boring Started: 4/12/2018 Boring Completed: 4/12/2018 Rig: CME 55 Driller: Fairlane Drilling	Remarks:	Approved: JTA
			Drawn By: NJA

Project: Proposed Dixboro House Restaurant		Applied Geotechnical Services, Inc. 15798 Riverside Livonia, MI 48154 Tel: 734-679-0379
Client: SavCo, DBA Dixboro House		
Location: Superior Township, Washtenaw County, Michigan		
Project #: 18-1049	Boring Log #: B-D	

Sample No./Type	Recovery (in.)	Depth (ft.)	Description of Material	Moisture Content (%) - circles N-Value (blows/ft) - squares	Unconfined Compressive Strength (tsf) - triangles
		0	Ground Surface Elevation = ± 818.71'		
			See Note 1 Below		
SS-1	18	1	<i>SILTY FINE SAND FILL</i> - trace clay - loose - moist - brown (SM-FILL)		
		2			
		3	<i>FINE SANDY SILT</i> - medium dense - moist - brown (ML)		
SS-2	18	4			
		5			
		6	Note 1: Driller Reported ±3" Asphalt Pavement Over ±7" Sand & Gravel Base		
		7			
		8			
		9			
		10			
		11			
		12			
		13			
		14			
		15			
		16			
		17			
		18			
		19			
		20			
		21			
		22			
		23			
		24			
		25			

Water Level Observations:		Boring Started: 4/12/2018		Approved: JTA	
While Drilling: Dry		Boring Completed: 4/12/2018		Remarks:	
At Completion: Dry		Rig: CME 55		Drawn By: NJA	
Cave-In At:		Driller: Fairlane Drilling			

Project: Proposed Dixboro House Restaurant		Applied Geotechnical Services, Inc. 15798 Riverside Livonia, MI 48154 Tel: 734-679-0379
Client: SavCo, DBA Dixboro House		
Location: Superior Township, Washtenaw County, Michigan		
Project #: 18-1049	Boring Log #: B-E	

Sample No./Type	Recovery (in.)	Depth (ft.)	Description of Material	Moisture Content (%) - circles N-Value (blows/ft) - squares	Unconfined Compressive Strength (tsf) - triangles
		0	Ground Surface Elevation = ±815.78'		
			See Note 1 Below		
SS-1	18	1	<i>CLAYEY FINE TO COARSE SAND FILL</i> - trace gravel - loose - moist - brown (SC-FILL)		
		2			
		3		6	
SS-2	18	4	<i>SILTY FINE TO MEDIUM SAND</i> - medium dense - moist - brown (SM)		
		5			
		6			
		7			
		8	Note 1: Driller Reported ±3" Asphalt Pavement Over ±6" Sand & Gravel Base		
		9			
		10			
		11			
		12			
		13			
		14			
		15			
		16			
		17			
		18			
		19			
		20			
		21			
		22			
		23			
		24			
		25			

End of Boring (ft.): 5			
Water Level Observations:	Boring Started: 4/12/2018	Remarks:	Approved: JTA
While Drilling: Dry	Boring Completed: 4/12/2018		Drawn By: NJA
At Completion: Dry	Rig: CME 55		
Cave-In At:	Driller: Fairlane Drilling		

Project: Proposed Dixboro House Restaurant	Applied Geotechnical Services, Inc. 15798 Riverside Livonia, MI 48154 Tel: 734-679-0379
Client: SavCo, DBA Dixboro House	
Location: Superior Township, Washtenaw County, Michigan	
Project #: 18-1049 Boring Log #: B-F	

Sample No./Type	Recovery (in.)	Depth (ft.)	Description of Material	Moisture Content (%) - circles N-Value (blows/ft) - squares	Unconfined Compressive Strength (tsf) - triangles
		0	Ground Surface Elevation = ±809.30'		
		1	Driller Reported ± 18" of Sandy Topsoil		
SS-1	18	2	<i>SILTY FINE TO COARSE SAND</i> - trace gravel - medium dense - moist to wet below 2.5' - brown (SM)	15	
		3			
SS-2	18	4	<i>LEAN CLAY</i> - very stiff - gray (CL)	18	
		5		22.3	2.00
		6			
		7			
		8			
		9			
		10			
		11			
		12			
		13			
		14			
		15			
		16			
		17			
		18			
		19			
		20			
		21			
		22			
		23			
		24			
		25			

Water Level Observations: While Drilling: 2.5' At Completion: 2.0' Cave-In At:	Boring Started: 4/12/2018 Boring Completed: 4/12/2018 Rig: CME 55 Driller: Fairlane Drilling	Remarks:	Approved: JTA Drawn By: NJA
--	---	-----------------	--

End of Boring (ft.): 5

Unified Soil Classification

Major Divisions		Symbol	Typical Names	Laboratory Classification Criteria			
Coarse Grained Soils (More than half of material > No. 200 sieve)	Gravels (More than half of coarse fraction is larger than No. 4 sieve)	Clean Gravels (little or no fines)	GW	Well graded gravels, gravel-sand mixtures, little or no fines	$C_u = D_{60}/D_{10}$ greater than 4; $C_c = (D_{30})^2 / (D_{10} \times D_{30})$ between 1 and 3		
			GP	Poorly graded gravels, gravel-sand mixtures, little or no fines	Not meeting all gradation requirements for GW		
		Gravels with appreciable amount of fines	GM	d	Silty gravels, gravel-sand-silt mixtures	Atterberg Limits below "A" line or PI less than 4	Above "A" line with PI between 4 and 7 are borderline cases requiring dual symbols
				u		Atterberg Limits above "A" line with PI greater than 7	
	Sands (More than half of coarse fraction is smaller than No. 4 sieve)	Clean Sands (little or no fines)	SW	Well graded sands, gravelly sands, little or no fines	$C_u = D_{60}/D_{10}$ greater than 6; $C_c = (D_{30})^2 / (D_{10} \times D_{30})$ between 1 and 3		
			SP	Poorly graded sands, little or no fines	Not meeting all gradation requirements for SW		
		Sands with appreciable amount of fines	SM	d	Silty sands, sand-silt mixtures	Atterberg Limits below "A" line or PI less than 4	Liquid Limits plotting between 10 and 30 with PI between 4 and 7 is a borderline case requiring dual symbols (CL-ML)
				u		Atterberg Limits above "A" line with PI greater than 7	
			SC	Clayey sands, sand-clay mixtures			
		Fine Grained Soils (more than half of material < No. 200 sieve)	Silts and Clays (Liquid Limit < 50)	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity	<div style="text-align: center;"> PLASTICITY CHART </div>	
CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, and lean clays						
OL	Organic silts and silty clays of low plasticity						
Silts and Clays (Liquid Limit > 50)	MH		Inorganic silts, micaceous or diamaceous fine sandy or silty soils, elastic silts				
	CH		Inorganic clays of high plasticity, fat clays				
	OH		Organic clays of medium to high plasticity, organic silts				
Highly Organic Soils	Pt		Peat and other highly organic soils				

Depending on percentage of fines (fraction smaller than No. 200 sieve), coarse grained soils are classified as follows:
 Less than 5%..... GW, GP, SW, SP
 More than 12%..... GM, GC, SM, SC
 5 to 12%..... Borderline case requiring dual symbols



SITE PLAN REVIEW APPLICATION

(This application must be typewritten or printed. All questions must be answered.)

APPLICANT NAME DIXBORO VILLAGE GREEN, INC.

NAME OF PROPOSED DEVELOPMENT DIXBORO VILLAGE GREEN PAVILION

APPLYING FOR PRELIMINARY SITE PLAN
 FINAL SITE PLAN
 COMBINED PRELIMINARY AND FINAL SITE PLAN
(Combination is at discretion of Planning Commission)
 MINOR SITE PLAN

WILL PROJECT BE PHASED? YES NO

IF PROJECT IS PHASED COMPLETE THE FOLLOWING:

- Total Number of phases _____
- Phase Number of current application _____
- Name and Date of Preliminary Site Plan Approval _____

- Date of Previous Phase Approvals:
Phase # _____ Date _____
Phase # _____ Date _____
Phase # _____ Date _____
Phase # _____ Date _____

SEEKING ADDITIONAL APPROVAL FOR A CONDITIONAL USE YES NO

Laura Bennett
Signature of the Clerk or Designee

4/20/2018
Date of Receipt of Application

N/A per Township Board
Amount of Fee

GENERAL INFORMATION

- Name of Proposed Development DIXBORO VILLAGE GREEN PAVILION
- Address of Property DIXBORO VILLAGE GREEN
- Current Zoning District Classification of Property R-4

Is the zoning classification a Special District as defined by Article 7? YES NO

- Has this property been the subject of a rezoning request, Zoning Board of Appeals petition or other Township action with the past five (5) years? YES NO

Please explain _____

- Tax ID Number(s) of property 45-4472883

- Site Location - Property is located on (circle one) N S E W side of PLYMOUTH Road between SHORT and DIXBORO Roads.

- Legal Description of Property (please attach a separate sheet) SEE SITE PLAN A-00
Where a metes and bounds description is used, lot line angles or bearings shall be indicated on the plan. Lot line dimensions and angles or bearings shall be based upon a boundary survey prepared by a registered surveyor and shall correlate with the legal description.

Site Area (Acreage) and Dimensions 264' SQUARE . 1.600 ACRES

- Are there any existing structures on the property? YES NO
Please explain: SCHOOLHOUSE

PROPOSED LAND USE

- Residential Office Commercial Other

If other, please specify PUBLIC

- Number of units _____
- Total floor area of each unit _____
- Give a complete description of the proposed development.

NEW 17' x 22' PLATFORM ATTACHED TO NORTH SIDE SCHOOLHOUSE

ESTIMATED COSTS

- Buildings and other structures TBD
- Site improvements _____
- Landscaping _____
- Total _____

ESTIMATED DATES OF CONSTRUCTION

- Initial construction TBD
- Project completion _____
- Initial construction of phases (IF APPLICABLE) _____
- Completion of subsequent phases. (IF APPLICABLE) _____
- Estimated date of first occupancy _____

IDENTIFY EACH DRAWING SUBMITTED BY NAME OF PLAN OR DRAWING, DATE AND DRAWING NUMBER (ATTACH ADDITIONAL SHEET IF NECESSARY)

A 0.0 SITE PLAN
A 1.1 FLOOR PLAN

A 2.1 ELEVATIONS

APPLICANT INFORMATION

- APPLICANTS NAME TOM FREEMAN, PRES.
Company DIXBORO VILLAGE GREEN, INC.
Address 5221 CHURCH RD., ANN ARBOR, MI. 48106
Telephone Number 734.216.6999 Email _____

- PROPERTY OWNER'S NAME DIXBORO METHODIST CHURCH
Company _____
Address 5221 CHURCH RD., ANN ARBOR, MI. 48106
Telephone Number _____ Email _____

- DEVELOPER'S NAME N.A.
Company _____
Address _____
Telephone Number _____ Email _____

- ENGINEER'S NAME N.A.
Company _____
Address _____
Telephone Number _____ Email _____

- ARCHITECT/PLANNER'S NAME RICHARD MITCHELL
Company MITCHELL AND MOUNT ARCHITECTS, INC.
Address 113 S. FOURTH AVE., ANN ARBOR, MI. 48104
Telephone Number 734.662.6070 Email RMITCHELL@MITCHELLANDMOUNT.COM

The applicant indicated on page 4 must sign this application. All correspondence regarding the application and plan will be directed to the applicant. If the applicant is not the property owner, the owner's signed consent must also be provided with this application.

APPLICANT'S DEPOSITION

I hereby depose and certify that all information contained in this application, all accompanying plans and all attachments are complete and accurate to the best of my knowledge.

APPLICANT'S PRINTED NAME: Tom A. Freeman

APPLICANT'S SIGNATURE J. A. F. DATE 4-20-18

PROPERTY OWNER'S PRINTED NAME KENNETH F. SCHEFFER

PROPERTY OWNER'S SIGNATURE Kenneth F. Schaffer DATE 4-20-18



Dixboro United Methodist Church

5221 Church Road
Ann Arbor, Michigan 48105



"People Helping People"

Lead Pastor: Rev. Tonya M. Arnesen
Email: dumc@dixborochurch.org

734-665-5632
www.dixborochurch.org

April 18, 2018

Richard J. Mayernik
Building / Zoning Official
Superior Charter Township
3040 N. Prospect Rd.
Ypsilanti, MI 48198

This letter serves as authorization for Dixboro Village Green, Inc., a private non-profit 501 (c) (3) corporation, to submit a site plan application for construction of a pavilion on the Village Green. This authorization is extended under my authority as Chair of the Dixboro United Methodist Church Board of Trustees and on behalf of the Dixboro United Methodist Church Administrative Council.

Sincerely,

Kenneth Scheffer, Chair
Board of Trustees
Dixboro United Methodist Church

Cc: Reverend Tonya Arneson, Lead Pastor
Tom Little, Chair, Administrative Council

**SUPERIOR CHARTER TOWNSHIP
WASHTENAW COUNTY, MICHIGAN**

**A RESOLUTION WAIVING SOME REQUIREMENTS FOR THE MINOR SITE PLAN
PROCESS FOR THE DIXBORO VILLAGE GREEN LLC, VILLAGE GREEN
PAVILION PROJECT**

Resolution Number 2017-42

NOVEMBER 20, 2017

WHEREAS, the Superior Charter Township has authority to omit certain requirements of a minor site plan if the information is deemed not applicable or not particularly useful in determining the suitability of the project for the site; and,

WHEREAS, the application for a minor site plan by the Dixboro Village Green LLC, for the pavilion project, a community based project in a public service zoning district; and,

WHEREAS, the township board strongly supports this project because it will build community based assets and recreational opportunities within the township, and relieve the township of certain governmental burdens and confer upon the township recreational and other notable benefits; and,

WHEREAS, The Dixboro Village Green LLC requests the following requirements to be omitted due to non-applicability or non-usefulness in determining the suitability of the project for the site:

1. Calculations for parking (parking will be provide at the Dixboro Church)
2. Delineation of transition strips.
3. Location, type, area, heights and lighting specifications of proposed signs. (N/A)
4. Location, area dimensions of vehicle access points and distances between adjacent or opposing driveways and road intersections. (N/A)
5. Location, area and dimensions of any outdoor sales, displays or storage areas. (N/A)
6. Parking space dimensions, pavement markings and traffic control signage. (N/A)
7. General layout of proposed landscaping and screening improvements; including plantings, topographical changes and similar features. (N/A)
8. Proposed fences, wall and other screening devices, including typical cross section, materials and height above grade. (N/A)

9. Screening methods for any waste receptacle areas, ground mounted generators, transformers mechanical (HVAC) units and similar devices. (N/A)

WHEREAS, the pavilion project is a community based project, strongly supported by the township board and the residents of Superior Township, and in recognition that the Dixboro Village Green LLC, a nonprofit corporation, was organized and developed specifically to benefit the Township of Superior, its residents and Dixboro area, the Dixboro Village Green LLC requests that the required application, review fees and the required escrow deposits be waived.

NOW THEREFORE BE IT RESOLVED, that the Superior Township Board of Trustees strongly recommend that the Superior Township Planning Commission determine that requirements 1-9 for minor site plan as set forth herein be waived as non-applicable or of no substantial consequence in determining the suitability of the site plan for the proposed public use.

NOW THEREFORE BE IT FURTHER RESOLVED, that the Superior Township Board of Trustees shall waive all required fees and escrows pertaining specifically to this project including review fees.

CERTIFICATION STATEMENT

I, Lynette Findley, the duly qualified Clerk of the Charter Township of Superior, Washtenaw County, Michigan, do hereby certify that the foregoing is a true and correct copy of a resolution adopted at a regular meeting of the Superior Charter Township Board held on November 20, 2017 and that public notices of said meeting were given pursuant to Act No. 267, Public Acts of Michigan, 1976, as amended.

Lynette Findley, Township Clerk

Date Certified



MINOR SITE PLAN REPORT

Superior Charter Township Planning Commission

Dixboro Village Green Pavilion

Parcel No. J-10-18-260-001

Report Date: May 16, 2018

1. Description

1.01 Action requested. The applicant is requesting minor site plan approval for construction of a new covered pavilion addition to the rear of the historic schoolhouse, in accordance with Article 10.0 (Site Plan Review) of the Superior Charter Township Zoning Ordinance No. 174.

1.02 Owner. Dixboro Methodist Church, 5221 Church St., Ann Arbor, MI 48106.

1.03 Applicant. Dixboro Village Green, Inc. (Tom Freeman, President), 5221 Church St., Ann Arbor, MI 48106.

1.04 Area and location. 1.6 acres in the PSP (Public/Semi-Public Services) District west of Short St. between Church St. and Plymouth Road in the northwest quarter of section 18.

2. Proposed Uses

A detailed list of intended uses for the pavilion is included on the cover sheet. These include community events, small concerts, public speaking, ceremonies, and the farmers market. These activities are consistent with the allowable land uses in the PSP District.

3. Site Plan Information

The minor site plan dated 4/20/2018 is consistent with the applicable requirements of Section 17.07 (Required Site Plan Information).

4. Nonconforming Site Standards

The Village Green site and historic schoolhouse were developed prior to the current Zoning Ordinance standards. Section 16.09 (Nonconforming Sites) is intended to encourage improvements to existing buildings and sites where full compliance with all current Ordinance requirements may not be practical or would place an unreasonable burden on the property owner. This Section requires certain public safety improvements, plus additional improvements addressing at least three (3) of the ten (10) categories listed in Section 16.09.3, as accepted by the Planning Commission. During our review of the minor site plan, we noted the following proposed improvements:

4.01 Safety improvements. The applicant has proposed to improve barrier-free access to the schoolhouse as part of the pavilion project, which would address the principal public safety deficiency on the site.

4.02 Other improvements. We concur with the applicant's note on the cover sheet that the improvements shown on the minor site plan satisfy the following three (3) additional improvement categories as required per Section 16.09:

- (a) ***Preservation of...historical site features.*** The project will preserve the historic character of the schoolhouse and Village Green, while helping to make both more functional and accessible to Township residents and visitors.
- (b) ***Pedestrian access improvements.*** The project includes the barrier-free building access and a four-foot wide "*future concrete (side)walk*" to the Short St. parking area.
- (d) ***Building design or exterior façade improvements.*** The project includes removal of a less-functional side door to the schoolhouse, with restoration of the brick façade, as well as an improved rear access to the building.

4.03 Timeline for completion of improvements. Section 16.09.5. allows the Planning Commission to approve "*a reasonable timeline for completion of site improvements*" per the approved minor site plan. We understand that the applicant intends to develop the pavilion during 2018 or 2019, but there is no corresponding timeline for the associated sidewalk installation. We would recommend the following timeline for consideration:

- (1) Completion of the pavilion construction and all schoolhouse building improvements by the end of the 2019 construction season.
- (2) Completion of the new four-foot wide concrete sidewalk to Short St. by the end of the 2020 construction season.

5. Planning Commission Action

The minor site plan dated 4/20/2018 is complete and ready for review and action. We have no objection from a planning perspective to Planning Commission approval of the minor site plan as presented, contingent upon establishment of a specific timeline for completion of all proposed building and site improvements consistent with Section 16.09.5 of the Zoning Ordinance.

Respectfully submitted,

Donald N. Pennington
Rodney C. Nanney, AICP
Township Planning Consultants

This report is made to the Planning Commission, and is the property of Superior Charter Township. The report addresses the completeness of the application and issues of concern. While reports may be provided to applicants and may be helpful to them, the report is not generated for the applicant and does not necessarily address all items that may be raised by the Commission or required by the Zoning Ordinance. The report is not binding upon the Township, and final authority to determine all matters, including completeness of application, remains with the Planning Commission. In all cases, it is the responsibility of the applicant to carefully review the Zoning Ordinance and Master Plan, and to ensure that all requirements have been met.

May 16, 2018

CHARTER TOWNSHIP OF SUPERIOR

3040 N. Prospect Road
Ypsilanti, MI 48198

Attention: **Lynette Findley, Township Clerk**

Regarding: **Dixboro Village Green Pavilion
Minor Site Plan Review
OHM Job No. 0140-18-0020**

Dear Ms. Findley,

On the Township's behalf, we have reviewed the Minor Site Plan material prepared and submitted by Dixboro Village Green, Inc. and dated April 20, 2018 for the above referenced project. The site plan materials are for a proposed 17 ft. by 22 ft. pavilion addition to an existing building on the Dixboro United Methodist Church property. The proposed pavilion addition will be a one story platform attached to the north side of the existing schoolhouse building. Based on the information presented for minor site plan, we offer the following comments for your consideration in regard to the site engineering aspects:

1. The address of the site should be provided on the plan set.
2. A north arrow should be shown on the site plan.
3. For construction plan reproduction, the site plan sheet should be plotted on appropriate sized paper so they can be scaled. The scale on the site plan should be an engineer's scale.
4. The dimensions of the Public Rights-of-way for the adjacent streets should be shown on the plans.
5. Turning spaces of less than 2.0% should be provided at the top and/or bottom of any ramp that is intended to provide access for persons with disabilities. Additionally, the ramp width should be dimensioned on the site plan, and constructed to comply with ADA Standards.
6. Proposed sidewalk should be ADA compliant. Notes should be placed on the site plan stating a maximum allowable cross-slope of 2.0% and maximum running slope of 5.0% is required, and that construction of sidewalk shall follow ADA standards.
7. Proposed spot grades should be shown on the future engineering site plan, to ensure drainage is away from the building. In addition the finished ground grade at the proposed pavilion should be shown on all sides of the structure.
8. Review of the architectural/foundation drawings is assumed to be completed by the Township Building Department.

In our opinion, the above comments that require plan revisions can be addressed by the Applicant during a resubmittal of the plan set for engineering plan approval. Therefore the Minor Site Plan materials should be submitted to the Planning Commission in May for action.



Please do not hesitate to contact me at (734) 466-4439 if you have any questions regarding our review.

Sincerely,

OHM Advisors

A handwritten signature in black ink that reads "George A. Tsakoff". The signature is written in a cursive style and is positioned above a horizontal line.

George A. Tsakoff, PE

cc: Ken Schwartz, Township Supervisor (via e-mail)
Richard J. Mayernik, CBO, Building Department (via e-mail)
Laura Bennett, Planning Coordinator (via e-mail)
Don Pennington, Township Planning Consultant (via e-mail)
Rodney Nanney, Township Planning Consultant (via e-mail)
Tom Freeman, Dixboro Village Green, Inc. (via e-mail)
Richard Mitchell, Mitchell and Mouat Architects, Inc. (via e-mail)
Rhett Gronewelt, PE, OHM Advisors (via e-mail)
file

P:\0126_0165\SITE_SuperiorTwp\2018\0140181050_Dixboro Village Green Pavilion\MSP\let_Village Green Pavilion_MSP_20180516.docx

Superior Township Fire Department
Bureau of Fire Prevention
7999 Ford Road
Ypsilanti, MI 48198

Site Plan Review Report

Date: 21 May 2018
Business Name: Dixboro Village Green Pavilion (Methodist Church)
Business Address: 5221 Church Road, Ann Arbor, MI 48106
Contractor: Michell & Moust Architects Inc.
113 S. Fourth Ave., Ann Arbor, MI 48104, Tel: 734-417-9722
Applicable Codes: International Fire Code (IFC) 2015
Reviewed By: Victor G. Chevrette, Fire Chief
Plans Dated: 4-20-2018
Job No: 1807

Review Comments and Requirements

1. "No Smoking" signs to be installed on Pavilion per IFC Chapter 3, Section 310.
- 2.
- 3.
- 4.

Status of Plans:

- Approved as submitted – pending field inspection and final testing
 Approved conditionally – see remarks
 Denied – see remarks

Remarks:

Respectfully Submitted,

Victor G. Chevrette, Fire Chief
Superior Township Fire Department

One (1) set of these plans will be retained by the Fire Department, one (1) set forwarded to the mechanical inspector, three (3) sets are available for pickup with the permit.